

Benjamin E. Zehnder LLC

62 Route 6A, Unit B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

April 29, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
P.O. Box 2012
Truro, MA 02666

Via hand delivery

Re: New ZBA application / appeal from building permit revocation
127 South Pamet Road (48-12)

Dear Ms. Fullerton:

Please find enclosed for filing with the Zoning Board of Appeals one original and nine copies of an appeal from a building permit revocation by the Building Commissioner for the property at 127 South Pamet Road issued on April 5, 2022. I have also enclosed payment in the amount of \$50.00 for the filing fee.

Thank you as always for your assistance. I remain –

Very truly yours,



Benjamin E. Zehnder

Enc.
cc via email:
client
Barbara Carboni
Brian Carlstrom
Lauren McKean
John Schnaible
Elizabeth Sturdy



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date April, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.

Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* April 5, 2022 which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* _____

Property Address 127 South Pamet Road & 133 South Pamet Road Map(s) and Parcel(s) 48-12 & 48-8

Registry of Deeds title reference: Book 33550, Page 123, or Certificate of Title Number 228604 and Land Ct. Lot # 1C / 1D and Plan # 16182-E / 16182-F

Applicant's Name Thomas P. Dennis, Jr. and Kathleen C. Dennis, individually & as Trustees

Applicant's Legal Mailing Address 30 Colony Road Springfield, MA 01106

Applicant's Phone(s), Fax and Email (413) 246-1096; dennis@dennisgrp.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

Owner Prospective Buyer* Other*

Owner's Name and Address _____

Representative's Name and Address Benjamin E. Zehnder 62 Route 6A, Unit B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzezhnder@zehnderllc.com

2. The completed application **shall also** be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

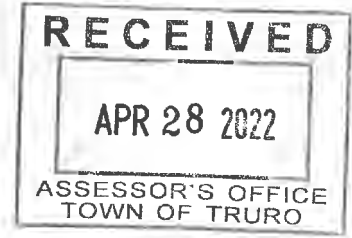
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form



DATE: April 28, 2022

NAME OF APPLICANT: Thomas P. Dennis, Jr. and Kathleen C. Dennis

NAME OF AGENT (if any): Benjamin E. Zehnder

MAILING ADDRESS: 62 Route 6A, Suite B, Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-7766 EMAIL bzehnder@zehnderllc.com

PROPERTY LOCATION: 127 South Pamet Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 48 PARCEL 12 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |

Other Appeal from Building Permit revocation by Building Commissioner (Fee: Inquire with Assessors)
(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 4/28/2022 Date completed: 4/28/2022
List completed by: [Signature] Date paid: 4/28/2022 Cash/Check: 131

¹ Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.
² Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.
³ Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.
⁴ All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.
⁵ Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: April 28, 2022

To: Benjamin E. Zehnder, Agent for Thomas P. Dennis, Jr. & Kathleen C. Dennis

From: Assessors Department

Certified Abutters List: 127 South Pamet Road (Map 48, Parcel 12)

Appeal of Building Permit Revocation-BP#22-105

Attached is a combined list of abutters for the property located at 127 South Pamet Road.

The current owners are Thomas P. Dennis, Jr. & Kathleen C. Dennis.

The names and addresses of the abutters are as of April 22, 2022 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

Olga Farrell
Assessing Clerk

127 South Pamet Road

Map 48, Parcel 12

Appeal of Building Permit Revocation

BP #22-105

TOWN OF TRURO, MA
BOARD OF ASSESSORS
P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 48/12/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip Cd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
2742	48-5-0-E	TOWN OF TRURO	0 SO PAMET RD	PO BOX 2030	TRURO	MA	02666-2030
2743	48-6-0-E	TOWN OF TRURO	0 SO PAMET RD	PO BOX 2030	TRURO	MA	02666-2030
2744	48-7-0-E	TOWN OF TRURO	135 SO PAMET RD	PO BOX 2012	TRURO	MA	02666
2745	48-8-0-R	THOMAS P DENNIS JR REV TRUST & KATHLEEN C WESTHEAD-DENNIS REV	133 SO PAMET RD	C/O DENNIS GROUP 1537 MAIN ST	SPRINGFIELD	MA	01103
2748	48-11-0-R	SEAL OF APPROVAL LLC MGR: THOMAS ROCCO	131 SO PAMET RD	14 HAMMEL COURT	PORTSMOUTH	RI	02871
2749	48-12-0-R	DENNIS THOMAS P JR & KATHLEEN	127 SO PAMET RD	30 COLONY RD	SPRINGFIELD	MA	01106
2750	48-13-0-R	WATSON CLYDE D QPR TRUST TRS: WATSON CLYDE D	119 SO PAMET RD	55 THREE MILE RD	ETNA	NH	03750-3809

[Handwritten signature]
4/28/2022

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

48-5-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

48-6-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

48-7-0-E

TOWN OF TRURO
PO BOX 2012
TRURO, MA 02666

48-8-0-R

THOMAS P DENNIS JR REV TRUST &
KATHLEEN C WESTHEAD-DENNIS REV
C/O DENNIS GROUP
1537 MAIN ST
SPRINGFIELD, MA 01103

48-11-0-R

SEAL OF APPROVAL LLC
MGR: THOMAS ROCCO
14 HAMMEL COURT
PORTSMOUTH, RI 02871

48-12-0-R

DENNIS THOMAS P JR & KATHLEEN
30 COLONY RD
SPRINGFIELD, MA 01106

48-13-0-R

WATSON CLYDE D QPR TRUST
TRS: WATSON CLYDE D
55 THREE MILE RD
ETNA, NH 03750-3809



TOWN OF TRURO

Building Department

24 Town Hall Road

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004, Ext. 131 Fax: 508-349-5508

Benjamin E. Zender
P.O. Box 2300
Orleans, MA 02653

April 5, 2022

Dear Ben,

Pursuant to my authority under G.L. c. 40A, s. 7 and Section 60.1 of the Zoning Bylaw, I am revoking Building Permit # 22-105, issued March 8, 2022, authorizing foundation construction and placement of the "Boathouse" (formerly located on 133 South Pamet Road) on the property located at 127 South Pamet Road. The reasons for this revocation are as follows:

1) An evident zoning violation on the property at 127 South Pamet has come to the attention of this Department. A current rental listing (ballstonbeachgetaway.com) describes in detail the features of the two residential structures on the property, the "Main House" and the "Cottage". Both the Main House and the Cottage are described as having kitchens.

The Cottage was permitted in 2007 as a habitable studio. Further, it has been represented to the Department and to the Zoning Board of Appeals in recent applications as being a habitable studio. That term is defined in the Zoning Bylaw as follows:

Habitable Studio. A habitable studio shall consist of one or more bedrooms, with or without bathroom facilities, in a building detached from the principal residence, which is incidental and accessory to the principal residence *and which does not include residential kitchen facilities.* A room identified as a bedroom will be included in considerations under the State Environmental Code, Title 5.

(Emphasis added). The Zoning Bylaw defines a "dwelling unit" as follows:

Dwelling Unit. One or more rooms containing both cooking and bathroom facilities and designed for human habitation by one family independent of other facilities. Each

accessory building or portion thereof, studio or guesthouse, which has both cooking and bathroom facilities, is considered to be a separate dwelling unit.

The difference between a dwelling unit and a habitable studio is a kitchen: a dwelling unit contains such a facility; a habitable studio may not. As the Cottage evidently contains "kitchen facilities," it appears to be a dwelling unit, not a habitable studio under the Zoning Bylaw. As there is another dwelling unit on the property (the Main House), the Cottage structure and its use are evidently in violation the Zoning Bylaw, which permits only one dwelling unit per lot. I will conduct an inspection of both structures to determine the existence of any Zoning violation(s) and the appropriate remedy.

2)The recent building permit application represented the 127 South Pamet property as containing 4.36 acres and conforming to the Zoning Bylaw minimum lot area of 3.0 acres. This is inconsistent with the application filed with the Zoning Board of Appeals in 2021, which identified the existing lot area as 1.68 acres/73,000 square feet on a plan stamped by a professional surveyor. This is significant, as whether the lot is conforming (3 or more acres) or nonconforming determines whether zoning relief is required to locate the Boathouse structure onto the property. As an appeal of the building permit has been taken, this issue is now before the Zoning Board of Appeals and will be resolved by that Board.

For the above reasons, I am revoking Building Permit # 22-105 pending resolution of the Zoning issues identified. The Boathouse structure may not be moved onto 127 South Pamet property unless and until these issues of Zoning compliance are resolved.

Please contact me at your earliest convenience to schedule an inspection of the Main House and Cottage.

Richard Stevens



Building Commissioner
Town Of Truro

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.
PO Box 2030
Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:	Fee:
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SITE INFORMATION

Project Site: 127 S. PAMET RD TRURO, MA 02666

Assessors Map & Parcel: 48-12-0⁴⁸ Zoning District:

Outside Flood Zone Inside Flood Zone - Specify:

Setbacks: Front: 51' Left Side: 53' Right Side: 150' Rear: ∞

Lot Area (sq. ft.): 4.36 ACRES Frontage: 287.24

Water Supply: Private Public

Subject to Policy 28: Curb Cut? Y N
If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: THOMAS & KATHLEEN DENNIS

Mailing Address: 1537 MAIN ST, SPRINGFIELD, MA 01103

Phone: 413.246.1096 E-mail: DENNIS@DENNISGRP.COM

Property Owner Authorization

Signature: Tom Dennis Date: 23 Feb, 2022

PROJECT INFORMATION

1 & 2 Family Home Commercial / Other than 1 & 2 Family Home* Change of Use DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____ Commercial Building
 Addition Alteration Mechanical
 Accessory Structure: (type) _____ Other: HOUSE RELOCATION

Detailed Description of Proposed Work:

HOUSE MOVE INCLUDING INSTALLATION OF WOOD PILE FOUNDATION.

