



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date June 1, 2023

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on (date) _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on (date) _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning (describe) _____

APPLICATION FOR SPECIAL PERMIT

- Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning (describe) _____

- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 30.7A of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning (describe) raising the roof of second story.

Property Address 38 Fisher Road Map(s) and Parcel(s) M A P 10, Parcel 26

Registry of Deeds title reference: Book 25 208, Page 347, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Kimberly Bell Chester

Applicant's Legal Mailing Address 16 Perry Street, Sherburn, MA 01770

Applicant's Phone(s), Fax and Email 508-397-7129, kbellchester@gmail.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address Kimberly Bell Chester, QPR TRUST

Representative's Name and Address _____

Representative's Phone(s), Fax and Email _____

2. The completed application shall also be submitted electronically to the Planning Department Administrator at esturdy@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Kimberly Bell Chester
Applicant(s)/Representative Printed Name(s)

Kimberly Bell Chester
Owner(s) Printed Name(s) or written permission

Kimberly Bell Chester
Applicant(s)/Representative Signature

Kimberly Bell Chester
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



TOWN OF TRURO

Assessors Office

Certified Abutters List Request Form



DATE: 5/10/23

NAME OF APPLICANT: Kimberly Bell Chester

NAME OF AGENT (if any): _____

MAILING ADDRESS: 6 Perry St Sherborn, MA 01069

CONTACT: HOME/CELL 508-397-7127 EMAIL Kbellchester@gmail.com

PROPERTY LOCATION: 38 Fisher Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 53 PARCEL 35 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:

FEE: \$15.00 per checked item

(please check all applicable)

(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | |

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 5/10/2023 Date completed: 5/10/2023

List completed by: Laura Geiges Date paid: 5/10/2023 Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: May 10, 2023

To: Kimberly Bell Chester

From: Assessors Department

Certified Abutters List: 38 Fisher Road (Map 53 Parcel 35)

ZBA Special Permit

Attached is a combined list of abutters for 38 Fisher Road (Map 53 Parcel 35).

The current owner is Kimberly B. Chester QPR Trust.

The names and addresses of the abutters are as of May 5, 2023 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

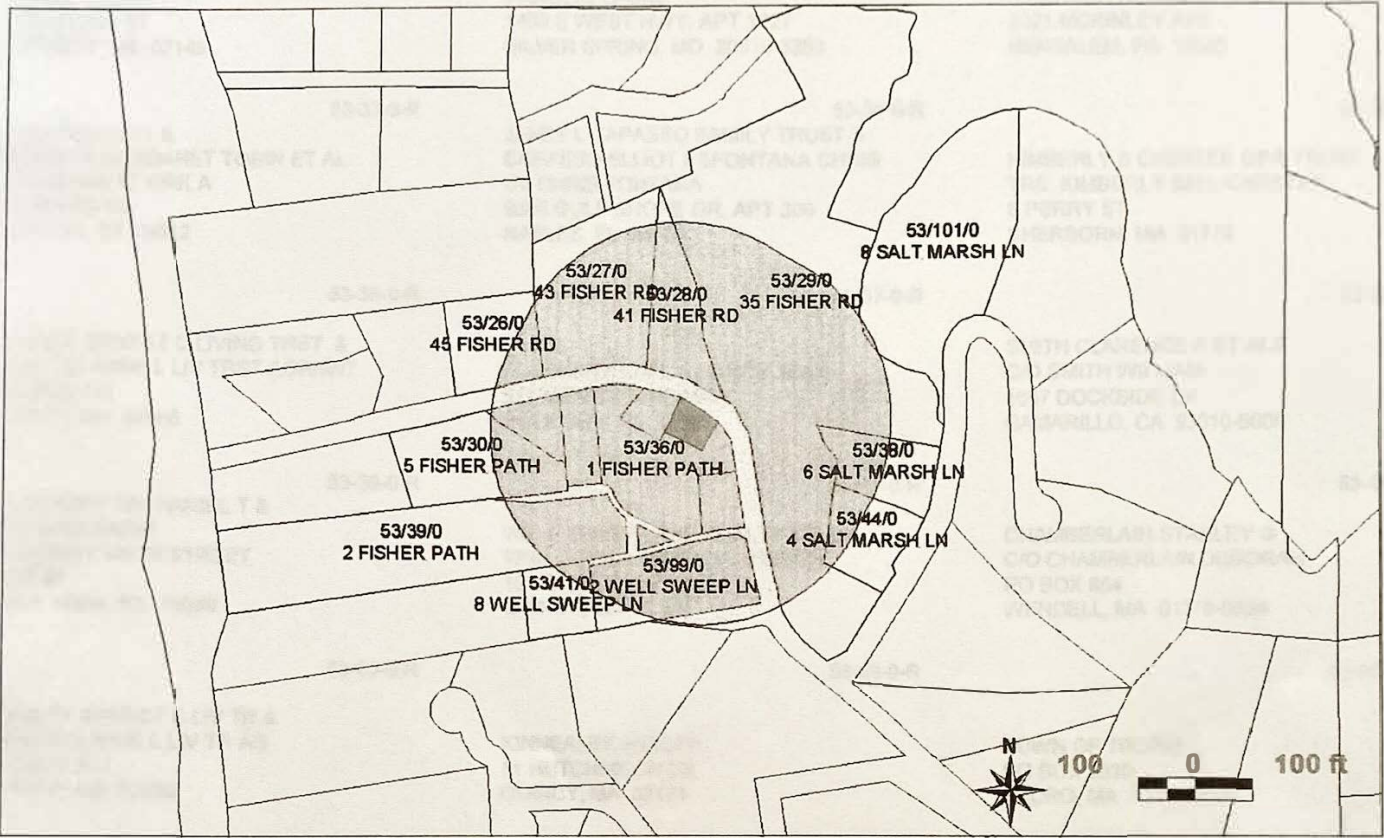
Laura Geiges

Assistant Assessor / Data Collector

38 Fisher Road
 Map 53 Parcel 35
 ZBA Special Permit

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 53/35/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
3173	53-26-0-R	AMBROSE DENNIS W	45 FISHER RD	245 ROSELAND LN	CANANDAIGUA	NY	14424
3174	53-27-0-R	REISER LINDA F	43 FISHER RD	128 LINDEN ST	EVERETT	MA	02149
3175	53-28-0-R	TUFANO PETER & MARY JEANNE	41 FISHER RD	10 FROST ST	CAMBRIDGE	MA	02140
3176	53-29-0-R	REISER LINDA F	35 FISHER RD	128 LINDEN ST	EVERETT	MA	02149
3177	53-30-0-R	PARCELL LAURA	5 FISHER PATH	1400 E WEST HWY, APT 1227	SILVER SPRING	MD	20910-3263
3178	53-31-0-R	ATKINSON LINDA & ATKINSON ANTHONY A/K/A ARNOLD	44 FISHER RD	2321 MCKINLEY AVE	BENSALEM	PA	19020
3179	53-33-0-R	TOBIN ROBERT & KIRKMAN MARGARET TOBIN ET AL	3 FISHER PATH	C/O BENNETT KIRK A 60 BEERS RD	EASTON	CT	06612
3180	53-34-0-R	JANET L CAPASSO FAMILY TRUST & CAPASSO ELLIOT P&FONTANA CHRIS	40 FISHER RD	c/o CHRIS FONTANA 9380 GULF SHORE DR, APT 305	NAPLES	FL	34108
3181	53-35-0-R	KIMBERLY B CHESTER QPR TRUST TRS: KIMBERLY BELL CHESTER	38 FISHER RD	6 PERRY ST	SHERBORN	MA	01770
3182	53-36-0-R	HADLEY ERNEST C LIVING TRST & MULLINS ANNE L LIV TRST AGRMNT	1 FISHER PATH	PO BOX 441	TRURO	MA	02666
3183	53-37-0-R	RUBIN ARTHUR L & NANCY JEAN	34 FISHER RD	517 MEANDERING WAY	POLK CITY	FL	33868
3184	53-38-0-R	SMITH CLARENCE R ET ALS	6 SALT MARSH LN	C/O SMITH WILLIAM 1657 DOCKSIDE LN	CAMARILLO	CA	93010-6008
3185	53-39-0-R	RUDYKOFF NATHANIEL T & STILMAN NAEMI	2 FISHER PATH	220 WEST 148TH STREET APT 4F	NEW YORK	NY	10039
3187	53-41-0-R	WELL SWEEP LANE REALTY TRUST TRS: JOHN & PATRICIA O'BRIEN	8 WELL SWEEP LN	101 GLENDALE ROAD	QUINCY	MA	02169
3190	53-44-0-R	CHAMBERLAIN STANLEY G	4 SALT MARSH LN	C/O CHAMBERLAIN DEBORAH PO BOX 854	WENDELL	MA	01379-0854

