



# Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date April 20, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

### 1. GENERAL INFORMATION

**NOTICE OF APPEAL**

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* \_\_\_\_\_.
- Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* \_\_\_\_\_ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

**PETITION FOR VARIANCE** – Applicant requests a variance from the terms Section 50.1(A) of the Truro Zoning Bylaw concerning *(describe)* minimum side yard setback distances to locate a replacement dwelling 18.1' from easterly property line.

**APPLICATION FOR SPECIAL PERMIT**

- Applicant seeks approval and authorization of uses under Section \_\_\_\_\_ of the Truro Zoning Bylaw concerning *(describe)* \_\_\_\_\_.
- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 30.7(A) of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* Demolition & reconstruction of dwelling on pre-existing, non-conforming lot (minimum lot size).

Property Address 49 Fisher Road Map(s) and Parcel(s) 53-24

Registry of Deeds title reference: Book 21922 / 32678, Page 177 / 75, or Certificate of Title Number N/A and Land Ct. Lot # N/A and Plan # N/A

Applicant's Name Douglas W. Ambrose

Applicant's Legal Mailing Address 7 Rowayton Avenue, Rowayton, CT 06853

Applicant's Phone(s), Fax and Email (203) 354-3756; doug@eambrose.com

Applicant is one of the following: *(please check appropriate box)*

\*Written Permission of the owner is required for submittal of this application.

- Owner       Prospective Buyer\*       Other\*

Owner's Name and Address \_\_\_\_\_

Representative's Name and Address Benjamin E. Zehnder 62 Route 6A, Suite B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzehnder@zehnderllc.com

2. The completed application **shall also** be submitted **electronically** to the Town Planner at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov) in its entirety (including all plans and attachments).

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)



Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

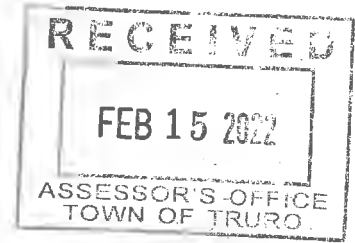


# TOWN OF TRURO

## Assessors Office

### Certified Abutters List

### Request Form



DATE: February 10, 2022

NAME OF APPLICANT: Douglas W. Ambrose

NAME OF AGENT (if any): Benjamin E. Zehnder / La Tanzi, Spaulding & Landreth

MAILING ADDRESS: P.O. Box 2300 Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-2133 ext. 128 EMAIL bzehnder@latanzi.com

PROPERTY LOCATION: 49 Fisher Road  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 53 PARCEL 24 EXT. \_\_\_\_\_  
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**  
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- |                                                               |                                                                     |                                                                 |
|---------------------------------------------------------------|---------------------------------------------------------------------|-----------------------------------------------------------------|
| <input type="checkbox"/> Board of Health <sup>5</sup>         | <input type="checkbox"/> Planning Board (PB)                        | <input type="checkbox"/> Zoning Board of Appeals (ZBA)          |
| <input type="checkbox"/> Cape Cod Commission                  | <input type="checkbox"/> Special Permit <sup>1</sup>                | <input checked="" type="checkbox"/> Special Permit <sup>1</sup> |
| <input type="checkbox"/> Conservation Commission <sup>4</sup> | <input type="checkbox"/> Site Plan <sup>2</sup>                     | <input checked="" type="checkbox"/> Variance <sup>1</sup>       |
| <input type="checkbox"/> Licensing                            | <input type="checkbox"/> Preliminary Subdivision <sup>3</sup>       |                                                                 |
| Type: _____                                                   | <input type="checkbox"/> Definitive Subdivision <sup>3</sup>        |                                                                 |
|                                                               | <input type="checkbox"/> Accessory Dwelling Unit (ADU) <sup>2</sup> |                                                                 |
| <input type="checkbox"/> Other _____                          |                                                                     |                                                                 |
- (Please Specify) (Fee: Inquire with Assessors)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

#### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 2/15/2022 Date completed: 2/15/2022  
List completed by: [Signature] Date paid: 2/15/2022 Cash  Check  # 141047

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



**TRURO ASSESSORS OFFICE**  
PO Box 2012 Truro, MA 02666  
Telephone: (508) 214-0921  
Fax: (508) 349-5506

**Date:** February 15, 2022

**To:** Benjamin Zehnder, Agent for Douglas W. Ambrose

**From:** Assessors Department

**Certified Abutters List:** 49 Fisher Road (Map 53, Parcel 24)

**ZBA/Special Permit**

Attached is a combined list of abutters for property located at 49 Fisher Road.

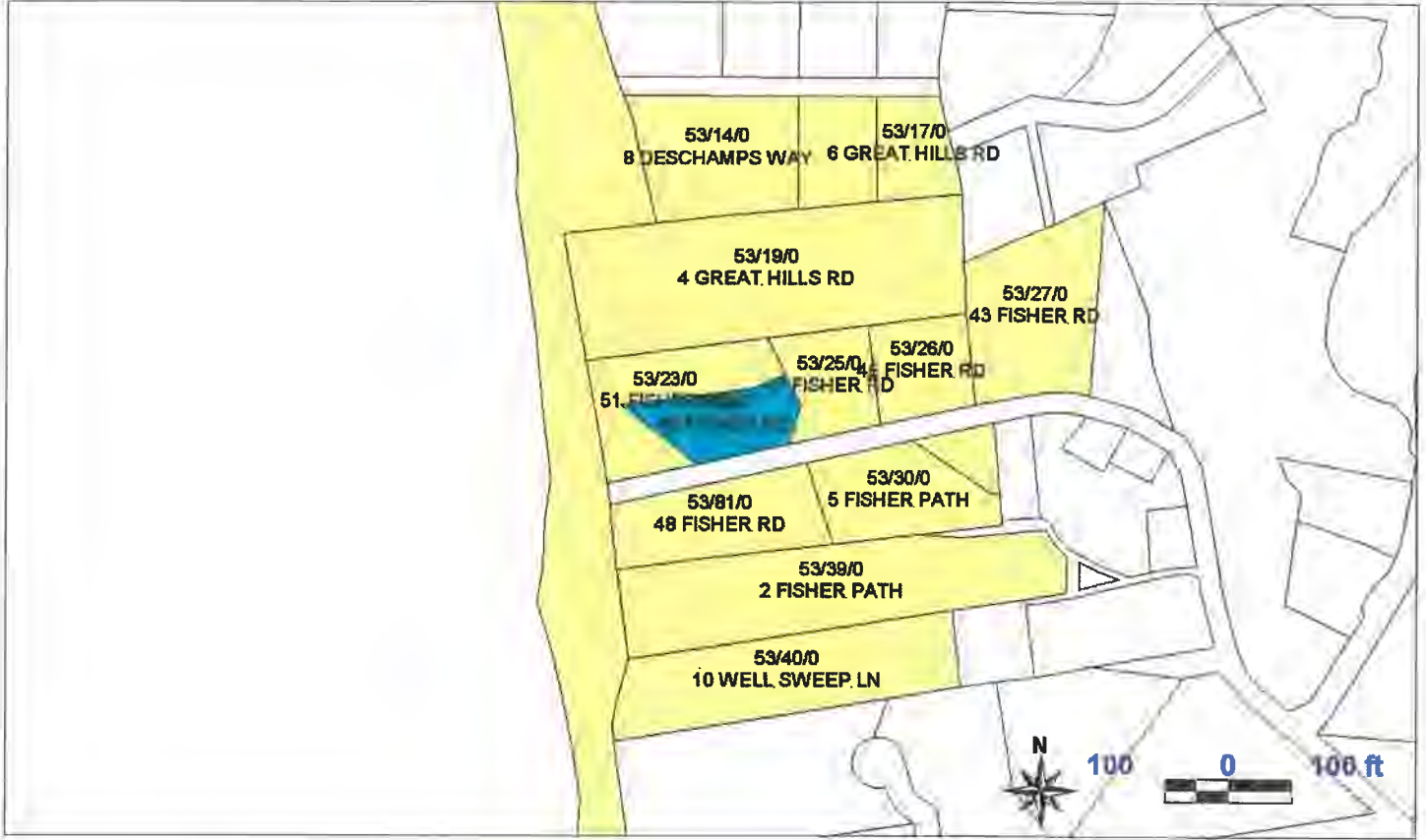
The current owner is Douglas W. Ambrose.

The names and addresses of the abutters are as of February 4, 2022 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: 

Olga Farrell  
Assessing Clerk

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailin- Street	Mailin- Cit	ST	Zr/Cd/Country
3162	53-14-0-R	GREAT HILLS REAL ESTATE TRUST TRS: CHARLES F KAVA &	8 DESCHAMPS WAY	TRS: JONATHAN R KAVA 3 ALISHA DRIVE	FRANKLIN	MA	02038
3163	000000530000000000						
3164	53-17-0-R	SIX GREAT HILLS ROAD LLC MGRS: CARL & PATRICIA HAGBERG	6 GREAT HILLS RD	6 SOUTH LAKEVIEW DR	JACKSON	NJ	08527
3166	53-19-0-E	TRURO CONSERVATION TRUST TRS: BEDNAREK ROBERT ET AL	4 GREAT HILLS RD	PO BOX 327	NO TRURO	MA	02652
3170	53-23-0-R	SEGAL BARBARA	51 FISHER RD	204 RIVERMIST DRIVE	BUFFALO	NY	14202
3172	53-25-0-R	47 FISHER RD REALTY TRUST TRS: AMBROSE DOUGLAS W	47 FISHER RD	CARE OF JANET DUGAN CPA PO BOX 668	CHATHAM	MA	02633
3173	53-26-0-R	AMBROSE DENNIS W	45 FISHER RD	4351 LAKE RD	WILLIAMSON	NY	14589
3174	53-27-0-R	REISER LINDA F	43 FISHER RD	128 LINDEN ST	EVERETT	MA	02149
3177	53-30-0-R	PARCELL LAURA	5 FISHER PATH	1400 EAST WEST HWY, APT 1227	SILVER SPRING	MD	20901
3178	53-31-0-R	ATKINSON LINDA & ATKINSON ANTHONY A/K/A ARNOLD	44 FISHER RD	2321 MCKINLEY AVE	BENSALEM	PA	19020
3185	53-39-0-R	RUDYKOFF NATHANIEL T & STILMAN NAEMI	2 FISHER PATH	220 WEST 148TH STREET APT 4F	NEW YORK	NY	10039
3186	53-40-0-R	FRAZIER KRISTIN F REV LIV TRST TRS: FRAZIER KRISTIN F ET AL	10 WELL SWEEP LN	PO BOX 573	WELLFLEET	MA	02667-0573
3222	53-81-0-E	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL	48 FISHER RD	PO BOX 327	NO TRURO	MA	02652-0327

*Handwritten signature and date: JWC 2/15/2022*

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TRS: CHARLES F KAVA &  
TRS: JONATHAN R KAVA  
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SILVER SPRING, MD 20901

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BENSALEM, PA 19020

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APT 4F  
NEW YORK, NY 10039

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FRAZIER KRISTIN F REV LIV TRST  
TRS: FRAZIER KRISTIN F ET AL  
PO BOX 573  
WELLFLEET, MA 02667-0573

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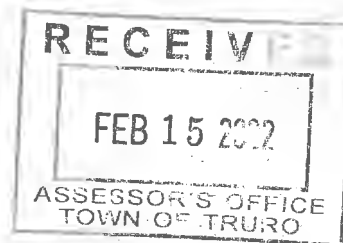


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 2/15/2022 Page 1



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TRS: BETSEY BROWN ET AL  
PO BOX 327  
NO TRURO, MA 02652-0327

Key: 3171

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 3.268

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
AMBROSE DOUGLAS W 7 ROWAYTON AVE ROWAYTON, CT 06853				53-24-0				49 FISHER RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				
AMBROSE DOUGLAS W				02/07/2020	A		1 32678-75				
AMBROSE MARCIA S LIFE EST				04/09/2007	99		21922-177				
AMBROSE FAMILY TRUST				07/07/1995	F		9742-219				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1010	100	SINGLE FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
20-322	10/27/2020	1	SINGLE FAM R	530,000	01/11/2021	LG	20	20
29-297	10/19/2020	5	DEMO		11/16/2020	LG	100	100
07-112	05/31/2007	90	BP NVC	1,500	05/30/2008	JH	100	100
04-070	05/19/2004	9	DECK	5,000	08/22/2005	WL	100	100
95-061	05/05/1995	10	ALL OTHERS	750	06/19/1996		100	100

LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.520 15	1.00	1	1.00	1	1.00	1.00	V16	3.60		665,920

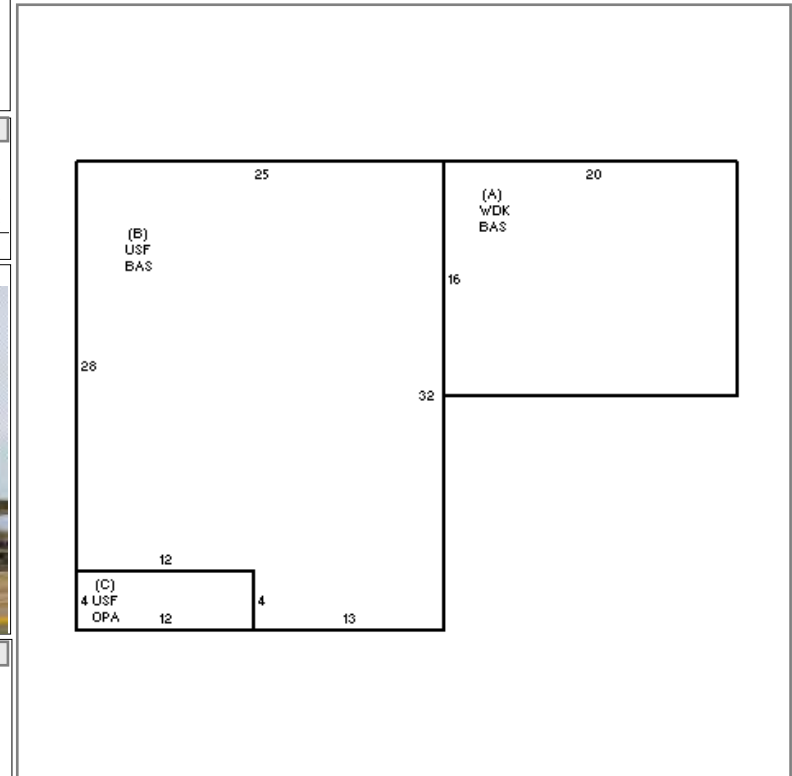
TOTAL	22,651 SF	ZONING	RES	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	SOUTH TRURO	NOTE				LAND	665,900	665,900
Inf1	NO ADJ		BUILDING	62,400	149,500			
Inf2	NO ADJ		DETACHED	0	0			
			OTHER	0	0			
						<b>TOTAL</b>	<b>728,300</b>	<b>815,400</b>

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



BUILDING	CD	ADJ	DESC	MEASURE	1/11/2021	LG
MODEL	1		RESIDENTIAL	LIST		
STYLE	6	0.90	COTTAGE/BUNG [100%]	REVIEW		
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			



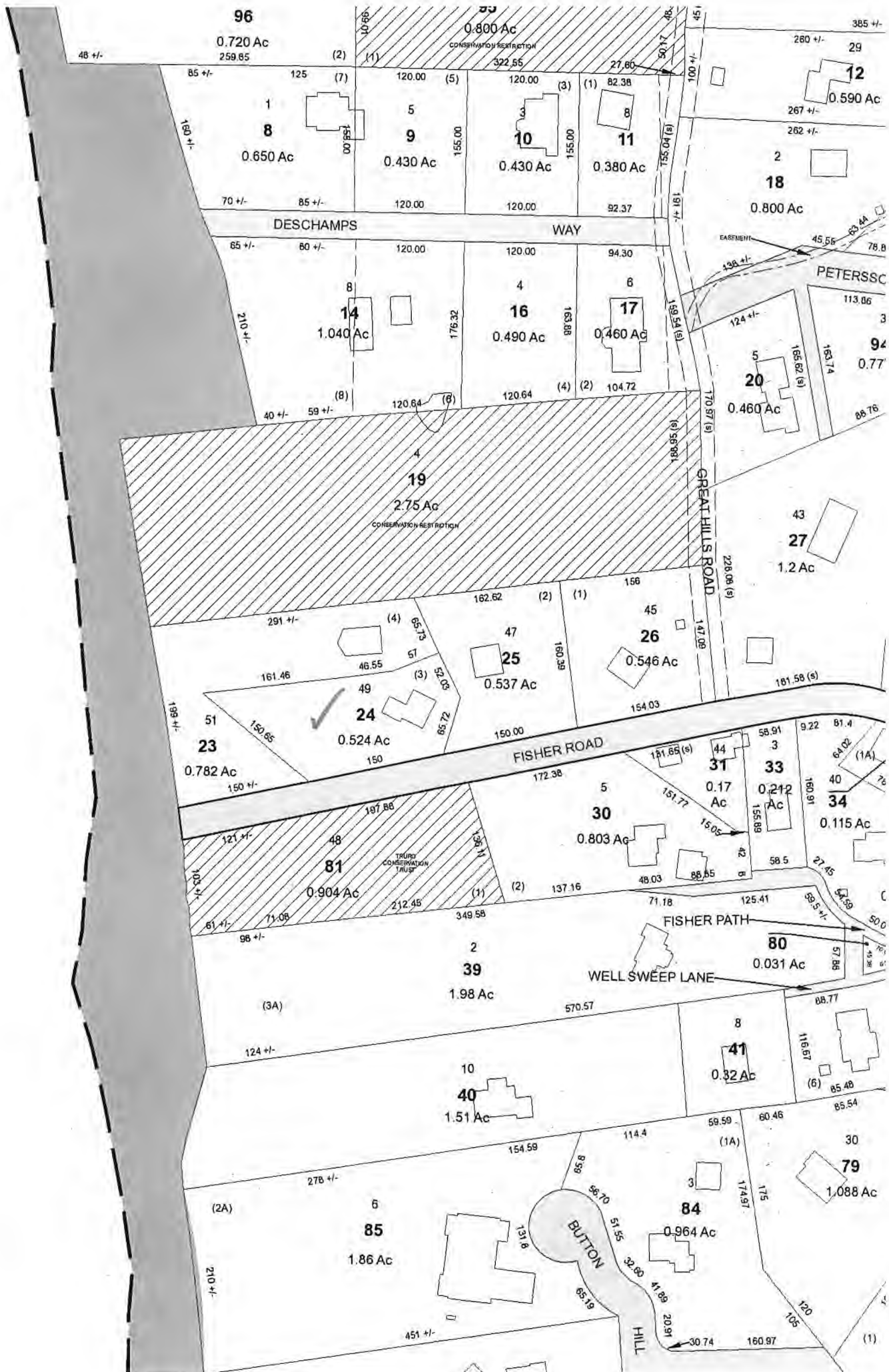
BUILDING

YEAR BLT	2020	SIZE ADJ	1.010
NET AREA	1,872	DETAIL ADJ	1.000
\$NLA(RCN)	\$167	OVERALL	0.900
CAPACITY		UNITS	ADJ
STORIES(FAR)	2	1.00	
ROOMS	0	1.00	
BEDROOMS	3	1.00	
BATHROOMS	3	1.00	
FIXTURES	11	\$7,700	
UNITS	0	1.00	