NO NEW HOUSE CONSTRUCTION - FOUNDATION AND MOVE ONLY

Estimated Construction Cost: **PIPING * 15,000**
MUDG * 45,000 Debris Disposal:
(Landfill or Company Name)

Floor Area: (Proposed Work Only) Basement: unfinished _____ finished _____

1st flr: _____ 2nd flr: _____ Porch/Deck: _____ Other: _____

#fireplaces: _____ #chimneys: _____ #bathrooms: existing _____ proposed _____

#bedrooms: existing _____ proposed _____

Type of Heating System: _____ Type of Cooling System: _____

CONTRACTOR INFORMATION*

*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)

Contractor Name: *** SOUTH SHORE PILE DRIVING**
GEDDES MUDG

Address: *** 12 SEA ST MARSHFIELD, MA 02050**
8 GORDON RD BOW, NH 03304

Phone: *** 781-706-4021** Email: **PAUL@SSPILEDRIVING.NET**
603-224-2192 **GEDDES.MUDG@CIVILAST.NET**

CSL#: _____ HIC # _____

OFFICE USE

HEALTH/CONSERVATION AGENT Review _____

Signature: _____ Date: _____

Other Comments: _____

BUILDING COMMISSIONER Review & Approval: _____

Signature: _____ Issuance Date: _____



TOWN OF TRURO

BUILDING DEPARTMENT

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

HOMEOWNER LICENSE EXEMPTION FORM

Please print:

Job Location: 127 S. Pamet Rd 48-12-0
Street Address Map Parcel

"HOMEOWNER": Tom Dennis 413-246-1096
Name Home Phone

Present Mailing Address: 1537 Main St
Springfield, MA 01103

780 CMR 110.R5.1.3.1 (Exception) Any homeowner performing work for which a building permit is required shall be exempt from the licensing provisions of 780 CMR 110.R5, provided that if a homeowner engages a person(s) for hire to do such work, then such homeowner shall act as supervisor. This exception shall not apply to the field erection of a manufactured buildings constructed pursuant to 780 CMR 110.R3.

Note. Any Licensed Construction Supervisor who contracts to do work for a homeowner shall be responsible for performing said work in accordance with 780 CMR and manufacture's recommendations, as applicable, whether or not the licensed contractor secured the permit for said work.

780 CMR 110.R5 (Homeowner)

Person(s) who owns a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one- or two-family dwelling, attached or detached structures accessory to such use and/or farm structures. A person who constructs more than one home in a two-year period shall not be considered a homeowner.

Homeowner's Signature: Tom Dennis Date: 23 Feb, 2022

Approval of Building Official: _____ Date: _____

Updated: 01/03/2012



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit; Builders/Contractors/Electricians/Plumbers.
 TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business/Organization/Individual): THOMAS DENNIS

Address: 1537 MAIN ST

City/State/Zip: SPRINGFIELD, MA 01105 Phone #: 413-246-1096

<p>Are you an employer? Check the appropriate box:</p> <p>1. <input type="checkbox"/> I am an employer with _____ employees (full and/or part-time).*</p> <p>2. <input type="checkbox"/> I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]</p> <p>3. <input type="checkbox"/> I am a homeowner doing all work myself. [No workers' comp. insurance required.]†</p> <p>4. <input checked="" type="checkbox"/> I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.</p> <p>5. <input type="checkbox"/> I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance.</p> <p>6. <input type="checkbox"/> We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §(4), and we have no employees. [No workers' comp. insurance required.]</p>	<p>Type of project (required):</p> <p>7. <input type="checkbox"/> New construction</p> <p>8. <input type="checkbox"/> Remodeling</p> <p>9. <input type="checkbox"/> Demolition</p> <p>10. <input type="checkbox"/> Building addition</p> <p>11. <input type="checkbox"/> Electrical repairs or additions</p> <p>12. <input type="checkbox"/> Plumbing repairs or additions</p> <p>13. <input type="checkbox"/> Roof repairs</p> <p>14. <input checked="" type="checkbox"/> Other <u>House Move</u></p>
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* Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.
 † Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.
 * Contractors that check this box must attach an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: _____

Policy # or Self-ins. Lic. #: _____ Expiration Date: _____

Job Site Address: _____ City/State/Zip: _____

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: Thomas Dennis Date: 23 FEB. 2022

Phone #: 413-246-1096

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):
 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
 6. Other _____

Contact Person: _____ Phone #: _____

Benjamin Zehnder

From: Benjamin E. Zehnder
Sent: Wednesday, February 23, 2022 1:29 PM
To: Rich Stevens (rstevens@truro-ma.gov)
Cc: Barbara Carboni; Charles B. Zehnder
Subject: 127 and 133 South Pamet Road Request for Determination
Attachments: Lot 1-C_127 South Pamet Rd Truro - Deed Documents.pdf; Lot 1-D_127 South Pamet Rd Truro - Deed Documents.pdf; S Pamet Road.pdf; C17338-C-SKC-3-2022-02-23-STAMP.pdf

e2DraftID: a5d6627975

Hi Rich:

Following up on yesterday's below email. I have attached the following:

1. Site plan showing the 133 SPR dwelling (the "Boathouse") moved back and down on 127 SPR to a location 51' from South Pamet Road and 53' from the easterly sideline. Also showing lot frontage for 127 SPR of 288.24 feet.
2. Lot calculations showing an area for 127 SPR of 4.36 acres, and for 133 SPR of .32 acres, for a total of 4.68 acres. This is based on the Zoning Bylaw definition that exempts pre 1987 from upland lot area calculation requirements:

Lot Area. The area of a lot when used for building purposes shall not be less than the minimum required by this bylaw for the district in which it is located. Such an area shall not be interpreted to include any portion of a lot below mean water level on fresh water, below mean high water on tidal water or within the limits of any defined way, exclusive of driveways serving only the lot itself. No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune or wet meadow. This definition shall apply only to lots created after April 30, 1987.

Based on combined lot area of 4.68 acres, the Zoning Bylaw permits a Seashore District Total Gross Floor Area of **3,936 square feet**. (3,600sf for 3 acres and 336 for the next 1.68 at 200 sf per acre pro-rated).

The combined Seashore District Total Gross Floor Area of the three structures is as follows:

- a. 133 SPR Boathouse 1st floor 24'x35' = 840 sf 2nd floor = 700 sf Total= 1,540 sf
- b. 127 SPR Studio (living area) One floor 25'x29' 725 sf
- c. 127 SPR Main House Main bldg 29'x39' = 1,131 sf ; Side bldg = 22'x24' = 528 sf
Total = 1,659 sf

Tom and Kit Dennis will remove the kitchen from the Boathouse to render it a habitable accessory building, and will combine the two lots by affidavit or Approval Not Required Plan per your direction.

Based on these assumptions, I believe that the Boathouse may be moved as shown and used as a habitable accessory structure as of right by issuance of a building permit and necessary conservation and health permits.

Would you please confirm or let me know if you require any zoning relief? I am happy to drop off a building permit application if necessary.

My thanks for your attention.

Ben

Benjamin E. Zehnder
La Tanzi, Spaulding & Landreth
8 Cardinal Lane; P.O. Box 2300
Orleans, MA 02653
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(508) 255-3786 (fax)
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bzehnder@latanzi.com
Orleans/Provincetown/Barnstable



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From: Benjamin E. Zehnder
Sent: Tuesday, February 22, 2022 10:41 AM
To: Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>
Cc: Barbara Carboni <bcarboni@truro-ma.gov>; Charles B. Zehnder <CZehnder@latanzi.com>
Subject: FW: S Pamet Road Analysis

Hi Rich:

Tom Dennis' engineers have calculated the lot areas of 127 and 133 South Pamet Road. Here is a schematic that I can have stamped and file with a proposed site plan for moving the boathouse further rearward onto the 127 property. Also attached are the land court plans. Lots 1-C and 1-D are 127 South Pamet Road, and the land shown as the Coast Guard land next to Lot 1-C on Plan 16182-E is 133 SPR.

The proposal will be to move and locate the structure further back on 127 conforming to dimensional setbacks, and remove the kitchen, making it a second accessory building on the property. The intention is also to combine the lots by the means you determine necessary, either an ANR plan, which would be somewhat complicated given that the land is both registered and unregistered land, or by recorded affidavit of intention to combine, which is what we do in Eastham.

The lot areas include land eastward of the coastal bank, but I believe those areas are included in lot area as the lots are pre-existing pre-1987 lots and therefore the entire land area is included for calculating Total Gross Floor Area permitted.

Based on the land areas, the Whitelaw land alone meets the area and frontage requirements, therefore I do not believe the structure move requires either a dimensional or use special permit.

Assuming the combined structure sizes are below the by right Total Gross Floor Area maximums, I do not believe that the move requires a special permit in that regard.

I will send you a site plan shortly for your review and will give you a call shortly. We are trying to permit the move prior to the start of the season so as to get the house off the neighbor's property and not inconvenience him.

Thanks Rich.

Ben

Benjamin E. Zehnder
La Tanzi, Spaulding & Landreth
8 Cardinal Lane; P.O. Box 2300
Orleans, MA 02653
(508) 255-2133
(508) 255-3786 (fax)
(508) 246-4064 (mobile)
bzehnder@latanzi.com
Orleans/Provincetown/Barnstable



This email message and any files transmitted with it contain PRIVILEGED AND CONFIDENTIAL INFORMATION and are intended only for the person(s) to whom this email message is addressed. As such, they are subject to attorney-client privilege and you are hereby notified that any dissemination or copying of the information received in this email message is strictly prohibited. If you have received this email message in error, please notify the sender immediately by telephone or email and destroy the original message without making a copy. Thank you.