53-26-0-R

AMBROSE DENNIS W
245 ROSELAND LN
CANANDAIGUA, NY 14424

53-27-0-R

REISER LINDA F
128 LINDEN ST
EVERETT, MA 02149

53-28-0-R

TUFANO PETER & MARY JEANNE
10 FROST ST
CAMBRIDGE, MA 02140

53-29-0-R

REISER LINDA F
128 LINDEN ST
EVERETT, MA 02149

53-30-0-R

PARCELL LAURA
1400 E WEST HWY, APT 1227
SILVER SPRING, MD 20910-3263

53-31-0-R

ATKINSON LINDA &
ATKINSON ANTHONY A/K/A ARNOLD
2321 MCKINLEY AVE
BENSALEM, PA 19020

53-33-0-R

TOBIN ROBERT &
KIRKMAN MARGARET TOBIN ET AL
C/O BENNETT KIRK A
60 BEERS RD
EASTON, CT 06612

53-34-0-R

JANET L CAPASSO FAMILY TRUST &
CAPASSO ELLIOT P&FONTANA CHRIS
c/o CHRIS FONTANA
9380 GULF SHORE DR, APT 306
NAPLES, FL 34108

53-35-0-R

KIMBERLY B CHESTER QPR TRUST
TRS: KIMBERLY BELL CHESTER
6 PERRY ST
SHERBORN, MA 01770

53-36-0-R

HADLEY ERNEST C LIVING TRST &
MULLINS ANNE L LIV TRST AGRMNT
PO BOX 441
TRURO, MA 02666

53-37-0-R

RUBIN ARTHUR L & NANCY JEAN
517 MEANDERING WAY
POLK CITY, FL 33868

53-38-0-R

SMITH CLARENCE R ET ALS
C/O SMITH WILLIAM
1657 DOCKSIDE LN
CAMARILLO, CA 93010-6008

53-39-0-R

RUDYKOFF NATHANIEL T &
STILMAN NAEMI
220 WEST 148TH STREET
APT 4F
NEW YORK, NY 10039

53-41-0-R

WELL SWEEP LANE REALTY TRUST
TRS: JOHN & PATRICIA O'BRIEN
101 GLENDALE ROAD
QUINCY, MA 02169

53-44-0-R

CHAMBERLAIN STANLEY G
C/O CHAMBERLAIN DEBORAH
PO BOX 854
WENDELL, MA 01379-0854

53-80-0-R

HADLEY ERNEST C LIV TR &
MULLINS ANNE L LIV TR AG
PO BOX 441
TRURO, MA 02666

53-99-0-R

KINNEALEY JOSEPH
11 HUTCHINSON LN
QUINCY, MA 02171

53-101-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
3221	53-80-0-R	HADLEY ERNEST C LIV TR & MULLINS ANNE L LIV TR AG	5 WELL SWEEP LN	PO BOX 441	TRURO	MA	02666
5566	53-99-0-R	KINNEALEY JOSEPH	2 WELL SWEEP LN	11 HUTCHINSON LN	QUINCY	MA	02171
5939	53-101-0-E	TOWN OF TRURO	8 SALT MARSH LN	PO BOX 2030	TRURO	MA	02666-2030



TOWN OF TRURO

HEALTH DEPARTMENT

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004 x119 or x132 Fax: 508-349-5508

March 13, 2023

William N. Rogers II
41 Off Cemetery Rd, PO Box 631
Provincetown, MA 02657

RE: 38 Fisher Road (map 10 / parcel 26) Variance Request to 310 CMR 15.000 & Local BOH Regulations Sect. 6 Art. 9; plan titled "Sanitary Subsurface Sewage Disposal System Upgrade" drawn by William N. Rogers, dated November 2022.

Dear Mr. Rogers:

Please be advised that the Truro Board of Health at their regularly scheduled meeting on March 7, 2023 made a motion regarding the above-referenced variance requests.

FOR YOUR INFORMATION, THE MOTION STATED:

Ms. Grimm moved to approve the variances as requested with the condition of annual water testing. If the test shows an increase in nitrate level, testing shall increase in frequency.

Seconded by Mr. Koll.

Vote: 5-0-0, motion carries.

310 CMR 15.211(1)

1. SAS to property line (10' required, 6' provided to SE, 8' provided to SW)
2. Septic tank to full cellar (10' required, 6.5' provided)
3. SAS to full cellar (20' required, 8' provided)
4. Septic tank to locus well (50' required, 39.5' provided)
5. SAS to locus well (100' required, 41' provided)
6. SAS to well at 40 Fisher (100' required, 96' provided)
7. SAS to well at 1 Fisher Path (100' required, 50' provided)

310 CMR 15.405(1)(c)

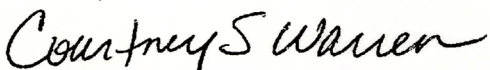
8. Reduced SAS area by 25% with use of Innovative Technology (Advantex AX-20 by Orenco in mode 3 configuration)

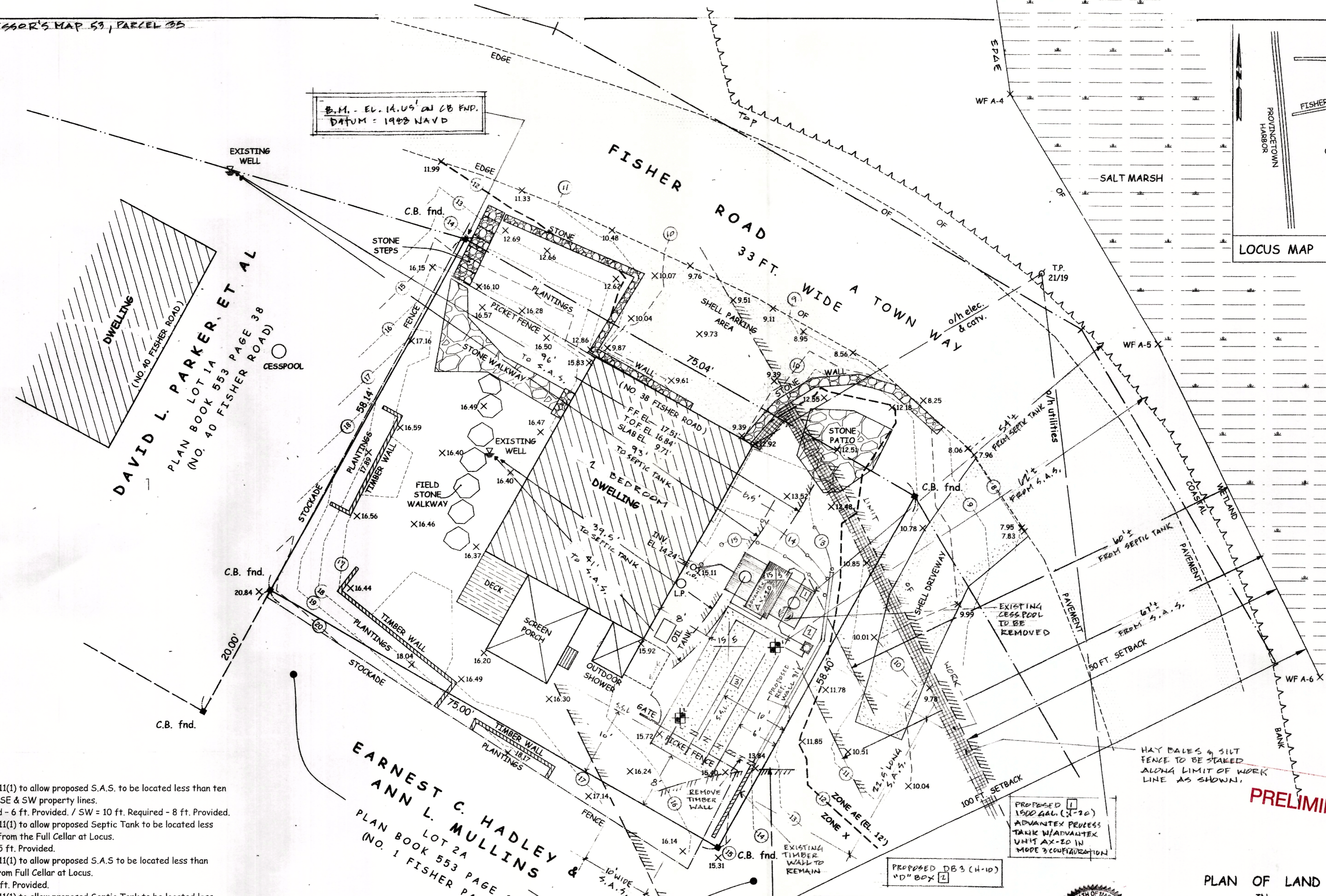
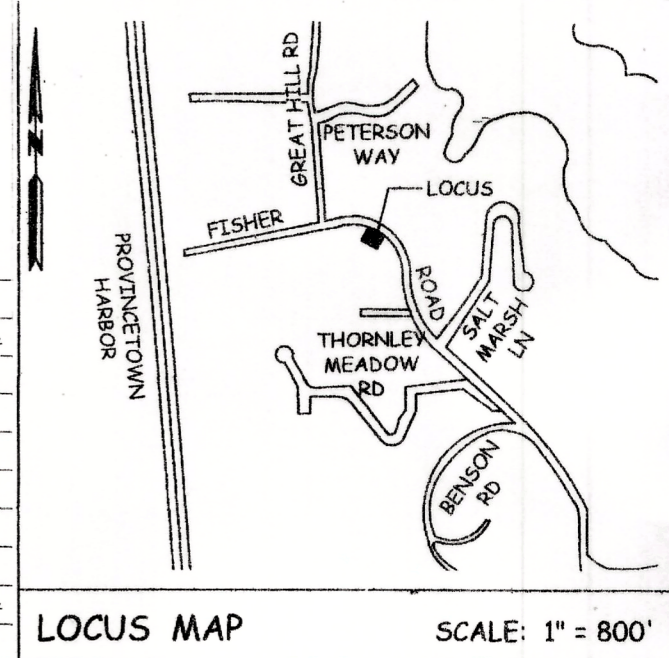
Truro BOH Section VI, Article 9