ELEMENT	CD	DESCRIPTION	ADJ
FOUNDATION	1	PIER	1.00
EXT. COVER			1.00
ROOF SHAPE	4	FLAT/SHED	1.00
ROOF COVER	0		1.00
FLOOR COVER	0		1.00
INT. FINISH	0		1.00
HEATING/COOLING	0		1.00
FUEL SOURCE	0		1.00

S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
+	BAS	L	BAS AREA	1,072	2020	172.08	184,474
A	WDK	N	ATT WOOD DECK	320		28.90	9,247
+	USF	L	UP-STRY FIN	800	2020	134.07	107,255
C	OPA	N	OPEN PORCH	48		64.06	3,075
	ODS	O	OUT DOOR SHOWER			0.00	

TOTAL RCN	311,751
CONDITION ELEM	CD
EFF.YR/AGE	2021 / 0
COND	0 0 %
FUNC	80 UC
ECON	0
DEPR	80 % GD 20
RCNLD	\$62,400



96

0.720 Ac  
259.85

0.800 Ac  
322.55  
CONSERVATION RESTRICTION

385 +/-

280 +/-

12

0.590 Ac

18

0.800 Ac

PETERSSC

94

0.77

27

1.2 Ac

GREAT HILLS ROAD

FISHER ROAD

FISHER PATH

WELL SWEEP LANE

BUTTON HILL

CONSERVATION RESTRICTION

TRUMP CONSERVATION TRACT

EASEMENT

48 +/-

85 +/-

125

120.00

120.00

82.38

70 +/-

85 +/-

120.00

120.00

92.37

65 +/-

80 +/-

120.00

120.00

94.30

40 +/-

59 +/-

120.64

120.64

104.72

291 +/-

65.73

57

162.62

156

161.46

46.55

51

160.39

45

51

23

0.782 Ac

49

24

0.524 Ac

47

25

0.537 Ac

45

26

0.546 Ac

121 +/-

48

81

0.904 Ac

151.65 (s)

44

31

0.17 Ac

58.91

3

33

0.212 Ac

81.4

3

34

0.115 Ac

98 +/-

2

39

1.98 Ac

80

0.031 Ac

124 +/-

10

40

1.51 Ac

8

41

0.32 Ac

(2A)

6

85

1.86 Ac

3

84

0.964 Ac

30

79

1.088 Ac

210 +/-

278 +/-

154.59

114.4

59.59

60.46

451 +/-

131.8

56.70

51.55

30.91

20.91

(1)

**QUITCLAIM DEED**

I, MARCIA S. AMBROSE, of 7261 Salmon Creek Road, Williamson, New York, owner of a life estate interest

for consideration paid, and in full consideration of ONE (\$1.00) DOLLAR,

grant to DOUGLAS W. AMBROSE, individually, of 7 Rowayton Avenue, Rowayton, Connecticut,

with **quitclaim covenants**

**all my right, title and interest** in the land together with the buildings thereon, located at 49 Fisher Road, in Truro, Barnstable County, Massachusetts, in that part of said Truro known as South Truro and being situated on the Northerly side of Fisher Road, and bounded and more particularly described as follows:

BEGINNING at a drill hole at a concrete bound set at the Northerly side of Fisher Road and at the Southeasterly corner of the devised premises;

THENCE North 86° 18' 05" W by the Northerly side of said Fisher Road 150 ft. to a drill hole in a concrete bound;

THENCE North 35° 10' 05" W by lot #4 as shown on the plan hereinafter referred to 150.65 ft. to a point;

THENCE South 81° 19' 45" E still by said lot #4 208 ft. to a drill hole in a concrete bound;

THENCE Southeasterly still by said lot #4 57 ft. to a drill hole in a concrete bound set on the Westerly line of lot #2 as shown on said plan;

THENCE South 08° 39' 05" E by said lot #2 52.03 ft. to another drill hole in a concrete bound;

Property address: 49 Fisher Road, Truro

THENCE South 30° 46' 35" W still by lot #2 65.72 ft. to the point of beginning.

Being LOT #3 as shown on a "Plan of Land in Truro owned by Emma Ambrose dated October 1966, Francis J. Alves, C.E. Provincetown, Massachusetts," recorded at the Barnstable County Registry of Deeds in Plan Book 206, Page 69. Containing 22,865 sq. ft. more or less.

The premises are conveyed subject to and with the benefit of the following rights and easements of the various owners of the various lots shown on said plan:

A. The right of the Owners of the various lots to use the beach area thereof.

B. The right of the Owners of the various lots to pass and re-pass over said lots to and from the beach area on a line running from Cape Cod Bay generally along the line marking the division between Lots #3 and #4 and the extension thereof across Lot #2.

C. The right of the Owners of the various Lots to use the existing private way for the purpose of ingress and egress to the various Lots.

D. The right of the Owners of the various lots to use any of the utility lines on said lots.

E. The right of the Owners of the various Lots to have access to the well situated on Lot #1, and to take and use the water therein and to lay and maintain pipes from the various lots to the said well for drawing and using the water therein.

The above-described premises are conveyed subject to and with the benefit of restrictions, encumbrances, rights and easements of record insofar as the same are now in force and effect.

For title see deed of David W. Ambrose and Marcia S. Ambrose, Trustees of Ambrose Family Trust to Douglas W. Ambrose reserving a life estate to Marcia S. Ambrose dated July 3, 2007 and recorded with Barnstable County Registry of Deeds in Book 22241, Page 105. **The purpose of this Deed is to release the life estate of the Grantor.**

NOMINAL CONSIDERATION - NO STAMPS REQUIRED

Witness my hand and seal this 28 day of January 2020

Marcia S. Ambrose  
MARCIA S. AMBROSE

STATE OF NEW YORK

County of Wayne January 28, 2020

Before me, the undersigned notary public, personally appeared MARCIA S. AMBROSE, who proved to me through satisfactory evidence of identification, consisting of MA Drivers LIC 511175756, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.

Yvonne Hirtzel Aszkler  
Notary Public  
My commission expires:

YVONNE HIRTZEL ASZKLER  
Notary Public, State of NY  
Monroe County  
Commission Expires Sept. 21, 2021

QUITCLAIM DEED

We, DAVID W. AMBROSE and MARCIA S. AMBROSE, Trustees of Ambrose Family Trust u/d/t dated June 27, 1995 and recorded with the Barnstable County Registry of Deeds in Book 9742, Page 214, both of 45 Fisher Road, Truro, Barnstable County, Massachusetts,

for consideration paid, and in full consideration of ONE (\$1.00) DOLLAR,

grant to DOUGLAS W. AMBROSE of 71 Roton Avenue, Rowayton, Connecticut, reserving to said MARCIA S. AMBROSE of 45 Fisher Road, Truro, Barnstable County, Massachusetts, a life estate

with **quitclaim covenants**

the land with the buildings thereon, located at 49 Fisher Road, in Truro, Barnstable County, Massachusetts, in that part of said Truro known as South Truro and being situated on the Northerly side of Fisher Road, and bounded and more particularly described as follows:

BEGINNING at a drill hole at a concrete bound set at the Northerly side of Fisher Road and at the Southeasterly corner of the devised premises;

THENCE North 86° 18' 05" W by the Northerly side of said Fisher Road 150 ft. to a drill hole in a concrete bound;

THENCE North 35° 10' 05" W by lot #4 as shown on the plan hereinafter referred to 150.65 ft. to a point;

THENCE South 81° 19' 45" E still by said lot #4 208 ft. to a drill hole in a concrete bound;

THENCE Southeasterly still by said lot #4 57 ft. to a drill hole in a concrete bound set on the Westerly line of lot #2 as shown on said plan;

Property Address: 49 Fisher Road  
Truro, Massachusetts

Property Address:

5

THENCE South 08° 39' 05" E by said lot #2 52.03 ft. to another drill hole in a concrete bound;

THENCE South 30° 46' 35" W still by lot #2 65.72 ft. to the point of beginning.

Being LOT #3 as shown on a "Plan of Land in Truro owned by Emma Ambrose dated October 1966, Francis J. Alves, C.E. Provincetown, Massachusetts," recorded at the Barnstable County Registry of Deeds in Plan Book 206, Page 69. Containing 22,865 sq. ft. more or less.

The premises are conveyed subject to and with the benefit of the following rights and easements of the various owners of the various lots shown on said plan:

A. The right of the Owners of the various lots to use the beach area thereof.

B. The right of the Owners of the various lots to pass and re-pass over said lots to and from the beach area on a line running from Cape Cod Bay generally along the line marking the division between Lots #3 and #4 and the extension thereof across Lot #2.

C. The right of the Owners of the various Lots to use the existing private way for the purpose of ingress and egress to the various Lots.

D. The right of the Owners of the various lots to use any of the utility lines on said lots.

E. The right of the Owners of the various Lots to have access to the well situated on Lot #1, and to take and use the water therein and to lay and maintain pipes from the various lots to the said well for drawing and using the water therein.

The above-described premises are conveyed subject to and with the benefit of restrictions, encumbrances, rights and easements of record insofar as the same are now in force and effect.

The Grantor reserves a life estate for the duration of her life in the above described premises, and she agrees to pay the real estate taxes assessed by the Town of Truro on said premises, the premiums for fire insurance in the present amount, and for ordinary repairs.

For title see deed dated June 27, 1995 and recorded with Barnstable County Registry of Deeds in Book 9742, Page 219.



NOMINAL CONSIDERATION - NO STAMPS REQUIRED

Witness my hand and seal this 1st day of November, 2006.

David W. Ambrose TEE  
David W. Ambrose, Trustee as  
aforesaid

Marcia S. Ambrose TEE  
Marcia S. Ambrose, Trustee as  
aforesaid

COMMONWEALTH OF MASSACHUSETTS

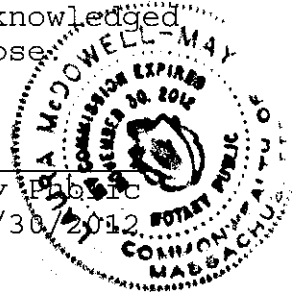
Barnstable, ss

November 1, 2006

Before me, the undersigned notary public, personally appeared DAVID W. AMBROSE as Trustee as aforesaid, who proved to me through satisfactory evidence of identification, consisting of a Massachusetts Driver's License, to be the person whose name is signed on the proceeding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Laura McDowell-May

Laura McDowell-May, Notary Public  
My commission expires: 11/30/2012



COMMONWEALTH OF MASSACHUSETTS

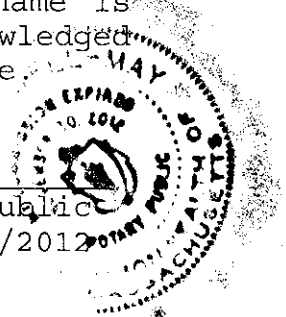
Barnstable, ss

November 1, 2006

Before me, the undersigned notary public, personally appeared MARCIA S. AMBROSE as Trustee as aforesaid, who proved to me through satisfactory evidence of identification, consisting of a Massachusetts Driver's License, to be the person whose name is signed on the proceeding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.

Laura McDowell-May

Laura McDowell-May, Notary Public  
My commission expires: 11/30/2012



We, DAVID W. AMBROSE and MARCIA S. AMBROSE, Trustees of Ambrose Family Trust u/d/t dated June 27, 1995 and recorded with the Barnstable County Registry of Deeds in Book 9742, Page 214, both of 45 Fisher Road, Truro, Barnstable County, Massachusetts, hereby certify that:

1. Said Trust is in full force and effect.
2. All the beneficiaries are of full age.
3. All the beneficiaries are competent.
4. All the beneficiaries of said Trust have consented to the transfer of the property located at 49 Fisher Road, Truro, Massachusetts, to DOUGLAS W. AMBROSE of 71 Roton Avenue, Rowayton, Connecticut, reserving to said MARCIA S. AMBROSE of 45 Fisher Road, Truro, Barnstable County, Massachusetts, a life estate, for nominal consideration.

Signed under the pains and penalties of perjury.

David W. Ambrose TTS  
 David W. Ambrose, Trustee as  
 aforesaid

Marcia S. Ambrose TTS  
 Marcia S. Ambrose, Trustee as  
 aforesaid

COMMONWEALTH OF MASSACHUSETTS

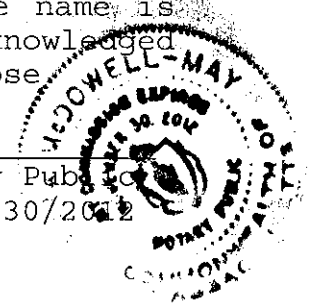
Barnstable, ss

November 1, 2006

Before me, the undersigned notary public, personally appeared DAVID W. AMBROSE as Trustee as aforesaid, who proved to me through satisfactory evidence of identification, consisting of a Massachusetts Driver's License, to be the person whose name is signed on the proceeding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose

Laura McDowell-May  
 Laura McDowell-May, Notary Public

My commission expires: 11/30/2012



COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss

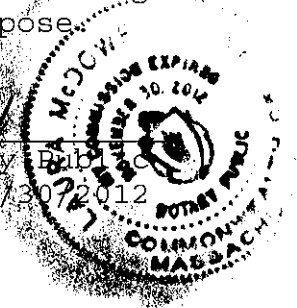
November 1, 2006

Before me, the undersigned notary public, personally appeared MARCIA S. AMBROSE as Trustee as aforesaid, who proved to me through satisfactory evidence of identification, consisting of a Massachusetts Driver's License, to be the person whose name is signed on the proceeding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.



Laura McDowell-May, Notary Public

My commission expires: 11/30/2012





# Town of Truro Building Permit

24 Town Hall Rd, Truro MA 02666  
P: 508-349-7004 x131 F: 508-349-5508

Building Permit #: <b>20-322</b>	Map: <b>53</b>	Parcel: <b>24</b>
Street Location: <b>49 FISHER ROAD</b>		
Owner: <b>DOUGLAS AMBROSE</b>		
Type of Work: <b>NEW SFH AFTER DEMO</b>	HIC: <b>197042</b>	
Builder: <b>JOHN CASALE</b>	CSL: <b>072 653 - MARC CASOLI</b>	
Date of Issue: <b>10.27.20</b>		

This card shall be posted in a conspicuous place and shall not be covered or removed until all work associated with this permit, is completed. Work shall be in compliance with 780 CMR and all applicable laws and by-laws of the Town of Truro. Approved plans shall be available on the job site. Where a Certificate of Occupancy is required, the building shall not be occupied until after the final inspection and after the Certificate of Occupancy has been issued.

