



# Truro Planning Board Agenda

## Remote Meeting

Wednesday, August 19, 2020 – 6:00 pm  
[www.truro-ma.gov](http://www.truro-ma.gov)

### **Open Meeting**

This will be a remote meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website ([www.truro-ma.gov](http://www.truro-ma.gov)). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment via the link below, which can also be found on the calendar of the Board's webpage along with the meeting Agenda and Packet, or by calling in toll free at 1-866-899-4679 and entering the following access code when prompted: 561-738-141. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing the Town Planner at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov).

Meeting link: [global.gotomeeting.com/join/561738141](https://global.gotomeeting.com/join/561738141)

### **Public Comment Period**

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

### **Public Hearing**

**2020-002/SPR – Loic Rossignon**, for property located at 8 Stickbridge Road (Atlas Map 54, Parcel 89, Registry of Deeds Book 31230 and Page 33. The property is located in the Seashore Zoning District. Applicants seek Residential Site Plan approval under Section 70 of the Truro Zoning Bylaw for the demolition of an existing cottage and construction of a "barn".

### **Board Action/Review**

Review plan with easement for **2020-008/PB – David and Daisy Paradis**. At its meeting on August 5, 2020, the Board voted to approve the ANR with a condition. The condition was to incorporate the underground easement on the mylar/plan.

Review revised letter to Barnstable Registrar to endorse plans.

Review of the Cloverleaf Truro Rental Housing Comprehensive Permit application under MGL Ch. 40B to formulate comments for submittal to the Zoning Board of Appeals.

Update on review of the effect of Section 50.2 of the Zoning Bylaw upon the Town of Truro to submit a report to the 2021 Truro Annual Town Meeting.

Discussion for setting goals for FY2021.

Discussion for setting dates for future Board public workshops.

### **Minutes**

December 4, 2019 (original)

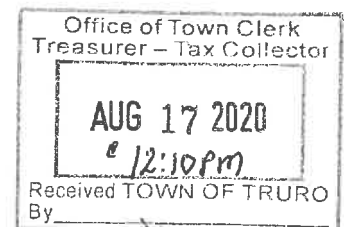
December 4, 2019 (partially revised with edit notes)

June 17, 2020

### **Next Meeting**

Wednesday, September 2, 2020, at 6:00 p.m.

### **Adjourn**





# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

Office of Town Clerk  
Treasurer - Tax Collector  
2020-002/SPR  
JUL 30 2020  
250.00 Fee Paid  
Received TOWN OF TRURO  
By Molly Stevens

## APPLICATION FOR RESIDENTIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA

Date 07/28/20

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw  
(Note: *Site Plan Review shall not be waived in the Seashore District*)

### 1. General Information

Description of Property and Proposed Project We are proposing to replace a cottage on our property with a barn.  
The cottage would be demolished, and the barn erected close to where the cottage is

Property Address 8 Stickbridge Rd. Map(s) and Parcel(s) parcel# 054-089-000

Registry of Deeds title reference: Book 31230, Page 33, or Certificate of Title  
Number \_\_\_\_\_ and Land Ct. Lot # \_\_\_\_\_ and Plan # \_\_\_\_\_

Applicant's Name Loic Rossignon

Applicant's Legal Mailing Address 225 Commercial St, Provincetown Ma 02657

Applicant's Phone(s), Fax and Email 774 722 3153

Applicant is one of the following: (please check appropriate box)

- Owner
- Prospective Buyer\*
- Other\*

\*Written Permission of the owner is required for submittal of this application.

Owner's Name and Address \_\_\_\_\_

Representative's Name and Address \_\_\_\_\_

Representative's Phone(s), Fax and Email \_\_\_\_\_

2. **Waiver(s) Request** – The Planning Board may, upon the request of the applicant, pursuant to §70.4.F, waive requirements of §70.4.C, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

### Signature(s)

Loic Rossignon

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature(s)