9. Septic Tank to wetlands (100' required, 54' provided)
10. SAS to wetlands (150' required, 62' provided)

Should you have any questions, please feel free to contact me at 774-383-3393 or at cwarren@truro-ma.gov.

Sincerely,


Courtney Warren, Assistant Health Agent



- Variance Requests:**
- From 310 CMR 15.211(1) to allow proposed S.A.S. to be located less than ten (10') feet from the SE & SW property lines.
SE = 10 ft. Required - 6 ft. Provided. / SW = 10 ft. Required - 8 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed Septic Tank to be located less than ten (10') feet from the Full Cellar at Locus.
10 ft. Required - 6.5 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed S.A.S. to be located less than twenty (20') feet from Full Cellar at Locus.
20 ft. Required - 8 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed Septic Tank to be located less than (50') feet from the Existing Well at Locus.
50 ft. Required - 39.5 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed S.A.S. to be located less than one hundred (100') feet from the Existing Well at Locus.
100 ft. Required - 41 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed S.A.S. to be located less than one hundred (100') feet from the Existing Well at 40 Fisher Road.
100 ft. Required - 96 ft. Provided.
 - From 310 CMR 15.211(1) to allow proposed S.A.S. to be located less than one hundred (100') feet from the Existing Well at 1 Fisher Path.
100 ft. Required - 50 ft. Provided.
 - Per 310 CMR 15.405 (1)(c) to allow the proposed S.A.S. area to be reduced by 25% with Innovative Technology (Advantex AX-20 by Orenco in mode 3 configuration) w/ general use approval.
165 gpd. Required - 167 gpd. Provided.
 - Per Section 6, Article 9 of Local Board of Health Regulations to allow the proposed Septic Tank, and S.A.S. to be located less than one hundred (100') feet & one hundred and fifty (150'), respectively, from the existing Resource Area Wetland (Coastal Bank).
100 ft. Required - 54 ft. Provided - Septic Tank
150 ft. Required - 62 ft. Provided - S.A.S.

NOTE: FLOOD ZONES AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 25001C0227J FOR THE TOWN OF TRURO COMMUNITY NO. 255222 DATED JULY 16, 2014.

NOTE: BOUNDARY OF THE WETLAND RESOURCE AREAS WERE DETERMINED IN THE FIELD WITH THE ASSISTANCE OF PAUL J. SHEA, P.W.S., INDEPENDENT ENVIRONMENTAL CONSULTANTS ON APRIL 20, 2021.

PROPOSED DB 3 (H-10) "D" BOX

PROPOSED SOIL ABSORPTION SYSTEM - 22.9 FT. LONG X 10 FT. WIDE LEACHING BED W/ (3) 20.5" L X 4" SCH. 40 PER PIPE RUNS

LEGEND:

- S.S.L. = SEPTIC SETBACK LINE
- C.O. = CLEAN OUT
- D.M.H. = DRAINAGE MANHOLE
- M.H. = MANHOLE
- S.M.H. = SEWER MANHOLE
- W = WATER GATE
- T.P. = UTILITY POLE
- U/G = UNDERGROUND
- L.P. = LIQUID PROPANE
- o/h = OVER HEAD
- 10.04x = EXISTING SPOT ELEVATION
- 14-0-0 = PROPOSED CONTOUR
- 10- - - = EXISTING CONTOUR
- WF = WETLAND FLAG
- 15/5 = PROPOSED SPOT ELEVATION
- S.A.S. = SOIL ABSORPTION SYSTEM

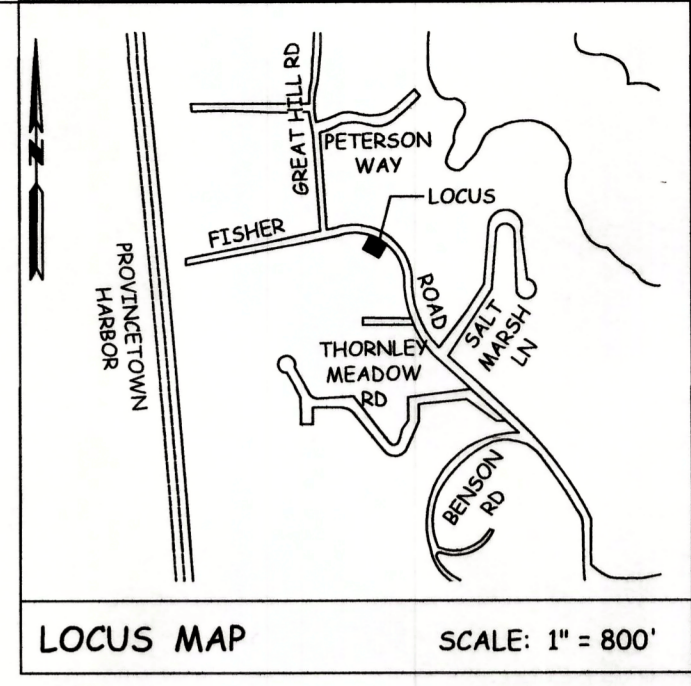


PLAN OF LAND
IN
TRURO
DEPICTING A
SANITARY SUBSURFACE SEWAGE DISPOSAL SYSTEM UPGRADE
AS PREPARED FOR
KIMBERLY B. CHESTER
(NO. 38 FISHER ROAD)