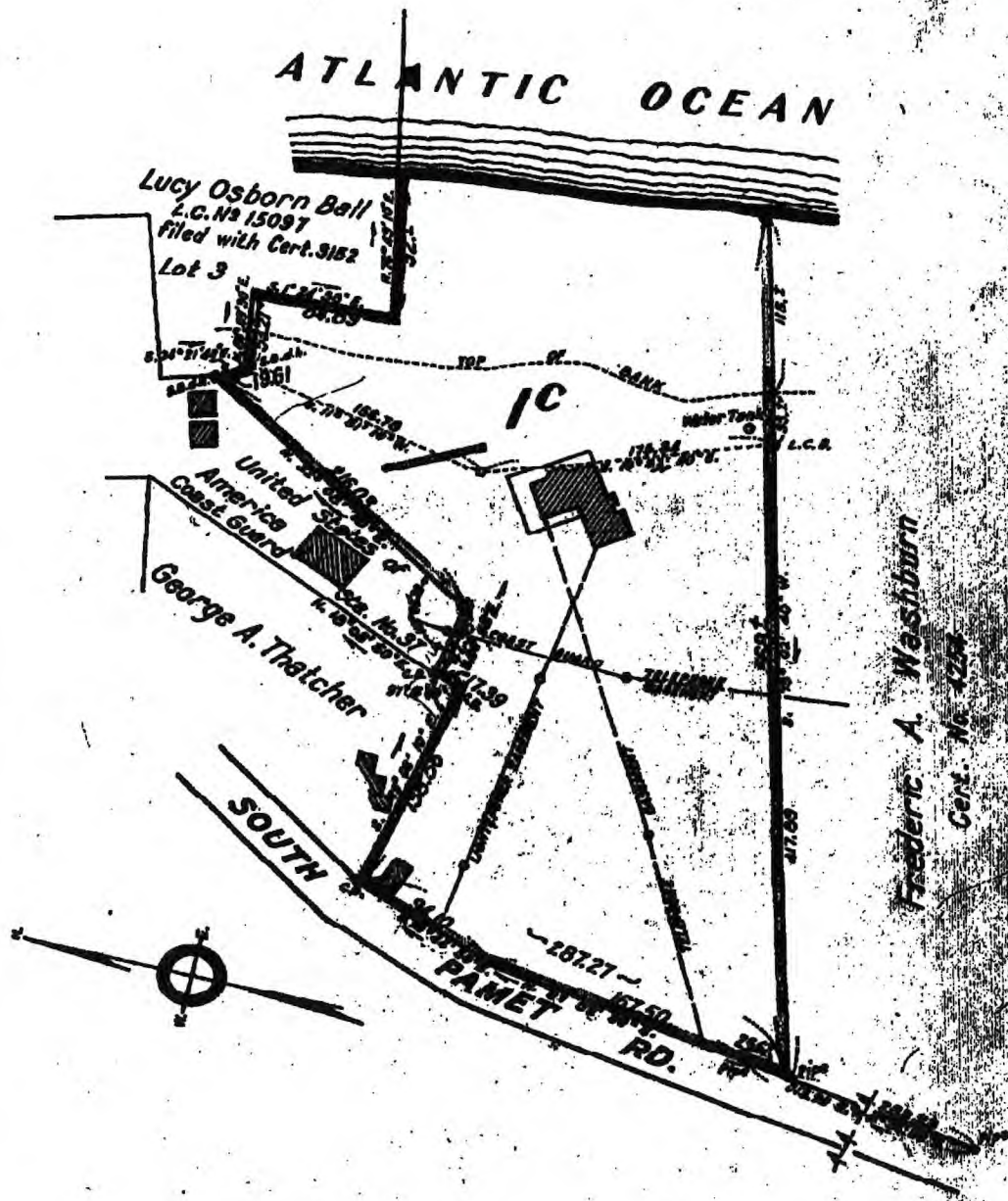
EMAIL DISCLAIMER: We do not email Non-Public Confidential Information in a non-secure method. Accordingly, such confidential information, including account information and personally identifiable information should not be transmitted by non-encrypted email/email attachments. Use of non-encrypted email is inherently insecure. In no event shall we accept any responsibility for the loss, use or misuse of any information including confidential information, which is sent to us by email or an email attachment, nor can we guarantee receipt, accuracy or response to any email.

Subdivision of part of Parcel 1 shown on plan 16182^A sh. 1 **16182^E**
Filed with Cert. of Title No. 4254 Registry District of Barnstable County

LAND IN TRUST

October 1945

John R. Dyer. Civil Eng'r.

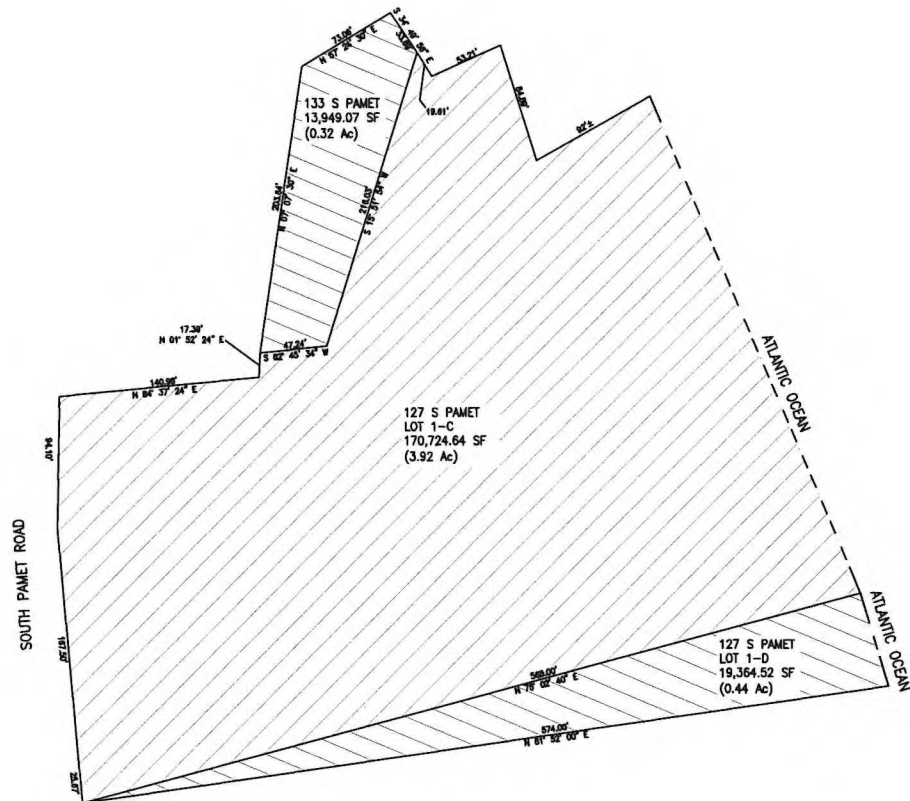


Frederic A. Washburn
Cert. No. 1238

Frederic A. Washburn, Commr., Cert. No. 1238

Separate certificates of title may be issued
for Lot 1C as shown hereon
By the Court
Robert F. P... Recorder
OCT. 9, 1945

Cop of part of plan
LAND REGISTRATION OFFICE
NOV. 9, 1945
Scale of this plan 80 feet to an inch
C. B. Humphrey, Engineer for Court



- NOTES:**
1. ALL DIMENSIONS AND BEARINGS SHOWN FOR 133 SOUTH PAMET ROAD WERE TAKEN FROM OUTCAMP DEED, DATED 03-25-2014, WITH LEGAL DESCRIPTION DERIVED FROM "PLAN OF LAND IN TRUST, MA MADE FOR ACCESS AMERICA, INC. DATED SEPTEMBER 17, 1993" BY SLADE ASSOCIATES, INC. RECORDED WITH THE BARNSTABLE REGISTRY OF DEEDS. PLAN BOOK 519, PAGE NO. 31.
 2. ALL DIMENSIONS AND BEARINGS SHOWN FOR 127 SOUTH PAMET ROAD WERE TAKEN FROM REGISTRY DISTRICT OF BARNSTABLE COUNTY LAND IN TRUST BOOK OF DEEDS, LAND COURT PLANS 16182-E AND 16182-F, DATED OCTOBER 1945.
 3. BEARINGS MISSING FROM 127 SOUTH PAMET ROAD LOT 1-C WERE ILLEGIBLE ON THE ABOVE REFERENCED DOCUMENTS. THE LOTS WERE Laid OUT USING ALL LEGIBLE INFORMATION FROM THE DOCUMENTS, USING THE SOUTH EAST CORNER WHERE LOTS 1-C AND 1-D INTERSECT AS THE BASIS OF PLOTTING THE PROPERTY LINES.

AREAS

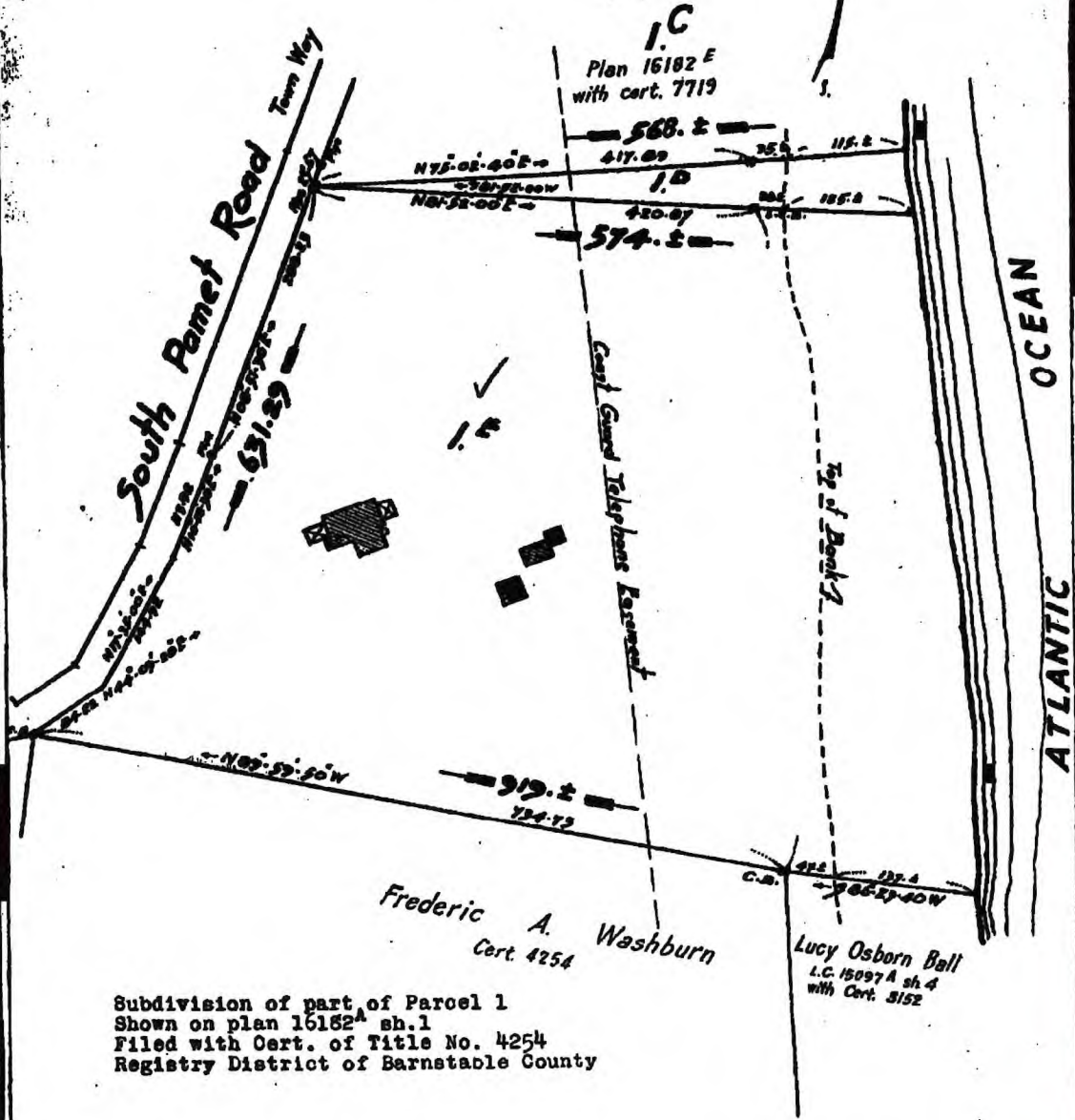
127 SOUTH PAMET ROAD LOT 1-C = 170,724.64 SF (3.92 AC)
 127 SOUTH PAMET ROAD LOT 1-D = 19,364.52 SF (0.44 AC)
 133 SOUTH PAMET ROAD = 13,949.07 SF (0.32 AC)
 TOTAL COMBINED AREA = 204,038.23 SF (4.68 AC)

