

FREEMAN LAW GROUP LLC

Attorneys at Law

Peter L. Freeman

pfreeman@freemanlawgroup.com

Tel. (508) 362-4700 Mobile (781) 854-2430

Nancy J. MacPhee Legal Assistant

nmacphee@freemanlawgroup.com

Tel. (508) 362-4700 ext. 3

*Via email to bcarboni@truro-ma.gov and esturdy@truro-ma.gov
and via USPS First Class Mail*

January 15, 2024

Christopher Lucy, Chairman
Town of Truro Zoning Board of Appeals
Truro Town Hall
24 Town Hall Road
P.O. Box 2030
Truro, MA 02666

Re: 22 Highland Road / Cloverleaf Truro Rental Housing
Comprehensive Permit Case Reference: 2019-008/ZBA

NOTICE OF PROJECT CHANGE

Dear Mr. Lucy:

Reference is made to the above-described Comprehensive Permit issued to my client Community Housing Resource, Inc. by Decision of the Board voted on or about February 3, 2021 (the “Comprehensive Permit”).

On behalf of my clients, this letter is requesting that the Board approve modifications to the plans approved by the Comprehensive Permit, including an increase in the number of units from 39 units to 43 units. The proposed modifications are shown on the revised Site Plan submitted herewith prepared by J. M. O’Reilly & Associates, Inc. dated January 10, 2024 (Sheet 1 of 6) and on the revised Architectural Plans submitted herewith (“Cloverleaf Building 22(Floor Plans & Elevations)– Notice of Project Change January 10, 2024” and Cloverleaf Building 21 (Basement Plan and Elevation) Notice of Project Change January 10, 2024 prepared by Spring Hill Design Architect).

The proposed changes are to modify footprint / lot coverage of approved Buildings 22-24 and 23-25 to create a single structure with the same square footage of building coverage. The building is being reduced from “3-story” to a conforming 2 story building, thus eliminating the walkout basements that required a waiver. The addition of 4 units is achieved as follows: 4 of the approved three bedroom units will be changed to 4 two bedroom units; there will now be 3

additional units each with two bedrooms, and one more additional one bedroom unit will be added to Building 21 on the lower level. As shown on the attached Exhibit 5, there is no increase in the number of bedrooms, and therefore no impact on approved wastewater treatment. The increase of 4 units is 10% of the originally proposed 40 units and can therefore be determined to be an “insubstantial change” under the Chapter 40B Regulations cited below.¹

Building Site Plan change is attached as Exhibit 1; Building Floor Plan and Elevation changes for Building 22 are attached as Exhibit 2; and changes to Building 21 (basement plan and elevations only) are attached as Exhibit 3; and a Narrative of Unit Mix and Affordability is attached as Exhibit 4. which includes a comparison of the approved income level mix to the proposed income level mix; and all Exhibits are incorporated herein by reference. These changes require no additional waivers.

A brief description of the changes is as follows:

	<u>Approved</u>	<u>Proposed</u>
- Units	39	43
- Bedrooms	68	68
- Buildings	13	12
- Parking spaces – standard, ADA, and oversize	83	87

The modifications are necessitated by a substantial increase in the cost of construction since the time the Comprehensive Permit was issued, and a need to satisfy the requirements of Commonwealth of Massachusetts Executive Office of Housing and Livable Communities under the Low Income Housing Tax Credit Program as to financial feasibility.

This Notice of Project Change is provided pursuant to the provisions of 760 CMR 56.05(11)(a), and I request that the Board determine that the proposed changes are insubstantial, in accordance with 760 CMR 56.05(11)(a) and (b) and 760 CMR 56.07(4). As you know, pursuant to these regulations, the Board is required to determine within twenty (20) days whether the changes are insubstantial; if it is determined that they are insubstantial or if notice is not provided by the Board to the contrary within such twenty (20) day period, the Comprehensive Permit shall be deemed modified to incorporate the changes. The above process does not require a public hearing. A public hearing is only required if the Board determines that the changes are substantial changes. The public hearing must be within thirty (30) days of a timely determination that the changes are substantial.


In the Chapter 40B Regulations, as described in 760 CMR 56.07(4), there are guidelines indicating that requested modifications are generally considered insubstantial if they do not change the type of housing tenure (in our case, the project will still be rental apartments), and if they do not increase or decrease the number of units by more than ten (10%) percent.

¹ The approved number of units is 39.

We request that this matter be placed on your Agenda for your regular monthly meeting of January 22, 2024.

Thank you.

Very truly yours,


Peter L. Freeman

Enc.

cc: Ted Malone
Barbara Carbone

CLOVERLEAF TRURO RENTAL HOUSING

NOTICE OF PROJECT CHANGE

Submitted January 16, 2024

Re: Comprehensive Permit Decision of Truro Zoning Board of Appeals

Case Reference # 2019-008/ZBA

22 Highland Road, North Truro, MA 02666

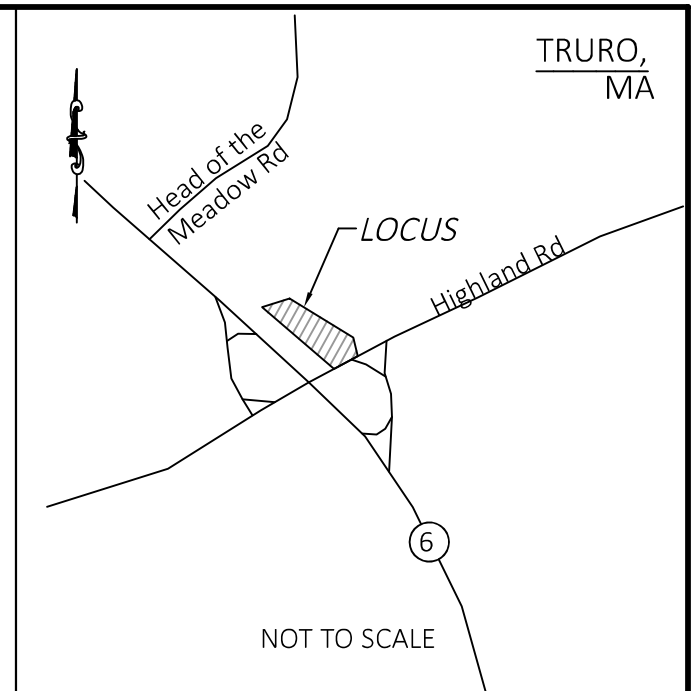
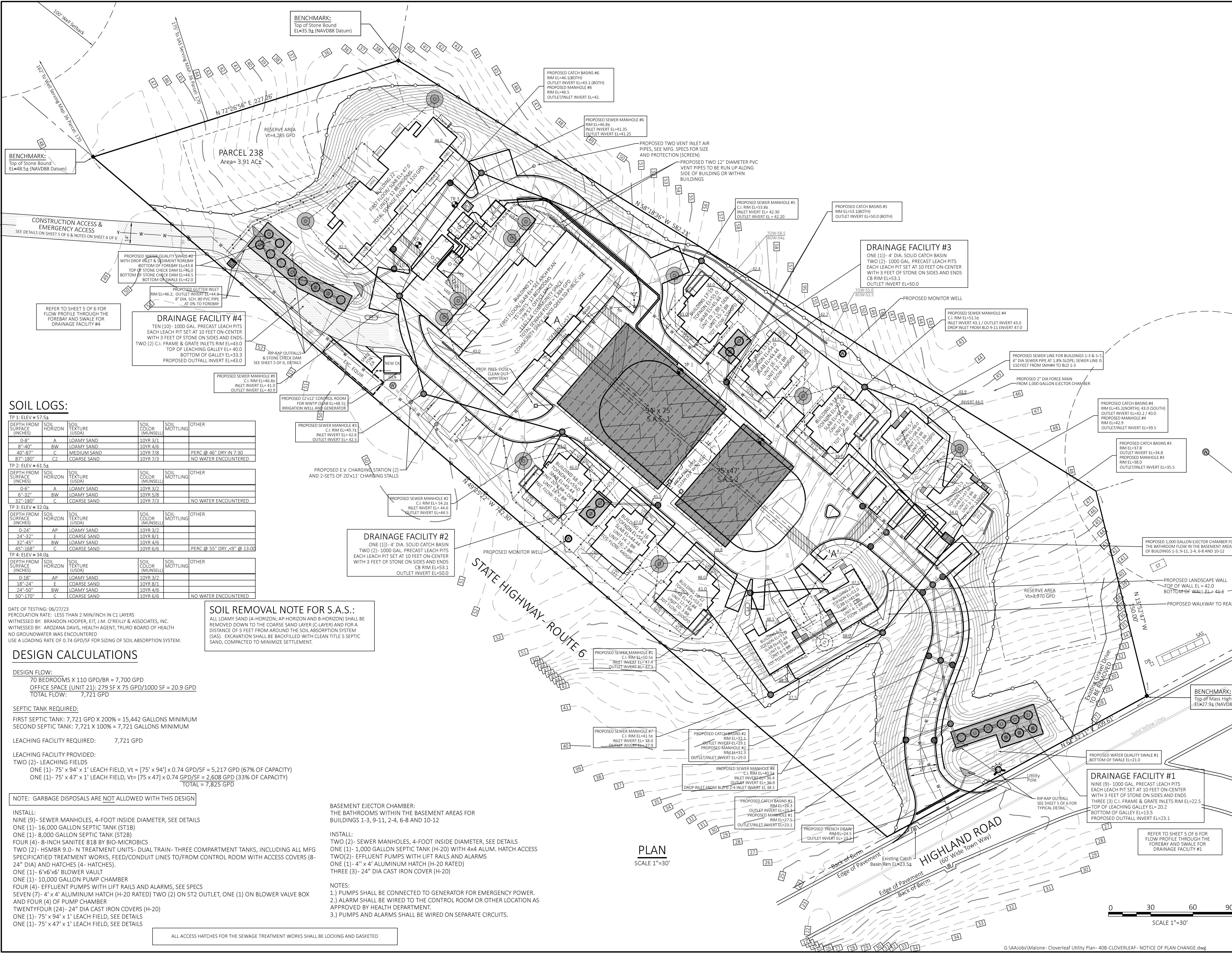
TABLE OF CONTENTS / EXHIBITS

Cover Letter to ZBA Chairperson – Notice of Project Change

1. Site Plan – Notice of Project Change - J. M. O'Reilly Associates January 10, 2024
2. Architectural Plan – Building 22 - Spring Hill Design January 10, 2024
3. Architectural Floor – Building 21 Basement Floor Plan and Rear Elevation January 10, 2024
4. Notice of Project Change Narratives:
 - a. Unit Mix Affordability comparison to ZBA Decision
 - b. Regarding Waivers granted in the ZBA Decision
 - c. Regarding Other Considerations in the ZBA Decision
5. Unit Mix Description Detail – NOPC – tentative subject to funding sources

Orange Sheet Divider

6. Illustrated Site Plan from 40B Application November 6, 2019
7. Site Plan – 40B Application 11.1.2019
8. Site Plan dated 10.30.2020 40B Decision Sheet 1 and Sheet 2 of 6
9. Arch Plan Building 22-25 set 40B Decision
10. Arch Plan Building 21 basement plan and elevation 40B Decision
11. Unit Mix Description Detail – consistent with 40B approval
12. Tabulation of Buildings and Units from 40B application



PLAN BOOK 672 PAGE 34
 ASSESSORS' MAP 36 PARCEL 238

LEGEND

— 32	EXISTING CONTOUR
- - - 32	PROPOSED CONTOUR
x12.34	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
W	WATER SERVICE LINE
E	UNDERGROUND UTILITY SERVICE
G	GAS SERVICE LINE
ST	TEST HOLE / BORING LOCATION
DB	SEPTIC TANK
SAS	DISTRIBUTION BOX
Reserve	SOIL ABSORPTION SYSTEM
⊕	RESERVED FOR FUTURE UTILITY POLE
⊙	CATCH BASIN
⊗	FIRE HYDRANT
⊚	WELL
⊛	DRAINAGE MANHOLE
⊜	STORMWATER FLOW ARROW
⊝	CONCRETE BOUND, FOUND
⊞	TOP OF BANK
⊟	LIMIT OF WORK
⊠	FENCE
⊡	UNDERGROUND PROPANE TANK
⊢	12' x 6' LEACHING DRYWELL (ROOF)
⊣	TRANSFORMER PAD - UTILITY CLUSTER
⊤	GENERATOR

SOIL LOGS:

TP 1: ELEV = 57.5z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-8"	A	LOAMY SAND	10YR 3/1		
8"-40"	BW	LOAMY SAND	10YR 4/5		
40"-97"	C	MEDIUM SAND	10YR 7/8		PERC @ 46' DRY IN 7:30
87"-180"	C2	COARSE SAND	10YR 7/3		NO WATER ENCOUNTERED

TP 2: ELEV = 61.5z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-6"	A	LOAMY SAND	10YR 3/2		
6"-32"	BW	LOAMY SAND	10YR 5/8		
32"-180"	C	COARSE SAND	10YR 7/3		NO WATER ENCOUNTERED

TP 3: ELEV = 32.0z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-24"	AP	LOAMY SAND	10YR 3/2		
24"-32"	E	COARSE SAND	10YR 8/1		
32"-45"	BW	LOAMY SAND	10YR 4/5		
45"-180"	C	COARSE SAND	10YR 7/3		PERC @ 55' DRY, ⁹ @ 13:00

TP 4: ELEV = 34.0z

DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER
0-18"	AP	LOAMY SAND	10YR 3/2		
18"-24"	E	COARSE SAND	10YR 8/1		
24"-50"	BW	LOAMY SAND	10YR 4/5		
50"-170"	C	COARSE SAND	10YR 6/5		NO WATER ENCOUNTERED

SOIL REMOVAL NOTE FOR S.A.S.:
 ALL LOAMY SAND (A-HORIZON, AP-HORIZON AND B-HORIZON) SHALL BE REMOVED DOWN TO THE COARSE SAND LAYER (C-LAYER) AND FOR A DISTANCE OF 5 FEET FROM AROUND THE SOIL ABSORPTION SYSTEM (SAS). EXCAVATION SHALL BE BACKFILLED WITH CLEAN TYPE 5 SEPTIC SAND, COMPACTED TO MINIMIZE SETTLEMENT.