BUILDING OFFICIAL: 

## REQUIRED INSPECTIONS

Inspector	Date	Inspector	Date	Inspector	Date
<b>Foundation - Rebar</b>		<b>Rough Wiring</b>	<b>5-7-21</b>	<b>Smoke/Fire Alarm</b>	<b>TC 20 Aug 21</b>
<b>Final Foundation</b>		<b>Final Wiring</b>	<b>6-24-21</b>	<b>Oil Furnace</b>	
<b>Cert. Foundation Plan</b>		<b>Low Voltage Rough</b>		<b>Sprinkler System</b>	
<b>Wind Connections</b>		<b>Low Voltage Final</b>		<b>Pressure</b>	<b>Date</b>
<b>Frame</b>	<b>Check w/ SOGW</b>	<b>Underground Plumbing</b>		<b>Alarm</b>	<b>Date</b>
<b>Insulation</b>	<b>R65 5-25-21</b>	<b>Rough Plumbing</b>	<b>5-6-21</b>	<b>Energy</b>	
<b>Air Barrier</b>		<b>Final Plumbing</b>	<b>8-19-21</b>	<b>Duct Test</b>	<b>Date</b>
<b>Chimney/Woodstove</b>		<b>Rough Gas</b>	<b>TEST 4-29-21 S.V.R</b>	<b>Blower Door</b>	<b>Date</b>
				<b>Final Building</b>	<b>8.25-21 R65</b>
				<b>Cert. Of Occupancy</b>	
				<b>Inspector</b>	<b>Date</b>
				<b>Special Conditions:</b>	
				<b>* OOC FILED</b>	

5-10-21 CERTIFY BLDG HGT

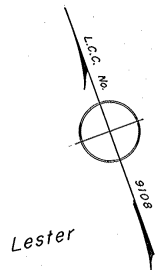
Temp  
C/O

NEED ELEVATION CERTIFICATE  
PRE & POST CONSTRUCTION

206-69

Approval under Subdivision Regulations not required

*Lloyd F. Rose* October 19, 1966  
Trust Planning Board

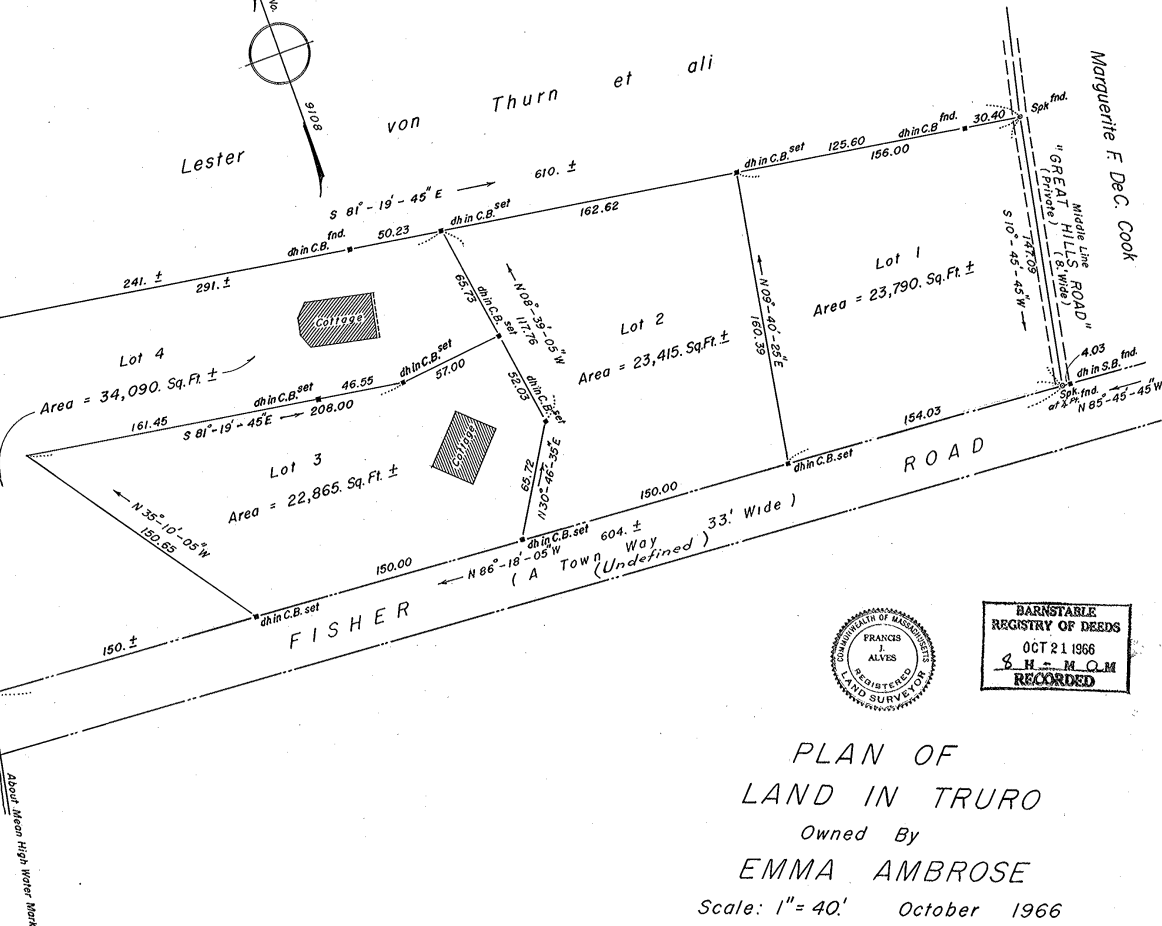


von Thurn et alii

Marguerite F. DeC. Cook

CAPE COD BAY

ASH M.H.W.



BARNSTABLE
REGISTRY OF DEEDS
OCT 21 1966
F. J. ALVES
REGISTERED
LAND SURVEYOR
RECORDED

PLAN OF  
LAND IN TRURO

Owned By  
EMMA AMBROSE

Scale: 1" = 40' October 1966

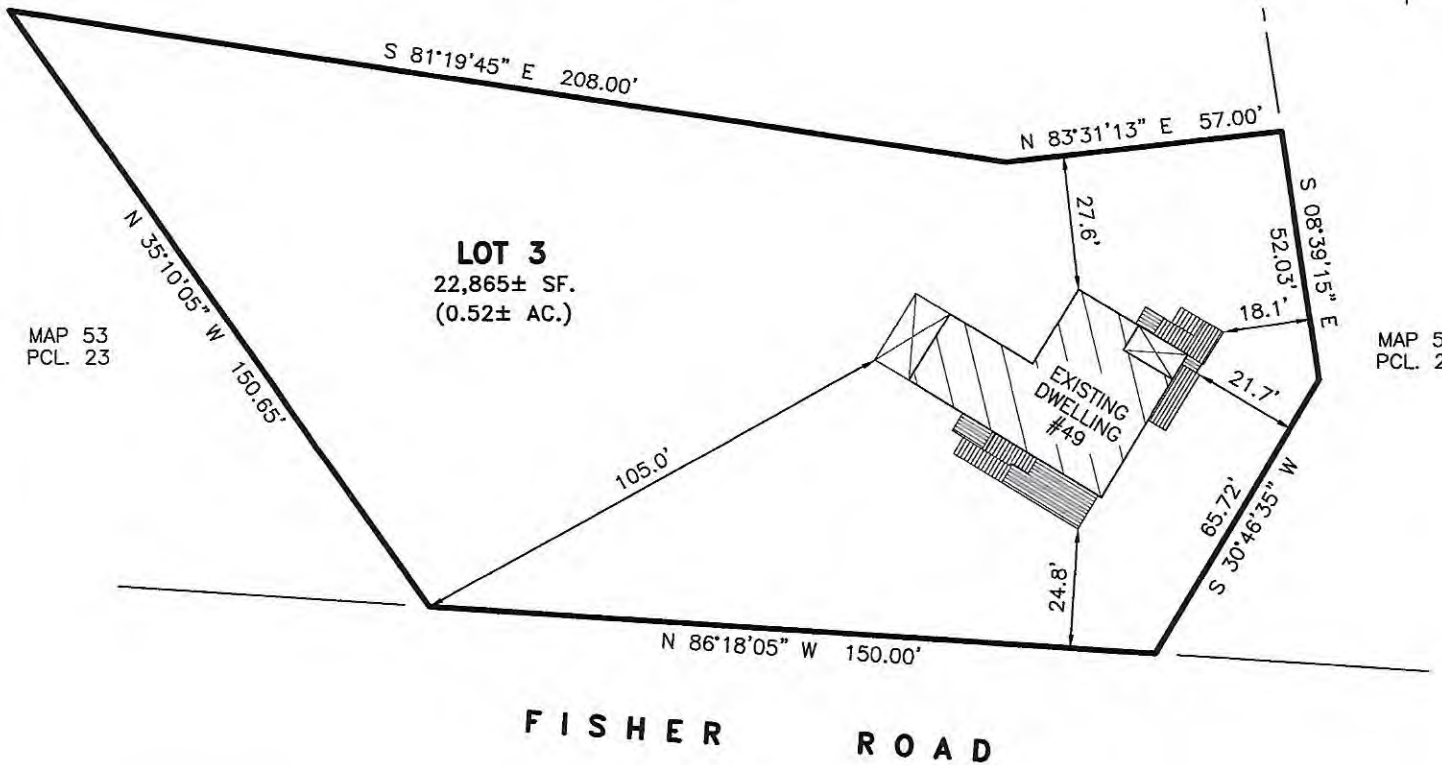
Francis J. Alves, C.E., Provincetown, Mass.

69-902

MAP 53  
PCL. 23

MAP 53  
PCL. 23

MAP 53  
PCL. 25



## CERTIFIED PLOT PLAN

LOCUS : **49 FISHER ROAD**  
TRURO, MA

REF : PLAN BOOK 206 PAGE 69

PLAN PREPARED FOR :  
**DOUGLAS AMBROSE**

SCALE : 1"=40'      DATE : 6/22/2021

ASSESSORS MAP: 53      PARCEL : 24

I HEREBY CERTIFY THAT THE STRUCTURE SHOWN ON THIS PLAN IS LOCATED ON THE GROUND AS SHOWN HEREON.

JOB No. 19075

FILE=19075ASB.DWG

6/22/21  
DATE



**FELCO, INC.**

ENGINEERING / LAND SURVEYING  
P.O. BOX 1366  
ORLEANS, MA 02653  
(508) 255-8141  
(FAX) 255-2954



### CONSTRUCTION NOTES

- EXISTING DWELLING TO BE REMOVED AND REPLACED WITH A NEW DWELLING SUPPORTED ON PILE FOUNDATION.
- PROPOSED DWELLING TO BE CONNECTED TO EXISTING 1978 CODE SEPTIC SYSTEM.
- WORK LIMIT TO BE STAKED SILT FENCE.
- ALL DISTURBED AREAS TO BE REVEGETATED WITH BEACH GRASS AND NATIVE PLANTINGS UPON WORK COMPLETION.
- CONSTRUCTION ACCESS VIA EXISTING DRIVE AREA.
- SEE SEPARATE PLANS FOR PILE DESIGN.
- NEW DECKS TO BE SUPPORTED BY CONCRETE PIERS.
- EXISTING WOOD WALK PANELS HAVE SLEEPERS ON GRADE. STACK PANELS WITHIN EXISTING WALKWAY DURING OFF SEASON.

### DESIGN

FLOW DETERMINATION  4 EXISTING BEDROOM DWELLING

GARBAGE GRINDER  NO  YES

FLOW RATE = 440 GAL/DAY

SEPTIC TANK SIZING:

440 x 2.0 = 880 GAL/DAY

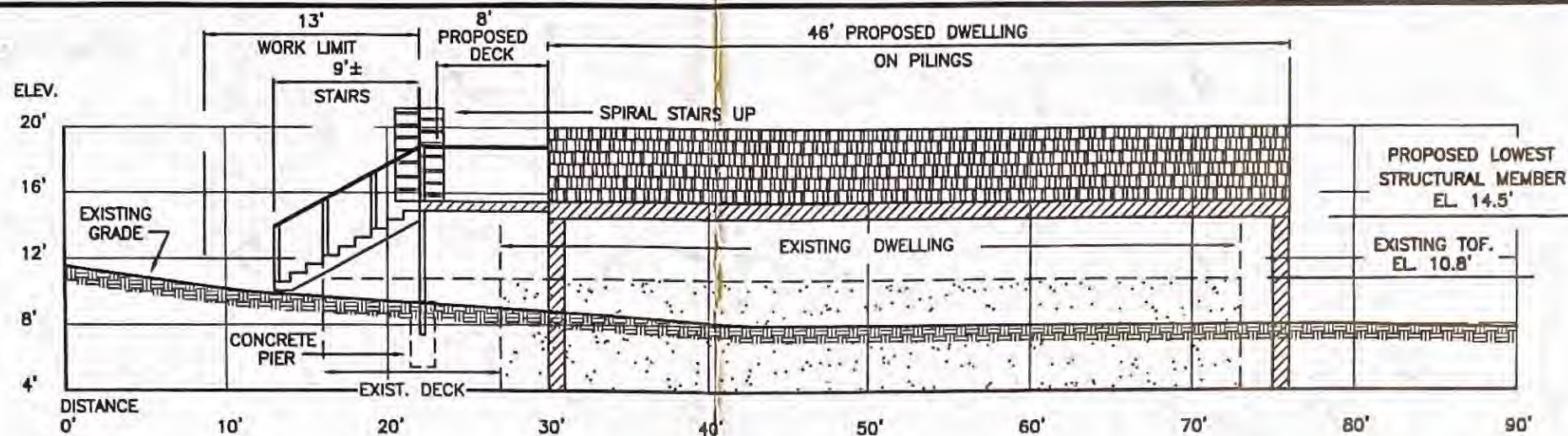
USE: EXISTING 1,000 GALLON SEPTIC TANK

LEACHING FACILITY CALCULATIONS:

USE: EXISTING 40' X 11' LEACH FIELD 1978 CODE

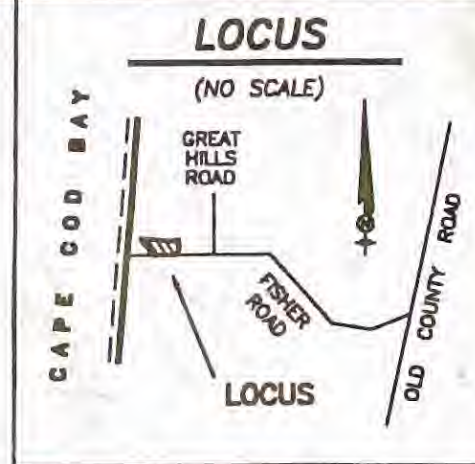
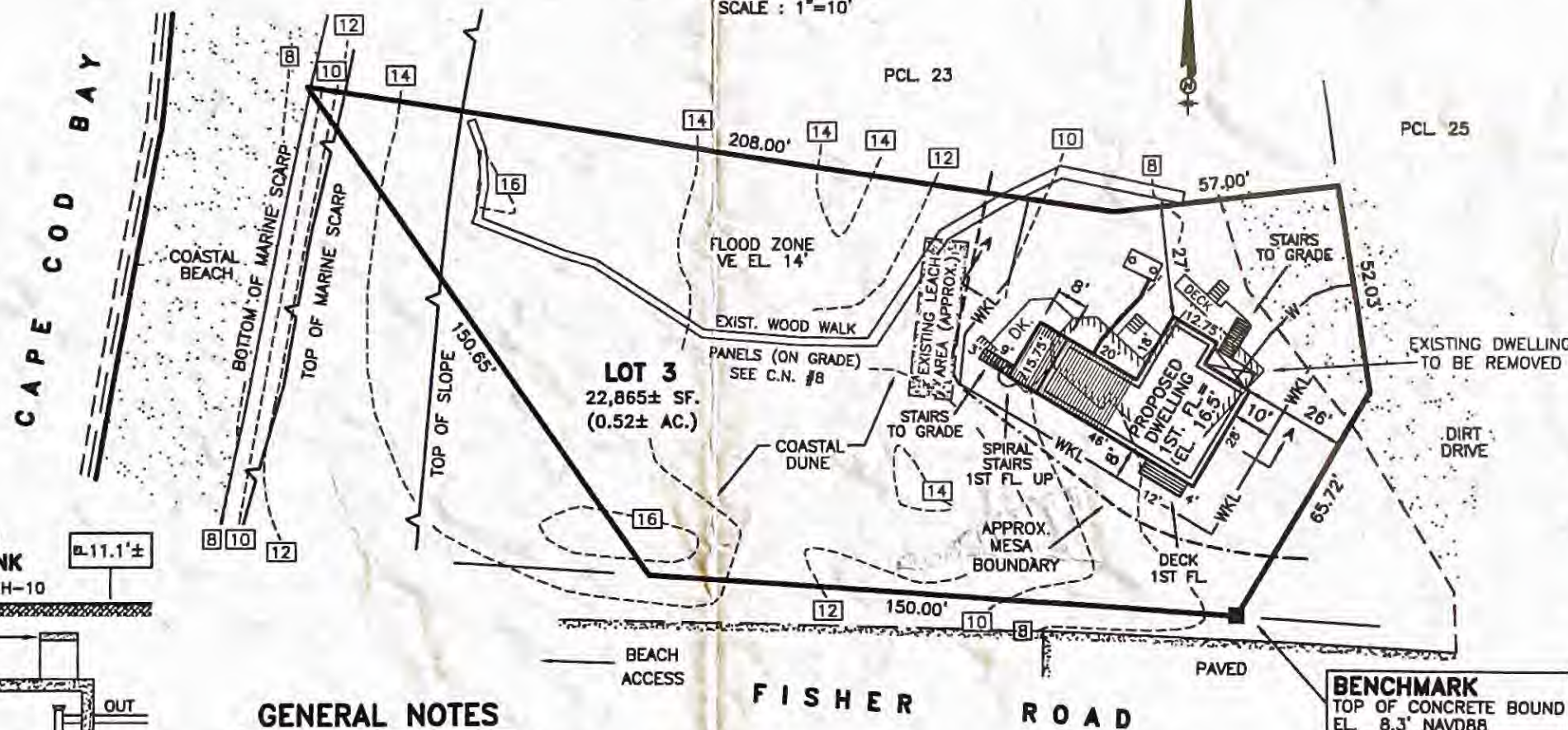
EXISTING DWELLING AND DECKING = 1,490 SF.±

PROPOSED DWELLING AND DECKING = 1,350 SF.±



### SECTION A-A

SCALE: 1"=10'



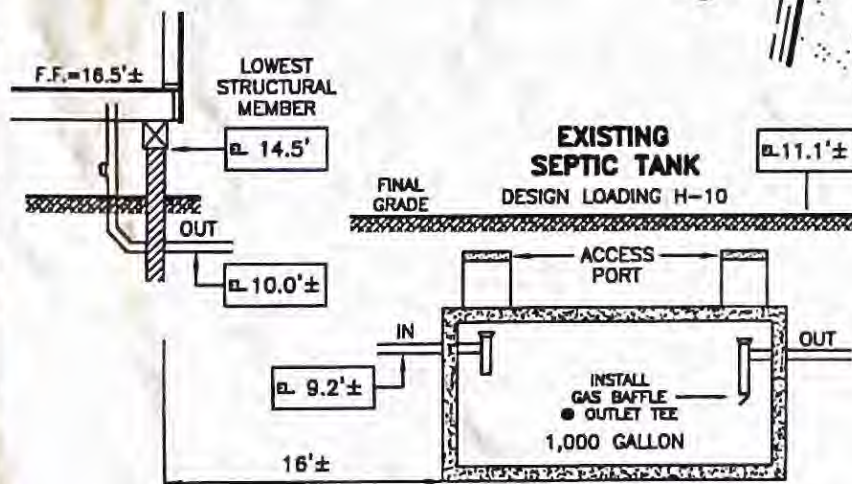
PLAN REFERENCES:

DEED BOOK 32678 PAGE 75

PLAN BOOK 206 PAGE 89

### LEGEND

- EXISTING CONTOUR
- WKL - WORK LIMIT



### SECTION VIEW - SEPTIC SYSTEM COMPONENTS

( N. T. S. )

- SEWAGE CONNECTION FROM PROPOSED DWELLING TO EXISTING SEPTIC SYSTEM TO CONFORM WITH 310 CMR 15.000 AND TOWN BOARD OF HEALTH REGULATIONS.
- SEE FELCO, INC. SITE & SEWAGE PLAN #95061 DATED 3-14-1995 FOR ADDITIONAL SITE DETAILS.