16182F

SUBDIVISION PLAN OF LAND IN TRURO

John R. Dyer, C. E.

May - 1949

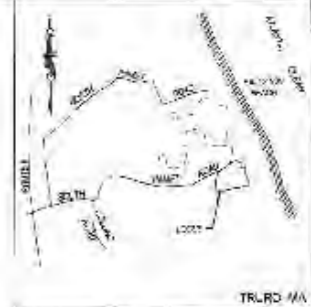


Subdivision of part of Parcel 1
Shown on plan 16182^A sh. 1
Filed with Cert. of Title No. 4254
Registry District of Barnstable County

Separate certificates of title may be issued
for lots 1A and 1B as shown herein
By the Court

JUNE 1, 1949
Recorder

Copy of part of plan
filed in
LAND REGISTRATION OFFICE
JUNE 1, 1949
Scale of this plan 120 feet to an inch
W.T. Falcough, Engineer & Court



KEY MAP
1/8" = 50' F

FLOOD ZONE:

FLOOD ZONE AL, L1, L2 AND ZONE VE F, V1, V2 SHOWN ON THIS DRAWING ARE A FICTITIOUS REPRESENTATION OF THE EXISTING FLOOD ZONE BOUNDARIES. OWNERS OF LAND FORMERLY ASSOCIATED WITH EFFECTIVE JULY 16, 2014 PLEASE NOTE THAT SITE SPECIFIC FLOOD ZONE BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THE FLOOD BOUNDARIES. OWNERS ARE ADVISED TO VERIFY LOCATION OF FLOOD ZONE BOUNDARIES WITH THE DESIGNATED COMMUNITY DEVELOPMENT MANAGERS AND/OR FLORIDA DEPARTMENT OF STATE BEFORE PROCEEDING WITH PROPOSED STRUCTURES.

DATUM:

ALL VERTICAL ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NVD 1988).

REFERENCE:

ASSESSORS MAP NO. 194001-15 & 17
 LAND COURT PLAN 16152 E
 LAND COURT PLAN 16152 F
 LAND COURT DOC #128748
 OWNER OF RECORD:
 PARCEL 9
 T-OMAS P DENNIS JR. & KATHLEEN O DENNIS
 H.F. 1900000000 PAGE 202
 PARCEL 12
 T-OMAS P DENNIS JR. & KATHLEEN O DENNIS
 CERTIFICATE 228000

LEGEND:

- ROUND
- ⊘ IRON PIPE
- ⊘ W/SC W/WHOLE
- ⊘ UTILITY POLE
- ⊘ GUY POLE
- ⊘ ELECTRIC METER
- ⊘ GAS METER
- ⊘ PICKET FENCE
- ⊘ BRUSH RAIL FENCE
- ⊘ STOCKADE FENCE
- ⊘ UNDERGROUND ELECTRICAL CONDUIT
- ⊘ SPLIT PIPE
- ⊘ OVERHEAD WIRES
- ⊘ W/

THE LOCATION OF "PA" THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 01-14-2021

DATE: FEBRUARY 23, 2022

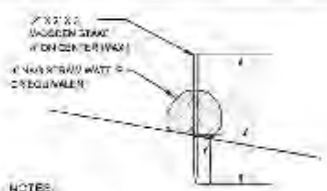
PROJECT: THOMAS DENNIS
 121 & 103 SOUTH PAMET ROAD
 WEST PALM BEACH, FL 33411

SKETCH PLAN SHOWING
 PROPOSED BUILDING LOCATION & SDS

AS NOTED
 DRAWING FILE: C17338-C.dwg
 DATE: 02-23-2022
 DRAWN BY: JDS
 CHECKED BY: JDS

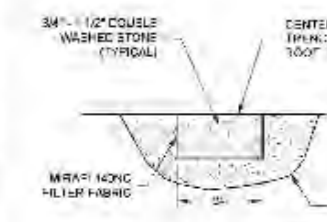
SKC-3

DATE: 02-23-2022
 PROJECT NO: C17338-01



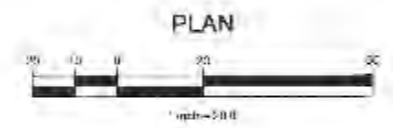
NOTES:
 1. DETAIL BARRIER SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL SUSPENSION OF AREA OCCURRED BY CONSTRUCTION.
 2. BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND COMPLETION PHASES.
 3. BARRIER SHALL BE REMOVED FROM BARRIERS AND OTHER FACILITIES TO HEIGHT OF THE BARRIER.

SEDIMENT CONTROL BARRIER
DETAIL
 NOT TO SCALE



NOTES:
 1. FILTER FABRIC & TURF REINFORCEMENT SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. THE INSTALLER SHALL LOCATE THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL PROTECT UTILITIES WITHIN THE WORK AREA DURING CONSTRUCTION.
 3. 12" MIN. EXISTING COARSE SAND ON COURSE SAND FILL.

INFILTRATION TRENCHES
 AT ROOF DRIP LINES
 NOT TO SCALE



PLAN
 1" = 30'

C:\PROJECTS\2022\121 & 103 SOUTH PAMET ROAD\121 & 103 SOUTH PAMET ROAD - SKC-3.dwg

DENNIS RESIDENCE
 SOUTH PAMET ROAD
 TRURO, MA

RELEASE FOR: PERMIT
 RELEASED: FEBRUARY 27, 2015

RELEASE	DATE	BY	APP.	PERMIT
A	02/27/2015	EEF	MRS	

DENNIS RESIDENCE
 SOUTH PAMET ROAD
 TRURO, MA

COVER SHEET

DRAWING LIST

● DENOTES DRAWINGS INCLUDED WITH RELEASE / PACKAGE.

STRUCTURAL

- S0.00 STRUCTURAL COVER SHEET
- S0.01 GENERAL NOTES
- S1.11 PILE FOUNDATION & SUB-FRAMING PLAN
- S2.01 SECTIONS & DETAILS

GENERAL NOTES

- A. ANY DISCREPANCY WITHIN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR CONSTRUCTION MANAGER PRIOR TO THE COMMENCEMENT OF ANY WORK. NO WORK SHALL BE DONE UNTIL DISCREPANCY HAS BEEN RESOLVED.
- B. ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- C. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF STUDS, CENTERLINE OF BEAMS AND COLUMNS. OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- D. THE FIGURED DIMENSIONS ON THE DRAWINGS OR NOTES INDICATING DIMENSIONS SHALL BE USED INSTEAD OF MEASUREMENTS OF THE DRAWINGS BY SCALE, AND SHALL BE STRICTLY COMPLIED WITH.
- E. WHEREVER A DETAIL IS REFERENCED AND DEVELOPED FOR A SPECIFIC CONDITION, SAME OR SIMILAR DETAIL SHALL APPLY TO IDENTICAL OR SIMILAR CONDITIONS ELSEWHERE ON THE PROJECT EVEN THOUGH NOT SPECIFICALLY REFERENCED.
- F. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, BUILDING LOCATIONS, CURBS, FLOW LINES, EXISTING CONDITIONS AND POINTS OF CONNECTIONS TO UTILITIES, ETC. IN THE EVENT OF CONFLICT, CONTACT THE ENGINEER OR CONSTRUCTION MANAGER FOR INSTRUCTION PRIOR TO PROCEEDING.
- G. CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- H. ALL MATERIALS AND METHODS SHALL COMPLY WITH CITY, STATE, AND FEDERAL REQUIREMENTS. ALL SYSTEMS SHALL BE APPROVED SYSTEMS AS DESIGNATED BY CITY, STATE, AND FEDERAL STANDARDS.
- I. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER - THE STRICTEST PROVISIONS SHALL GOVERN.