DESIGN CALCULATIONS

DESIGN FLOW:
 70 BEDROOMS X 110 GPD/BR = 7,700 GPD
 OFFICE SPACE (UNIT 21): 279 SF X 75 GPD/1000 SF = 20.9 GPD
TOTAL FLOW: 7,721 GPD

SEPTIC TANK REQUIRED:
 FIRST SEPTIC TANK: 7,721 GPD X 200% = 15,442 GALLONS MINIMUM
 SECOND SEPTIC TANK: 7,721 X 100% = 7,721 GALLONS MINIMUM

LEACHING FACILITY REQUIRED: 7,721 GPD

LEACHING FACILITY PROVIDED:
 TWO (2) - LEACHING FIELDS
 ONE (1) - 75' x 94' x 1' LEACH FIELD, Vt = [75' x 94'] x 0.74 GPD/SF = 5,217 GPD (67% OF CAPACITY)
 ONE (1) - 75' x 47' x 1' LEACH FIELD, Vt = [75' x 47'] x 0.74 GPD/SF = 2,608 GPD (33% OF CAPACITY)
TOTAL = 7,825 GPD

NOTE: GARBAGE DISPOSALS ARE NOT ALLOWED WITH THIS DESIGN

INSTALL:
 NINE (9) - SEWER MANHOLES, 4-FOOT INSIDE DIAMETER, SEE DETAILS
 ONE (1) - 16,000 GALLON SEPTIC TANK (ST1B)
 ONE (1) - 8,000 GALLON SEPTIC TANK (ST2B)
 FOUR (4) - 8-INCH SANITEE 818 BY BIO-MICROBICS
 TWO (2) - 45MBR 9.0 - N TREATMENT UNITS - DUAL TRAIN - THREE COMPARTMENT TANKS, INCLUDING ALL MFG SPECIFICATED TREATMENT WORKS, FEED/CONDUIT LINES TO/FROM CONTROL ROOM WITH ACCESS COVERS (8-24" DIA) AND HATCHES (4 - HATCHES)
 ONE (1) - 6'x6'x6' BLOWER VAULT
 ONE (1) - 10,000 GALLON PUMP CHAMBER
 FOUR (4) - EFFLUENT PUMPS WITH LIFT RAILS AND ALARMS, SEE SPECS
 SEVEN (7) - 4' x 4' ALUMINUM HATCH (H-20 RATED) TWO (2) ON ST2 OUTLET, ONE (1) ON BLOWER VALVE BOX AND FOUR (4) OF PUMP CHAMBER
 TWENTYFOUR (24) - 24" DIA CAST IRON COVERS (H-20)
 ONE (1) - 75' x 94' x 1' LEACH FIELD, SEE DETAILS
 ONE (1) - 75' x 47' x 1' LEACH FIELD, SEE DETAILS

BASEMENT EJECTOR CHAMBER:
 THE BATHROOMS WITHIN THE BASEMENT AREAS FOR BUILDINGS 1-3, 9-11, 2-4, 6-8 AND 10-12

INSTALL:
 TWO (2) - SEWER MANHOLES, 4-FOOT INSIDE DIAMETER, SEE DETAILS
 ONE (1) - 1,000 GALLON SEPTIC TANK (H-20) WITH 4x4 ALUM. HATCH ACCESS
 TWO(2) - EFFLUENT PUMPS WITH LIFT RAILS AND ALARMS
 ONE (1) - 4' x 4' ALUMINUM HATCH (H-20 RATED)
 THREE (3) - 24" DIA CAST IRON COVER (H-20)

NOTES:
 1.) PUMPS SHALL BE CONNECTED TO GENERATOR FOR EMERGENCY POWER.
 2.) ALARM SHALL BE WIRED TO THE CONTROL ROOM OR OTHER LOCATION AS APPROVED BY HEALTH DEPARTMENT.
 3.) PUMPS AND ALARMS SHALL BE WIRED ON SEPARATE CIRCUITS.

PLAN
 SCALE 1"=30'



CLOVERLEAF TRURO RENTAL HOUSING
 Community Housing Resource, Inc., P.O. Box 1015, Provincetown, MA 02657

NOTICE OF PROJECT CHANGE
 22 HIGHLAND ROAD, TRURO, MA

J.M. O'REILLY & ASSOCIATES, INC.
 Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A
 P.O. Box 1773
 Brewster, MA 02631 (508)896-6602 Fax

(508)896-6601 Office (508)896-6602 Fax
 DATE: 1-10-2024 SCALE: As Noted BY: jmo CHECK: JMO JOB NUMBER: JMO-8446A

EXHIBIT 4a

Notice of Project Change

Cloverleaf Truro Rental Housing

Narrative Unit Mix Affordability comparison to ZBA Decision

The ZBA Decision approving the Comprehensive Permit under Terms and Conditions, Paragraphs 18 and 19 states:

“18. The project shall consist of thirty-nine units, twenty-four of which shall be contained in twelve two-family buildings and fifteen of which shall be contained in a three-story apartment building (also containing community and office space) constructed in conformity with the Plans specified in condition 3 above.

19. No fewer than twenty (20) of the Project units constructed and rented shall be affordable, in perpetuity, to individuals and / or families earning no more than 80% of Area Median Income (AMI) as calculated pursuant to formulas determined by the U.S, Department of Housing and Urban Development (HUD) or DHCD. Of these twenty units, five will be affordable to households earning no more than 30% of AMI, and fifteen will be affordable to households earning no more than 80% AMI. Eight units will be affordable to earning between 80% and 120% AMI. Six units will be unrestricted / market rate. The remaining five units will be allocated as warranted by funding sources.”

As needed to satisfy funding sources, “remaining five units” were also allocated to the “no more than 80% of Area Median Income (AMI)” for a total of 25 in that income tier.

With significant increases in construction costs, higher interest rates and higher premiums for insurance coverage, the financial feasibility of the Cloverleaf development has been impacted and has become “uneconomic”. The funding sources presently committed are not adequate to cover the Total Development Costs. The additional subsidy resources are being sought, the sources that are potentially available are targeted to the lower income tiers 30% AMI / 60% AMI and 80% AMI. Therefore, it is necessary to modify the Unit Affordability Mix as follows: two of the six unrestricted / market rate units will need to be shifted to the “no more than 80% of Area Median Income (AMI)””; and, up to four of the eight 80% to 120% AMI units will may need to be shifted to the “no more than 80% of Area Median Income (AMI)”, and, each of the four additional units to be created pursuant to this Notice of Project Change, will be designated “no more than 80% of Area Median Income (AMI)”.

Therefore, Terms and Conditions, Paragraph 19 should be modified in the decision as follow:

“18. The project shall consist of ~~thirty-nine~~ forty-three units, ~~twenty-four~~ twenty-seven of which shall be contained in ~~twelve two-family~~ two- to seven-unit buildings and ~~fifteen~~ sixteen of which shall be contained in a three-story apartment building (also containing community and office space) constructed in conformity with the Plans specified in condition 3 above, and as modified in accordance with this Notice of Project Change.

“19. No fewer than ~~twenty (20)~~ thirty-one (31) of the Project units constructed and rented shall be affordable, in perpetuity, to individuals and / or families earning no more than 80% of Area Median Income (AMI) as calculated pursuant to formulas determined by the U.S, Department of Housing and Urban Development (HUD) or DHCD. Of these ~~twenty units, five~~ thirty-one units, ~~five~~ six will be affordable to households earning no more than 30% of AMI, and ~~fifteen~~ twenty-five will be affordable to households earning no more than 80% AMI. ~~Eight~~ Four units will be affordable to earning between 80% and 120% AMI. Six units will be unrestricted / market rate. The remaining ~~five~~ four units will be allocated as warranted by funding sources.”

EXHIBIT 4b

Notice of Project Change

Cloverleaf Truro Rental Housing

Narrative regarding Waivers granted in ZBA Decision

The increase of four (4) units as requested in this Notice of Project Change does not require additional Waivers beyond those granted in the original ZBA decision. However, modification of language / references is appropriate for clarity.

Section 50: Area and Height Regulations

50.1 Regulations

A. Table Dimensional Requirements: Minimum Lot size

A waiver is required to construct ~~39~~ 43 dwelling units on the project parcel.

50.1 Regulations

A. Table Dimensional Requirements:

Minimum Sideyard Setback: 25 feet required

A waiver was granted for sideyard setback at Building 23-25 was granted for 14.6'. The new building requires similar sideyard setback waiver.

Maximum Building Heights: 2 stories, 30' / 23' flat

A waiver was granted for 3 stories at previously approved Building 22-24 and 23-25 because of the amount of exposed foundation at rear walkouts. That waiver is no longer required with the new building that has no walkout basement / exposed foundation.

A waiver was granted for building height above existing grade for previously approved Building 22-24 and 23-25, at 36'11" and 31'11" respectively. The new Building Height will be calculated close to the 36'11" from existing grade but will appear at 29'11".

50.2 Building Gross Floor Area

The Decision stated that "A Waiver is required for all Floor Area in excess of 5,568 sq. ft." The decision references the previous calculation by applicant of 46,172 sq. ft., a number that can be updated.

EXHIBIT 4c

Notice of Project Change

Cloverleaf Truro Rental Housing

Narrative regarding Other considerations

Number of Bedrooms and Title 5 Design Flow

The number of bedrooms in the Cloverleaf Development is unchanged at 68 bedrooms.

Wastewater Treatment System Design is unchanged.

Storm Water Drainage

Storm Water Drainage Systems for the development are not impacted by the changes proposed.

Building Lot Coverage

The area (square footage) of the building footprint (lot coverage) of the new Building 22 is equal to the lot coverage of the Buildings 22-24 and 23-25 that it replaces.

Parking and Paved Area Lot Coverage

Four additional parking spaces are provided to support the four additional units. Two of those parking spaces are accommodated on previously paved areas so only two spaces are increasing lot coverage approximate 400 square feet.

Cloverleaf Unit Descriptions												
Rev Unit No.	Description	1BR	2BR	3BR	3BR+	approx SF living area	30%	60%	80%	100%	Market	
1	2BR + den two-level with walkout in duplex		1			1224					1	
3	1BR single level in duplex w/stairs up	1				720	1					
5	1BR single level in duplex w/stairs up	1				720		1				
7	1BR single level in duplex	1				760		1				
2	1BR single level in duplex w/stairs up	1				720		1				
4	2BR + den two-level with walkout in duplex		1			1224					1	
6	1BR single level in duplex w/stairs up	1				720		1				
8	2BR + den two-level with walkout in duplex		1			1224					1	
9	3BR Townhouse with 3rd bedroom on lower level			1		1406					1	
11	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157		1				
10	3BR Townhouse with 3rd bedroom on lower level			1		1406					1	
12	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157		1				
13	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157	1					
15	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157				1		
14	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157		1				
16	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157				1		
17	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157		1				
19	3BR Townhouse with 3rd bedroom on lower level			1		1406					1	
18	2BR Townhouse w/ unfinished bsmnt/crawl space		1			1157		1				
20	3BR Townhouse with 3rd bedroom on lower level			1		1406		1				
22-U-A	1BR in 7-unit Bldg	1				726		1				
22-U-B	2BR in 7-unit Bldg		1			936		1				
22-U-C	2BR in 7-unit Bldg		1			936	1					
22-U-D	1BR in 7-unit Bldg	1				765				1		
22-U-E	2BR in 7-unit Bldg		1			936		1				
22-U-F	2BR in 7-unit Bldg		1			936	1					
22-U-G	1BR in 7-unit Bldg	1				726		1				
21-U-GO3	added 1BR in Multi Unit Elev Bldg	1				760					1	
21-U-G02	1BR in Multi Unit Elev Bldg	1				760					1	
21-U-G05	1BR in Multi Unit Elev Bldg	1				654					1	
21-U-101	1BR in Multi Unit Elev Bldg	1				636		1				
21-U-102	1BR in Multi Unit Elev Bldg	1				613		1				
21-U-103	2BR in Multi Unit Elev Bldg		1			860		1				
21-U-104	2BR in Multi Unit Elev Bldg		1			860		1				
21-U-105	1BR in Multi Unit Elev Bldg	1				613	1					
21-U-106	1BR in Multi Unit Elev Bldg	1				634		1				
21-U-201	1BR in Multi Unit Elev Bldg	1				636		1				
21-U-202	1BR in Multi Unit Elev Bldg	1				653		1				
21-U-203	1BR in Multi Unit Elev Bldg	1				769		1				
21-U-204	1BR in Multi Unit Elev Bldg	1				769		1				
21-U-205	1BR in Multi Unit Elev Bldg	1				656	1					
21-U-206	1BR in Multi Unit Elev Bldg	1				634		1				
21-U-207	1BR in Multi Unit Elev Bldg	1				701		1				
43	Total Units	22	17	4	0	39361						
68	Total Bedrooms (for Title 5 design flow)					Total	30%	60%	80%	100%	Market	
						22	3	15	0	4	0	
						17	3	9	0	3	2	
						4	0	1	0	1	2	
						0					0	
						43	6	25	0	8	4	
						Total	30%	60%	80%	100%	Market	
						15345	663	694		735		
						18392	1010	1042		1179	1224	
						5624		1406		1406	1406	
						0						
		0				39361						

CLOVERLEAF TRURO RENTAL HOUSING BUILDING 22 -TYPE F

UNITS 22-A, 22-B, 22-C, 22-D, 22-E, 22-F, & 22-G

Truro, Massachusetts

Wednesday, January 10, 2024

Notice of Project Change

Sheet List :

Architectural:

A1.0 - Basement
A1.1 - First Floor Plan
A1.2 - Second Floor Plan
A1.3 - Roof Plan
A2.1 - Front and Rear Elevations

Square Footage:

Rentable

UNITS 22-A & 22-G : 726 sq. ft. ea.
UNITS 22-B, 22-C, 22-E, & 22-F : 936 sq. ft. ea.
UNIT 22-D : 765 sq. ft.
Gross Foot Print
New Building F (22) : 3391 sq. ft.
Old Building (F) Units 22-24 and 23-25: 3318 sq. ft.
Truro Gross Floor Area:
New Building F (22) : 5961 sq. ft.
Old Building (F) Units 22-24 and 23-25: 6248 sq. ft.