### GENERAL NOTES

- ALL CONTRACTORS AND/OR INSTALLERS ARE RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK AREA.
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL WASTE LINE LOCATIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH STATE SANITARY CODE 310 CMR 15.000 AND TOWN BOARD OF HEALTH REQUIREMENTS.
- ELEVATION DATUM IS FROM  U.S.G.S. QUAD. MAP.  NAVD88
- MUNICIPAL WATER IS AVAILABLE  YES  NO
- ANY ALTERATIONS TO DESIGN MUST BE APPROVED BY FELCO, INC. AND TOWN BOARD OF HEALTH.

### NOTES:

THIS PLAN REQUIRES CONSERVATION COMMISSION APPROVAL. EXISTING SITE ON OR WITHIN COASTAL DUNE AND 100' BUFFER ZONE. EXISTING SITE PARTIALLY WITHIN MESA JURISDICTION PER "OLIVER" MAP. FINAL GRADING AROUND DWELLING AND DRIVE TO BE DETERMINED BY OWNER AND BUILDER ON SITE.

VERIFY BUILDING HEIGHT AND PROPOSED FOUNDATION ELEVATION WITH BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

### FELCO, INC.

ENGINEERING - LAND SURVEYING

P.O. BOX 1366 ORLEANS, MA 02653  
(508) 255-8141 WWW.FELCOENGINEERING.COM

4-23-20  
NEW STAIRS/  
C.N. #7 & #8  
3-30-20  
SECTION A-A  
REVISIONS

### SITE & SEWAGE PLAN

LOCUS: 49 FISHER ROAD

TRURO, MA

PREPARED FOR: DOUGLAS AMBROSE

7 ROWAYTON AVENUE

NORWALK, CT 06853-1537

REFERENCE: ASSR'S MAP 53 PARCEL 24

SCALE: 1" = 40' DATE: 2-7-2020

SHEET No. 1 OF 1 JOB No. 19075

THIS PLAN IS PREPARED FOR COMPLIANCE WITH 310 CMR 15.000. VERIFY ZONING AND UTILITY SETBACK DIMENSIONS PRIOR TO CONSTRUCTION.





# CONSTRUCTION NOTES

- EXISTING DWELLING TO BE REMOVED AND REPLACED WITH A NEW DWELLING SUPPORTED ON PILE FOUNDATION.
- PROPOSED DWELLING TO BE CONNECTED TO EXISTING 1978 CODE SEPTIC SYSTEM.
- WORK LIMIT TO BE STAKED SILT FENCE.
- ALL DISTURBED AREAS TO BE REVEGETATED WITH BEACH GRASS AND NATIVE PLANTINGS UPON WORK COMPLETION.
- CONSTRUCTION ACCESS VIA EXISTING DRIVE AREA.
- SEE SEPARATE PLANS FOR PILE DESIGN.
- NEW DECKS TO BE SUPPORTED BY CONCRETE PIERS.
- EXISTING WOOD WALK PANELS HAVE SLEEPERS ON GRADE. STACK PANELS WITHIN EXISTING WALKWAY DURING OFF SEASON.

## DESIGN

FLOW DETERMINATION  4 EXISTING BEDROOM DWELLING

GARBAGE GRINDER  NO  YES

FLOW RATE =  GAL/DAY

SEPTIC TANK SIZING:

x 2.0 =  GAL/DAY

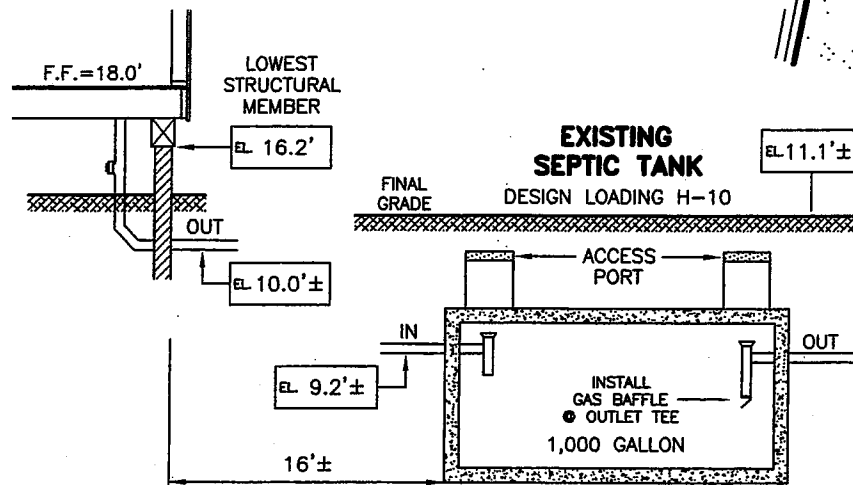
USE: EXISTING 1,000 GALLON SEPTIC TANK

LEACHING FACILITY CALCULATIONS:

USE: EXISTING 40' X 11' LEACH FIELD 1978 CODE

EXISTING DWELLING AND DECKING = 1,490 SF.±

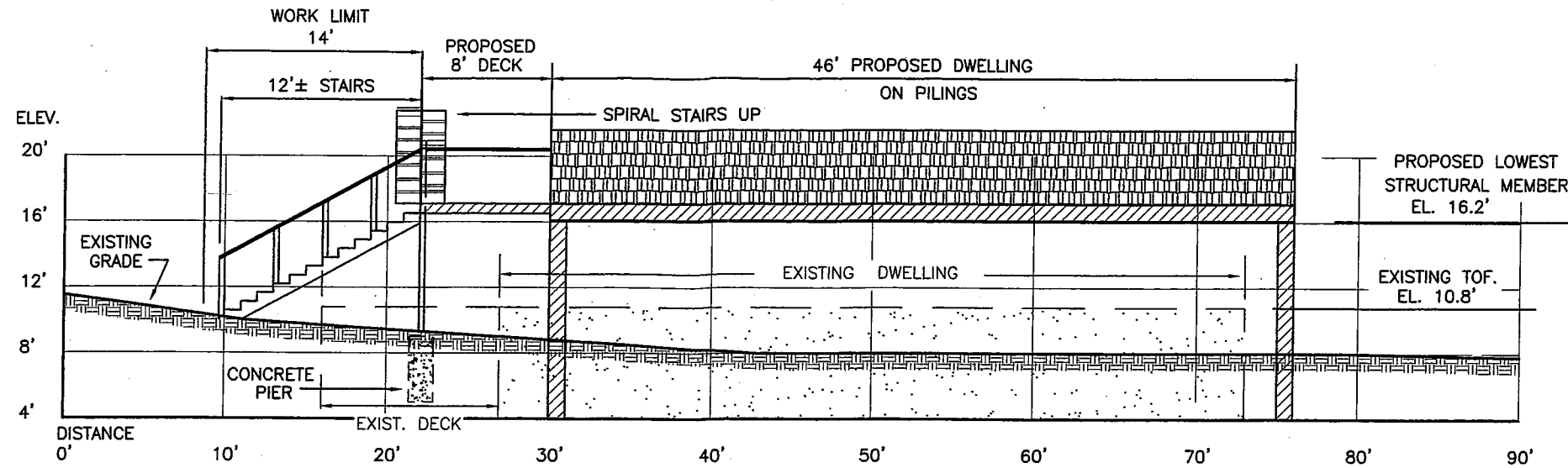
PROPOSED DWELLING AND DECKING = 1,350 SF.±



**SECTION VIEW - SEPTIC SYSTEM COMPONENTS**  
( N. T. S. )

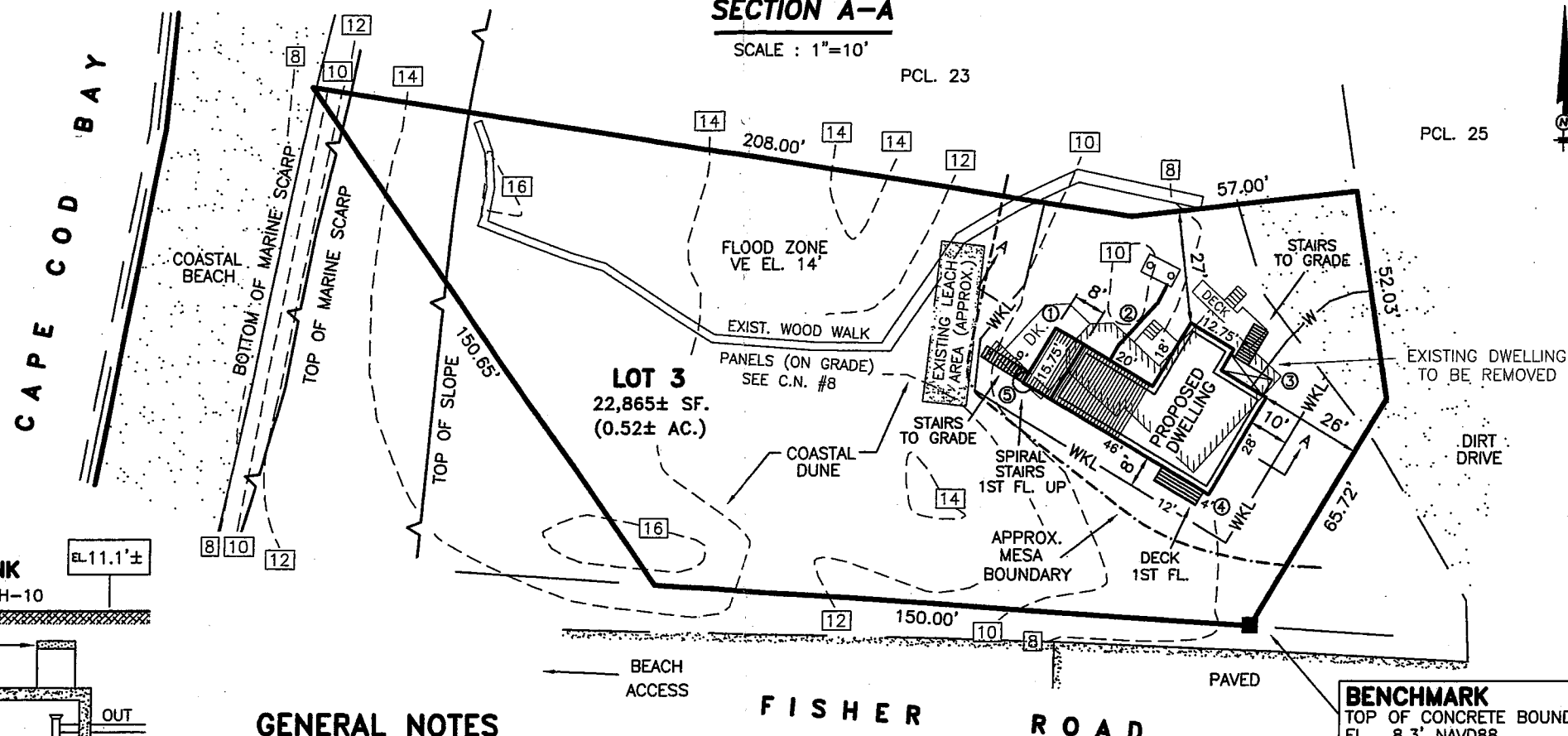
- SEWAGE CONNECTION FROM PROPOSED DWELLING TO EXISTING SEPTIC SYSTEM TO CONFORM WITH 310 CMR 15.000 AND TOWN BOARD OF HEALTH REGULATIONS.
- SEE FELCO, INC. SITE & SEWAGE PLAN #95061 DATED 3-14-1995 FOR ADDITIONAL SITE DETAILS.

THIS PLAN IS PREPARED FOR COMPLIANCE WITH 310 CMR 15.000.  
VERIFY ZONING AND UTILITY SETBACK DIMENSIONS PRIOR TO CONSTRUCTION.



## SECTION A-A

SCALE: 1"=10'



## GENERAL NOTES

- ALL CONTRACTORS AND/OR INSTALLERS ARE RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK AREA.
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL UTILITY LOCATIONS
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL WASTE LINE LOCATIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH STATE SANITARY CODE 310 CMR 15.000 AND TOWN BOARD OF HEALTH REQUIREMENTS.
- ELEVATION DATUM IS FROM  U.S.G.S. QUAD. MAP.  NAVD88
- MUNICIPAL WATER IS AVAILABLE  YES  NO
- ANY ALTERATIONS TO DESIGN MUST BE APPROVED BY FELCO, INC. AND TOWN BOARD OF HEALTH.

### NOTES:

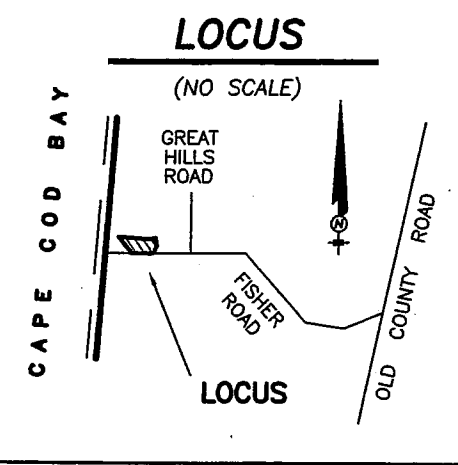
THIS PLAN REQUIRES CONSERVATION COMMISSION APPROVAL. EXISTING SITE ON OR WITHIN COASTAL DUNE AND 100' BUFFER ZONE. EXISTING SITE PARTIALLY WITHIN MESA JURISDICTION PER "OLIVER" MAP. FINAL GRADING AROUND DWELLING AND DRIVE TO BE DETERMINED BY OWNER AND BUILDER ON SITE. VERIFY BUILDING HEIGHT AND PROPOSED FOUNDATION ELEVATION WITH BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

**FELCO, INC.**  
ENGINEERING - LAND SURVEYING

P.O. BOX 1366 ORLEANS, MA 02653  
(508) 255-8141 WWW.FELCOENGINEERING.COM

11-30-20	LOWEST HORIZ. STRUCTURAL MEMBER	EL. 16.2'
4-23-20	NEW STAIRS/ C.N. #7 & #8	
3-30-20	SECTION A-A	
REVISIONS		

LOCUS:	<b>49 FISHER ROAD</b>	
	TRURO, MA	
PREPARED FOR:	<b>DOUGLAS AMBROSE</b>	
	7 ROWAYTON AVENUE	
	NORWALK, CT 06853-1537	
REFERENCE: ASSR'S MAP	<input type="text" value="53"/>	PARCEL <input type="text" value="24"/>
SCALE: 1" = 40'	DATE: 2-7-2020	
SHEET No. 1 OF 1	JOB No. 19075	



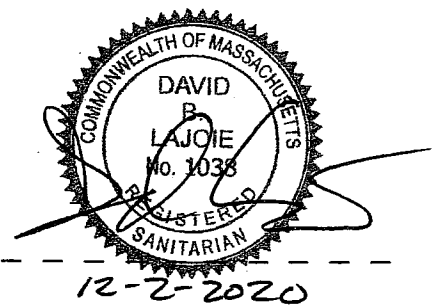
PLAN REFERENCES:  
DEED BOOK 32678 PAGE 75  
PLAN BOOK 206 PAGE 69