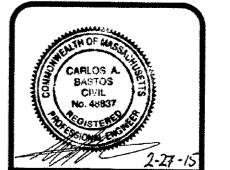
ABBREVIATIONS

AB	ANCHOR BOLT	NOM	NOMINAL
ALUM	ALUMINUM	NS	NEAR SIDE
ARCH	ARCHITECTURAL	NTS	NOT TO SCALE
B/	BOTTOM OF	OC	ON CENTER
BFB	BOTTOM FLANGE BRACE	OD	OUTSIDE DIAMETER
BLDG	BUILDING	OH	OVERHEAD
BM	BEAM	OPP	OPPOSITE
BRG	BEARING	OPNG	OPENING
CANT	CANTILEVER	PAPS	POWDER ACTUATED FASTENERS
CFMF	COLD-FORMED METAL FRAMING	PC	PRECAST CONCRETE
CJ	CONTROL/CONSTRUCTION JOINT	PEMB	PRE-ENGINEERED METAL BUILDING
CLR	CLEAR	PERP	PERPENDICULAR
CM	CONSTRUCTION MANAGER	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	REINF	REINFORCING OR REINFORCED
CONN	CONNECTION		
CONT	CONTINUOUS		
COORD	COORDINATE	SCH	SCHEDULE
CY	CUBIC YARD	SECT	SECTION
		SF	SQUARE FOOT OR STEP FOOTING
		SL	SLOPED
DBL	DOUBLE	SPEC	SPECIFICATIONS
DEMO	DEMOLISH OR DEMOLITION	SQ	SQUARE
DET	DETAIL	SS	STAINLESS STEEL
DIA	DIAMETER	STD	STANDARD
DIAG	DIAGONAL	STL	STEEL
DIM	DIMENSION	SY	SQUARE YARD
DWG	DRAWING	SYM	SYMMETRICAL
E	EXISTING		
EA	EACH	T/	TOP OF
EF	EACH FACE	T&B	TOP AND BOTTOM
EL	ELEVATION	TEMP	TEMPORARY
ELEV	ELEVATION	T&G	TONGUE AND GROOVE
EJ	EXPANSION JOINT	TO	TOP OF
EOS	EDGE OF SLAB	TOD	TOP OF DECK
EQ	EQUAL	TOM	TOP OF MAT
EW	EACH WAY	TOS	TOP OF SLAB
EX	EXISTING	TOST	TOP OF STEEL
EXP	EXPANSION	TOW	TOP OF WALL
		TYP	TYPICAL
FD	FLOOR DRAIN		
FDN	FOUNDATION	UN	UNLESS NOTED
FIN	FINISH OR FINISHED	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR		
FOC	FACE OF CONCRETE	VB	VAPOR BARRIER
FOS	FACE OF STUDS	VERT	VERTICAL
FOW	FACE OF WALL	VIF	VERIFY IN FIELD
FTG	FOOTING		
FRTW	FIRE-RETARDANT TREATED WOOD	W	WALL
FS	FAIR SIDE	WF	WIDE FLANGE
FV	FIELD VERIFY	W/O	WITHOUT
		WT	WEIGHT
GA	GAGE	WWF	WELDED WIRE FABRIC
GALV	GALVANIZE		
GC	GENERAL CONTRACTOR	YD	YARD
HC	HOLLOW CORE		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
INFO	INFORMATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
L	ANGLE		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
LP	LOW POINT		
LSV	LONG SIDE VERTICAL		
M	MAT		
MAS	MASONRY		
MAX	MAXIMUM		
MIN	MINIMUM		
MTL	METAL		
N	NORTH		
NA	NOT APPLICABLE		
NIC	NOT IN CONTRACT		

DESIGN TEAM

STRUCTURAL ENGINEER
THE DENNIS GROUP, LLC
 PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT

THE DENNIS GROUP, LLC
 PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT
 www.dennisgrp.com
 ATLANTA | SALT LAKE CITY | SAN DIEGO | SPRINGFIELD | TORONTO



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DRAWING NO.
S0.00
 P1000

NOTES:

DESIGN CRITERIA:

BUILDING CODE: MASSACHUSETTS BUILDING CODE 8TH EDITION RESIDENTIAL VOLUME / INTERNATIONAL RESIDENTIAL CODE (IRC) 2009 WITH MASSACHUSETTS AMENDMENTS

ROOF SNOW LOADS: = 30 PSF

FLOOR LIVE LOADS: SECOND FLOORS = 30 PSF FIRST FLOORS = 40 PSF

WIND LOADS: BASIC WIND SPEED (3 SECOND GUST), V = 120 MPH WIND IMPORTANCE FACTOR, Iw = 1.00 WIND EXPOSURE CATEGORY = C

GENERAL NOTES:

- 1. THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION OF THE BUILDING HAS BEEN COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY EXTENDS TO ALL RELATED ASPECTS OF THE CONSTRUCTION ACTIVITY INCLUDING, BUT NOT LIMITED TO, ERECTION METHODS, ERECTION SEQUENCE, TEMPORARY BRACING, FORMS, SHORING, USE OF EQUIPMENT, AND SIMILAR CONSTRUCTION PROCEDURES. REVIEW OF THE CONSTRUCTION BY THE ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY. NOT TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES. LACK OF COMMENT ON THE PART OF THE ENGINEER WITH REGARD TO CONSTRUCTION PROCEDURES IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE PROCEDURES.
2. SHORING NOTE: THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING, PROVIDING AND INSTALLING ALL TEMPORARY SHORING THAT IS REQUIRED TO SUPPORT INSTABILITIES OF EXISTING STRUCTURE (INCLUDING NON-LOAD BEARING WALLS, LOAD BEARING WALLS, FOUNDATIONS AND EXISTING ROOF AND FLOOR STRUCTURES) DURING CONSTRUCTION AND DUE TO THE REMOVAL OF EXISTING SUPPORTING WALLS AND EXISTING FRAMING MEMBERS FOR INSTALLATION OF NEW FRAMING AND FOUNDATIONS. SHORING SHALL BE FULLY INSTALLED AND STABLE PRIOR TO REMOVAL OF EXISTING STRUCTURAL ELEMENTS.
3. JOBSITE SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY. NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOBSITE SAFETY. LACK OF COMMENT BY THE ENGINEER IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE ASPECTS OF WORK.
4. IF FAULTY CONSTRUCTION PROCEDURES, OR MATERIAL, RESULT IN DEFECTIVE WORK THAT REQUIRES ADDITIONAL ENGINEERING TIME TO DEVISE CORRECTIVE MEASURES, PROFESSIONAL FEES MAY BE CHARGED TO THE CONTRACTOR AT THE STANDARD HOURLY RATE OF ADDITIONAL SERVICES. SUCH FEES MAY BE WITHHELD FROM THE GENERAL CONTRACTOR'S PAYMENT.
5. MECHANICAL EQUIPMENT WEIGHTS USED IN DESIGN OF SUPPORTING ELEMENTS ARE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO INSTALLATION OF EQUIPMENT IF ACTUAL WEIGHT EXCEEDS WEIGHT SHOWN ON DRAWINGS.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
7. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS NOTED "A" THAT ARE INDICATED ON THE DRAWINGS.
8. DO NOT SCALE DRAWINGS.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING BUILDING INSPECTOR INSPECTIONS. THE SCOPE OF WORK AT LEAST 48 HOURS IN ADVANCE, OR AS PER THE REQUIREMENTS OF THE LOCAL OFFICIALS.
10. CONTRACTOR SHALL VERIFY AND ACCEPT FIELD CONDITIONS PRIOR TO COMMENCING WORK.
11. ALL WORK SHALL COMPLY WITH THE DRAWINGS AND SPECIFICATION AND WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENT.