SCALE: 1" = 10'-0" OCTOBER, 2022

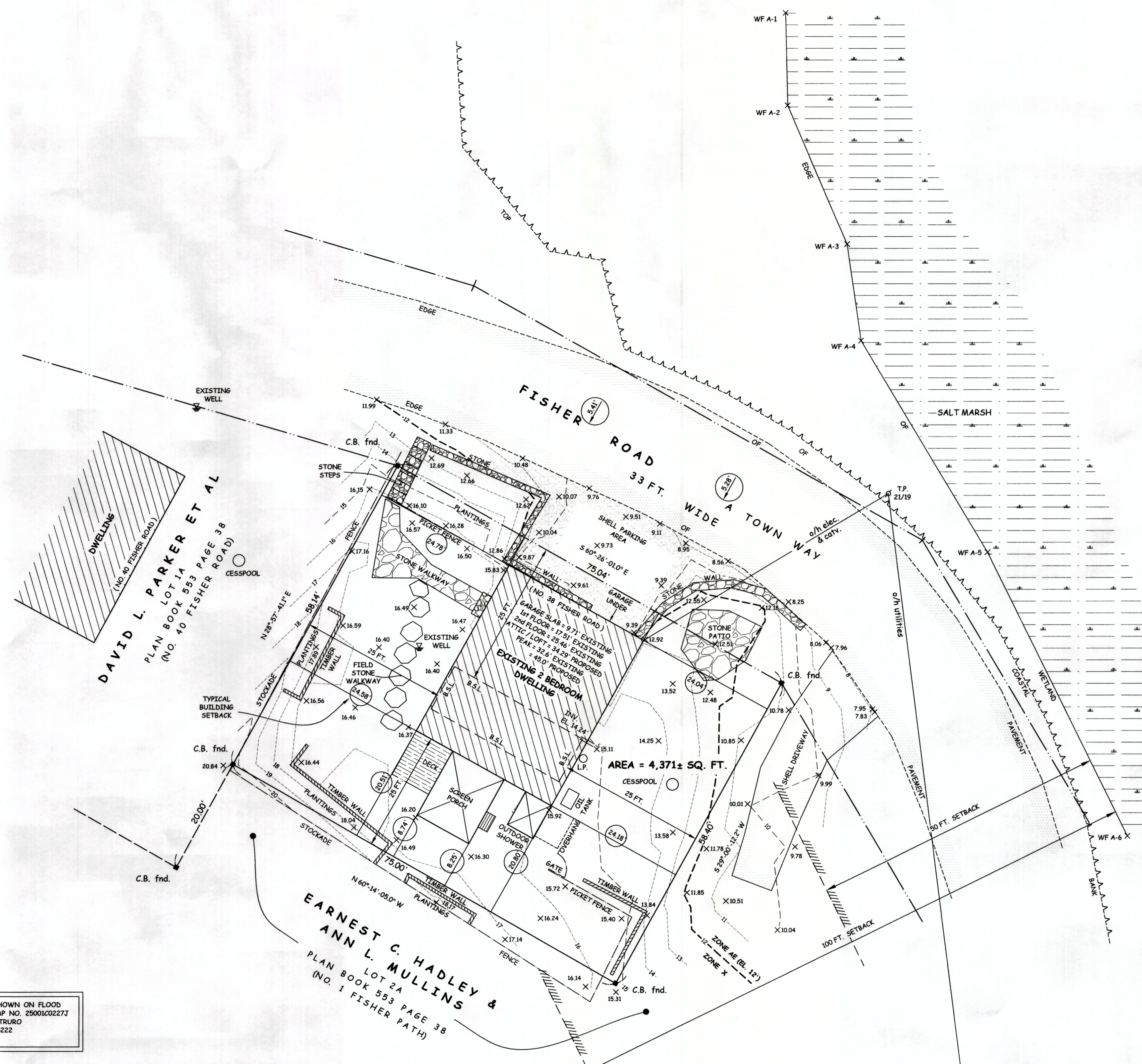
WILLIAM N. ROGERS
PROFESSIONAL
CIVIL ENGINEERS & LAND SURVEYORS
41 OFF CEMETERY ROAD, PROVINCETOWN, MASS.

S.1



ASSESSOR'S MAP 53 PARCEL 35 - LOCUS

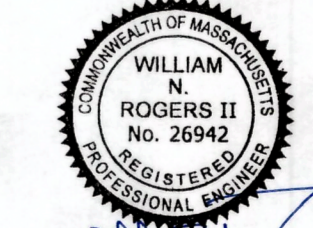
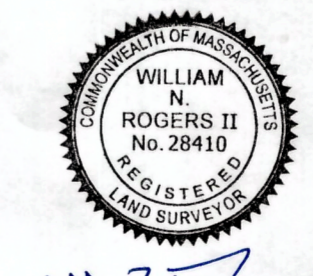
- ZONING NOTES:** (EXISTING & PROPOSED AS NOTED)
1. **LOT AREA** = 4,371 ± SQ. FT.
 2. THIS PROPERTY LIES WITHIN : **RESIDENTIAL DISTRICT.**
 3. **LOT COVERAGE** (EXISTING & PROPOSED) = 24%
 DWELLING = 847 SQ. FT. / SCREEN PORCH = 125 SQ. FT. / DECK = 60 SQ. FT.
 4. **GREEN SPACE** : (EXISTING & PROPOSED) = 66%
 DWELLING, PORCH & DECK = 1,032 SQ. FT. / STONE WALKWAYS, WALLS & PATIO = 258 SQ. FT.
 STONE & TIMBER WALLS = 97 SQ. FT. / PARKING AREA = 117 SQ. FT.
 5. **TOTAL GROSS FLOOR AREA FOR THE RESIDENTIAL DISTRICT** (EXISTING) = 1,052 SQ. FT.
 1st FLOOR = 844 SQ. FT. / 2nd FLOOR = 208 SQ. FT.
TOTAL GROSS FLOOR AREA FOR THE RESIDENTIAL DISTRICT (PROPOSED) = 2,001 SQ. FT.
 1st FLOOR = 844 SQ. FT. / 2nd FLOOR = 844 SQ. FT. / ATTIC-LOFT = 313 SQ. FT.
 * TOTAL GROSS FLOOR AREA INCREASE = 949 SQ. FT.
 6. **TOTAL GROSS FLOOR AREA ALLOWED BY RIGHT** (PER SEC. 50.2 (B) (b))
 = 3,600 SQ. FT. FOR 0.775 ACRES OR 3,668 SQ. FT. FOR 1 ACRE
 MINUS 150 SQ. FT. FOR EACH 0.5 ACRE OR FRACTION THEREOF.
 * LOT AREA = 4,371 SQ. FT. (43,560 SQ. FT. / 1 AC.) - 4,371 SQ. FT. = 39,189 SQ. FT. (0.9 AC.)
 3,600 SQ. FT. ALLOWED (-150 SQ. FT. / 0.5 ACRE) (-150 SQ. FT. / 0.4 ACRE)
 = 3,300 SQ. FT. ALLOWED (2,001 SQ. FT. PROPOSED)
 7. **BUILDING HEIGHT** (PER SECTION 10(4) DEFINITIONS - TRURO ZBA BYLAWS 2022) :
 • AVERAGE GRADE EL. 15.26' (DATUM = 1988 N.G.V.D.)
 • EXISTING PEAK EL. 32.60' - EL. 15.26' (AVERAGE GRADE) = 17'-4" EXISTING BUILDING HEIGHT
 • PROPOSED PEAK EL. 45.00' - EL. 15.26' (AVERAGE GRADE) = 29'-9" PROPOSED BUILDING HEIGHT
 • PROPOSED HEIGHT INCREASE = 12'-5"
 NOTE: MEAN GROUND LEVEL = EL. 13.97' (AVG. OF CENTER ELEV.'S @ 4 MAIN SIDES)
 8. **PARKING** (EXISTING & PROPOSED) = 1 SPACE (GARAGE)
 9. **BUILDING SETBACKS** (NOTE: EXISTING = PROPOSED) (NO PROPOSED CHANGE)
 • FRONT YARD = 5.28 FT. EXISTING
 • SIDE YARD (WEST) = 24.58 FT. EXISTING
 • BACK YARD = 20.51 FT. EXISTING
 • SIDE YARD (EAST) = 24.04 FT. EXISTING
 10. **FRONTAGE** = 75.04 FT.
 11. **BEDROOMS** (NOTE: EXISTING = PROPOSED) = 2 BEDROOMS



NOTE: FLOOD ZONES AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 25001C0227J FOR THE TOWN OF TRURO COMMUNITY NO. 255222 DATED JULY 16, 2014.

NOTE: BOUNDARY OF THE WETLAND RESOURCE AREAS WERE DETERMINED IN THE FIELD WITH THE ASSISTANCE OF PAUL J. SHEA, P.W.S., INDEPENDENT ENVIRONMENTAL CONSULTANTS ON APRIL 20, 2021.

- LEGEND:**
- D.M.H. = DRAINAGE MANHOLE
 - M.H. = MANHOLE
 - S.M.H. = SEWER MANHOLE
 - W = WATER GATE
 - T.P. = UTILITY POLE
 - U/G = UNDERGROUND
 - L.P. = LIQUID PROPANE
 - O/H = OVERHEAD
 - WF = WETLAND FLAG



NOTE: B.S.L. DENOTES BUILDING SETBACK LINE.

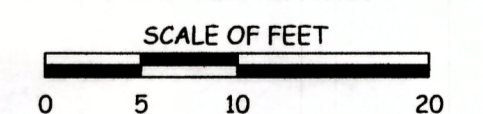
DATUM: 1988 N.G.V.D.

NOTE: x 34.55' DENOTES SPOT ELEVATION.

NOTE: ALL BUILDING OFFSETS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.