## LEGEND

- EXISTING CONTOUR
- WKL - WORK LIMIT

### GRADE PLAN CALCULATIONS:

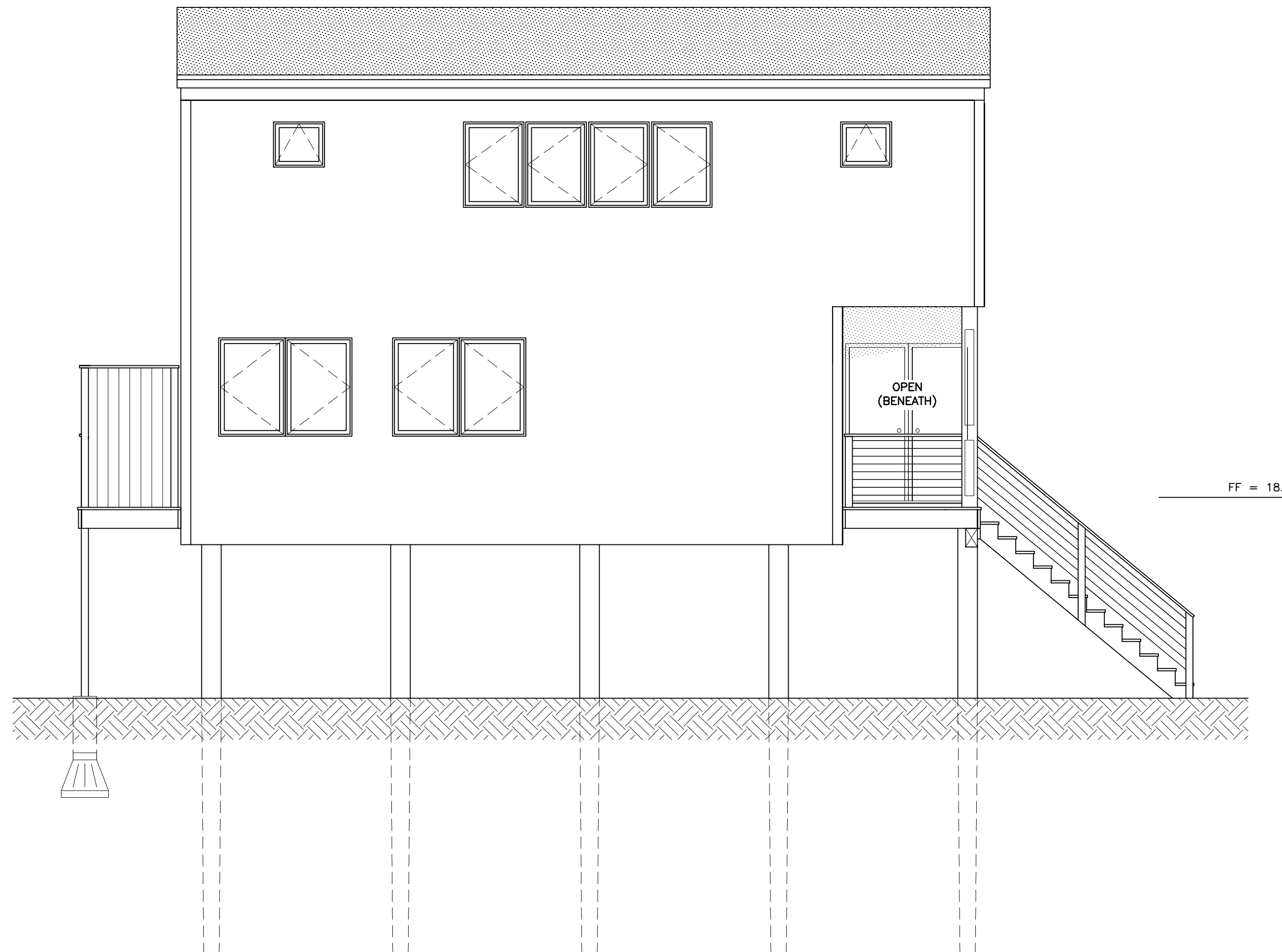
- ① SPOT EL. 9.2'
  - ② SPOT EL. 10.2'
  - ③ SPOT EL. 6.9'
  - ④ SPOT EL. 8.0'
  - ⑤ SPOT EL. 9.7'
- = EL. 44.0'/5 = 8.8' AVE. GRADE  
+ 30' = MAX. BUILDING HGT.  
= EL. 38.8' = MAX. RIDGE HGT.  
- 18.0' = FIRST FL. EL.  
= 20.8' = MAX. BUILDING HEIGHT FROM FIRST FL. EL.



## SITE & SEWAGE PLAN

ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION

ANY STRUCTURAL ENGINEERING REVIEW, IF NECESSARY, IS AT THE DISCRETION OF THE BUILDING COMMISSIONER AND WILL BE THE RESPONSIBILITY OF THE OWNER



**FRONT ELEVATION**

( EAST )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD

-FRONT (EAST) ELEVATION

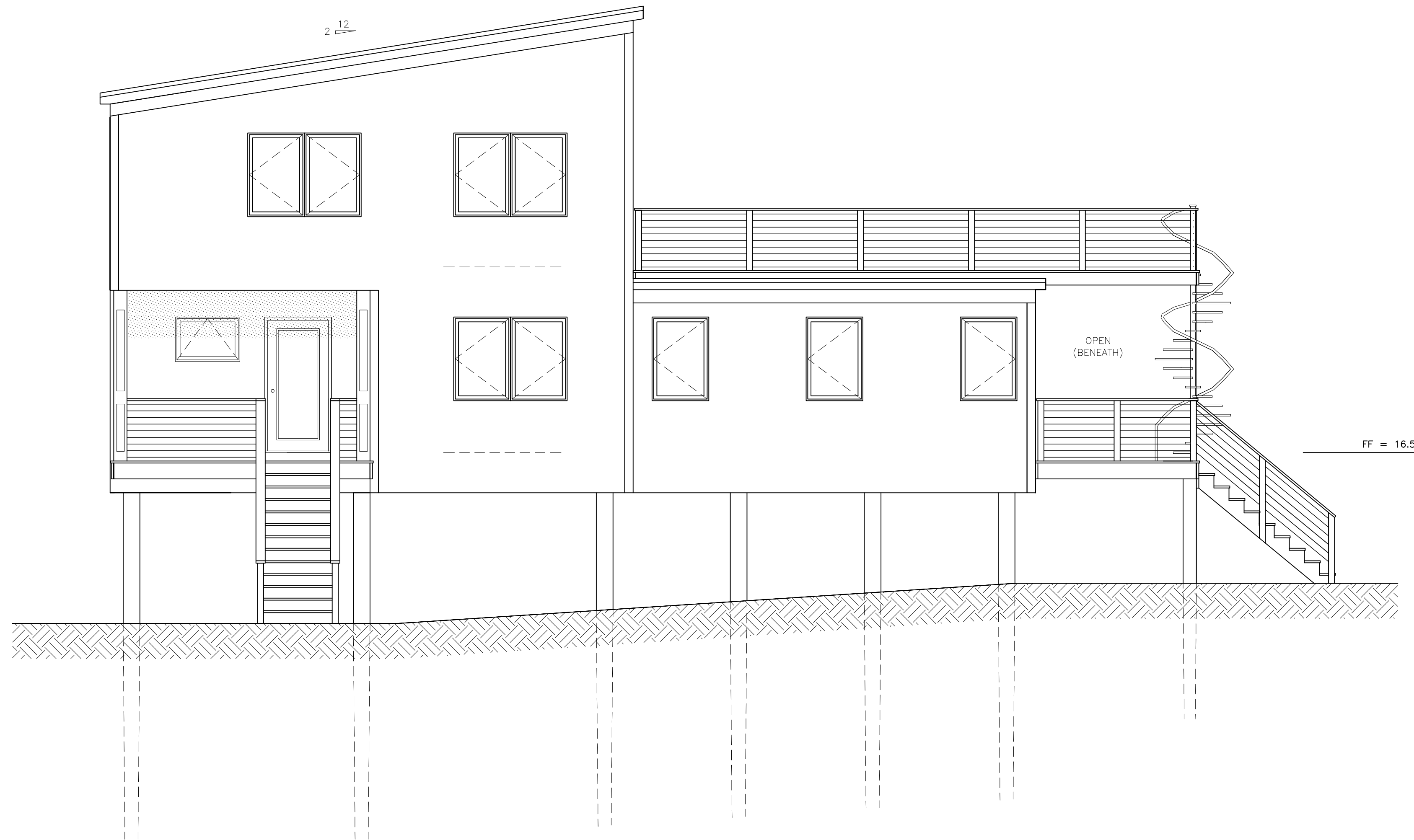
SEPTEMBER 6, 2020

REVISED:  
SEPTEMBER 30, 2020  
-LAYOUT, WINDOW, ETC.  
DECEMBER 3, 2020  
-ROOF, WINDOWS, ELEV., ETC.

TRURO

ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION

ANY STRUCTURAL ENGINEERING REVIEW, IF NECESSARY, IS AT THE DISCRETION OF THE BUILDING COMMISSIONER AND WILL BE THE RESPONSIBILITY OF THE OWNER



RIGHT SIDE  
ELEVATION  
( NORTH )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD

-RIGHT SIDE (NORTH) ELEVATION

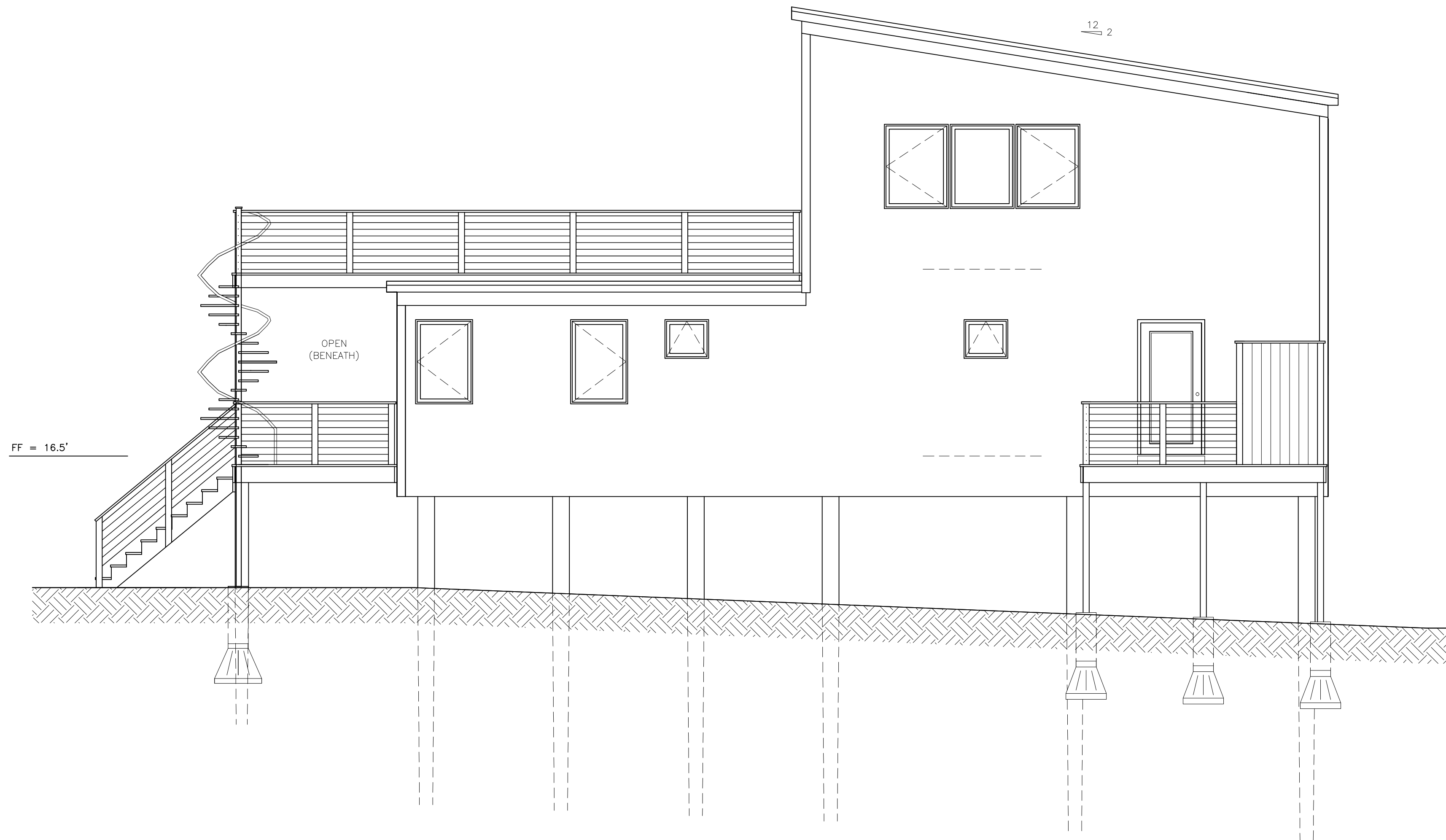
SEPTEMBER 6, 2020

REVISED:  
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LEFT SIDE  
ELEVATION  
( SOUTH )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD

-LEFT SIDE (SOUTH) ELEVATION

SEPTEMBER 6, 2020

REVISED:  
SEPTEMBER 30, 2020  
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REAR ELEVATION  
( WEST )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

DOUGLAS AMBROSE

49 FISHER ROAD

-REAR (WEST) ELEVATION

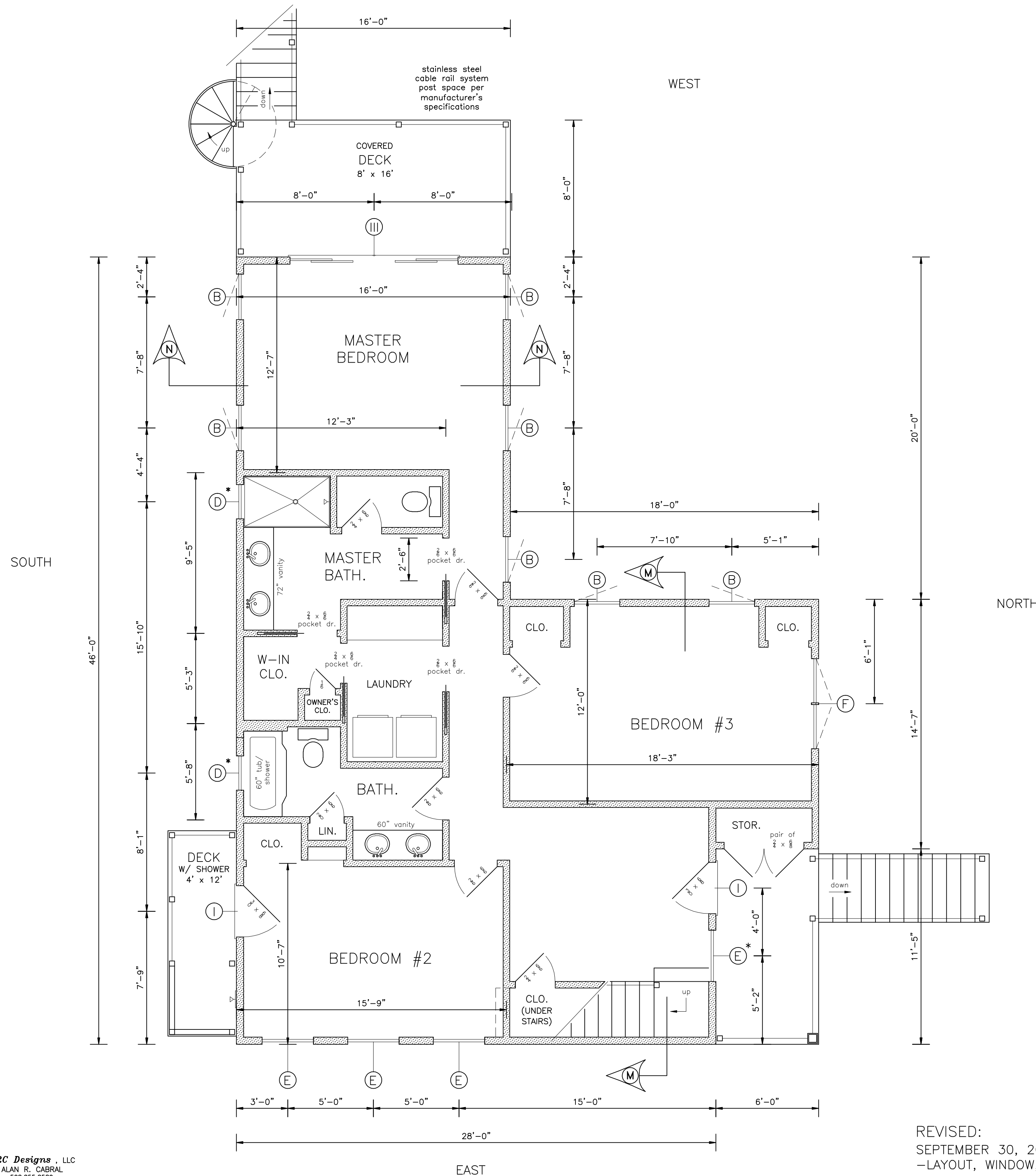
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**FIRST FLOOR**  
 ( 1/4" = 1' )  
 AREA = 1,126 ± SF.



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD  
 -FIRST FLOOR PLAN

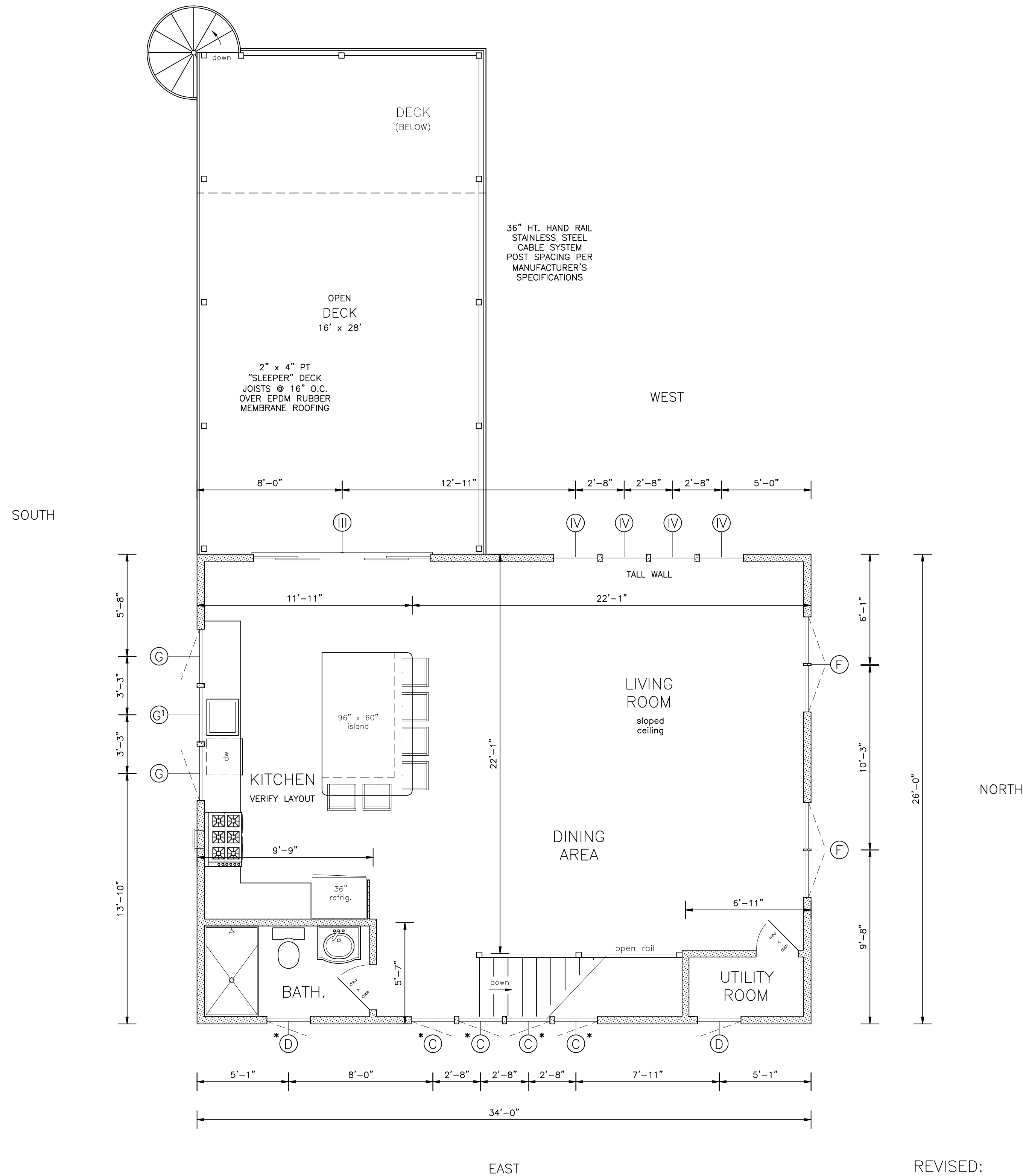
TRURO

REVISED:  
 SEPTEMBER 30, 2020  
 -LAYOUT, WINDOW, ETC.