TIMBER PILE NOTES

- 1. ALL PILES SHALL BE PRESSURE TREATED SOUTHERN YELLOW PILE (C.C.A 2.5 LDC/F) GRADE NO. 2 TYPE "B" AND ALL MEASURE AT LEAST 8 INCHES IN DIAMETER AT THE TIP AND AT LEAST 12 INCHES DIAMETER AT THE CUT-OFF (UNDER BARK MEASUREMENTS) AND SHALL CONFORM TO ASTM D25. PRESSURE TREATING SHALL BE IN CONFORMANCE WITH AWPA STANDARDS C3 AND C16. ALL PILE CUT OFFS SHALL BE TREATED IN ACCORDANCE WITH AWPI STANDARDS M-4. SUBMIT CERTIFICATION OF PILE SPECIES AND TREATMENT TO THE BUILDING DEPARTMENT AND ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
2. MINIMUM TREATED TIMBER PILE DESIGN VALUE SHALL BE: Fc = 1200 PSI (PARALLEL TO GRAIN) Fb = 2400 PSI Fv = 110 PSI Fc = 1200 PSI (PERPENDICULAR TO GRAIN) E = 1,500,000 PSI
3. MAXIMUM HORIZONTAL PILE DEVIATION AT THE PILE CUT-OFF SHALL NOT BE GREATER THAN 3 INCHES (IN ANY DIRECTION). MAXIMUM VERTICAL PILE DEVIATION SHALL NOT EXCEED 5% MEASURED FROM PILE CUT-OFF TO GRADE. SUBMIT COMPLETE SURVEY INFORMATION FOR EACH PILE TO THE ENGINEER TO REVIEW. SURVEY DATA TO SHOW LENGTH OF PILE ABOVE GRADE TO CUT-OFF, CUT-OFF ELEVATION AND DEVIATION STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED LAND SURVEYOR. A COPY OF THE RECORDS AS REQUIRED IN SECTION 1099.0 OF THE MASSACHUSETTS BUILDING CODE, SHALL ALSO BE SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.
4. PROCEDURE REQUIRED IF THE PILE VERTICAL OR HORIZONTAL DEVIATION IS EXCEEDED IN ANY DIRECTION: NOTIFY THE ENGINEER IMMEDIATELY AND PROVIDE EXACT PILE LOCATIONS AS REQUIRED. DO NOT PROCEED WITH ANY FUTURE WORK AT THIS LOCATION UNTIL DIRECTED BY THE ENGINEER. IF THE PILE DEVIATION IS EXCEEDED FOR ANY REASON, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM AND ADDITIONAL WORK AS DIRECTED BY THE ENGINEER WHICH MAY INCLUDE DRIVING ADDITIONAL PILES.
5. GENERAL CONTRACTOR TO INSURE THAT THE PILES SATISFY ALL CODE REQUIREMENTS AND THAT THE PILES ARE DRIVEN IN ACCORDANCE WITH THESE NOTES AND DRIVEN TO THE REQUIRED CAPACITY. ANY DEVIATION FROM THESE SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH ANY WORK.
6. THE OWNER SHALL ENGAGE A REGISTERED GEO-TECHNICAL ENGINEER, THE ENGINEER, OR HIS/HER REPRESENTATIVE, WHO MUST BE QUALIFIED BY EXPERIENCED TRAINING, SHALL PERFORM A PERIODIC INSPECTION AND MONITORING OF PILE DRIVING.
7. EACH PILE SHALL BE DRIVEN IN ONE PIECE, WITHOUT SPLICING. THE MINIMUM SUPPLIED PILE LENGTH SHALL BE 35 FT WITH A MINIMUM DRIVEN EMBEDMENT DEPTH (BELOW MID-LINE) OF 26 FT. CONTRACTOR MUST FIELD VERIFY THE REQUIRED VERTICAL DIMENSIONS (ELEVATION ABOVE MID-LINE) PRIOR TO ORDERING PILE LENGTHS TO ENSURE THAT MINIMUM PILE LENGTH SUPPLIED IS SUFFICIENT.
8. DURING THE PILE DRIVING OPERATION, ANY SUDDEN DECREASE IN DRIVING RESISTANCE SHALL BE INVESTIGATED WITH REGARDS TO THE POSSIBILITY OF BREAKAGE OF THE PILE, AND IF SUCH SUDDEN DECREASE IN DRIVING CANNOT BE CORRELATED TO BORING DATA, AND IF THE PILE CANNOT BE REMOVED FOR INSPECTION, IT SHALL BE CONSIDERED ADEQUATE REASON FOR REJECTION OF THE PILE.
9. JETTING, AUGURING AND OTHER METHODS OF PRE-EXCAVATION TO ACHIEVE THE MINIMUM TIP ELEVATION ARE NOT BE PERMITTED WITH OUT PRIOR APPROVAL BY THE ENGINEER, WHERE PERMITTED, THE PRE-EXCAVATION MUST BE CARRIED OUT IN A MANNER WHICH WILL NOT IMPAIR THE CARRYING CAPACITY OF THE PILES ALREADY IN PLACE. IMMEDIATELY AFTER COMPLETION OF JETTING OR AUGURING, THE PILE SHALL BE ADVANCED TO THE MAXIMUM DEPTH OF PRE-EXCAVATION AND DRIVEN BELOW THIS DEPTH TO REQUIRED LOAD RESISTANCE SPECIFIED HEREIN.
10. THE PILE CONTRACTOR SHALL KEEP AND SUBMIT A PILE DRIVING LOG FOR EACH PILE.
11. BEFORE ANY TREATED PILES ARE DRIVEN, A CERTIFICATION SHALL BE SUBMITTED, CERTIFYING THAT THE PILES WERE FREE FROM DECAY, WERE PROPERLY PEELLED AND OTHERWISE PREPARED BEFORE TREATMENT, AND THE METHOD OF TREATMENT, THE CHEMICAL COMPOSITION AND THE AMOUNT OF RETENTION OF PRESERVATIVES CONFORM TO THE REQUIREMENTS SPECIFIED HEREIN. THE PRESERVATIVE RETENTION SHALL BE DETERMINED BY ASSAY METHOD.
12. ALL TIMBER PILES SHOWN SHALL BE DRIVEN IN STRICT ACCORDANCE WITH THE CURRENT MASSACHUSETTS STATE BUILDING CODE (REFER TO TIMBER PILE NOTES) AND SHALL BE DRIVEN WITH MODERN DROP HAMMER, PNEUMATIC HAMMER, DIESEL HAMMER, OR SIMILAR MEASURABLE DEVICES AND APPARATUS, SO THAT PROPER AND COMPLETE PILE DRIVING LOGS MAY BE RECORDED BY THE ENGINEER OR THEIR REPRESENTATIVE. BLOW COUNTS SHALL BE RECORDED, STARTING AT 5 FT OF DEPTH, FOLLOWED BY RECORDING OF BLOWS FOR EACH SUBSEQUENT FOOT DEPTH BEYOND THE INITIAL 5 FT EMBEDMENT, UNTIL THE FINAL MINIMUM DEPTH OF EMBEDMENT IS REACHED. IN NO CASE SHALL PILES BE DRIVEN VIA VIBRATORY EQUIPMENT OR METHODS ALONE, NOR PLACED WITH EXCAVATION EQUIPMENT. THE CONTRACTOR SHALL SUBMIT MEANS, METHODS AND EQUIPMENT TO THE ENGINEER FOR APPROVAL PRIOR TO START OF WORK.

WOOD FRAMING NOTES

- 1. ALL FRAMING LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE APPA "NATIONAL DESIGN SPECIFICATION", AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION", LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL BE 19%.
2. PRESSURE TREATED WOOD MEMBERS USED FOR PLACEMENT AGAINST CONCRETE OR MASONRY (SILL, PLATES, ETC) SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVES, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
3. ALL EXPOSED WOOD MEMBERS USED FOR STRUCTURAL FRAMING, DECKING, STAIRS, RAILS, BRACING, ECT. SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVES, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
4. ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. USED TO SECURE ACQ PRESURE TREATED LUMBER SHALL BE TRIPLE ZINC COATED HOT DIPPED GALVANIZED OR STAINLESS STEEL.
5. THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE KILN DRY, SOUTHERN PINE GRADE NO. 1 OR BETTER, WITH A MINIMUM ALLOWABLE BENDING STRESS (Fb)=1050 PSI, AND MINIMUM MODULUS OF ELASTICITY (E)=1,600,000 PSI.
6. LUMBER WHICH IS SPLIT, CRACKED, NOTCHED OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FOR USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
7. CONVENTIONAL WOOD FOR INTERIOR STRUCTURAL FRAMING (WHERE SPECIFIED) SHALL BE SPRUCE-PINE-FIR, GRADE NO. 2 OR BETTER WITH AN ALLOWABLE FIBER BENDING STRESS (Fb)= 875 PSI, AND MINIMUM MODULUS OF ELASTICITY (E)=1,400,000 PSI.
8. ENGINEERED LUMBER PRODUCTS SHALL BE AS MANUFACTURED BY TRUSS-JOIST CORP., BOISE-CASCADE, LOUISIANA-PACIFIC, OR APPROVED EQUAL.
9. FLOOR MANUFACTURER'S SPECIFICATION FOR ERECTION INSTALLATION, & PLACEMENT OF ENGINEERING LUMBER PRODUCTS, PENETRATIONS THROUGH ENGINEERED LUMBER PRODUCTS IS EXPRESSLY NOT PERMITTED WITHOUT APPROVAL BY THE ENGINEER.
10. DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION (APPA), THE TIMBER CONSTRUCTION MANUAL (AFC), AND ARCHITECTURAL GRAPHICS STANDARD BY RAMSEY & SLEEPER.
11. WHERE DIMENSIONAL FRAMING LUMBER IS FLUSH FRAMED TO ENGINEERED LUMBER OR STEEL GIRDERS, SET THESE GIRDERS 1/4" CLEAR BELOW THE TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
12. STAGGER LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.
13. CONTRACTOR SHALL SUBMIT ALL PROPOSED WOOD SPECIES, GRADES, GRADING AGENCY, TYPE OF PRESSURE TREATMENT, MANUFACTURE DATA AND CERTIFICATIONS TO THE ENGINEER FOR WRITTEN APPROVAL PRIOR TO ORDERING ANY MATERIALS.
14. PROVIDE SOLID BLOCKING BETWEEN ALL FLOOR JOIST AND DOUBLE ALL JOIST UNDER EACH PARTITION. EACH END OF EACH JOIST SHALL BE FULL DEPTH BLOCKED AT THE SUPPORT LOCATION. PROVIDE JOIST BRIDGING AT MID-SPAN AND QUARTER POINTS, OR AS SHOWN ON DRAWINGS. BRIDGING PLACEMENT SHALL NOT EXCEED 8 FT. OC SPACING.
15. USE FULLY NAILED MATERIAL CONNECTORS (USP, SIMPSON, OR EQUAL), JOIST, OR BEAM HANGERS WHEN JOIST OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS AND BASES FOR ALL POSTS, REFER TO FRAMING PLAN FOR CONNECTOR TYPES.
16. ALL SILLS AND TOP WALL PLATES SHALL BE DOUBLED 2x6'S WITH EACH CORNER STAGGER-LAPPED. SILLS AGAINST CONCRETE SHALL BE PRESSURE-TREATED.
17. BUILT-UP BEAMS (3 PIECES MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2 ROWS OF 10d ANNUAL RING NAILS AND LVL'S WITH 3 ROWS OF 16d ANNUAL RING NAILS EACH SIDE AT 12"OC, OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER. NAILS USED FOR BUILT-UP PIECES SHALL BE ANNUAL RING NAILS.
18. ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED. ALL CONNECTORS AND FASTENERS WHICH ARE USED WITH PRESSURE TREATED WOOD SHALL BE AISI 304 OR 316 STAINLESS STEEL.
19. ALL WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION. ENGINEERED LUMBER PRODUCTS WHICH ARE NOT KEPT DRY WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.
20. IN NO CASE SHALL JOISTS, RAFTERS, BEAMS, POSTS, STUDS OR ANY OTHER FRAMING MEMBER BE CUT, NOTCHED, DRILLED, OR OTHERWISE MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
21. JOISTS WHICH SUPPORT MECHANICAL UNITS SHALL BE TRIPLED AND NAILED TOGETHER AS SPECIFIED, UNLESS OTHERWISE SHOWN ON THE FRAMING PLANS OR DETAILS.