Energy Requirements:

Massachusetts Energy Code and IECC 2018:
Prescriptive Requirements, Table 402.1.1, Zone 5:

Windows, min. U=.27

Ceiling/Roof, min. R-60
Closed cell spray foam insulation

General Requirements:

All work, permits, and approvals will be obtained by the trade and coordinated by the general contractor. All work shall comply with all provisions of the Massachusetts State Building Code, Current Edition and local city and town provisions.

Walls, min. R-30
Closed cell spray foam insulation, 5.5" thick

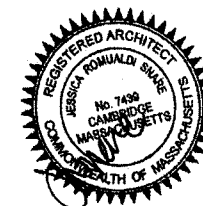
Slab: High Density Rigid

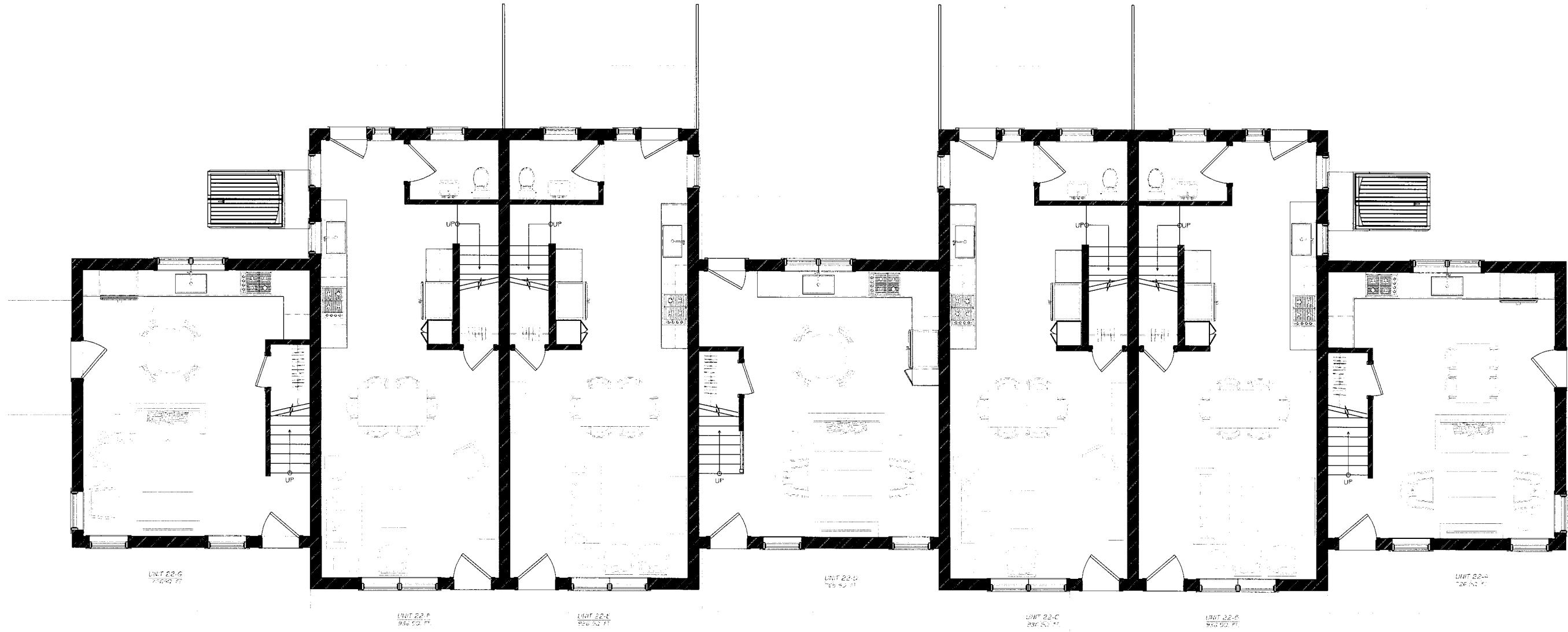
Lighting
Minimum 50% high efficacy lamps.
Insulated housings at roof conditions.

Spring Hill Design

INTERIORS ARCHITECTURE SPACE PLANNING

158 Central Street, Somerville, MA, 02145 ~ 617.699.4139





① FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN

CLOVERLEAF RENTAL HOUSING
BUILDING 22: UNITS 22-A, 22-B, 22-C, 22-D, 22-E, # 22-F
TRURO, MA

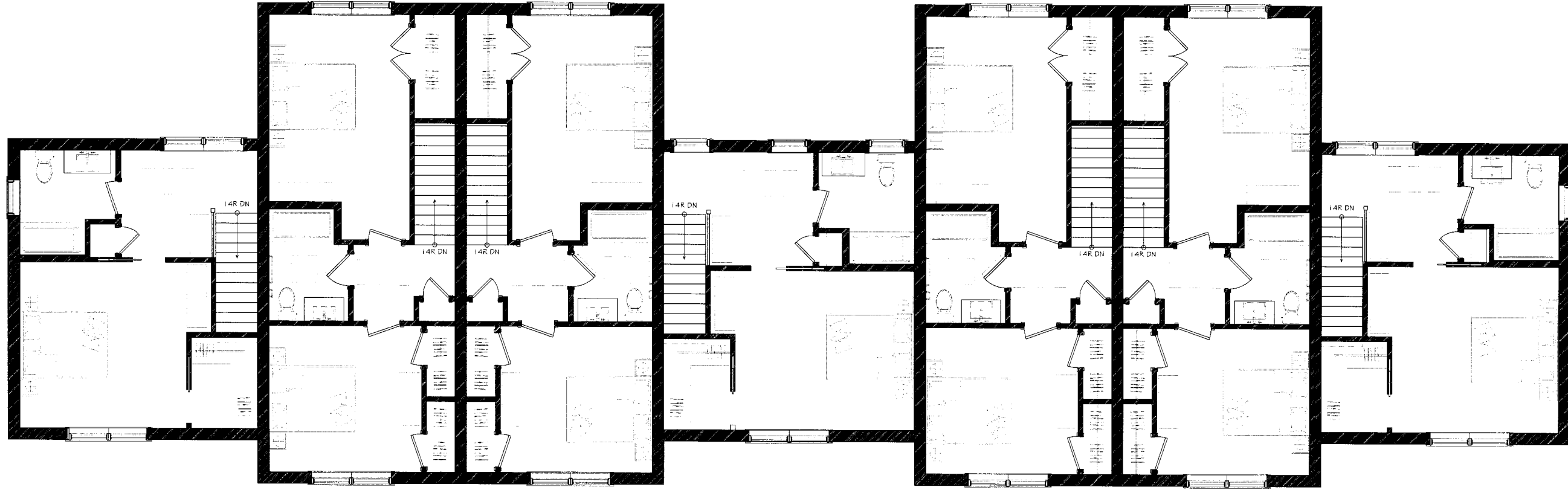
SPRING HILL DESIGN

ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, Massachusetts 02145 ~ 617.699.4139

DATE:
01.10.2024

SCALE:
1/4" = 1'-0"

DRAWING:
A1.1



① SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DATE:
 01.10.2024

SCALE:
 1/4" = 1'-0"

DRAWING:

A1.2

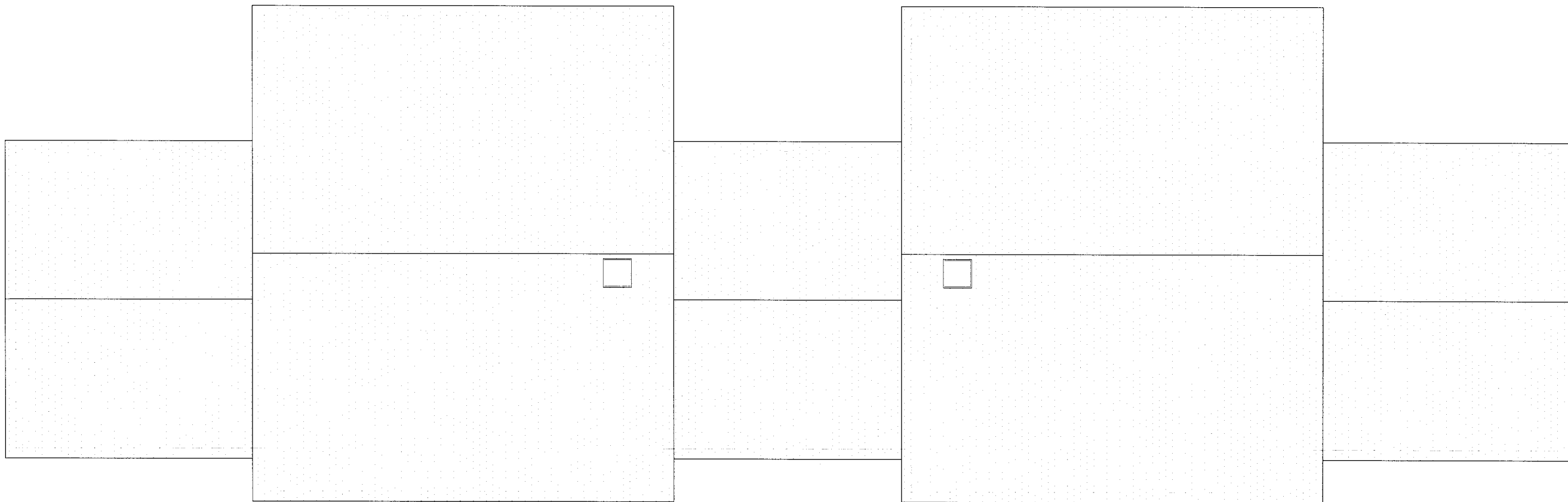
SPRING HILL DESIGN

ARCHITECTURE INTERIORS SPACE PLANNING

158 Central Street, Somerville, Massachusetts 02145 ~ 617.699.4139

SECOND FLOOR PLAN

CLOVERLEAF RENTAL HOUSING
 BUILDING 22: UNITS 22-A, 22-B, 22-C, 22-D, 22-E, # 22-F
 TRURO, MA



① ROOF PLAN
SCALE: 1/4" = 1'-0"

DATE:
01.10.2024

SCALE:
1/4" = 1'-0"

DRAWING:

A1.3

SPRING HILL DESIGN

ARCHITECTURE INTERIORS SPACE PLANNING

158 Central Street, Somerville, Massachusetts 02145 ~ 617.699.4139

ROOF PLAN

CLOVERLEAF RENTAL HOUSING
BUILDING 22: UNITS 22-A, 22-B, 22-C, 22-D, 22-E, # 22-F
TRURO, MA



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

FRONT AND REAR ELEVATIONS

CLOVERLEAF RENTAL HOUSING
BUILDING 22: UNITS 22-A, 22-B, 22-C, 22-D, 22-E, # 22-F
TRURO, MA

SPRING HILL DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, Massachusetts 02145 ~ 617.699.4139

DATE:
01.10.2024

SCALE:
1/4" = 1'-0"

DRAWING:

A2.1



① LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



② RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CLOVERLEAF TRURO RENTAL HOUSING BUILDING TYPE E

UNIT 21

Truro, Massachusetts

Wednesday, January 10, 2024 Notice of Project Change

Energy Requirements:

Massachusetts Energy Code and IECC 2018;
Prescriptive Requirements, Table 402.1.1, Zone 5:

Windows, min. U= .20
Mathews Brothers

Glazed Openings, min. U= .32

Lighting
Minimum 50% high efficacy lamps.
Insulated housings at roof conditions.
See Lighting Schedule

General Requirements:

All work, permits, and approvals will be obtained by the trade and coordinated by the general contractor. All work shall comply with all provisions of the Massachusetts State Building Code, Current Edition and local city and town provisions.