SEPTEMBER 6, 2020

ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION

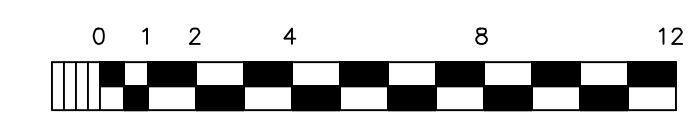
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DOOR & WINDOW SCHEDULE				D. AMBROSE 49 FISHER	
KEY	ITEM	QUA.	DESCRIPTION	ROUGH OPEN'G	NOTES
B	-	7	AND. #CX14 CASEMENT	32" x 48 1/2"	DOUBLE STUD POCKET
C *	-	4	AND. #CW135 CASEMENT	28 7/8" x 41 3/8"	
D *	-	4	AND. #AN21 AWNING	24 5/8" x 21"	
E *	-	4	AND. #A31 AWNING	36 1/2" x 24 5/8"	
F	-	3	AND. #CX24 CASEMENT	63 1/4" x 48 1/2"	
G	-	2	AND. #CXW14 CASEMENT	36 1/2" x 48 1/2"	* TEMPERED GLASS
G1	-	1	AND. #P3040 PICTURE	36 1/2" x 48 1/2"	
I	DOOR	2	THERMA-TRU #S140 FG. DR.	38 1/2" x 83 1/2"	FULL VIEW
III	FR.WD.GLD'R.	2	AND. #FWG 10611-4 W/ 2 AND. PICTURE WINDOWS (OVER)	117 3/4" x 83" TO BE DETERMINED	VERIFY WINDOWS FOR ALIGNMENT W/ DOORS (BELOW)
IV	FR.WD.GLD'R.	4	AND. FWG 29611 S W/ 2 AND. PICTURE WINDOWS (OVER)	32 3/4" x 83" TO BE DETERMINED	DOUBLE STUD POCKET

- USE ANDERSEN 400 SERIES H-P LOW E GLASS OR EQUIVALENT W/ "STORM WATCH" PROTECTION COLOR TO BE DETERMINED BY OWNER
- OPTIONAL INTERIOR / EXTERIOR GRILLE SYSTEM
- VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION
- VERIFY ALL MILLWORK PRIOR TO PURCHASE

**SECOND FLOOR**  
 ( 1/4" = 1' )  
 AREA = 884 ± SF.

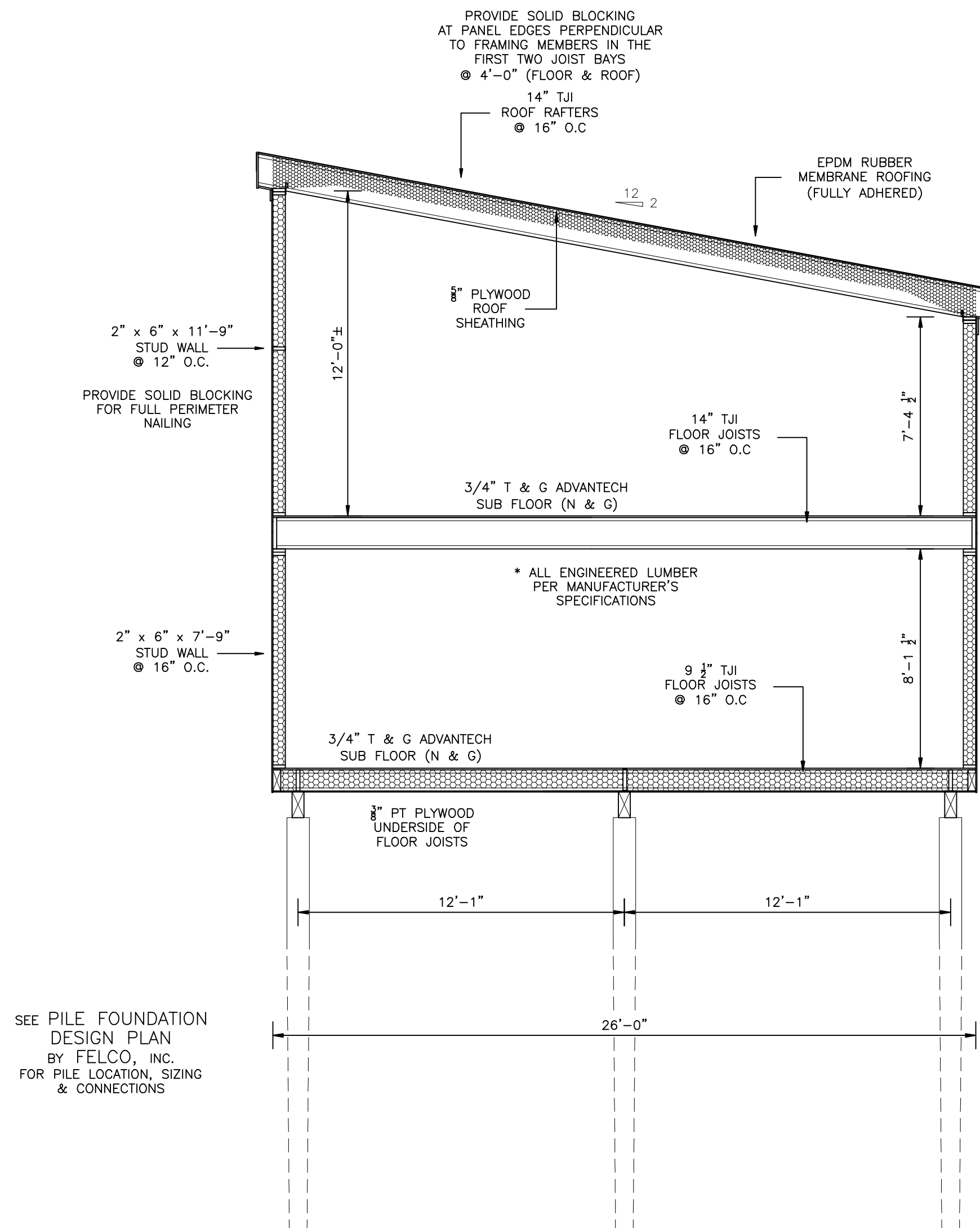


PROPOSED RECONSTRUCTED DWELLING  
**DOUGLAS AMBROSE**  
 49 FISHER ROAD  
 TRURO  
 -SECOND FLOOR PLAN  
 -DOOR & WINDOW SCHEDULE  
 SEPTEMBER 6, 2020

REVISED:  
 SEPTEMBER 30, 2020  
 -LAYOUT, WINDOW, ETC.

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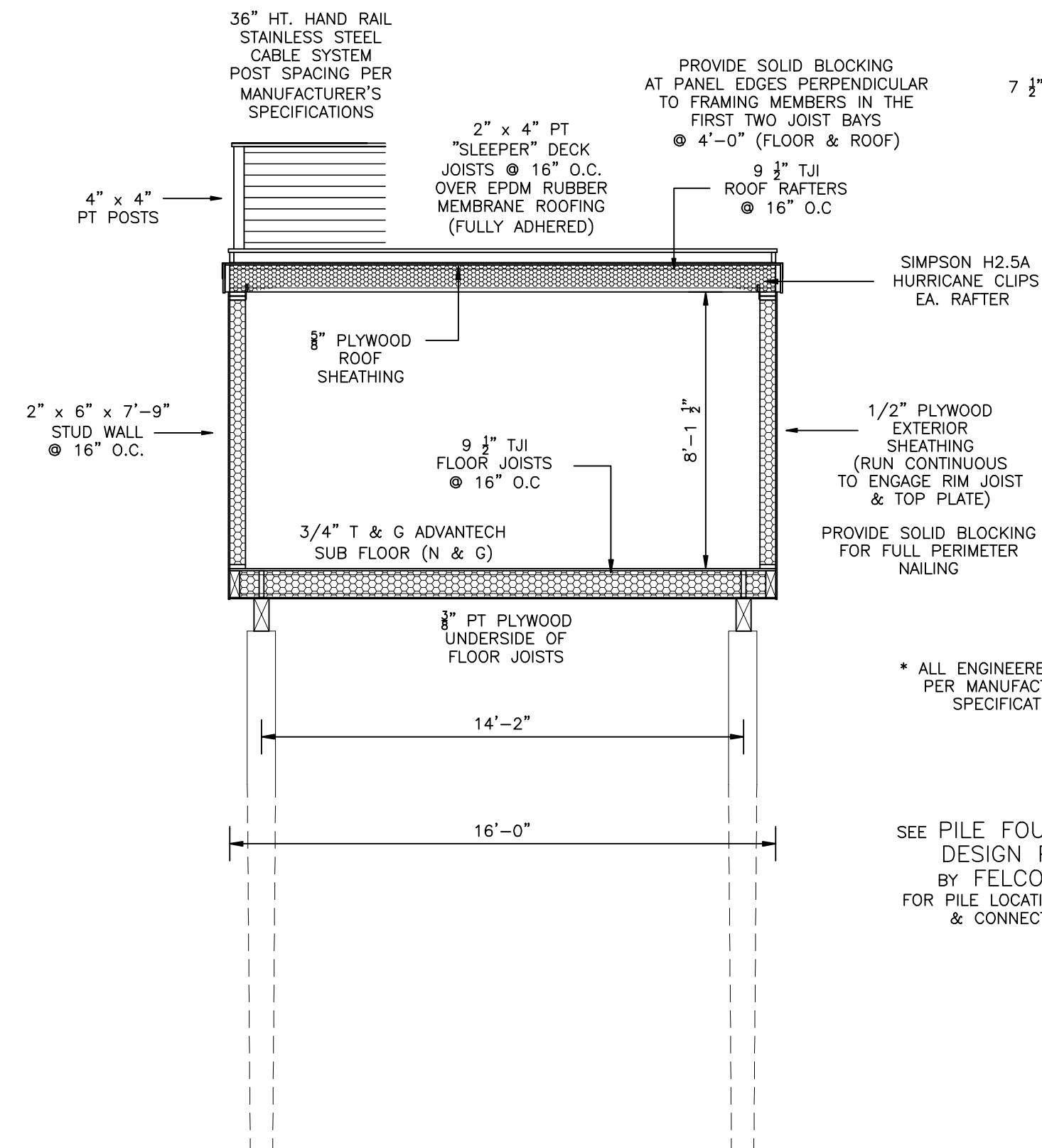


**FRAMING SECTION "M"**

( 1/4" = 1' )

\* VERIFY ALL DETAILS WITH BUILDER  
ADJUST AS REQUIRED

INSULATION:  
9" FG INSUL. = R30 FLOORS  
6" FG INSUL. = R20 WALLS  
7 1/2" CLOSED CELL SPRAY FOAM INSUL. = R51 CEILINGS



**FRAMING SECTION "N"**

( 1/4" = 1' )

\* VERIFY ALL DETAILS WITH BUILDER  
ADJUST AS REQUIRED

INSULATION:  
9" FG INSUL. = R30 FLOORS  
6" FG INSUL. = R20 WALLS  
7 1/2" CLOSED CELL SPRAY FOAM INSUL. = R51 CEILINGS

SEE PILE FOUNDATION DESIGN PLAN BY FELCO, INC. FOR PILE LOCATION, SIZING & CONNECTIONS

SEE PILE FOUNDATION DESIGN PLAN BY FELCO, INC. FOR PILE LOCATION, SIZING & CONNECTIONS



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD

TRURO

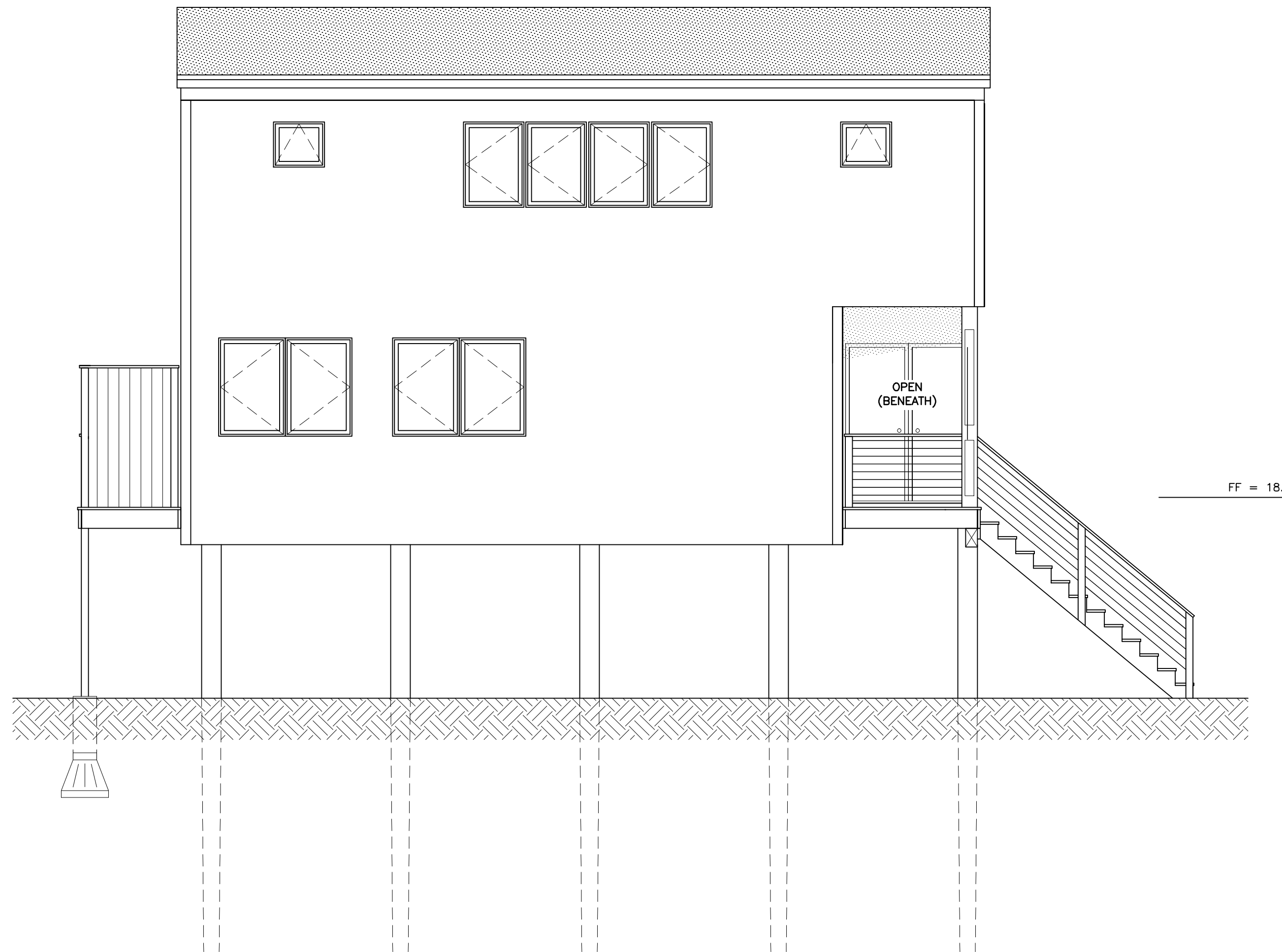
REVISED:  
SEPTEMBER 30, 2020  
-LAYOUT, WINDOW, ETC.