STRUCTURAL GLUED LAMINATED (GLU-LAM) TIMBER:

- 1. GLUED LAMINATED TIMBER SHALL BE "POWER PRESERVED GLULAM" (TREATED GLULAM) AS MANUFACTURED BY ANTHONY FOREST PRODUCTS CORPORATION.
2. APPEARANCE OF TIMBERS SHALL CONFORM TO AITC 110 "STANDARD APPEARANCE GRADE FOR STRUCTURAL GLUED LAMINATED TIMBER". TYPICALLY, CONCEALED TIMBERS SHALL BE INDUSTRIAL APPEARANCE GRADE, EXPOSED OR PARTIALLY EXPOSED TIMBERS SHALL BE ARCHITECTURAL APPEARANCE GRADE UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS OR IN THE SPECIFICATIONS.
3. MINIMUM ALLOWABLE STRESSES AND STIFFNESS CHARACTERISTICS OF TIMBERS SHALL BE AS FOLLOWS: Fb = 2400 PSI (BOTH TENSION AND COMPRESSION FACE) Fc1 = 740 PSI Fv = 300 PSI E = 1,800,000 PSI
4. UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE DRAWINGS, INSTALL TIMBERS IN SUBSTANTIAL CONFORMANCE WITH AITC 104 "TYPICAL CONSTRUCTION DETAILS".
5. THE FABRICATOR SHALL BE AN AITC LICENSED FIRM AND SHALL PROVIDE FACTORY-GLUED STRUCTURAL UNITS THAT COMPLY WITH AITC 190.1 "STRUCTURAL GLUED LAMINATED TIMBERS". EACH PIECE OF STRUCTURAL GLUED LAMINATED TIMBER SHALL BE FACTORY MARKED WITH AITC QUALITY MARK. PLACE MARK ON SURFACE THAT WILL NOT BE EXPOSED IN COMPLETED WORK.
6. THE FABRICATOR SHALL ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL GLUED LAMINATED TIMBER CONSTRUCTION SIMILAR IN MATERIAL, DESIGN AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
7. DELIVERY, STORAGE, AND HANDLING OF STRUCTURAL GLUED LAMINATED TIMBERS SHALL COMPLY WITH AITC 111 "RECOMMENDED PRACTICE FOR PROTECTION OF STRUCTURAL GLUED LAMINATED TIMBER DURING TRANSIT, STORAGE, AND ERECTION." INDIVIDUALLY WRAP MEMBERS WITH PLASTIC COATED PAPER COVERINGS, WITH WATER-RESISTANT SEAMS, BEFORE SHIPPING OR EXPOSED TO OUTDOOR CONDITIONS.
8. STRUCTURAL GLUE LAMINATED TIMBER MEMBERS SHALL BE ACQ OR CA PRESERVATIVE-TREATED BEFORE GLUING IN ACCORDANCE WITH AWPA C29-95 FOR WATERBORNE PRESERVATIVES. AFTER DRESSING AND END CUTTING TO FINAL SIZE AND SHAPE, APPLY A FIELD TREATMENT PRESERVATIVE TO COMPLY WITH AWPA M-46 TO ANY PORTIONS OF THE MEMBER THAT FALL OUTSIDE THE BUILDING WALL.
9. ADHESIVE SHALL BE WET-USE TYPE COMPLYING WITH ASTM D-2559. DO NOT USE MELAMINE-UREA-FORMALDEHYDE ADHESIVE FOR PRESERVATIVE TREATED GLUED LAMINATED TIMBER.
10. CONNECTORS, ANCHORS AND ACCESSORIES SHALL BE FABRICATED FROM STRUCTURAL STEEL SHAPES, PLATES, AND BARS COMPLYING WITH ASTM A36. ALL FABRICATED ASSEMBLIES SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 123.
11. BOLTS SHALL CONFORM TO ASTM A307. NUTS SHALL CONFORM TO ASTM A 563. ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 123.
12. FACTORY FINISH MEMBERS WITH THE MANUFACTURER'S STANDARD, DRY APPEARANCE, PENETRATING ACRYLIC STAIN AND SEALER, OVEN DRIED AND RESISTANT TO MILDEW AND FUNGUS. PROVIDE COLOR SELECTED BY ARCHITECT FROM MANUFACTURERS FULL RANGE OF COLORS.
13. MEMBERS MAY NOT BE NOTCHED OR BORED IN THE FIELD WITHOUT WRITTEN PERMISSION OF THE ENGINEER, EXCEPT AS REQUIRED FOR CONNECTIONS INDICATED ON THE APPROVED SHOP DRAWINGS.
14. REPAIR DAMAGED SURFACES AND FINISHES AFTER INSTALLATION IS COMPLETE. REPLACE DAMAGED STRUCTURAL GLUED LAMINATED TIMBERS IF REPAIRS ARE NOT APPROVED BY THE ARCHITECT OR ENGINEER.

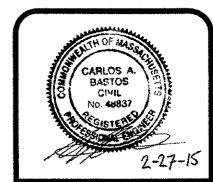
SPECIAL REQUIREMENTS FOR COASTAL CONSTRUCTION

- 1. ELEVATIONS SHOWN ARE REFERENCED TO NATIONAL GEODESIC VERTICAL DATUM (NGVD 1929) FIRM REF #25222-400M C TOWN OF TRURO, MA. FLOOD ZONE V4 DESIGN FLOOD ELEV. = +21.0 FT
2. THE EXISTING BUILDING SHALL BE DISCONNECTED FROM ITS FOUNDATION AND PROPERLY LIFTED TO THE ELEVATION SHOWN ON PLAN. THE CONTRACTOR SHALL CAREFULLY EXECUTE JACKING OPERATIONS TO ASSURE THE EXISTING STRUCTURE REMAINS INTACT, TRUE AND ALIGNED. IT WILL BE THE LIFTING CONTRACTOR'S RESPONSIBILITY TO INSTALL ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE STRUCTURE DURING THE ENTIRE FOUNDATION RETROFIT OPERATION. AFTER THE NEW FOUNDATION IS CONSTRUCTED, THE EXISTING BUILDING SHALL BE LOWERED AND PROPERLY SECURED TO THE NEW FOUNDATION AS SHOWN ON THE PLAN.
3. SPECIAL PROVISIONS FOR COASTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FOUND IN THE "COASTAL CONSTRUCTIONS MANUAL" AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA-65).
4. THE BUILDING STRUCTURE AND COMPONENTS SHALL BE ADEQUATELY ANCHORED TO THE NEW FOUNDATION TO PREVENT FLOATION, COLLAPSE AND/OR LATERAL MOVEMENT.
5. THE ENTIRE BUILDING STRUCTURE IS TO BE TIED TOGETHER AT ACT AS A CONTINUOUS, INTEGRAL UNIT USING JOIST ANCHORS, METAL TIE DOWN STRAPS, WELL NAILED PLYWOOD SHEATHING, BOLTS THROUGH BEAMS AND PIERS, ECT.
6. ALL ITEMS SHALL BE RIGIDLY ANCHORED OR ATTACHED. SQUARE, PLUMB AND TRUE, OR ON OTHERS PLANES AND SHAPES SHOWN ON THE DRAWINGS. JOINTS SHALL BE TIGHT, EVEN AND FREE OR OFFSETS. ALL SURFACES SHALL BE SANDED, FILLED OR OTHERWISE PREPARED TO RECEIVE FINISH WHERE INDICATED.
7. DAMAGED, DETERIORATED, OR OTHERWISE DEFICIENT FRAMING AND CONNECTIONS CONDITIONS WITHIN THE EXISTING STRUCTURE SHALL BE REPAIRED OR REPLACED TO CONFORM WITH THE CURRENT BUILDING CODE.
8. STAINLESS STEEL TIE DOWN STRAPS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUAL AND SHALL BE INSTALLED AT EACH FLOOR JOIST CONNECTION.
9. ALL EXTERIOR EXPOSED LUMBER USED FOR STRUCTURAL FRAMING, STAIRS, RAILS, ECT. SHALL BE PRESSURE TREATED WITH ACQ PRESERVATIVE IN ACCORDANCE WITH AWPA C3.

Table with columns for DATE, BY, APP, and RELEASED FOR. Includes a signature line for DENNIS RESIDENCE.