NOTE: () DENOTES RECORD INFORMATION

REFERENCE: PLAN BOOK 553 PAGE 38
 PLAN BOOK 439 PAGE 43
 PLAN BOOK 383 PAGE 54
 DEED BOOK 25208 PAGE 347



SITE PLAN OF LAND IN

TRURO

AS PREPARED FOR

KIMBERLY B. CHESTER

(NO. 38 FISHER ROAD)

SCALE: 1 IN. = 10 FT. JULY, 2023

WILLIAM N. ROGERS
 PROFESSIONAL

CIVIL ENGINEERS & LAND SURVEYORS
 41 OFF CEMETERY ROAD, PROVINCETOWN, MASS.
 508.487.1565 / 508.487.5809 FAX

ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION AND WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS FOR EXPOSURE B WIND LOADS - 110 MPH

ANY STRUCTURAL ENGINEERING REVIEW, IF NECESSARY, IS AT THE DISCRETION OF THE BUILDING COMMISSIONER AND WILL BE THE RESPONSIBILITY OF THE OWNER

FRONT ELEVATION
(WEST)

(1/4" = 1')

PROPOSED
SECOND FLOOR
& ATTIC / LOFT
ADDITION

EXISTING PEAK
EL. 32.6'

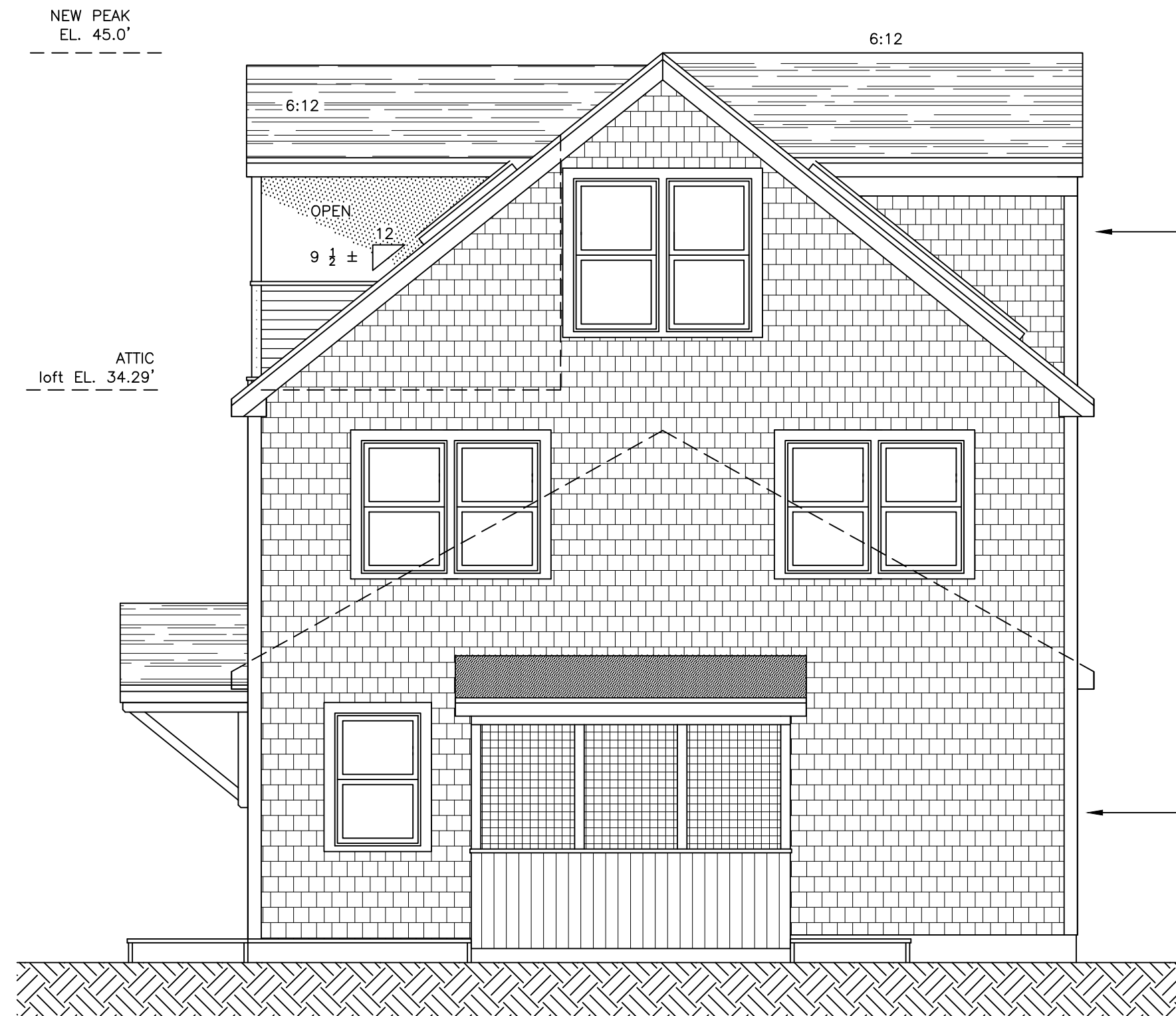
2nd. fl. EL. 25.46'

EXISTING
DWELLING

1st. fl. EL. 17.51'

NEW PEAK
EL. 45.0'

ATTIC
loft EL. 34.29'



NEW PEAK
EL. 45.0'

6:12

6:12

OPEN
9 1/2 ±

ATTIC
loft EL. 34.29'

PROPOSED
SECOND FLOOR
& ATTIC / LOFT
ADDITION

EXISTING PEAK
EL. 32.6'

2nd. fl. EL. 25.46'

EXISTING
DWELLING

1st. fl. EL. 17.51'

RIGHT SIDE ELEVATION
(SOUTH)

(1/4" = 1')



PROPOSED ADDITIONS / RENOVATION

KIMBERLY CHESTER

38 FISHER ROAD

-FRONT ELEVATION
-RIGHT SIDE ELEVATION

DECEMBER 14, 2022

TRURO

ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION AND WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS FOR EXPOSURE B WIND LOADS - 110 MPH

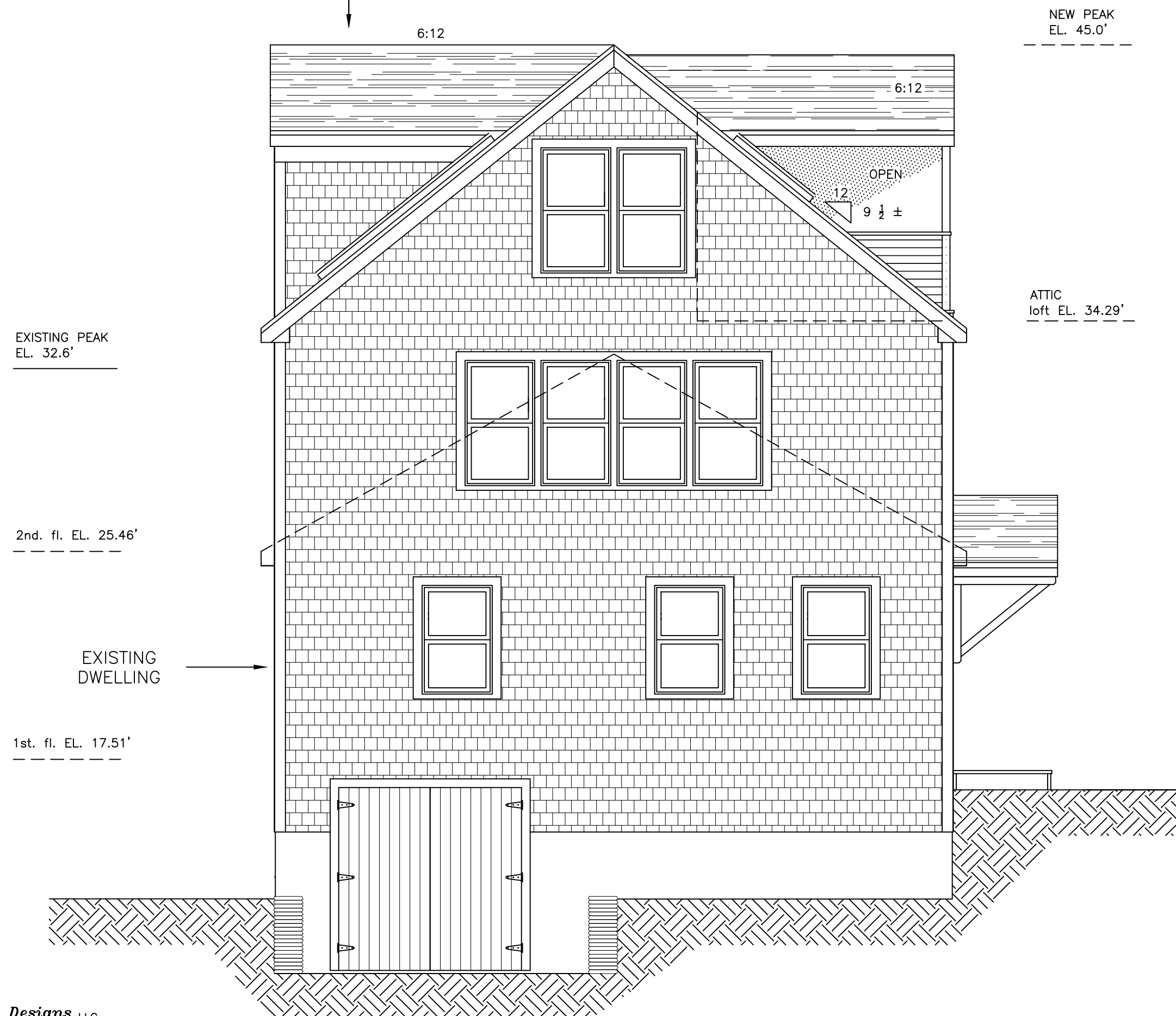
ANY STRUCTURAL ENGINEERING REVIEW, IF NECESSARY, IS AT THE DISCRETION OF THE BUILDING COMMISSIONER AND WILL BE THE RESPONSIBILITY OF THE OWNER