-FRAMING SECTION "M"  
-FRAMING SECTION "N"  
SEPTEMBER 6, 2020



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**FRONT ELEVATION**  
( EAST )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD  
-FRONT (EAST) ELEVATION

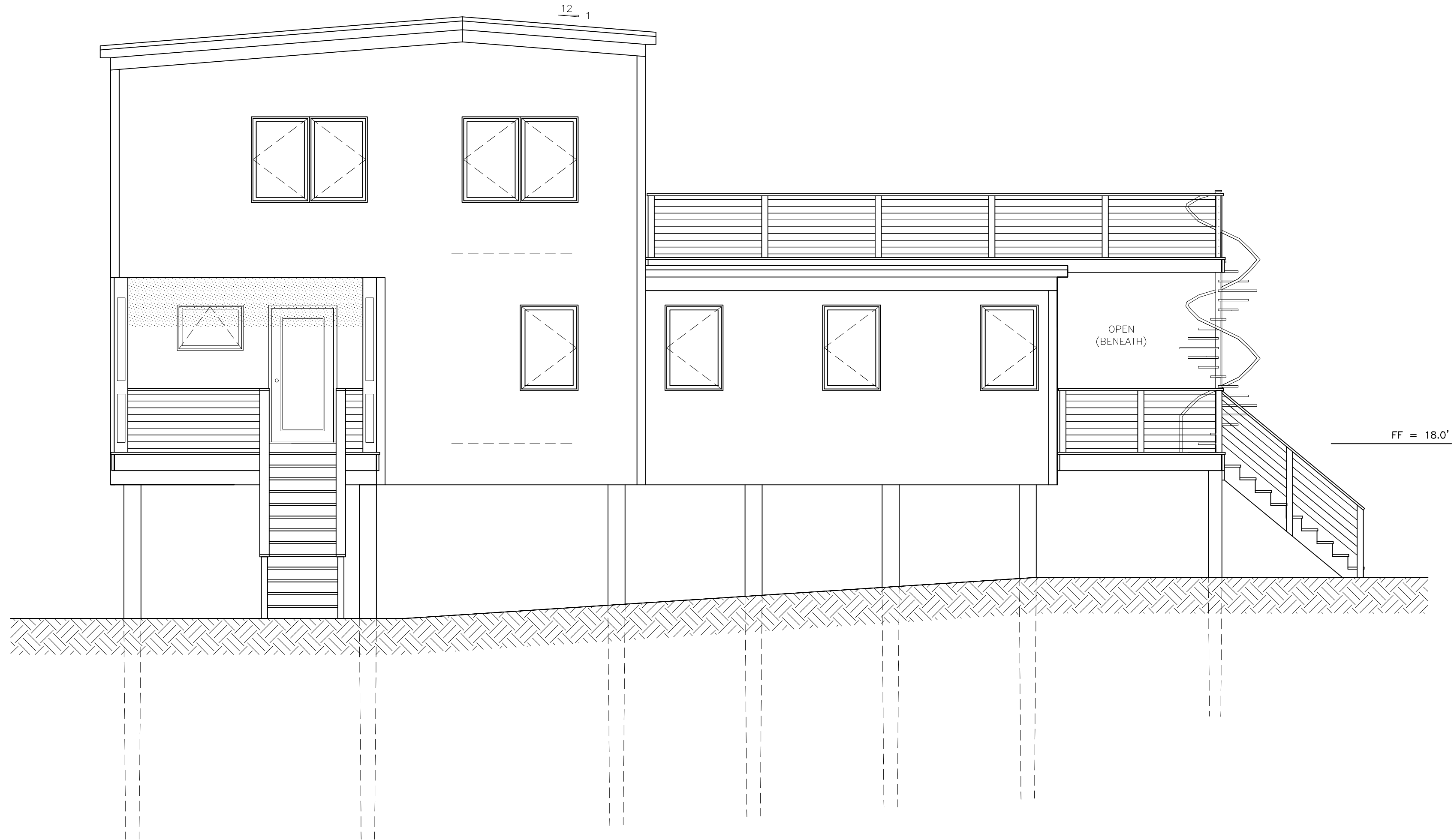
TRURO

REVISED:  
SEPTEMBER 30, 2020  
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DECEMBER 3, 2020  
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SEPTEMBER 6, 2020

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RIGHT SIDE  
ELEVATION  
( NORTH )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD  
-RIGHT SIDE (NORTH) ELEVATION

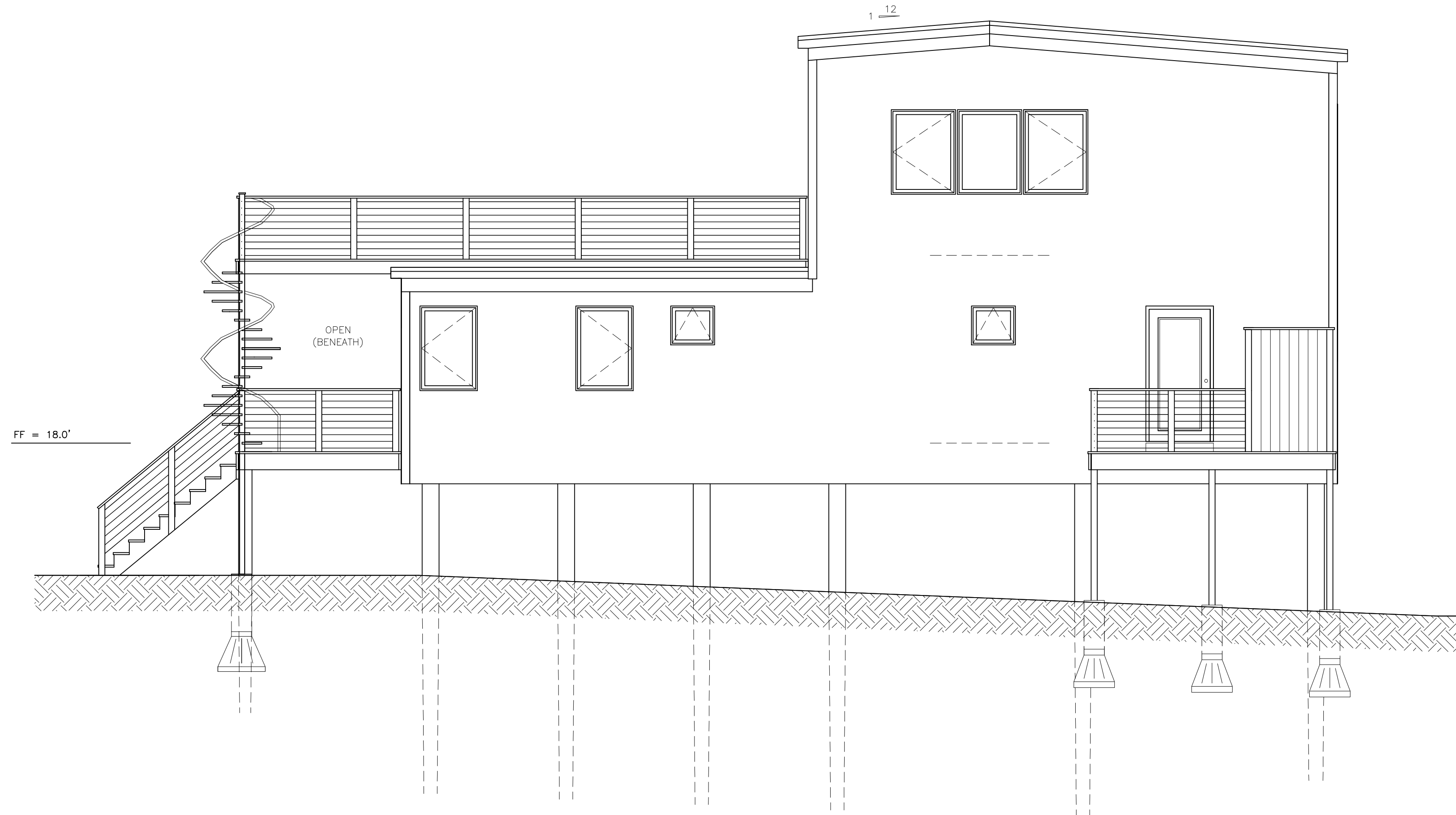
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SEPTEMBER 6, 2020

TRURO

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LEFT SIDE  
ELEVATION  
( SOUTH )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD  
-LEFT SIDE (SOUTH) ELEVATION

TRURO

REVISED:  
SEPTEMBER 30, 2020  
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REAR ELEVATION  
( WEST )

( 1/4" = 1' )



PROPOSED RECONSTRUCTED DWELLING

DOUGLAS AMBROSE

49 FISHER ROAD  
-REAR (WEST) ELEVATION

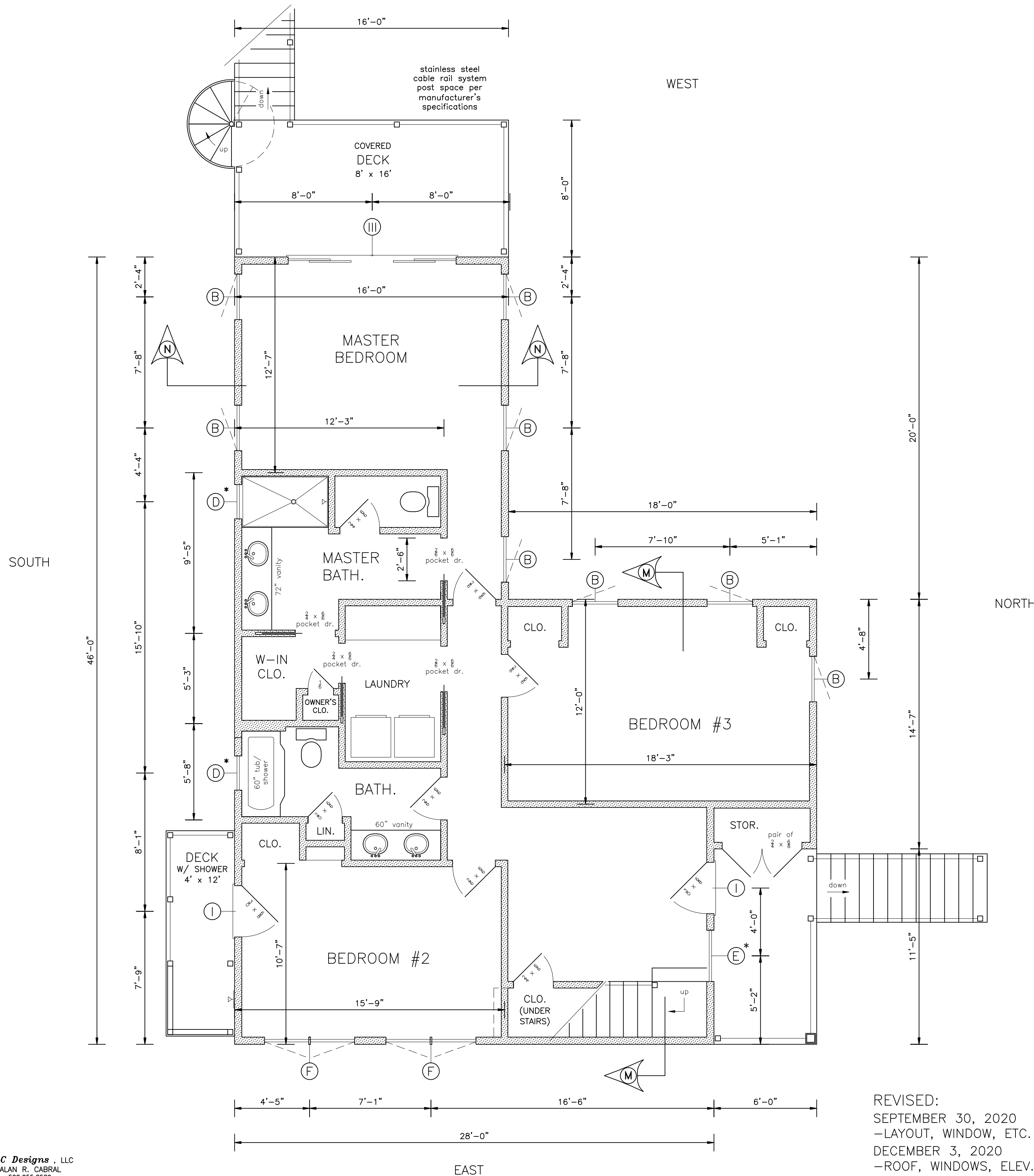
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**FIRST FLOOR**  
 ( 1/4" = 1' )  
 AREA = 1,126 ± SF.



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD  
 -FIRST FLOOR PLAN

TRURO

REVISED:  
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DOOR & WINDOW SCHEDULE					D. AMBROSE 49 FISHER
KEY	ITEM	QUA.	DESCRIPTION	ROUGH OPEN'G	NOTES
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III	FR.WD.GL'D'R.	2	AND. #FWG 10080-4	117 3/4" x 96"	
IV	FR.WD.GL'D'R.	4	AND. FWG 2980 S	32 3/4" x 96"	

- USE ANDERSEN 400 SERIES H-P LOW E GLASS OR EQUIVALENT W/ "STORM WATCH" PROTECTION COLOR TO BE DETERMINED BY OWNER
- OPTIONAL INTERIOR / EXTERIOR GRILLE SYSTEM
- VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION
- VERIFY ALL MILLWORK PRIOR TO PURCHASE

NORTH

**SECOND FLOOR**

( 1/4" = 1' )

AREA = 884 ± SF.