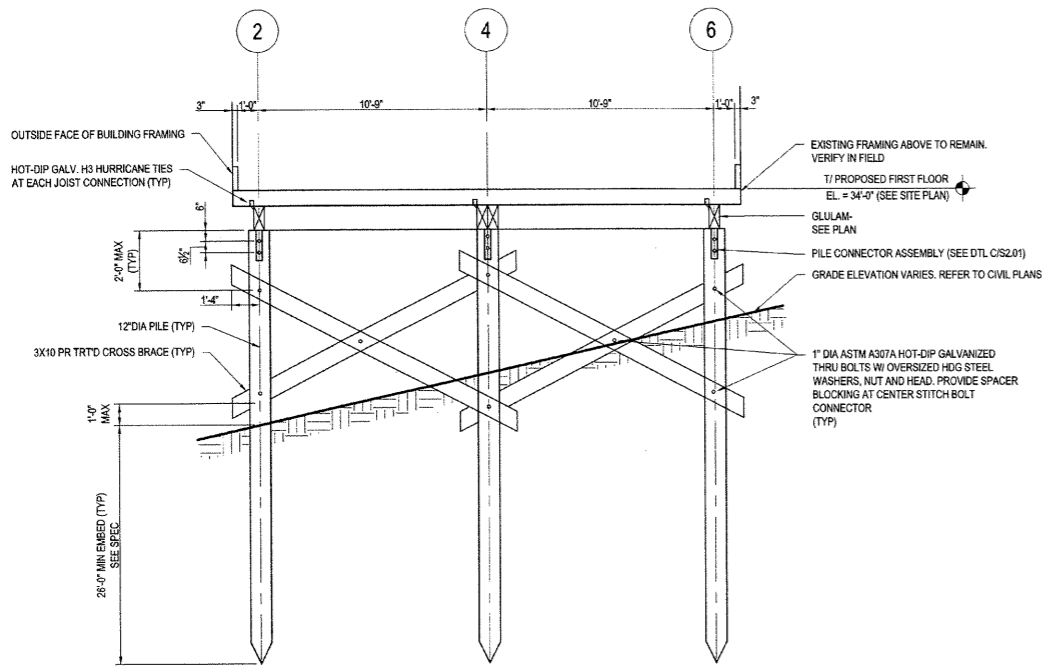
THE DENNIS GROUP, LLC SOUTH PANIET ROAD TRURO, MA GENERAL NOTES

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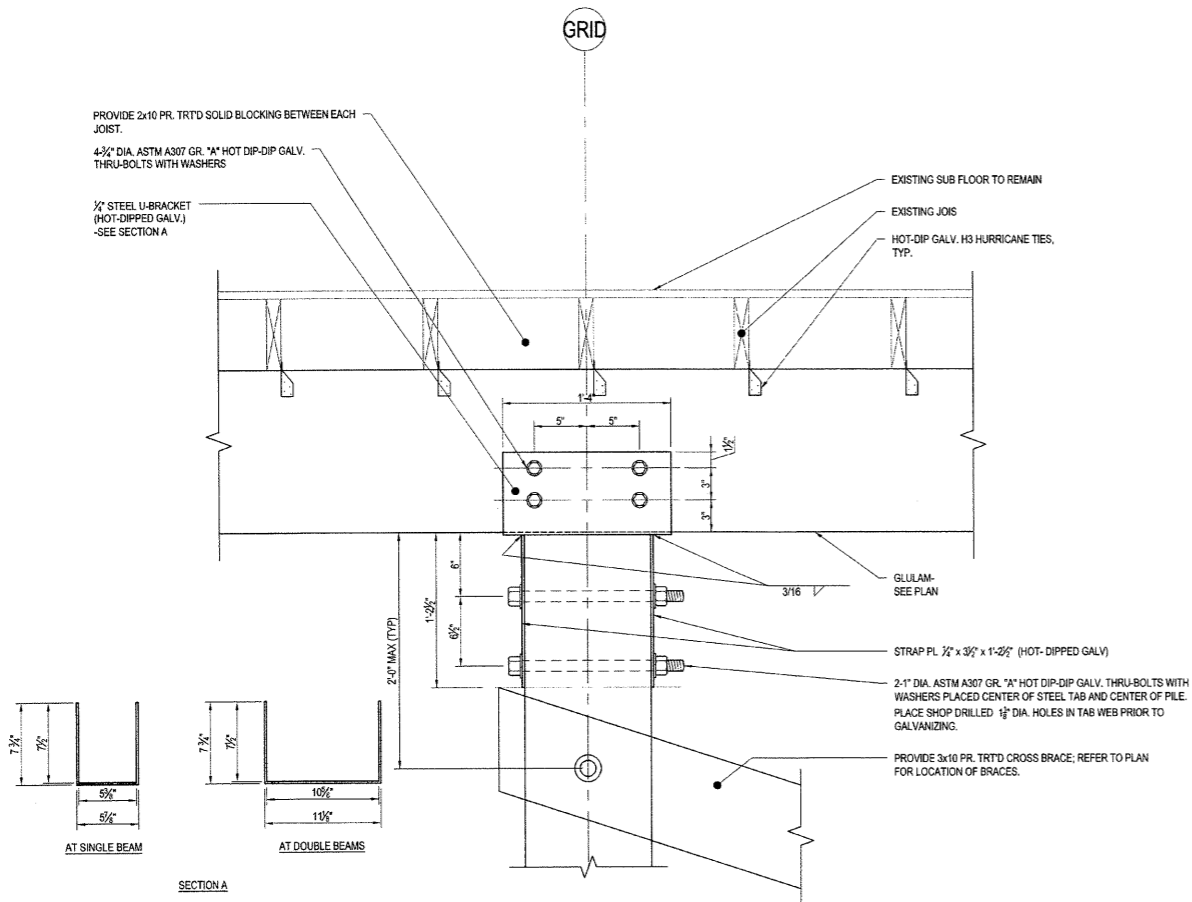


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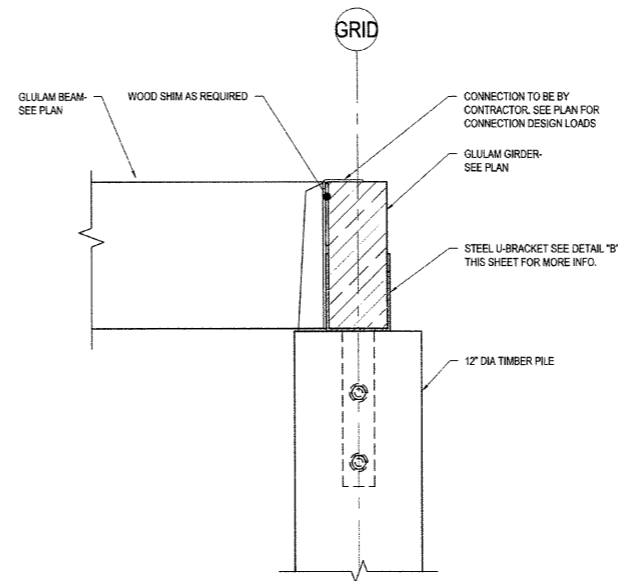
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A SECTION
SCALE: 1/4" = 1'-0"



C TYPICAL PILE CAP CONNECTION
SCALE: 1-1/2" = 1'-0"



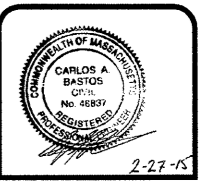
D TYPICAL GLULAM BEAM TO GLULAM GIRDER CONNECTION
SCALE: 1-1/2" = 1'-0"

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DATE	BY	APP.	PERMIT
02/27/2015	EEF	MRS	
RELEASE	DATE	BY	APP.

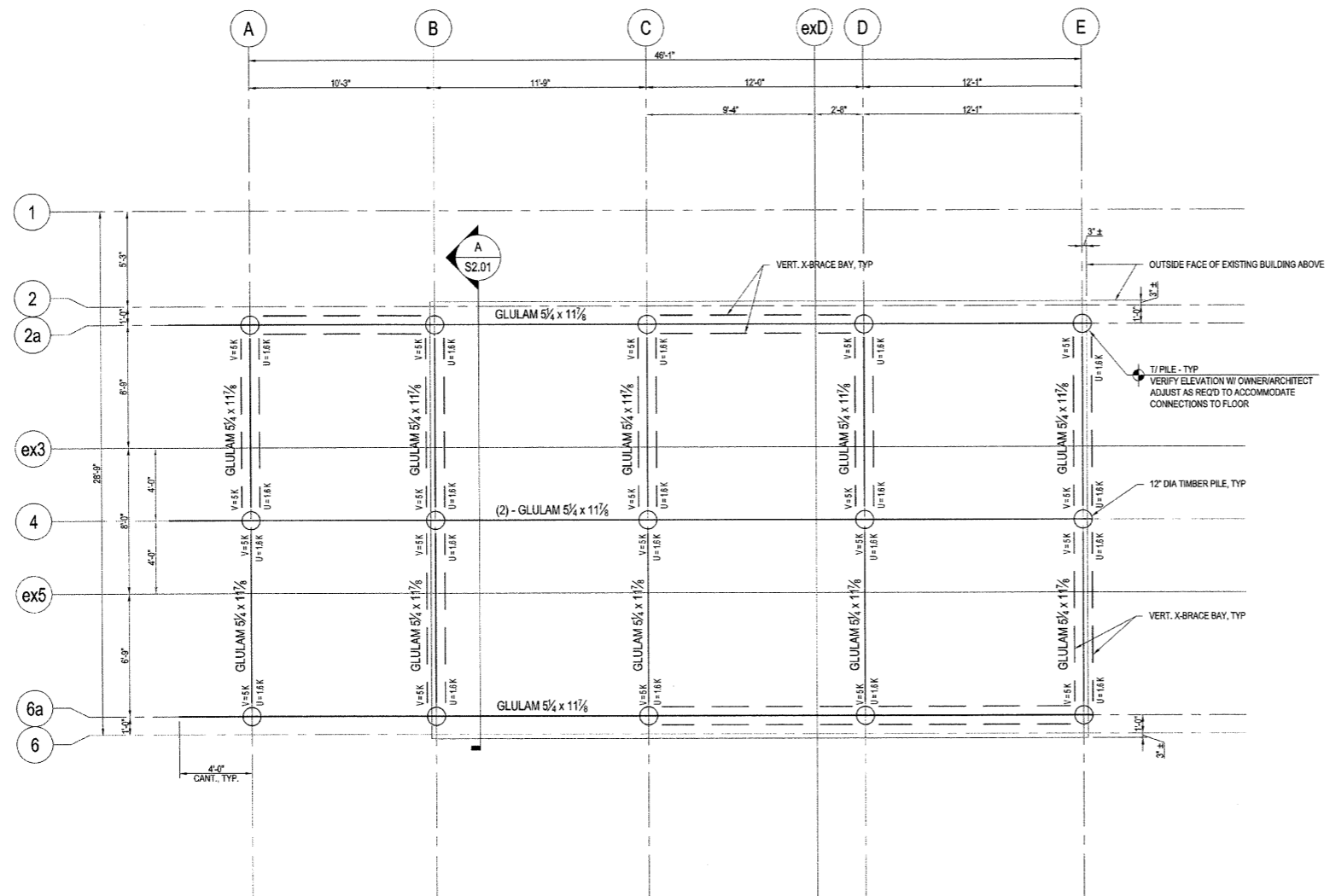
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SECTIONS AND DETAILS

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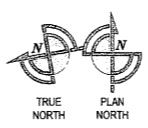


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1 PILE FOUNDATION & SUB-FRAMING PLAN
SCALE: 1/4"=1'-0"



FRAMING PLAN NOTES:

- FOR GENERAL NOTES, SEE DRAWING S0.01.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS LOAD RATED TO MEET LOADS INDICATED ON PLAN. CONTRACTOR SHALL SUBMIT CONNECTION DETAILS FOR REVIEW TO OWNER/STRUCTURAL ENGINEER.
- A GEO-TECHNICAL ENGINEER SHALL PERFORM A PERIODIC INSPECTION AND MONITORING OF PILE DRIVING OPERATIONS AND ALL WORK IN CONNECTION THEREWITH.
- ALL GLUED LAMINATED TIMBER SHALL BE "POWER PRESERVED GLULAM" (TREATED GLULAM) AS MANUFACTURED BY ANTHONY FOREST PRODUCTS CORPORATION.

LEGEND:

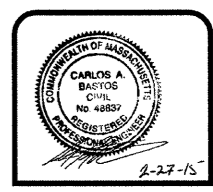
- | | | |
|------|------|------|
| V=sk | BEAM | V=sk |
| U=sk | | U=sk |
- V=sk INDICATES SHEAR REACTION (DOWNWARD) (KIPS) (UNFACTORED)
 - U=sk INDICATES UPLIFT REACTION (UPWARD) (KIPS) (UNFACTORED)

RELEASE	DATE	BY	APP.	MRS. PERMIT
	02/27/2015			

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