Walls, min. R-20

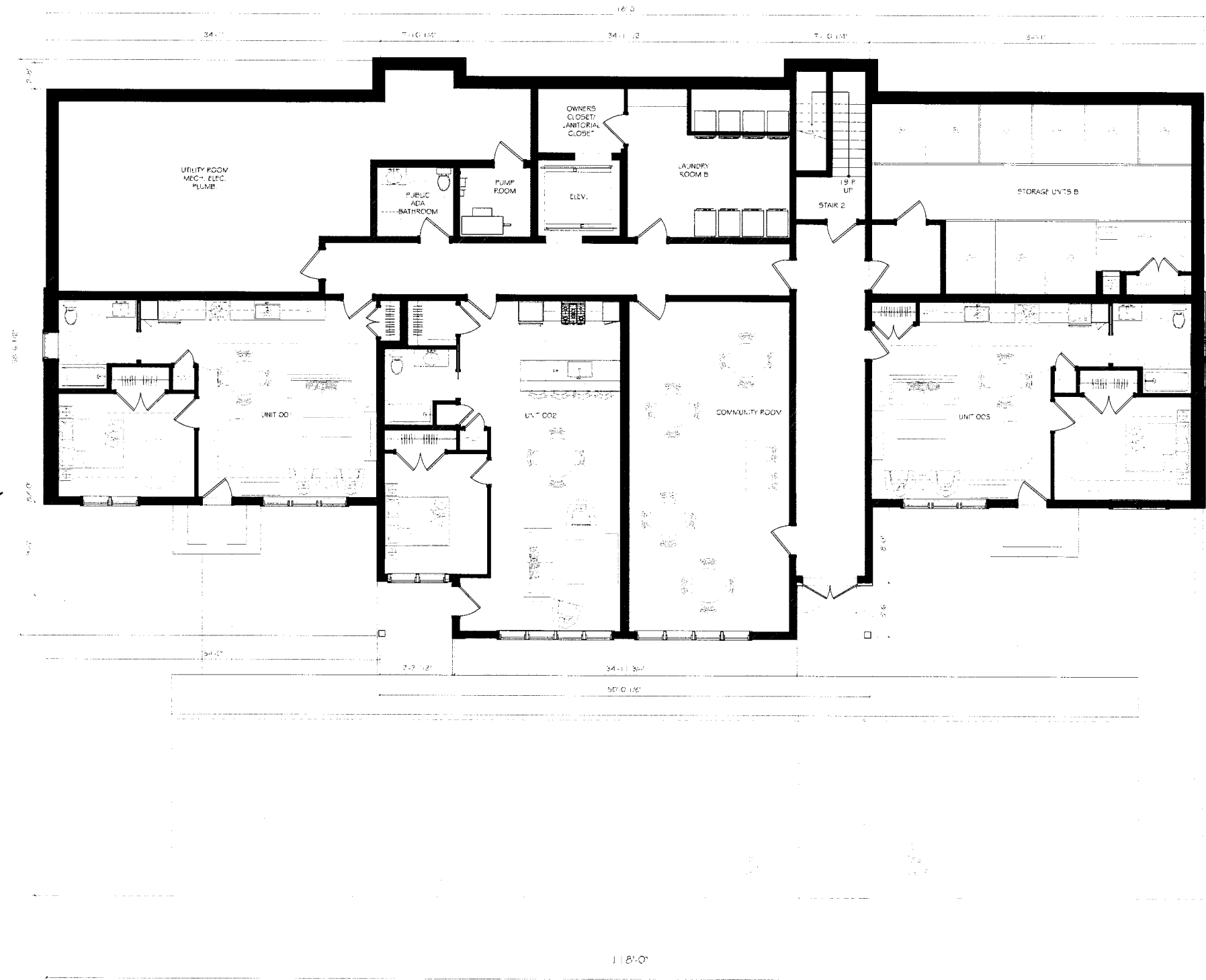
Spray Foam Insulation Exterior wall Cavity: 5.5" x R6.5=35.75
Exterior Rigid Insulation Min R-Value of R4.2 per inch.:
2" x R4.2= 8.4
35.75 +8.4 = R44.15

Ceiling/Roof, min. R-60

Spray Foam Insulation: 12" x R6.5 = 78
Min. 2" Rigid Insulation above deck

Spring Hill Design
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 ~ 617.702.4622





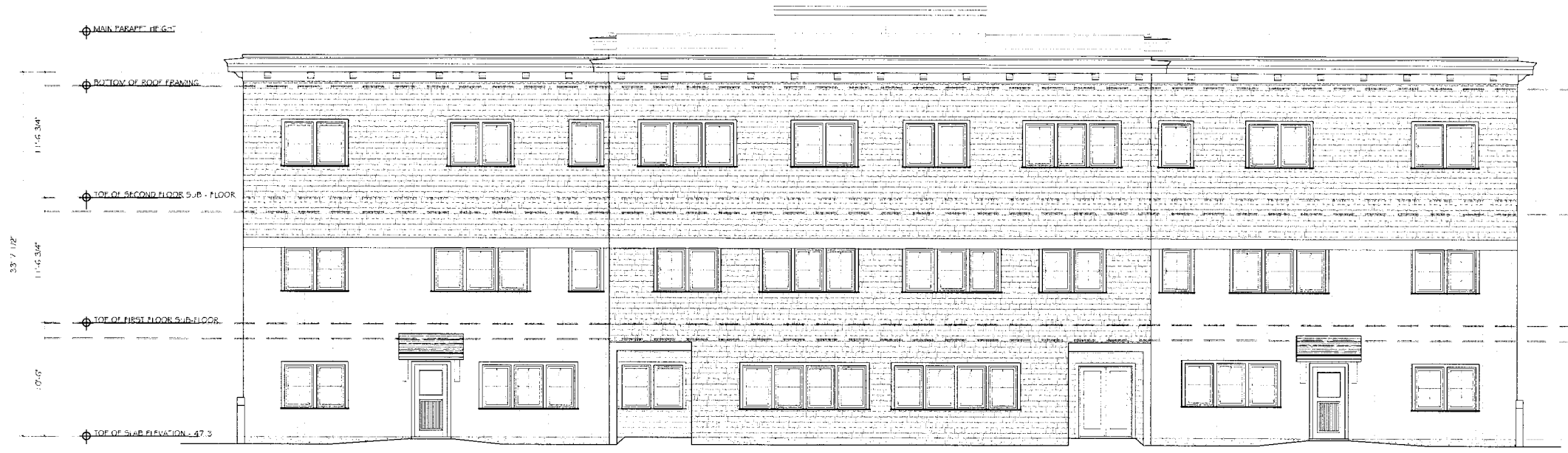
BASEMENT FLOOR PLAN
 CLOVER LEAF TRURO RENTAL HOUSING
 CLOVERLEAF BUILDING TYPE E: UNIT 2 I
 TRURO, MASSACHUSETTS 02666

SPRING HILL DESIGN
 ARCHITECTURE INTERIORS & PLANNING
 1111 FLEET STREET, SUITE 100, BOSTON, MA 02115
 617.452.1855

1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- | | | | |
|--|--|--|--|
| <p>01 - FINISH</p> <p>02 - PARTITION WALL</p> <p>03 - WALL</p> <p>04 - FLOOR</p> <p>05 - CEILING</p> <p>06 - DOOR</p> <p>07 - WINDOW</p> <p>08 - STAIR</p> <p>09 - ELEVATOR</p> <p>10 - MECHANICAL</p> <p>11 - ELECTRICAL</p> <p>12 - PLUMBING</p> <p>13 - FURNITURE</p> <p>14 - EQUIPMENT</p> <p>15 - OTHER</p> | <p>01 - FINISH</p> <p>02 - PARTITION WALL</p> <p>03 - WALL</p> <p>04 - FLOOR</p> <p>05 - CEILING</p> <p>06 - DOOR</p> <p>07 - WINDOW</p> <p>08 - STAIR</p> <p>09 - ELEVATOR</p> <p>10 - MECHANICAL</p> <p>11 - ELECTRICAL</p> <p>12 - PLUMBING</p> <p>13 - FURNITURE</p> <p>14 - EQUIPMENT</p> <p>15 - OTHER</p> | <p>01 - FINISH</p> <p>02 - PARTITION WALL</p> <p>03 - WALL</p> <p>04 - FLOOR</p> <p>05 - CEILING</p> <p>06 - DOOR</p> <p>07 - WINDOW</p> <p>08 - STAIR</p> <p>09 - ELEVATOR</p> <p>10 - MECHANICAL</p> <p>11 - ELECTRICAL</p> <p>12 - PLUMBING</p> <p>13 - FURNITURE</p> <p>14 - EQUIPMENT</p> <p>15 - OTHER</p> | <p>01 - FINISH</p> <p>02 - PARTITION WALL</p> <p>03 - WALL</p> <p>04 - FLOOR</p> <p>05 - CEILING</p> <p>06 - DOOR</p> <p>07 - WINDOW</p> <p>08 - STAIR</p> <p>09 - ELEVATOR</p> <p>10 - MECHANICAL</p> <p>11 - ELECTRICAL</p> <p>12 - PLUMBING</p> <p>13 - FURNITURE</p> <p>14 - EQUIPMENT</p> <p>15 - OTHER</p> |
|--|--|--|--|

DATE: 01.10.2024
 SCALE: 1/4" = 1'-0"
 DRAWING: A1.0



① REAR ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
CLOVER LEAF TRURO RENTAL HOUSING
CLOVERLEAF BUILDING TYPE E: UNIT 21
TRURO, MASSACHUSETTS 02666

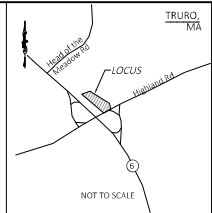
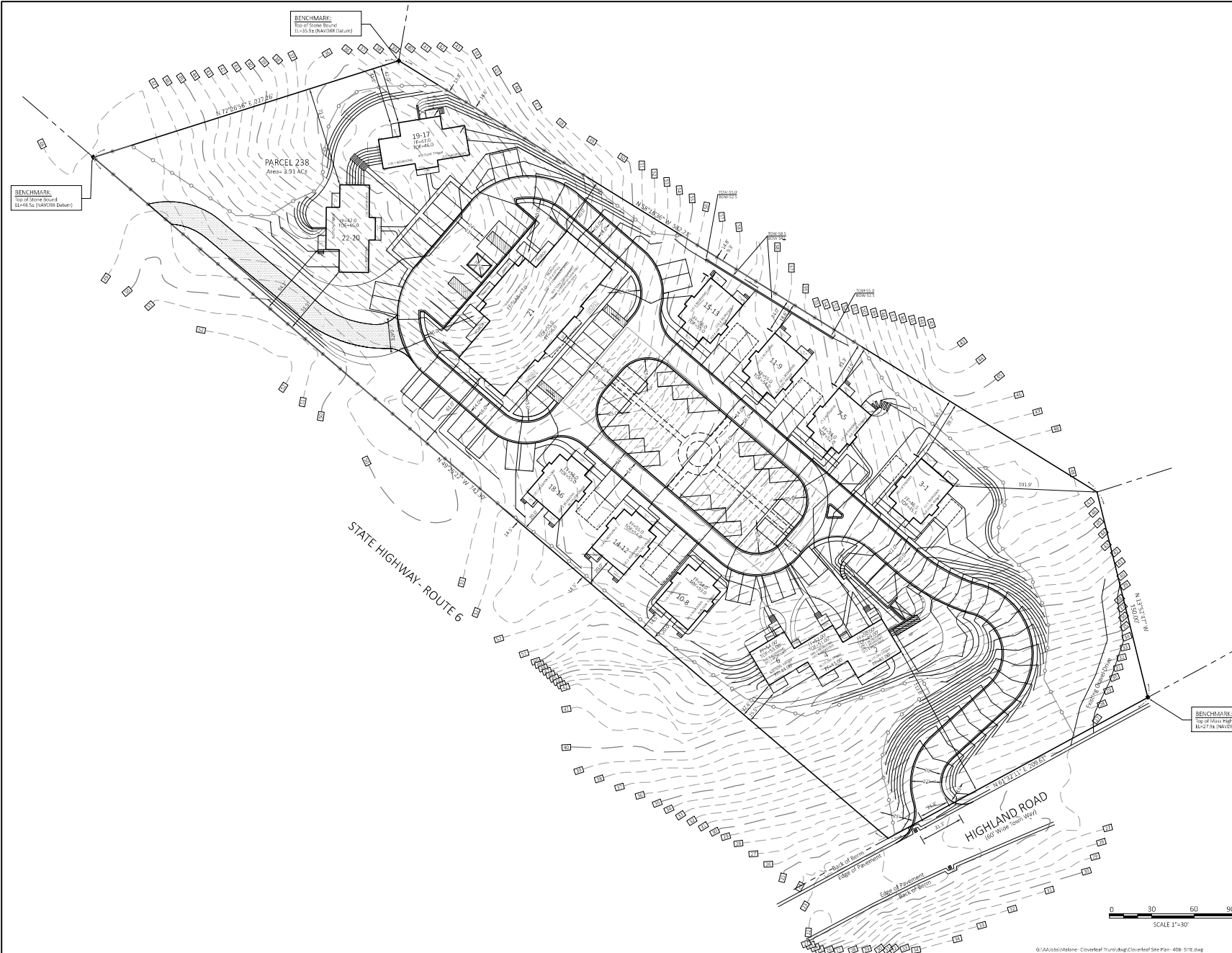
SPRING HILL DESIGN
ARCHITECTS
1111 WASHINGTON STREET
DUBLIN, MASSACHUSETTS 01930

DATE: 01.10.2024
SCALE: 1/4" = 1'-0"

DRAWING:
A1.0

ILLUSTRATED SITE PLAN





PLAN BOOK 672 PAGE 34
 ASSESSORS' MAP 36 PARCEL 238

LEGEND

—	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING SPOT GRADE
---	PROPOSED SPOT GRADE
---	WATER SERVICE LINE
---	OVERHEAD UTILITY SERVICE
---	UNDERGROUND UTILITY SERVICE
---	GAS SERVICE LINE
---	TEST HOLE / BORING LOCATION
ST	SEPTIC TANK
DB	DISTRIBUTION BOX
SAS	SOIL ABSORPTION SYSTEM
Reserve	RESERVED FOR FUTURE
UT	UTILITY POLE
CB	CATCH BASIN
FH	FIRE HYDRANT
W	WELL
DM	DRAINAGE MANHOLE
CF	CONCRETE FOUND. FOUND
T	TOP OF BANK
---	LIMIT OF WORK
---	FENCE
---	EDGE OF CLEARING

PLAN
 SCALE 1"=30'

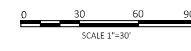
SHEET 1 OF 4
 PERMIT SET- NOT FOR CONSTRUCTION