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

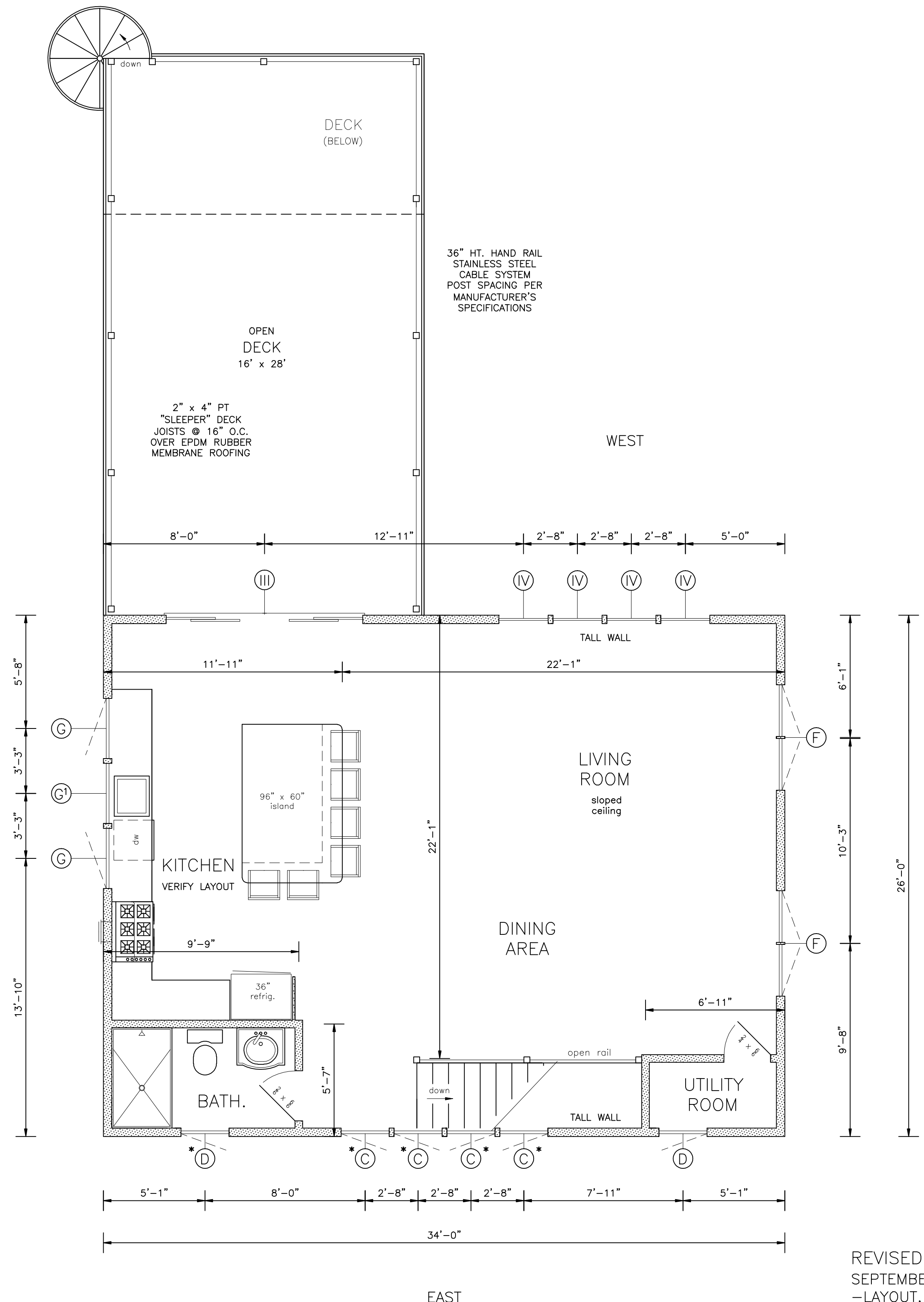
49 FISHER ROAD

TRURO

-SECOND FLOOR PLAN  
-DOOR & WINDOW SCHEDULE

SEPTEMBER 6, 2020

REVISED:  
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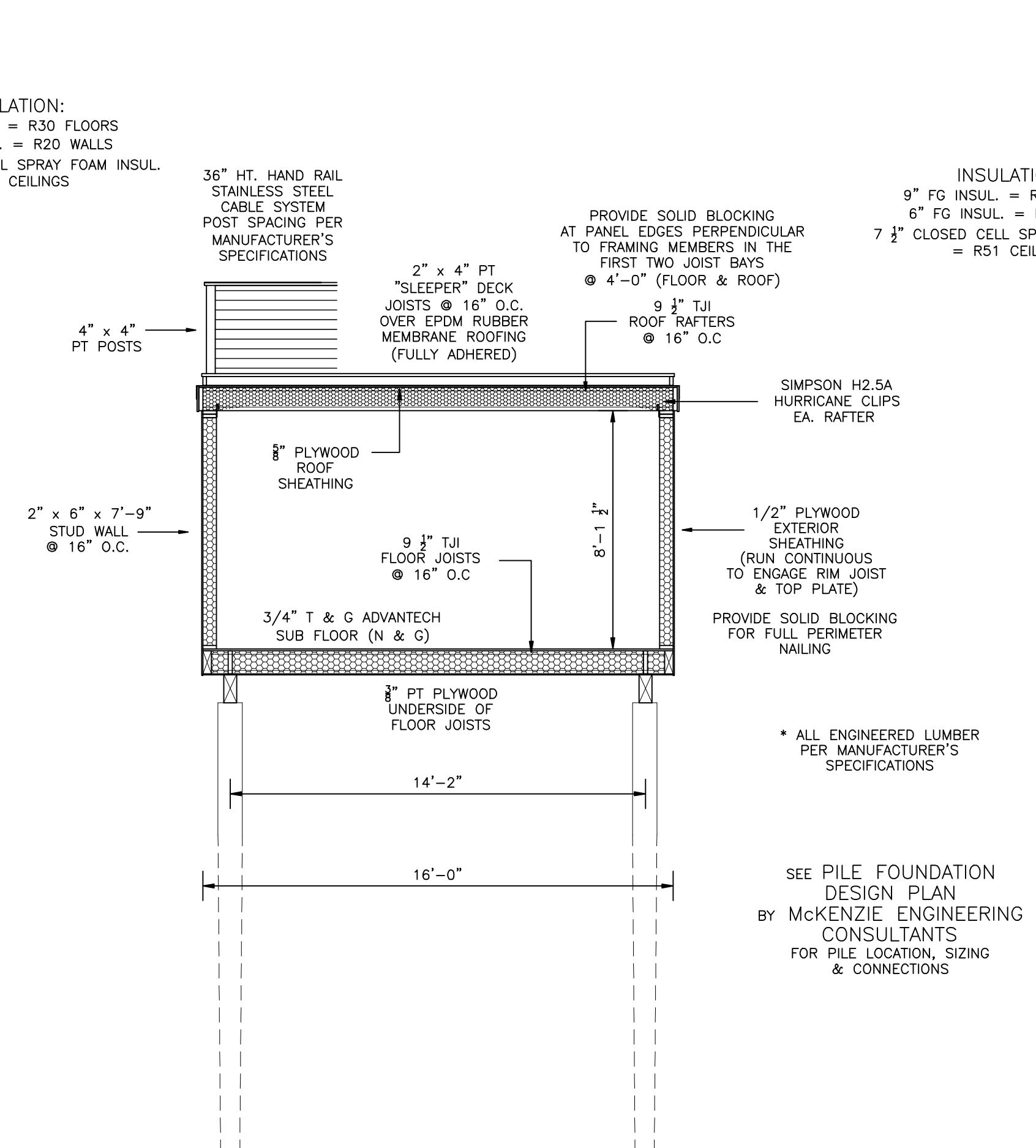
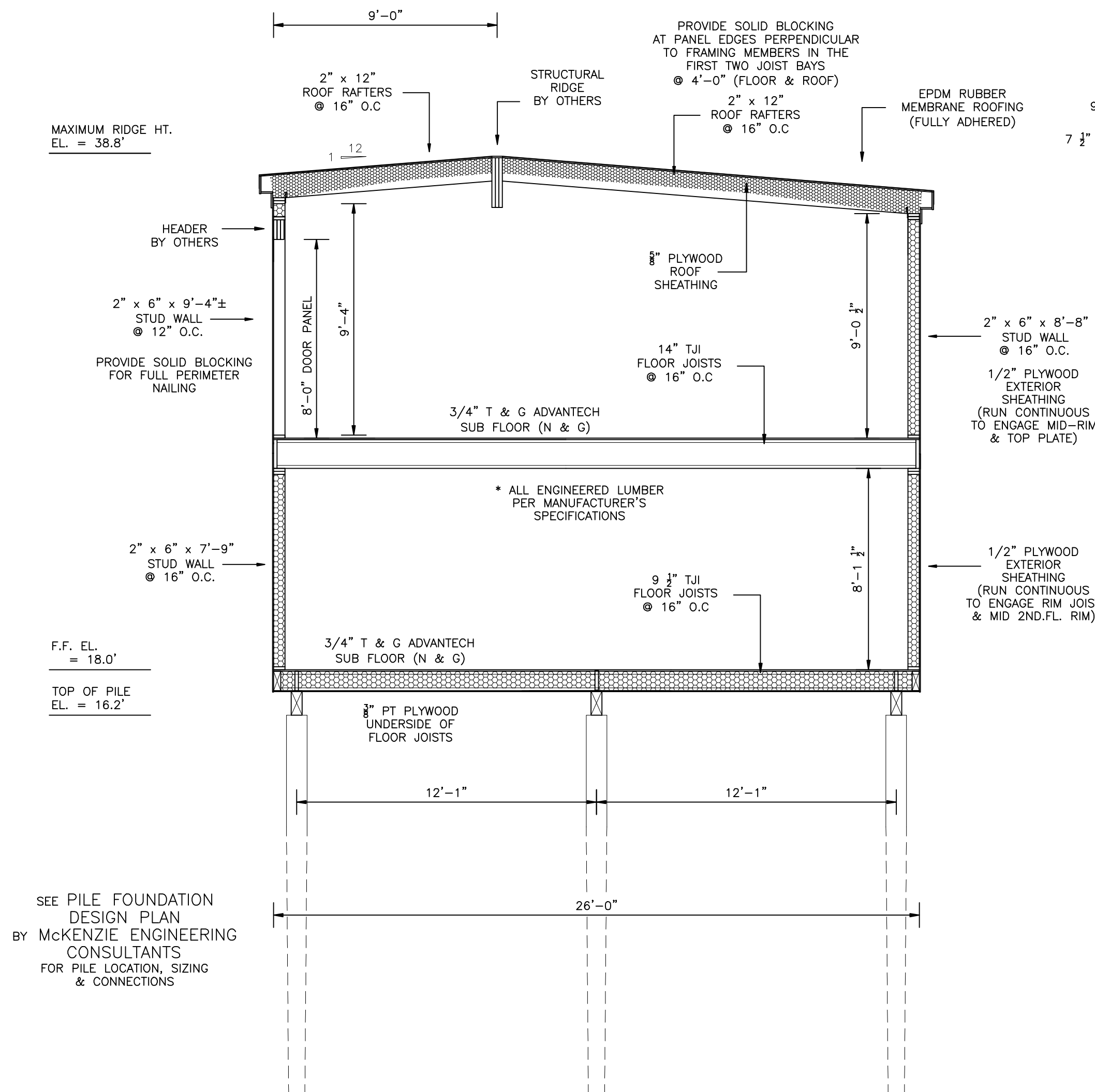


SOUTH

EAST

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**FRAMING SECTION "N"**

( 1/4" = 1' )

\* VERIFY ALL DETAILS WITH BUILDER ADJUST AS REQUIRED

**FRAMING SECTION "M"**

( 1/4" = 1' )

\* VERIFY ALL DETAILS WITH BUILDER ADJUST AS REQUIRED



PROPOSED RECONSTRUCTED DWELLING

**DOUGLAS AMBROSE**

49 FISHER ROAD

TRURO

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-FRAMING SECTION "M"  
-FRAMING SECTION "N"  
SEPTEMBER 6, 2020

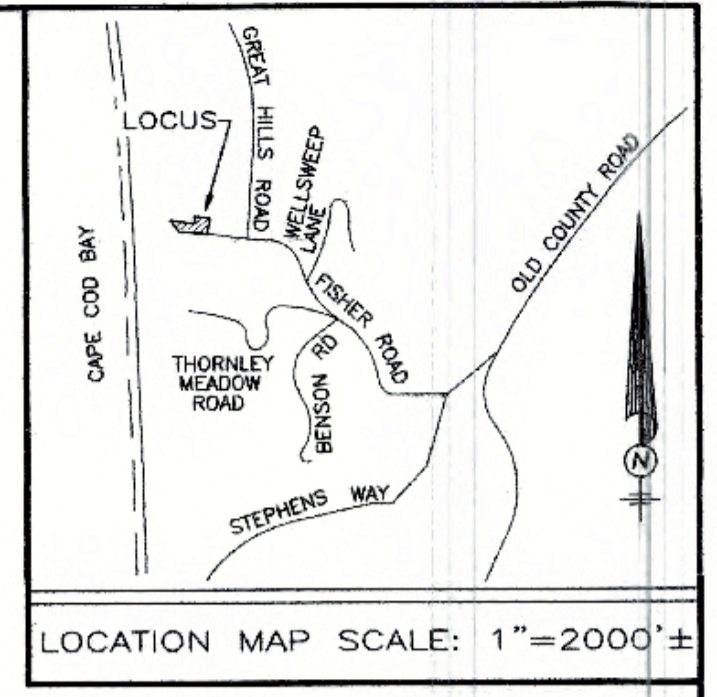
OWNERS OF RECORD:  
 DOUGLAS W. AMBROSE  
 7 ROWAYTON AVENUE  
 ROWAYTON, CT 06853  
 47 FISHER ROAD REALTY TRUST  
 C/O JANET DUGAN CPA  
 PO BOX 668  
 CHATHAM, MA 02633

REFERENCES:  
 DEED BOOK 32678 PAGE 75  
 DEED BOOK 22241 PAGE 112  
 PLAN BOOK 206 PAGE 69

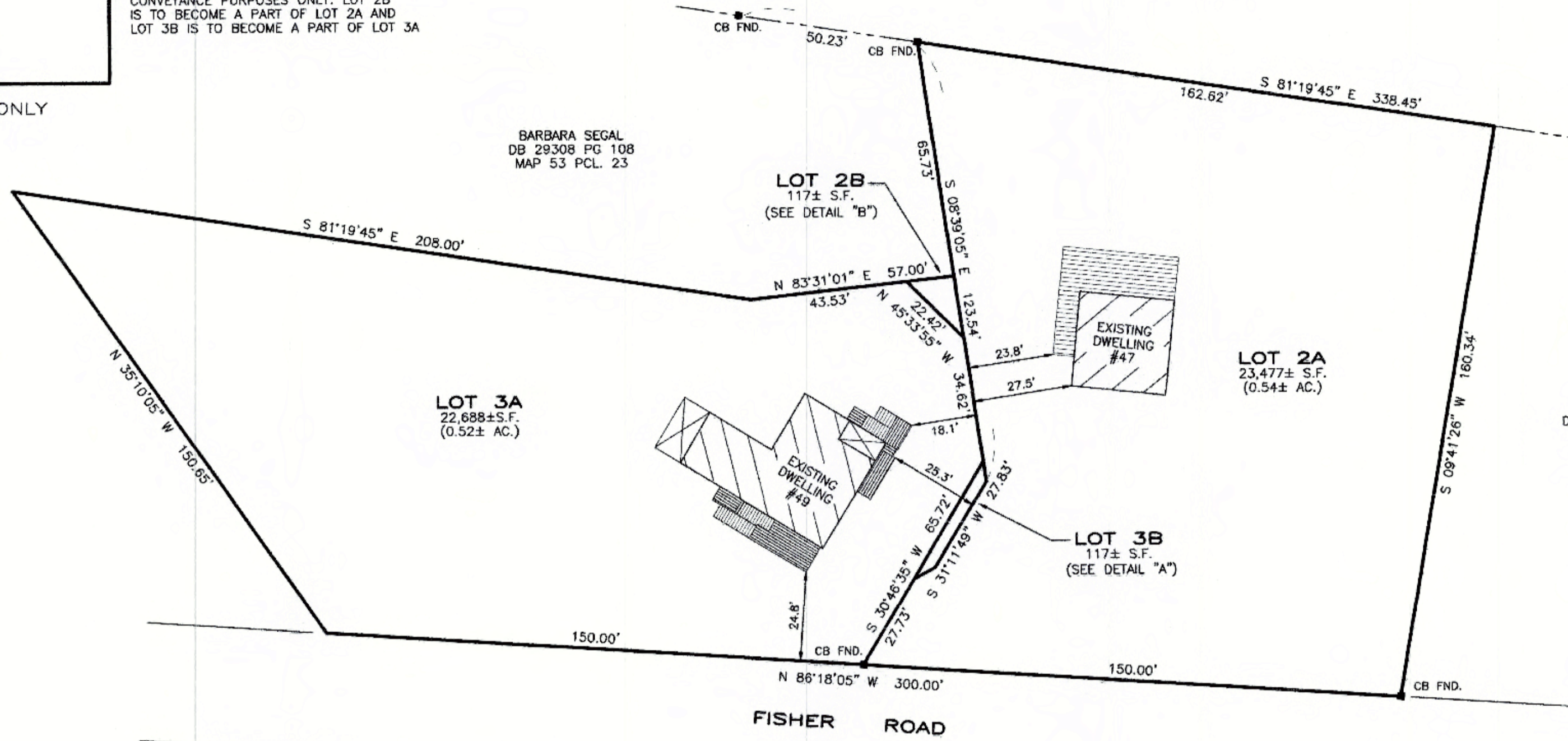
ASSESSORS MAP 53 PARCELS 24 & 25

LOTS 2B AND 3B ARE NOT CONSIDERED BUILDABLE LOTS AND ARE CREATED FOR CONVEYANCE PURPOSES ONLY. LOT 2B IS TO BECOME A PART OF LOT 2A AND LOT 3B IS TO BECOME A PART OF LOT 3A

TRURO CONSERVATION TRUST  
 DB 29307 PG 226  
 MAP 53 PCL 19



FOR REGISTRY USE ONLY



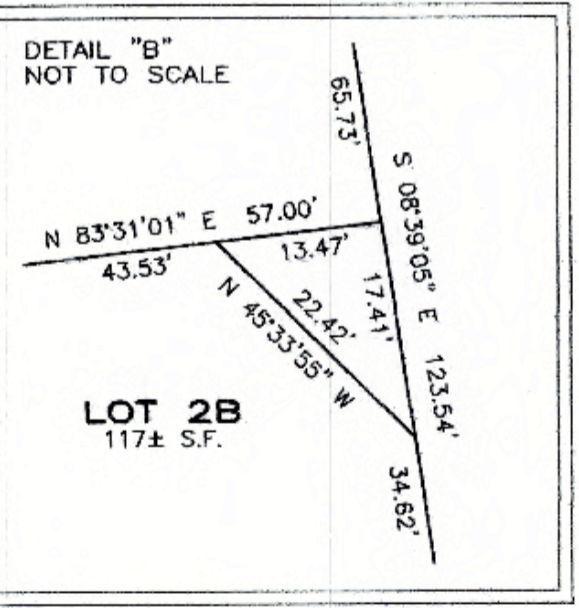
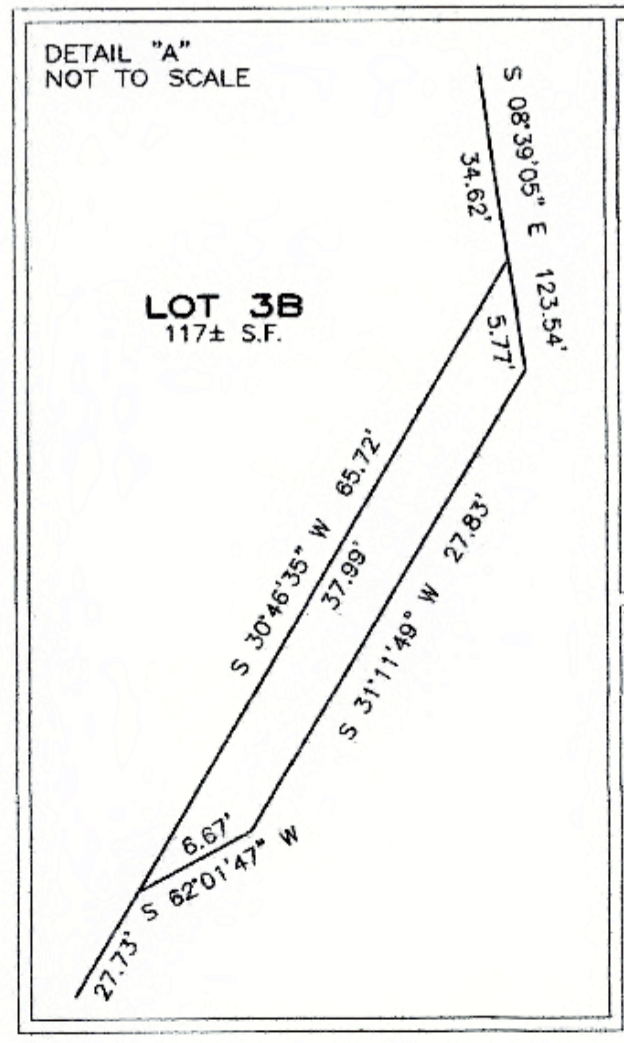
**TRURO PLANNING BOARD**

PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED

DATE: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

NO DETERMINATION AS TO COMPLIANCE WITH THE ZONING ORDINANCE REQUIREMENTS HAS BEEN MADE OR INTENDED BY THE ABOVE ENDORSEMENT.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS EFFECTIVE JANUARY 1, 1976 AND AMENDED JANUARY 7, 1988.

4/19/22  
 DATE

JOHN Z. DEMAREST JR., P.L.S.  
 JOHN Z. DEMAREST, JR.  
 No. 36859  
 PROFESSIONAL LAND SURVEYOR

**PLAN OF LAND IN TRURO, MA**

BEING A RECONFIGURATION OF LOTS 2 & 3 AS SHOWN ON PLAN BOOK 206 PAGE 69

PREPARED FOR:

**DOUGLAS AMBROSE & 47 FISHER ROAD REALTY TRUST**

SCALE: 1" = 30' MARCH 31, 2022

GRAPHIC SCALE IN FEET



**DEMAREST LAND SURVEYING**  
 338 MAYFAIR ROAD  
 SOUTH DENNIS, MA 02660  
 508-364-9049