REAR ELEVATION
(EAST)

(3/16" = 1')

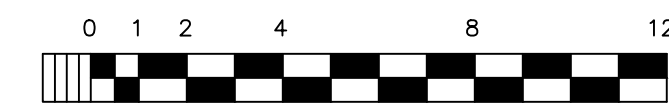


PROPOSED SECOND FLOOR & ATTIC / LOFT ADDITION



LEFT SIDE ELEVATION
(NORTH)

(1/4" = 1')



PROPOSED ADDITIONS / RENOVATION

KIMBERLY CHESTER

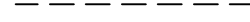

38 FISHER ROAD

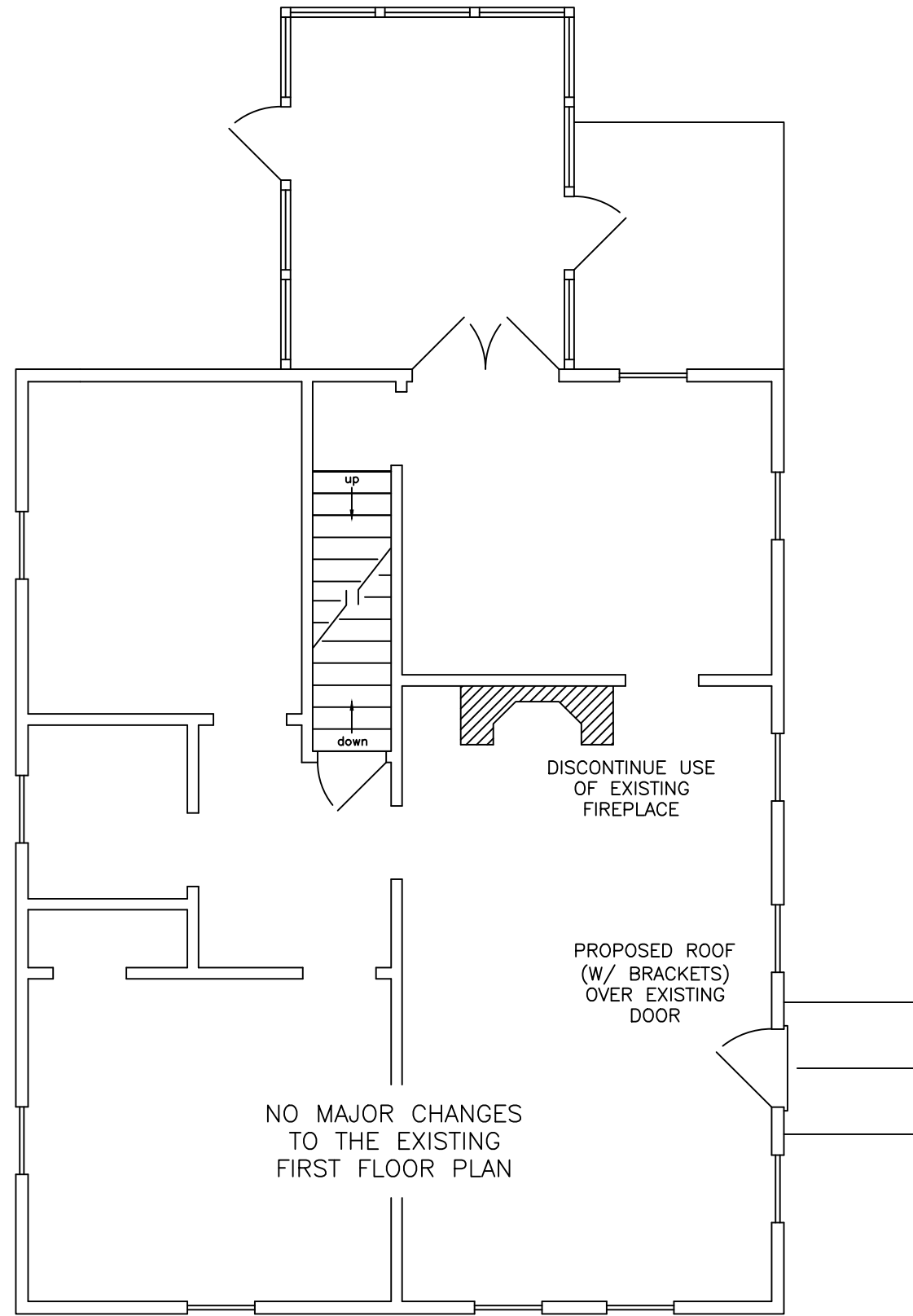
-REAR ELEVATION
-LEFT SIDE ELEVATION

DECEMBER 14, 2022

TRURO

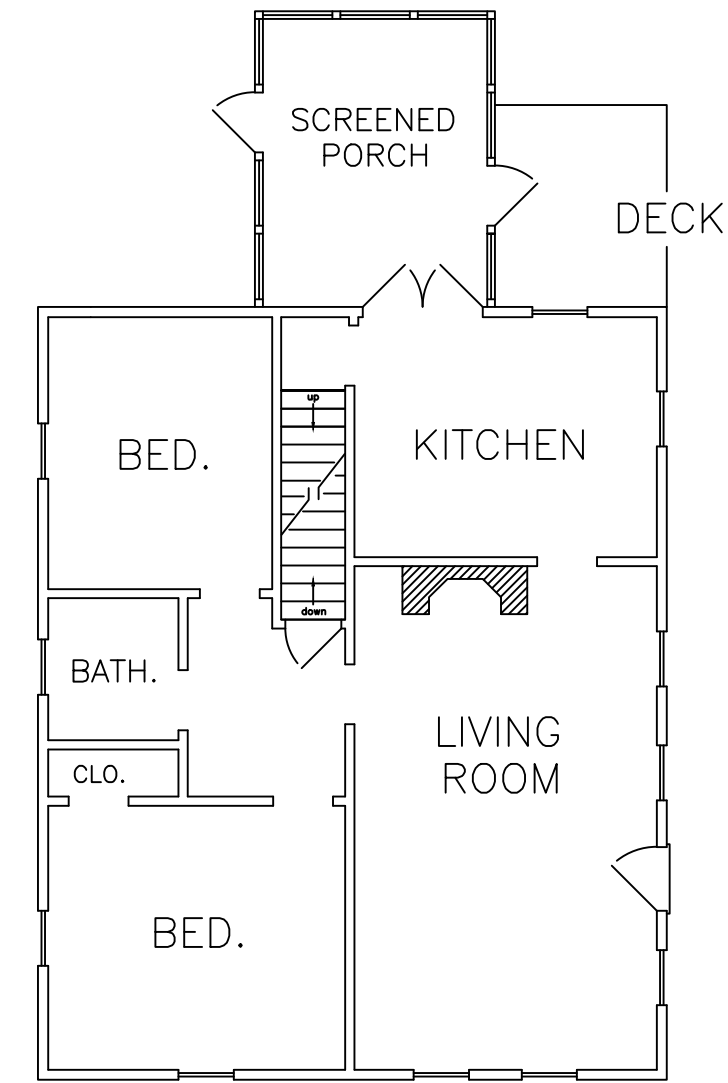
LEGEND

-  DENOTES WALLS, DOORS, ETC. TO BE REMOVED
-  DENOTES NEW LAYOUT

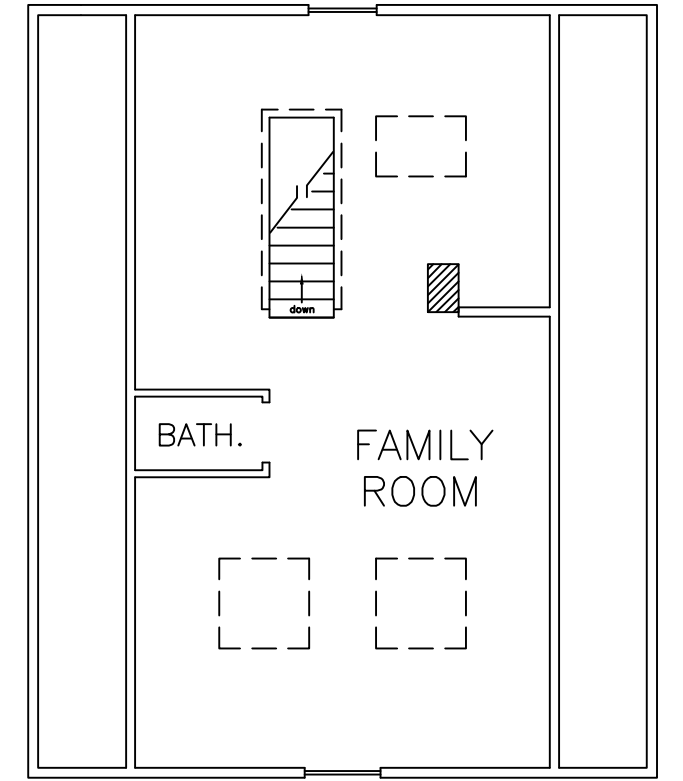


EXISTING
FIRST FLOOR
(3/16" = 1')