Community Housing Resource, Inc.
 P.O. Box 1015, Provincetown, MA 02657

SITE PLAN- 40B PERMIT SET
 CLOVER LEAF DRIVE, OFF HIGHLAND ROAD, TRURO, MA

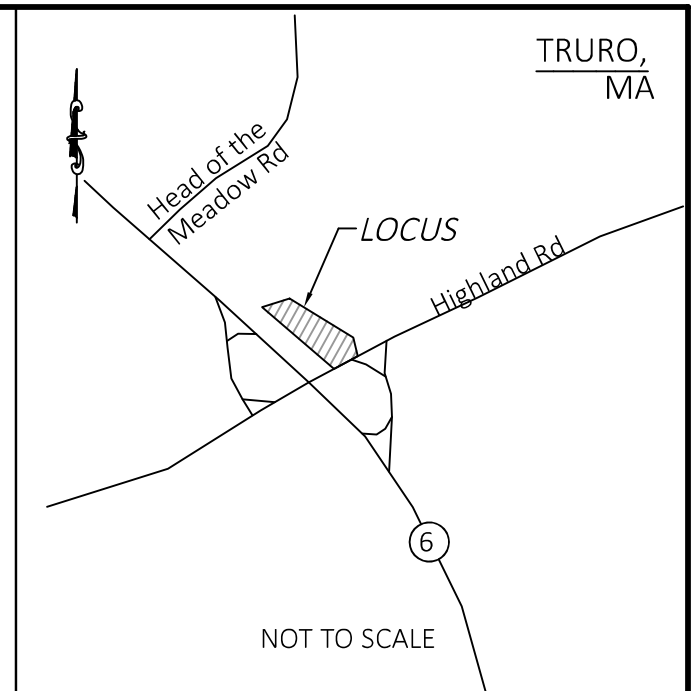
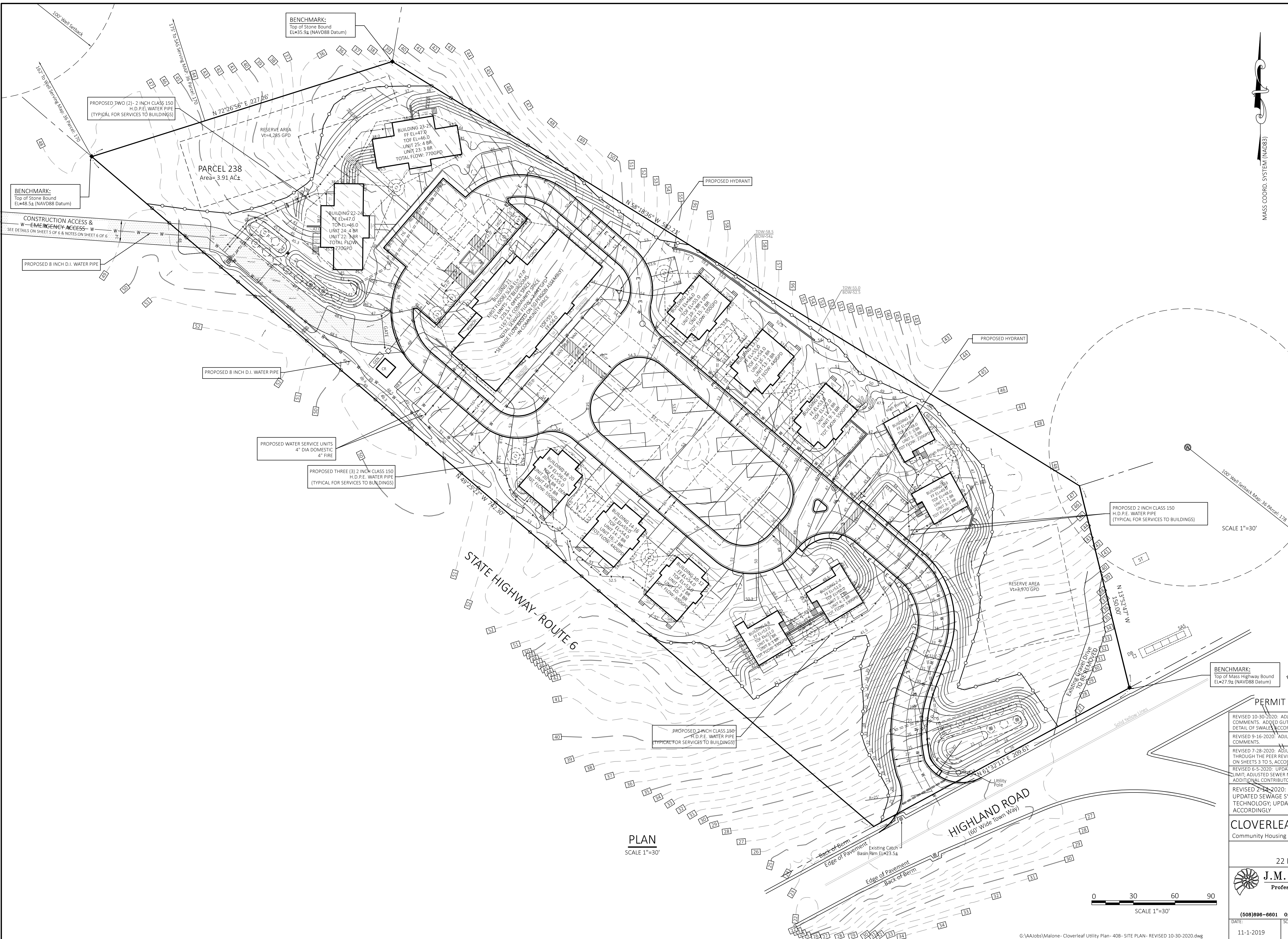
J.M. O'REILLY & ASSOCIATES, INC.
 Professional Engineering & Land Surveying Services

1979 Main Street - Route 4A
 P.O. Box 1773
 Provincetown, MA 02657
 (508)866-8661 Office (508)866-8662 Fax
 JMO



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DATE	11-1-2019	BY	jmo	CHECKED	JMO	DATE	11-1-2019
DESCRIPTION	As Noted	DESIGNED	jmo	APPROVED	JMO	PROJECT NO.	JMO-8445A



PLAN BOOK 672
ASSESSORS' MAP 36

PAGE 34
PARCEL 238

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	WATER SERVICE LINE
	UNDERGROUND UTILITY SERVICE
	GAS SERVICE LINE
	TEST HOLE / BORING LOCATION
	SEPTIC TANK
	DISTRIBUTION BOX
	SOIL ABSORPTION SYSTEM
	RESERVED FOR FUTURE
	UTILITY POLE
	CATCH BASIN
	FIRE HYDRANT
	WELL
	DRAINAGE MANHOLE
	CONCRETE BOUND, FOUND
	TOP OF BANK
	LIMIT OF WORK
	FENCE
	UNDERGROUND PROPANE TANK
	12' x 6' LEACHING DRYWELL (ROOF)
	TRANSFORMER PAD - UTILITY CLUSTER
	GENERATOR

BENCHMARK:
Top of Mass Highway Bound
EL=27.92 (NAVD88 Datum)

SHEET 1 OF 6
PERMIT SET - NOT FOR CONSTRUCTION

REVISED 10-30-2020: ADJUSTED GRADING AND DRAINAGE SO AS TO ADDRESS PEER REVIEW COMMENTS. ADDED GUTTER INLET TO REAR SWALE AND ADDED THE FOREBAK. ADDED DETAIL OF SWALES ACCORDINGLY.

REVISED 9-16-2020: ADJUSTED GRADING AND DRAINAGE SO AS TO ADDRESS PEER REVIEW COMMENTS.

REVISED 7-28-2020: ADJUSTED SEWAGE SYSTEM AND DRAINAGE FACILITIES AS REQUESTED THROUGH THE PEER REVIEW. MODIFIED SWALE AND DRAINAGE FACILITIES; MODIFIED NOTES ON SHEETS 3 TO 5, ACCORDINGLY.

REVISED 6-5-2020: UPDATED SEWAGE SYSTEM TREATMENT TO INCLUDE 10 PPM NITROGEN LIMIT; ADJUSTED SEWER MANHOLE LAYOUT; ADJUSTED DRAINAGE TO INCLUDE SWALES AND ADDITIONAL CONTRIBUTORY AREAS; UPDATED NOTES AND DETAILS ACCORDINGLY.

REVISED 2-14-2020: UPDATED BUILDING LAYOUT, ADJUSTED ENTRANCE; UPDATED SEWAGE SYSTEM COLLECTION AND ADDED I.A. TREATMENT TECHNOLOGY; UPDATED WATER SERVICE LAYOUT AND DRAINAGE ACCORDINGLY.

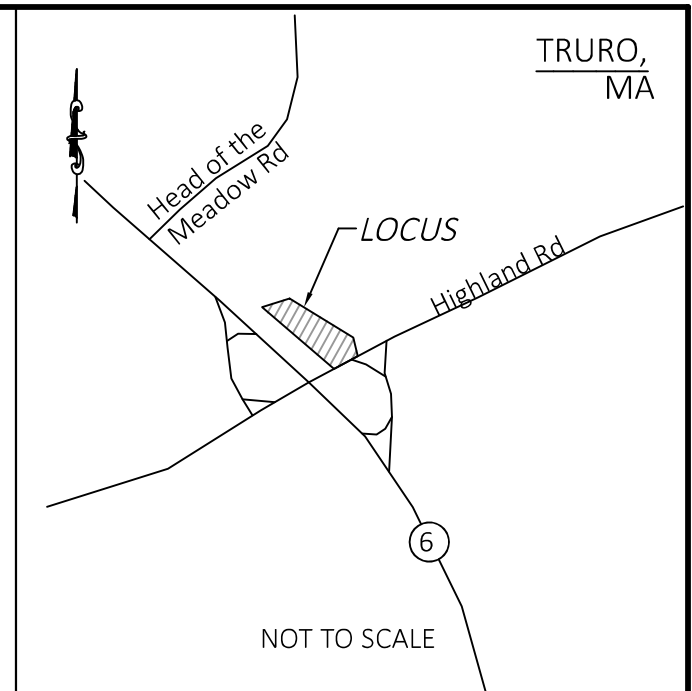
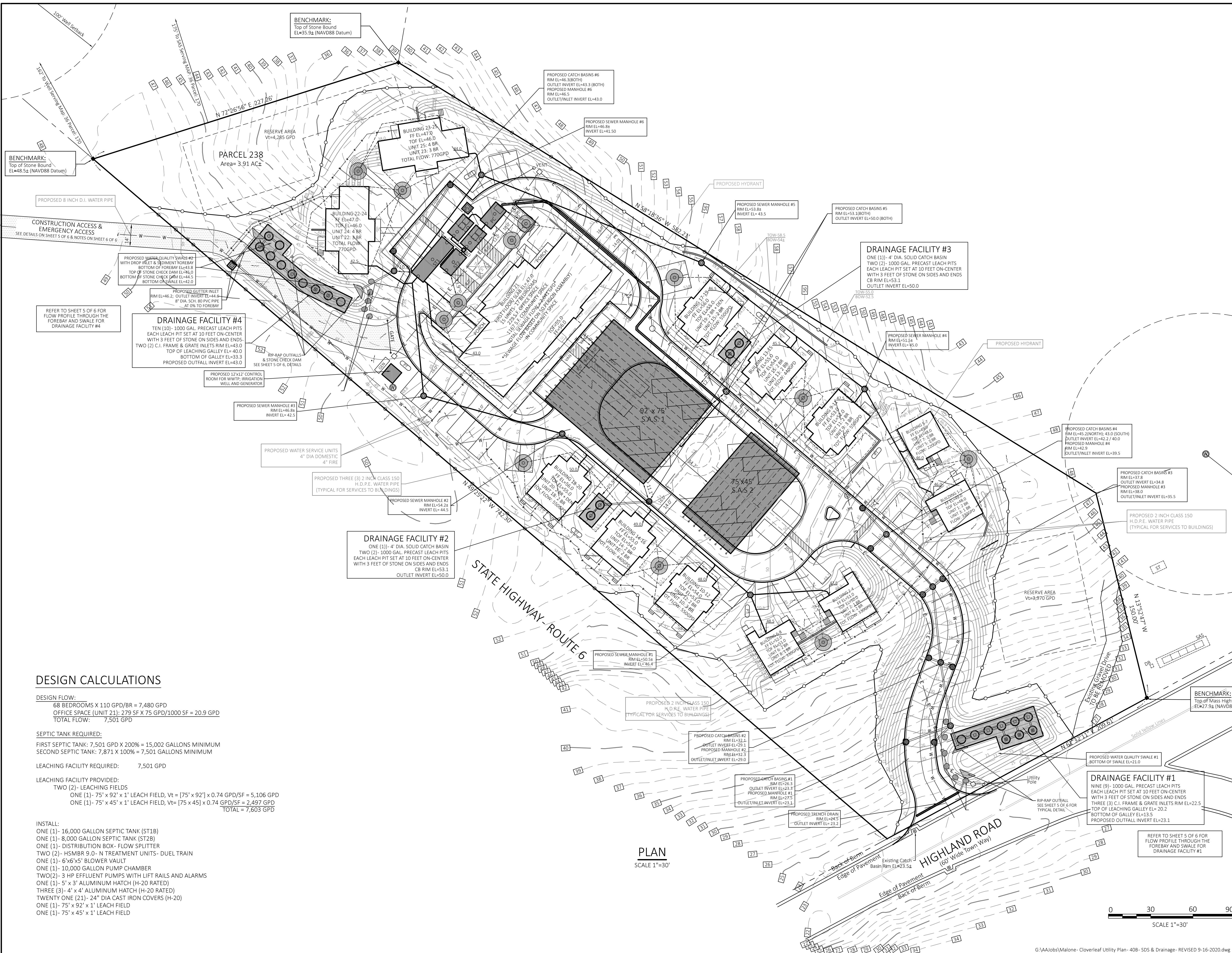
CLOVERLEAF TRURO RENTAL HOUSING
Community Housing Resource, Inc.; P.O. Box 1015, Provincetown, MA 02657

SITE PLAN
22 HIGHLAND ROAD, TRURO, MA

J.M. O'REILLY & ASSOCIATES, INC.
Professional Engineering & Land Surveying Services

1573 Main Street - Route 6A
P.O. Box 1773
Brewster, MA 02631 (508)896-6602 Fax
(508)896-6601 Office

DATE: 11-1-2019 SCALE: As Noted BY: RFR CHECK: JMO JOB NUMBER: JMO-8446A



PLAN BOOK 672 PAGE 34
 ASSESSORS' MAP 36 PARCEL 238

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	WATER SERVICE LINE
	UNDERGROUND UTILITY SERVICE
	GAS SERVICE LINE
	TEST HOLE / BORING LOCATION
	DISTRIBUTION TANK
	SOIL ABSORPTION SYSTEM
	RESERVED FOR FUTURE
	UTILITY POLE
	CATCH BASIN
	FIRE HYDRANT
	WELL
	DRAINAGE MANHOLE
	STORMWATER FLOW ARROW
	CONCRETE BOUND, FOUND
	TOP OF BANK
	LIMIT OF WORK
	FENCE
	UNDERGROUND PROPANE TANK
	12' x 6' LEACHING DRYWELL (ROOF)
	TRANSFORMER PAD - UTILITY CLUSTER
	GENERATOR