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

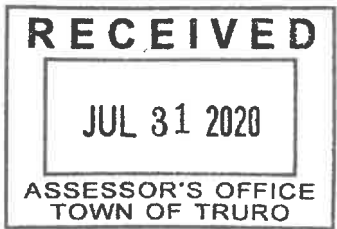


# TOWN OF TRURO

## Assessors Office

### Certified Abutters List

### Request Form



DATE: 7/30/20

NAME OF APPLICANT: Loic Rossignon & Robert Anderson

NAME OF AGENT (if any): \_\_\_\_\_

MAILING ADDRESS: 225 Commercial Street Provincetown MA 02657

CONTACT: HOME/CELL 774-722-3153 EMAIL loicmarcross@gmail.com

PROPERTY LOCATION: 8 Stickbridge Road Truro MA 02666  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 054-089-000 PARCEL 31230 EXT. page 33  
54 89 (if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**  
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Board of Health <sup>5</sup>         | <input type="checkbox"/> Planning Board (PB)                               | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission                  | <input type="checkbox"/> Special Permit <sup>1</sup>                       | <input type="checkbox"/> Special Permit <sup>1</sup>   |
| <input type="checkbox"/> Conservation Commission <sup>4</sup> | <input checked="" type="checkbox"/> Site Plan <sup>2</sup> PAID chk # 1519 | <input type="checkbox"/> Variance <sup>1</sup>         |
| <input type="checkbox"/> Licensing                            | <input type="checkbox"/> Preliminary Subdivision <sup>3</sup>              |  |
| Type: _____   | <input type="checkbox"/> Definitive Subdivision <sup>3</sup>               |  |
|   | <input type="checkbox"/> Accessory Dwelling Unit (ADU) <sup>2</sup>        |  |
| <input type="checkbox"/> Other _____                          |  | (Fee: Inquire with Assessors)                          |
- (Please Specify)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

#### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 7/31/2020 Date completed: 7/31/2020  
List completed by: Laura Geiges Date paid: 7/31/2020 Cash/Check #1519

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



**TRURO ASSESSORS OFFICE**

**PO Box 2012 Truro, MA 02666**

**Telephone: (508) 214-0921**

**Fax: (508) 349-5506**

**Date:** July 31, 2020

**To:** Loic Rossignon & Robert Anderson

**From:** Assessors Department

**Certified Abutters List:** 8 Stick Bridge Road, Map 54 Parcel 89

**Site Plan**

Attached is a combined list of abutters for the property located at 8 Stick Bridge Road. The current owners are Loic Rossignon & Robert Anderson.

The names and addresses of the abutters are as of July 24, 2020 according to the most recent documents received from the Barnstable County Registry of Deeds.

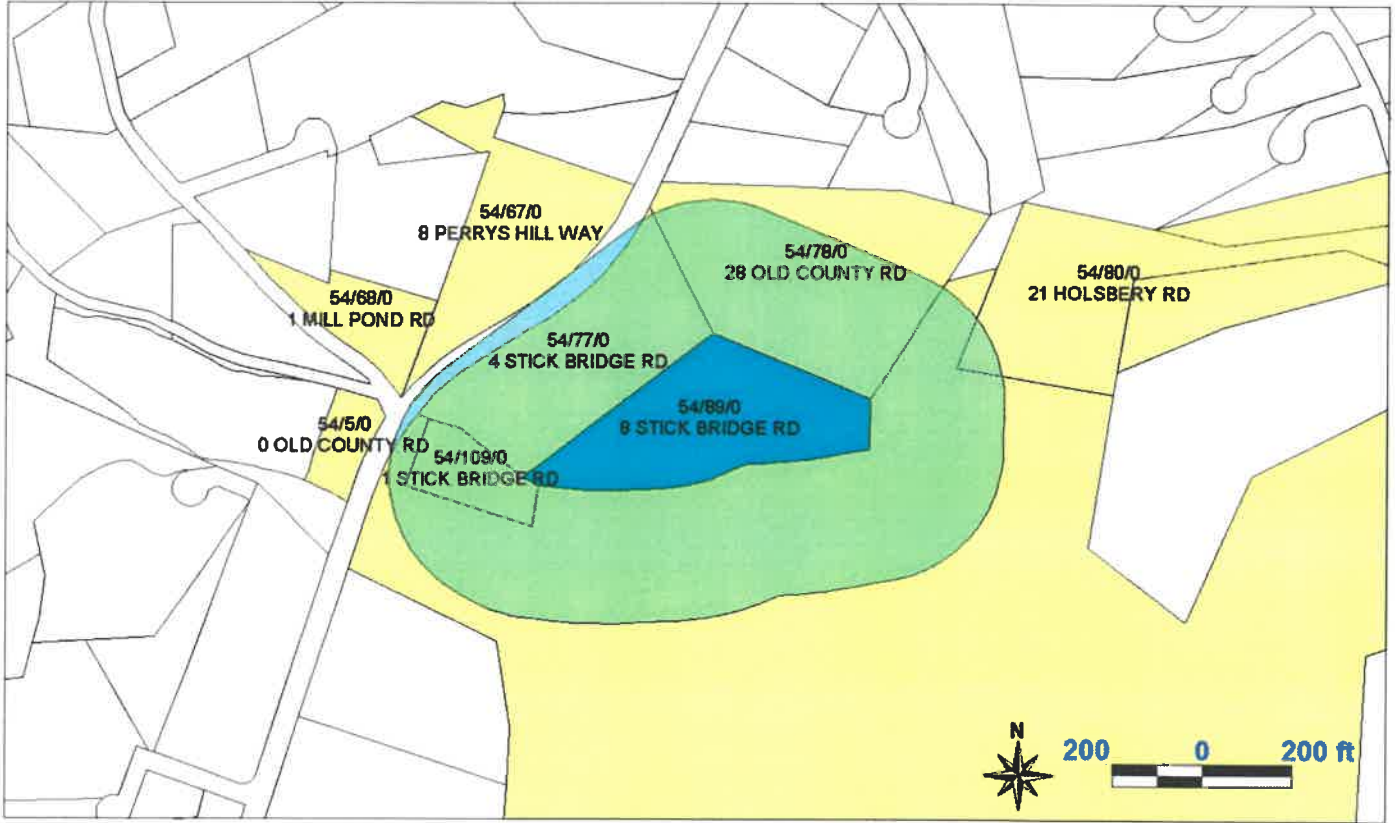
Certified by:

Laura Geiges  
Assistant Assessor

8 Stick Bridge Road  
 Map 54 Parcel 89  
 Site Plan

TOWN OF TRURO, MA  
 BOARD OF ASSESSORS  
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 54/89/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
3242	54-5-0-E	TOWN OF TRURO	0 OLD COUNTY RD	PO BOX 2030	TRURO	MA	02666-2030
3300	54-67-0-R	FRANK MARGARET G IRREV TR 2012 TRS: FRANK JEREMIAH D	8 PERRYS HILL WAY	23 CLEVELAND ST #2	ARLINGTON	MA	02474
3301	54-68-0-R	MILL POND INVESTMENT TRUST TRS: LITTAUER THOMAS W	1 MILL POND RD	268 JERUSALEM RD	COHASSET	MA	02025
3308	54-77-0-R	BLAKE SARAH I & WEINER JOSHUA	4 STICK BRIDGE RD	2808 CATHEDRAL ST	WASHINGTON	DC	20008
3309	54-78-0-R	SHENK MARY KEVIN K & EHREN G A	28 OLD COUNTY RD	PO BOX 530	TRURO	MA	02666-0530
3311	54-80-0-R	IRWIN R REIN & MARSHA L REIN 2018 LIVING TRST DTD 7/16/18	21 HOLSBERY RD	TRS: MARSHA L & IRWIN R REIN 424 CARLTON RD	WYCKOFF	NJ	07481
5567	54-109-0-E	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL	1 STICK BRIDGE RD	PO BOX 327	NO TRURO	MA	02652-0327

LG 7/31/2020

40-999-0-E

USA-DEPT OF INTERIOR  
Cape Cod National Seashore  
99 Marconi Site Rd  
Wellfleet, MA 02667

54-5-0-E

TOWN OF TRURO  
PO BOX 2030  
TRURO, MA 02666-2030

54-67-0-R

FRANK MARGARET G IRREV TR 2012  
TRS: FRANK JEREMIAH D  
23 CLEVELAND ST #2  
ARLINGTON, MA 02474

54-68-0-R

MILL POND INVESTMENT TRUST  
TRS: LITTAUER THOMAS W  
268 JERUSALEM RD  
COHASSET, MA 02025

54-77-0-R

BLAKE SARAH I & WEINER JOSHUA  
2808 CATHEDRAL ST  
WASHINGTON, DC 20008

54-78-0-R

SHENK MARY KEVIN K & EHREN G A  
PO BOX 530  
TRURO, MA 02666-0530

54-80-0-R

IRWIN R REIN & MARSHA L REIN  
2018 LIVING TRST DTD 7/16/18  
TRS: MARSHA L & IRWIN R REIN  
424 CARLTON RD  
WYCKOFF, NJ 07481

54-109-0-E

TRURO CONSERVATION TRUST  
TRS: BETSEY BROWN ET AL  
PO BOX 327  
NO TRURO, MA 02652-0327

LG 7/31/2020





# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

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### Signature(s)

Loic Rossignon  
Applicant(s)/Representative *Printed Name(s)*

Owner(s) *Printed Name(s)* or written permission

  
Applicant(s)/Representative *Signature(s)*

Owner(s) *Signature(s)* or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.