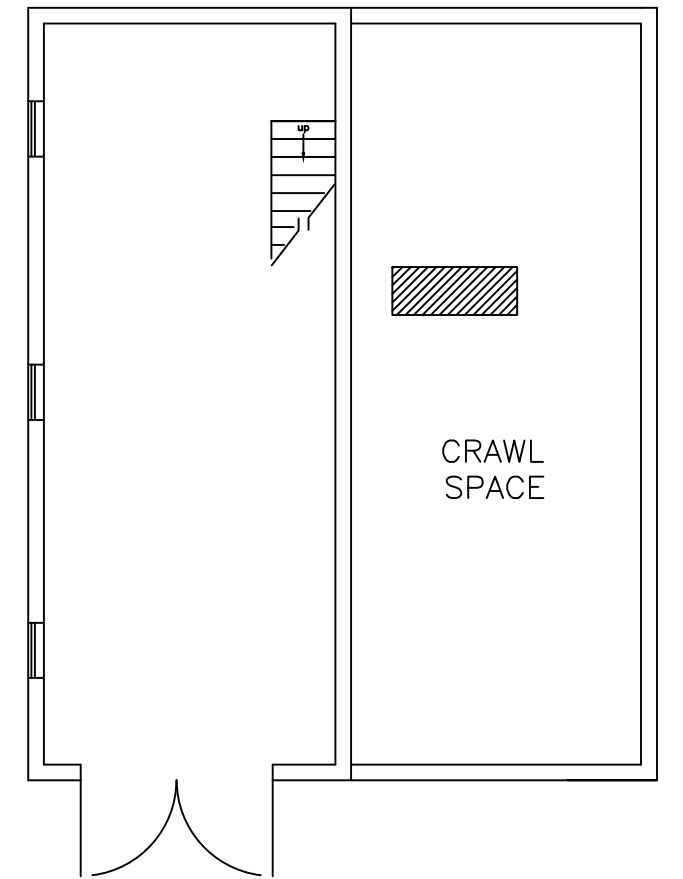
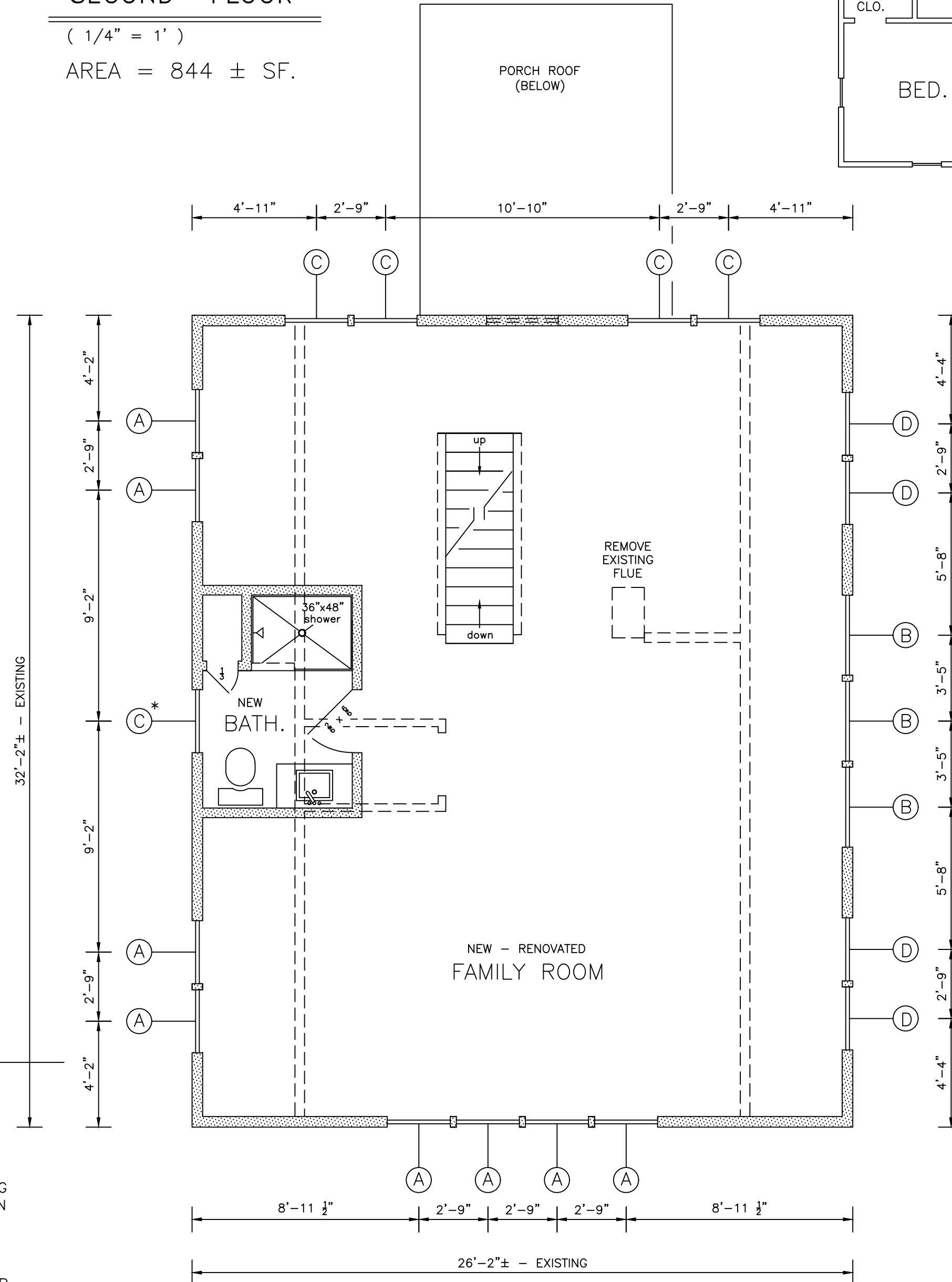
EXISTING
FIRST FLOOR
(1/8" = 1')



EXISTING
SECOND FLOOR
(1/8" = 1')



PROPOSED
SECOND FLOOR
(1/4" = 1')
AREA = 844 ± SF.



EXISTING
BASEMENT
(1/8" = 1')