DESIGN CALCULATIONS

DESIGN FLOW:
 68 BEDROOMS X 110 GPD/BR = 7,480 GPD
 OFFICE SPACE (UNIT 21): 279 SF X 75 GPD/1000 SF = 20.9 GPD
 TOTAL FLOW: 7,501 GPD

SEPTIC TANK REQUIRED:
 FIRST SEPTIC TANK: 7,501 GPD X 200% = 15,002 GALLONS MINIMUM
 SECOND SEPTIC TANK: 7,871 X 100% = 7,501 GALLONS MINIMUM

LEACHING FACILITY REQUIRED: 7,501 GPD

LEACHING FACILITY PROVIDED:
 TWO (2)- LEACHING FIELDS
 ONE (1)- 75' x 92' x 1' LEACH FIELD, Vt = [75' x 92'] x 0.74 GPD/SF = 5,106 GPD
 ONE (1)- 75' x 45' x 1' LEACH FIELD, Vt = [75' x 45'] x 0.74 GPD/SF = 2,497 GPD
 TOTAL = 7,603 GPD

INSTALL:
 ONE (1)- 16,000 GALLON SEPTIC TANK (ST1B)
 ONE (1)- 8,000 GALLON SEPTIC TANK (ST2B)
 ONE (1)- DISTRIBUTION BOX - FLOW SPLITTER
 TWO (2)- HSMBR 9.0- N TREATMENT UNITS- DUEL TRAIN
 ONE (1)- 6'x6'x5' BLOWER VAULT
 ONE (1)- 10,000 GALLON PUMP CHAMBER
 TWO(2)- 3 HP EFFLUENT PUMPS WITH LIFT RAILS AND ALARMS
 ONE (1)- 5' x 3' ALUMINUM HATCH (H-20 RATED)
 THREE (3)- 4' x 4' ALUMINUM HATCH (H-20 RATED)
 TWENTY ONE (21)- 24" DIA CAST IRON COVERS (H-20)
 ONE (1)- 75' x 92' x 1' LEACH FIELD
 ONE (1)- 75' x 45' x 1' LEACH FIELD

PLAN
 SCALE 1"=30'

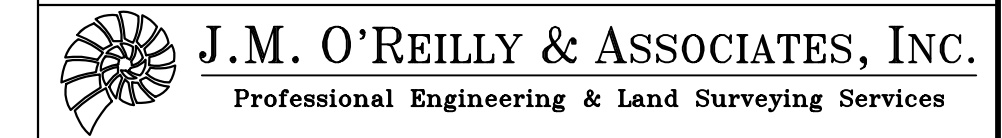


SHEET 2 OF 6
 PERMIT SET - NOT FOR CONSTRUCTION

REVISED 10-30-2020: ADJUSTED GRADING AND DRAINAGE SO AS TO ADDRESS PEER REVIEW COMMENTS. ADDED GUTTER INLET TO REAR SWALE AND ADRESSED THE FOREBAY. ADDED DETAIL OF SWALE ACCORDINGLY.
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 REVISED 2-14-2020: UPDATED BUILDING LAYOUT, ADJUSTED ENTRANCE; UPDATED SEWAGE SYSTEM COLLECTION AND ADDED I.A. TREATMENT TECHNOLOGY; UPDATED WATER SERVICE LAYOUT AND DRAINAGE ACCORDINGLY.

CLOVERLEAF TRURO RENTAL HOUSING
 Community Housing Resource, Inc.; P.O. Box 1015, Provincetown, MA 02657

SEWAGE-DRAINAGE SITE PLAN- 40B PERMIT SET
 22 HIGHLAND ROAD, TRURO, MA



1573 Main Street - Route 6A
 P.O. Box 1773
 Brewster, MA 02631 (508)896-6602 Fax
 (508)896-6601 Office
 DATE: 11-1-2019 SCALE: As Noted BY: RFR CHECK: JMO JOB NUMBER: JMO-8446A



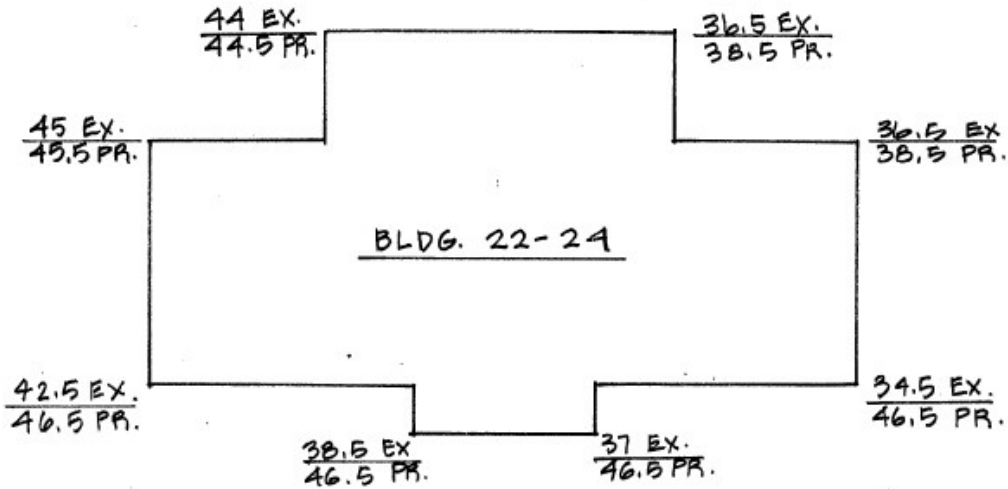
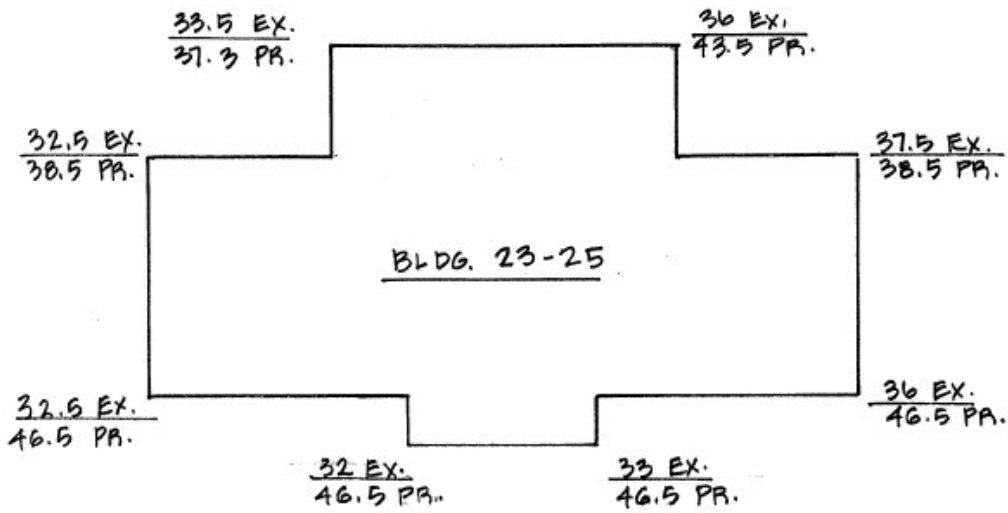
**CLOVERLEAF TRURO RENTAL HOUSING
BUILDING 22-24 AND 23-25 (MIRRORED)**
Truro, Massachusetts

Friday, September 4, 2020

Spring Hill Design

INTERIORS ARCHITECTURE SPACE PLANNING

158 Central Street, Somerville, MA, 02145 ~ 617.6702.4622



	23-25	22-24
AVERAGE EXISTING GRADE	34.75	39.7
AVERAGE PROPOSED GRADE	43.0	44.12
BLDG. HEIGHT ABOVE EXISTING GRADE (AVG.)	36'-11"	31'-11"
BLDG. HEIGHT ABOVE PROPOSED GRADE (AVG.)	28'-8"	29'-6"
ACTUAL ELEVATION ABOVE SEA LEVEL TO PROPOSED RIDGELINE	71.8	71.8

BUILDING HEIGHT CALCULATIONS

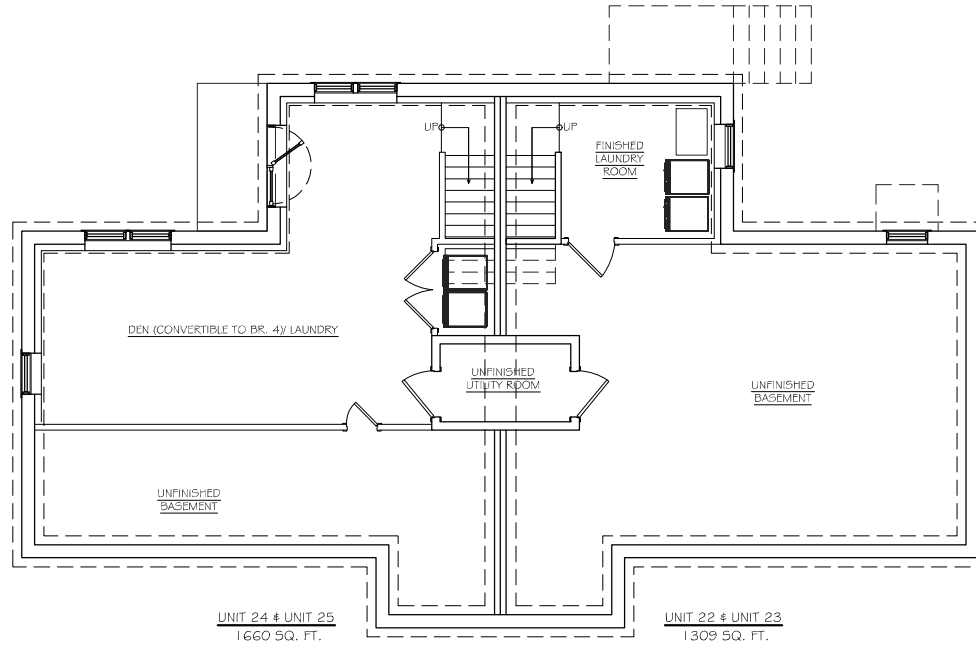
CLOVERLEAF BUILDING 22-24 AND 23-25 (MIRRORED)
CLOVERLEAF TRURO RENTAL HOUSING

DATE:
09.04.20

SPRING HILL DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 - 617.6702.4622

1/8" = 1'-0"

AO.1



① BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

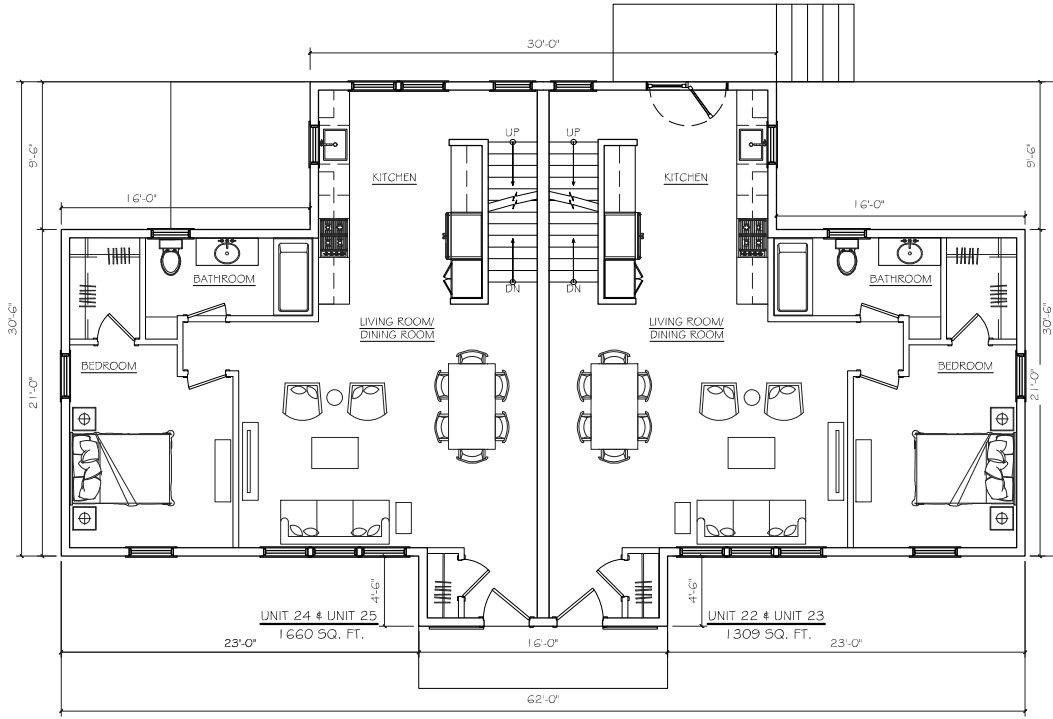
DATE:
09.04.20

BASEMENT FLOOR PLAN
CLOVERLEAF BUILDING 22-24 AND 23-25 (MIRRORED)
CLOVERLEAF TRURO RENTAL HOUSING

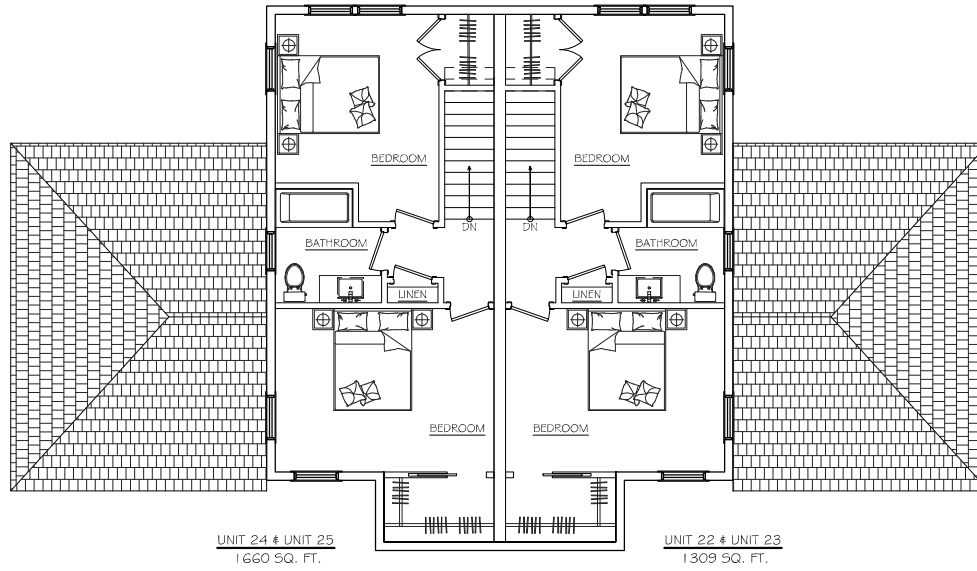
S P R I N G H I L L D E S I G N
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 - 617.6702.4622

1/8" = 1'-0"

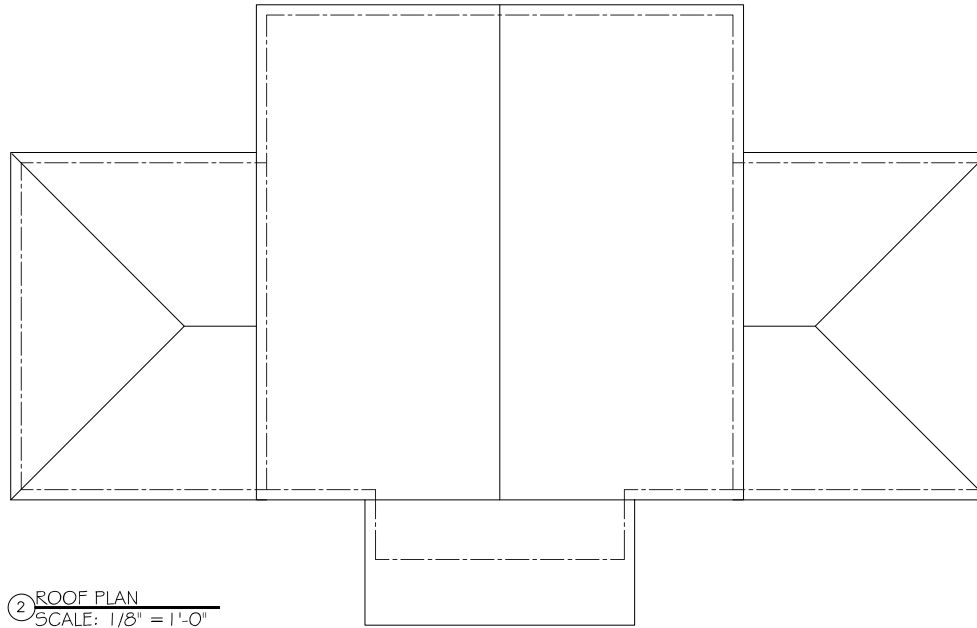
A1.0



1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



① SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



② ROOF PLAN
SCALE: 1/8" = 1'-0"

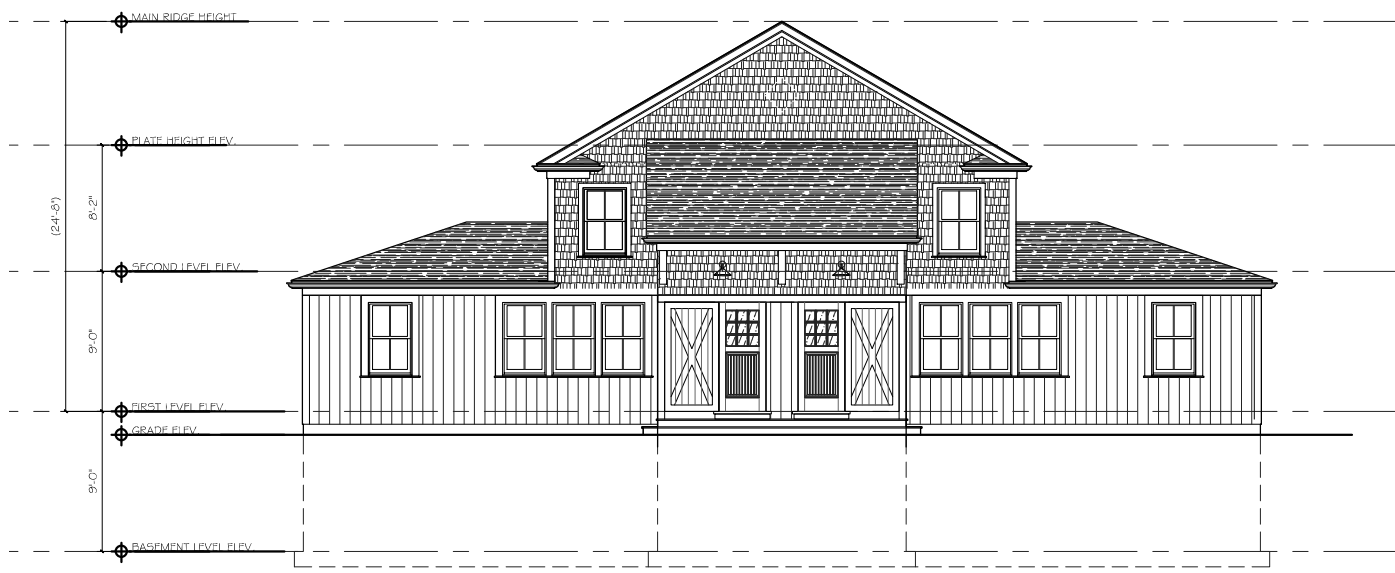
DATE:
09.04.20

SECOND FLOOR AND ROOF PLANS
CLOVERLEAF BUILDING 22-24 AND 23-25 (MIRRORED)
CLOVERLEAF TRURO RENTAL HOUSING

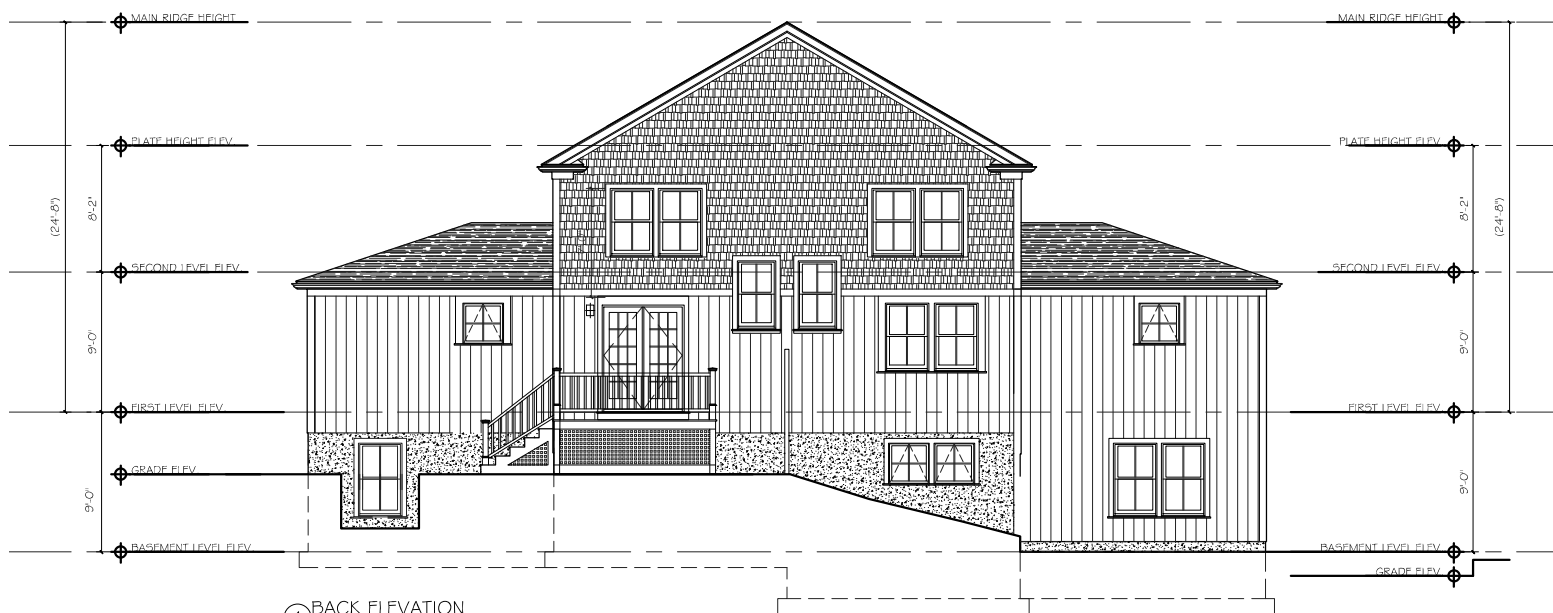
SPRING HILL DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 - 617.6702.4622

1/8" = 1'-0"

A1.2



① FRONT ELEVATION
SCALE: 1/8" = 1'-0"



① BACK ELEVATION
SCALE: 1/8" = 1'-0"

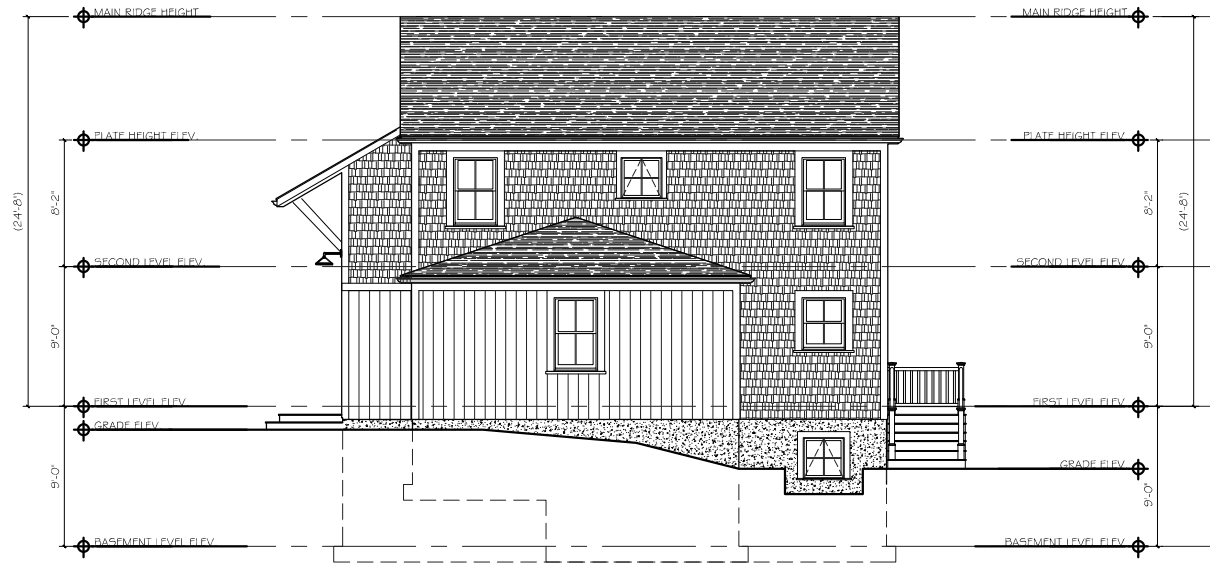
DATE:
09.04.20

FRONT AND BACK ELEVATIONS
CLOVERLEAF BUILDING 22-24 AND 23-25 (MIRRORED)
CLOVERLEAF TRURO RENTAL HOUSING

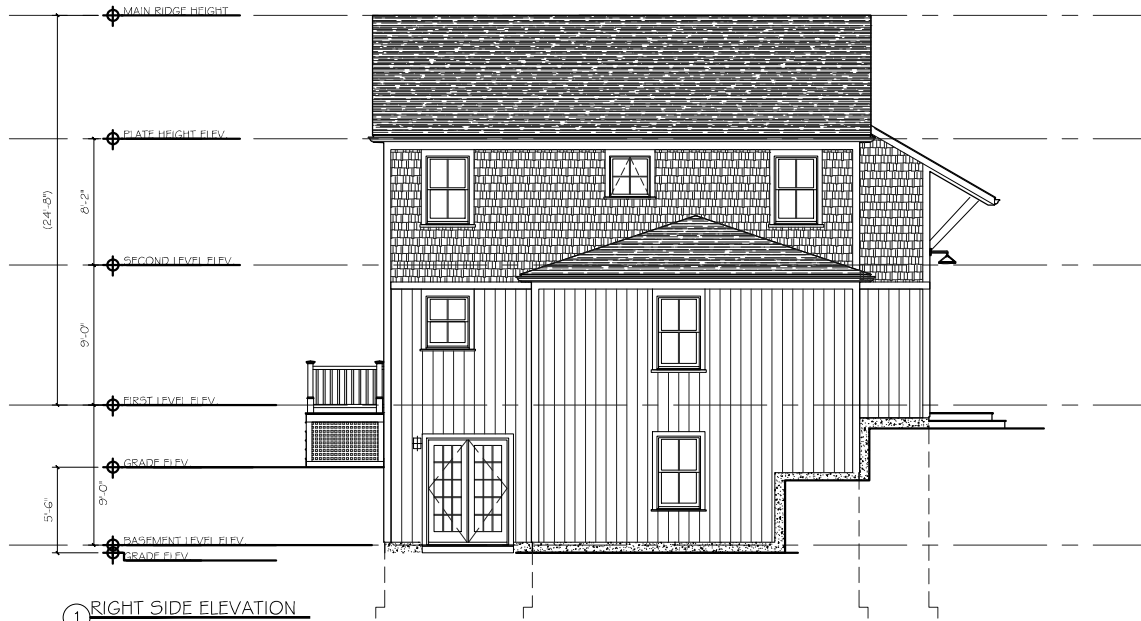
SPRING HILL, DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 - 617.6702.4622

1/8" = 1'-0"