PROPOSED ADDITIONS / RENOVATION

KIMBERLY CHESTER

38 FISHER ROAD
-PROPOSED SECOND FLOOR PLAN
-EXISTING FLOOR PLANS
DECEMBER 14, 2022

TRURO

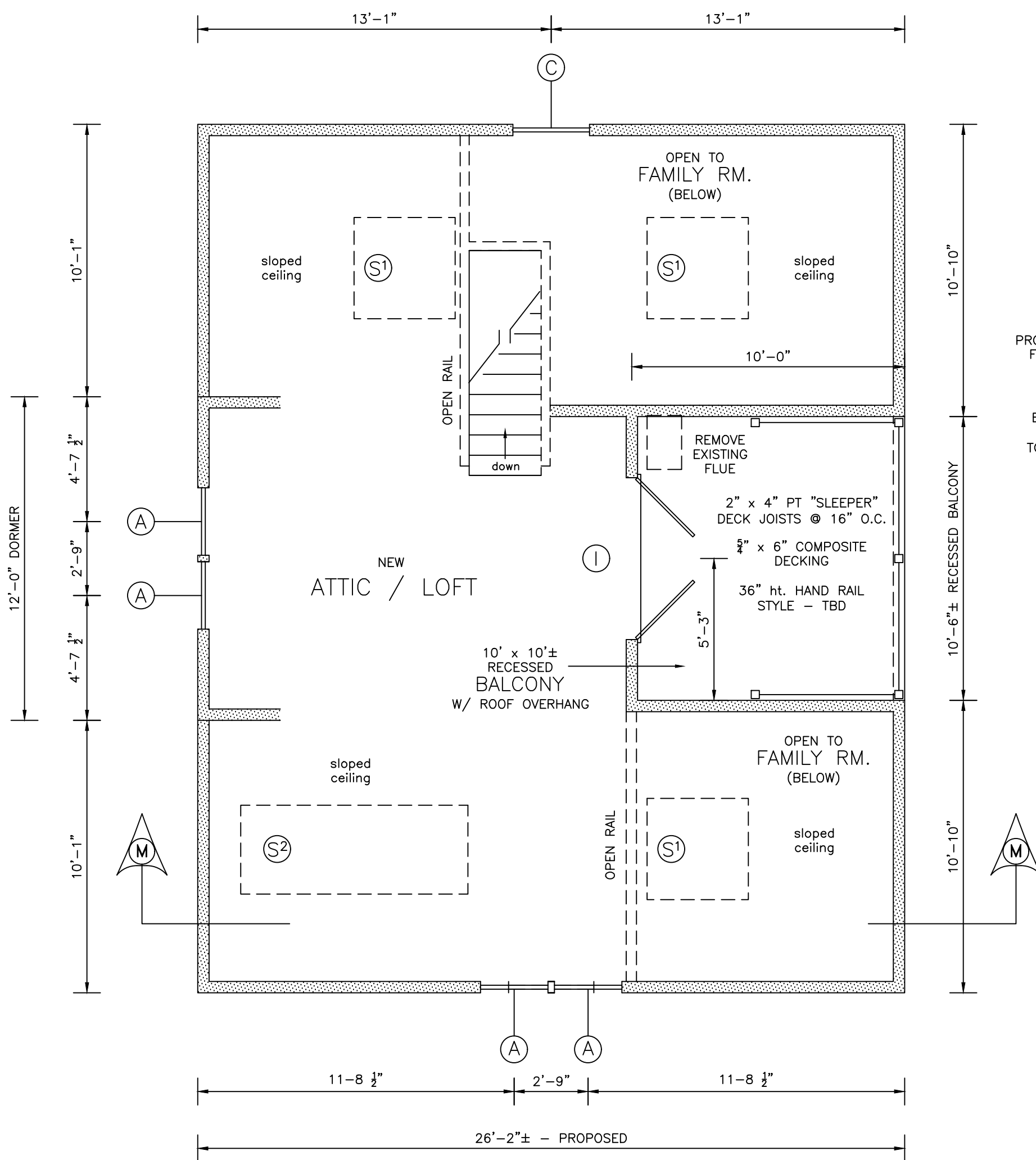
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PROPOSED
ATTIC / LOFT FLOOR

(1/4" = 1')

INSULATION:
9" FG INSUL. = R30 FLOORS
6" FG INSUL. = R20 WALLS
7 1/2" CLOSED CELL SPRAY FOAM INSUL.
= R51 CEILINGS



PROVIDE SOLID BLOCKING FOR FULL PERIMETER NAILING

1/2" PLYWOOD EXTERIOR SHEATHING (RUN CONTINUOUS TO ENGAGE RIM JOIST & TOP PLATE)

2" x 6" x 6'-8" STUD WALL @ 16" O.C.

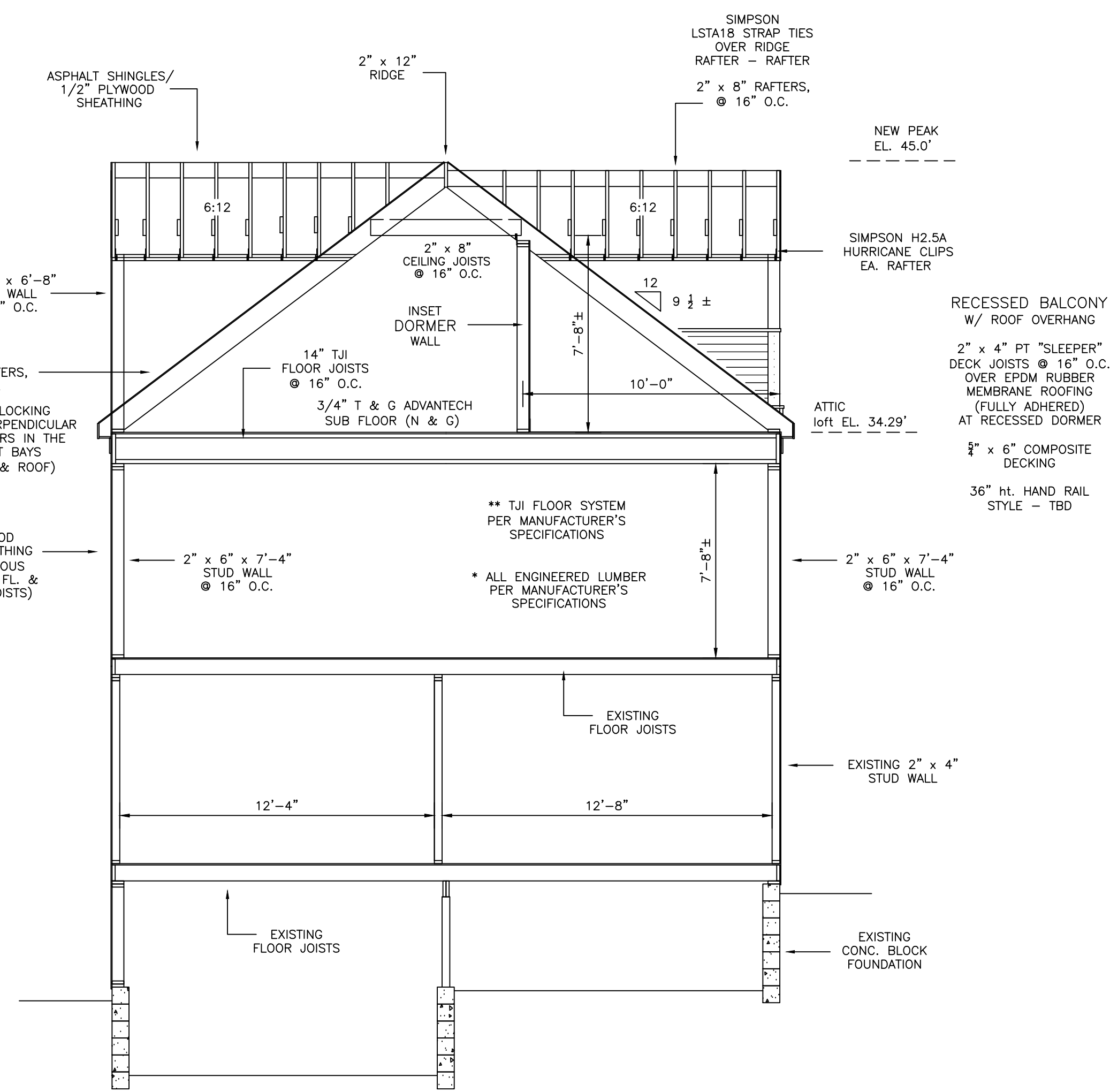
2" x 10" RAFTERS, @ 16" O.C.

PROVIDE SOLID BLOCKING AT PANEL EDGES PERPENDICULAR TO FRAMING MEMBERS IN THE FIRST TWO JOIST BAYS @ 4'-0" (FLOOR & ROOF)

1/2" PLYWOOD EXTERIOR SHEATHING (RUN CONTINUOUS TO ENGAGE 1st FL. & 2nd FL. RIM JOISTS)

2nd. fl. EL. 25.46'

1st. fl. EL. 17.51'



FRAMING SECTION "M"

(1/4" = 1')

* VERIFY ALL DETAILS WITH BUILDER
ADJUST AS REQUIRED



DOOR & WINDOW SCHEDULE				CHESTER	
KEY	ITEM	QUA.	DESCRIPTION	ROUGH OPEN'G	NOTES
A	WINDOW	12	AND. #TW2446 DH	30 1/8" x 56 7/8"	DOUBLE STUD POCKET
B	"	3	AND. #TW30410 DH	38 1/8" x 60 7/8"	"
C *	"	6	AND. #TW24310 DH	30 1/8" x 48 7/8"	* TEMPERED GLASS
D	"	4	AND. #TW24410 DH	30 1/8" x 60 7/8"	"
S1	SKYLIGHT	3	VELUX #S06 SKYLIGHT	44 1/4" x 45 3/4"	VENTING
S2	ROOF WINDOW	1	VELUX GDL CABRIO	39 3/8" x 101"	BALCONY ROOF WINDOW
REPLACEMENT WINDOWS, IF ANY, ARE NOT INCLUDED					
I	FR.WD.HNG'D.	1	AND. #FW06068 APLR	72" x 80"	OUTSWING OR EQUIV.

HOLD ALL HEADER HEIGHTS @ 6'-8" UNLESS OTHERWISE NOTED

- USE ANDERSEN SERIES 400 H-P LOW E GLASS COLOR TO BE DETERMINED BY OWNER
- OPTIONAL INTERIOR / EXTERIOR GRILLE SYSTEM
- VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION
- VERIFY ALL MILLWORK PRIOR TO PURCHASE

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