A2.1



1 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

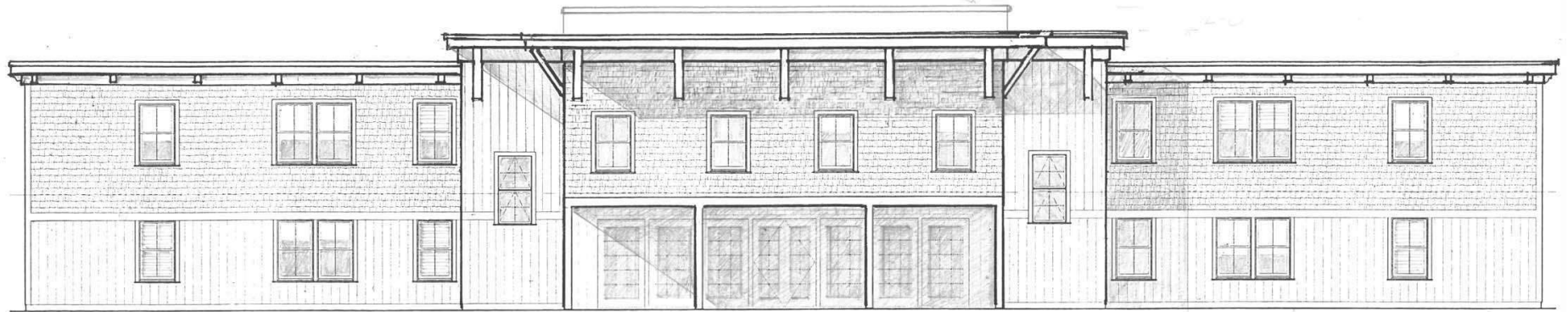
DATE:
09.04.20

SIDE ELEVATIONS
CLOVERLEAF BUILDING 22-24 AND 23-25 (MIRRORED)
CLOVERLEAF TRURO RENTAL HOUSING

SPRING HILL, DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
158 Central Street, Somerville, MA, 02145 - 617.6702.4622

1/8" = 1'-0"

A2.2



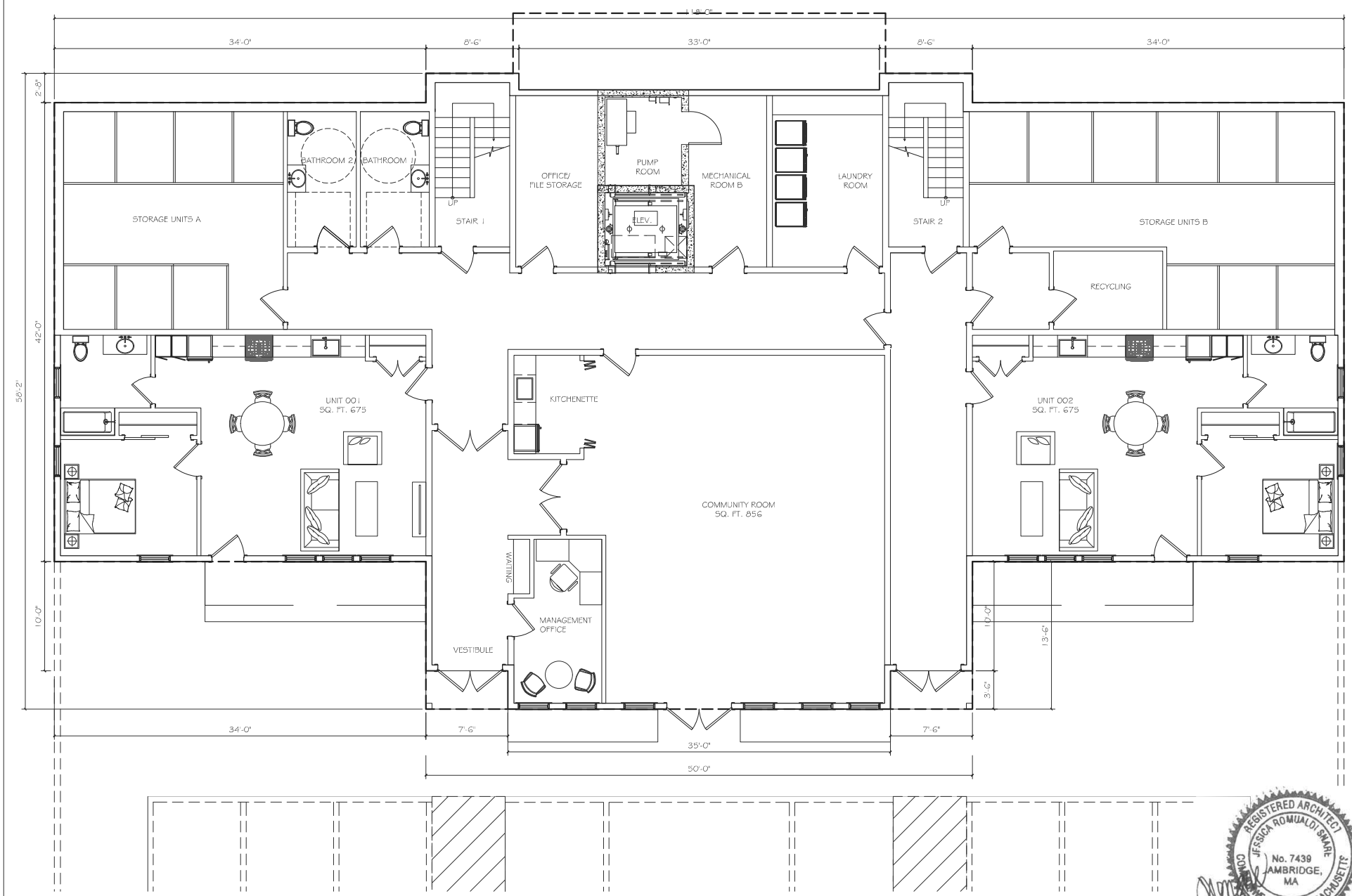
**CLOVERLEAF TRURO RENTAL HOUSING
BUILDING 21**
Truro, Massachusetts

Thursday, September 17, 2020

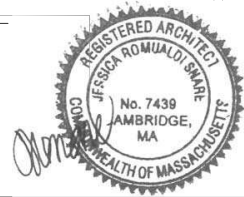
Spring Hill Design

INTERIORS ARCHITECTURE SPACE PLANNING

21 Dartmouth Street, Somerville, MA, 02145 ~ 617.623.1833



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



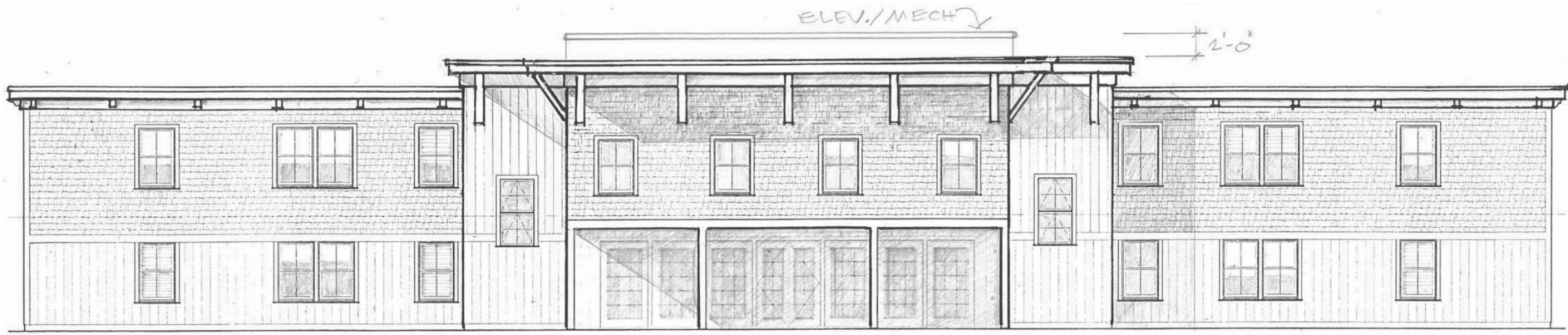
DATE:
09.17.20

BASEMENT FLOOR PLAN
CLOVERLEAF BUILDING 2 I
CLOVERLEAF TRURO RENTAL HOUSING

SPRING HILL DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
21 Dartmouth Street, Somerville, Massachusetts 02145 -- 617.623.1833

1/8" = 1'-0"

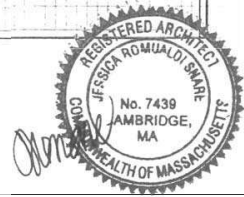
A.I.O



① FRONT ELEVATION
SCALE: 1/8" = 1'-0"



② BACK ELEVATION
SCALE: 1/8" = 1'-0"



DATE:
09.17.20

FRONT AND BACK ELEVATIONS
CLOVERLEAF BUILDING 21
CLOVERLEAF TRURO RENTAL HOUSING

SPRING HILL DESIGN
ARCHITECTURE INTERIORS SPACE PLANNING
21 Dartmouth Street, Somerville, Massachusetts 02145 -- 617.623.1833

1/8" = 1'-0"

A2.1

Cloverleaf Unit Descriptions consistent with 40B Decision of January 14, 2021

Rev Unit No.	formerly Unit No.	Description	1BR	2BR	3BR	approx SF living area	30%	60%	80%	100%	Market
1		2BR + den two-level with walkout in duplex		1		1224				1	
3		1BR single level in duplex w/stairs up	1			720		1			
5		1BR single level in duplex w/stairs up	1			720				1	
7		1BR single level in duplex	1			760					1
2		1BR single level in duplex w/stairs up	1			720		1			
4		2BR + den two-level with walkout in duplex		1		1224					1
6		1BR single level in duplex w/stairs up	1			720		1			
8		2BR + den two-level with walkout in duplex		1		1224					1
9	5	3BR (2BR+conv den in fin bsmnt) Townhouse			1	1240	1				
11	7	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
10	8	3BR (2BR+conv den in fin bsmnt) Townhouse			1	1240				1	
12	10	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
13	9	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031	1				
15	11	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
14	12	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
16	14	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031	1				
17	13	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
19	15	3BR (2BR+conv den in fin bsmnt) Townhouse			1	1240			1		
18	16	2BR Townhouse w/ unfinished bsmnt/crawl space		1		1031		1			
20	18	3BR (2BR+conv den in fin bsmnt) Townhouse			1	1240					1
23	17	3BR Townhouse (3BR+laundry room+unfinished bsmnt)			1	1309		1			
25	19	3BR+ Townhouse (3BR+conv den in partial finished bsmnt)			1	1660					1
22	20	3BR Townhouse (3BR+laundry room+unfinished bsmnt)			1	1309		1			
24	22	3BR+ Townhouse (3BR+conv den in partial finished bsmnt)			1	1660					1
21-U-G02	21-U-G02	1BR in Multi Unit Elev Bldg	1			675			1		
21-U-G05	21-U-G05	1BR in Multi Unit Elev Bldg	1			675				1	
21-U-101	21-U-101	1BR in Multi Unit Elev Bldg	1			639		1			
21-U-102	21-U-102	1BR in Multi Unit Elev Bldg	1			603		1			
21-U-103	21-U-103	2BR in Multi Unit Elev Bldg		1		861		1			
21-U-104	21-U-104	2BR in Multi Unit Elev Bldg		1		861			1		
21-U-105	21-U-105	1BR in Multi Unit Elev Bldg	1			603		1			
21-U-106	21-U-106	1BR in Multi Unit Elev Bldg	1			639		1			
21-U-201	21-U-201	1BR in Multi Unit Elev Bldg	1			639		1			
21-U-202	21-U-202	1BR in Multi Unit Elev Bldg	1			659		1			
21-U-203	21-U-203	1BR in Multi Unit Elev Bldg	1			633	1				
21-U-204	21-U-204	1BR in Multi Unit Elev Bldg	1			633	1				
21-U-205	21-U-205	1BR in Multi Unit Elev Bldg	1			659			1		
21-U-206	21-U-206	1BR in Multi Unit Elev Bldg	1			659		1			
21-U-207	21-U-207	1BR in Multi Unit Elev Bldg	1			601	1				
	39	Total Units	18	13	8	36497					
	68	Total Bedrooms (for Title 5 design flow)				Total	30%	60%	80%	100%	Market
						18	3	10	2	2	1
						13	2	7	1	1	2
						8	1	2	1	1	3
						39	6	19	4	4	6
						Total	30%	60%	80%	100%	Market
						11957	622.3333	660	667	697.5	760
						13642	1031	1007	861	1224	1224
						10898	1240	1309	1240	1240	1520
						36497					

EXHIBIT D
TABULATION OF BUILDINGS AND UNITS

	Average Sq Ft	# Bathrooms		# of Units
1 Bedroom (low income)	664	1		10
1 Bedroom (moderate income)	664	1		8
1 Bedroom (market rate)		0		0
1 Bedroom Total: 18 units				
2 Bedroom (low income)	1003	1.5		9
2 Bedroom (moderate income)	1003	1.5		2
2 Bedroom (market rate)	1003-1204	1 or 2		3
2 Bedroom Total: 14 units				
3 Bedroom (low income)	1263	2		2
3 Bedroom (moderate income)	1263	2		2
3 Bedroom (market rate)	1263-1660	2		4
3 Bedroom Total: 8 units				
TOTAL 40 RENTAL UNITS				

Building Type	# of Buildings	Total # Units	Bedrooms/Baths
Apartment Building Building # 21	1	15	2 - Two Bedroom / One Bathroom 13 – One Bedroom / One Bathroom
Two Family Townhouse Type A Building #1/3 Building #9/11 Building #12/14	3	6	6 - Two Bedroom / Two Bathrooms
Two Family Townhouse Type B Building #5/7 Building #8/10 Building #13/15 Building #16/18	4	8	4 – Two Bedroom / 1.5 Bathrooms 4 - Three Bedroom / 1.5 Bathrooms
Two Family Townhouse Type C Building #17/19 Building #20/22	2	4	4- Three Bedroom / 2 Bathrooms
Multi-Family Building #2/4/6	1	7	2 – Two Bedroom / 2 Bathrooms 5 – One-Bedroom / 1 Bathroom
TOTALS	11 Buildings	40 Units	18 – One Bedroom 14 – Two Bedroom 8 – Three Bedroom