**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

Address: <u>8 Stickbridge Rd.</u> Applicant Name: <u>Loic Rossignon</u> Date: <u>07/28/20</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
<b>C. Procedures and Plan Requirements</b>				
1a.	An original and 14 copies of the Application for Site Plan Review			
1b.	15 copies of the required plans and other required information including this Checklist	1 copy		As per Covid-19 procedure
1c.	Completed Criteria Review			
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office			
1e.	Applicable filing fee	1		
<b>Site Plans</b>				
2a.	Site Plans shall be prepared, stamped and signed by a Registered Land Surveyor and Professional Engineer	1 ✓		
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	✓		
3	Site Plan shall include the following:	✓		
3a. 1	North Arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	✓		
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed conditions. This information shall be placed in a table format which must list all setbacks; percent of lot coverage, broken out between building, pavement, landscape coverage, etc.; number of buildings; total amount of square feet; and any other applicable zoning information necessary for the proper review of the site plan.	✓		
	<u>Existing:</u>	✓		
	All setbacks	✓		
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	✓		
	Number of buildings	✓		
	Total number of square feet	✓		
	Any other applicable zoning information necessary for the proper review of the site plan	✓		

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

Address: <u>8 Stickbridge Rd</u> Applicant Name: <u>Loic Rossignon</u> Date: <u>07/28/20</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
	<u>Proposed:</u>	✓		
	All setbacks	✓		
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	✓		
	Number of buildings	✓		
	Total number of square feet	✓		
	Any other applicable zoning information necessary for the proper review of the site plan	✓		
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	✓		
3a. 4	Graphic Scale		✓	
3a. 5	Title Block - Including:	✓		
	name and description of the project;	✓		
	address of the property;	✓		
	names of the record owner(s) and the applicant(s); and	✓		
	date of the preparation of the plan(s) and subsequent revision dates	✓		
3a. 6	Legend of All Symbols		✓	
3a. 7	Property boundaries, dimensions and lot area	✓		
3a. 8	Topography and grading plan	✓		
3a. 9	Location, including setbacks of all existing and proposed buildings and additions	✓		
3a. 10	Septic system location	✓		
3a. 11	Location of (as applicable):	✓		
	wetlands	✓		
	the National Flood Insurance Program flood hazard elevation, and	✓		
	Massachusetts Natural Heritage Endangered Species Act jurisdiction		✓	N/A
3a. 12	Driveway(s) and driveway opening(s)	✓		
3a. 13	Existing and proposed lighting	✓		
3a. 14	Existing landscape features both vegetative and structural	✓		
3a. 15	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s)	✓		

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

Address: <u>8 stickbridge Rd</u> Applicant Name: <u>Loic Rossignon</u> Date: <u>02/28/20</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
	<b>Architectural Plans</b>			
3b.	Architectural plans with all dimensions at a scale of no less than 1/8" = 1'-0", including:	<input checked="" type="checkbox"/>		
	elevations	<input checked="" type="checkbox"/>		
	floor plans	<input checked="" type="checkbox"/>		
3c.	<b>Lighting</b> specification, including style and wattage(s)	<input checked="" type="checkbox"/>		attached narrative
	<b>Neighborhood Context:</b>			
3d.	Photographs or other readily available data concerning the location and size of buildings on lots adjacent to or visible from the lot under consideration in order to provide a neighborhood context for the property under consideration	<input checked="" type="checkbox"/>		
3e.	<b>Re-vegetation/Landscaping plan</b> , including both vegetative and structural features		<input checked="" type="checkbox"/>	N/A

**ADDRESSING THE REVIEW CRITERIA**

**§ 70.1 PURPOSE**

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

**Instructions:** Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.4D of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

**§70.4D – REVIEW CRITERIA**

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods. Such an evaluation shall be based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development relates to the existing terrain and lot and provides for solar and wind orientation which encourages energy conservation because:

~~For the barn location, we chose a naturally level area that is adjacent to the existing driveway therefor minimizing the excavation and grading needed and the disturbance of the landscape.~~  
~~There is significant space between other buildings to promote solar and wind conservation.~~

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2. Building Design and Landscaping. Proposed development is consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques because:

~~The barn design and location are appropriate for the neighborhood in which it is located.~~  
~~The post-and-beam structure has been designed by a well-known New England barn company with the guidance of our local architect, surveyor and engineer in accordance to the Truro regulations and the surrounding area in mind. The Scale is appropriate for the site. The roof pitch is to match that of the main house. We are choosing wooden materials like board and batten to keep the barn traditional for New England.~~

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3. Preservation of Landscape. The landscape will be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil because:

~~The proposed location was chosen after a lot of consideration from the Town of Truro Conservation agent and our surveyor. The proposed location minimizes the required grading and minimizes the removal of trees on the site. The barn will be located in what was a natural clearing, and will be surrounded by mature trees.~~

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4. Circulation. Curb cuts and driveways will be safe and convenient and will be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro because:

~~The barn will be very close to the existing, established driveway. The parking adjacent to the proposed barn provides a safe area for additional parking if needed and suitable access to the barn.~~

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5. Lighting. Lighting will be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There will be protection of adjacent properties and the night sky from intrusive lighting because:

~~There will be very minimal lighting. What we would like to propose is 2 downward facing, gooseneck outdoor wall scones on each side of the barn doors.~~

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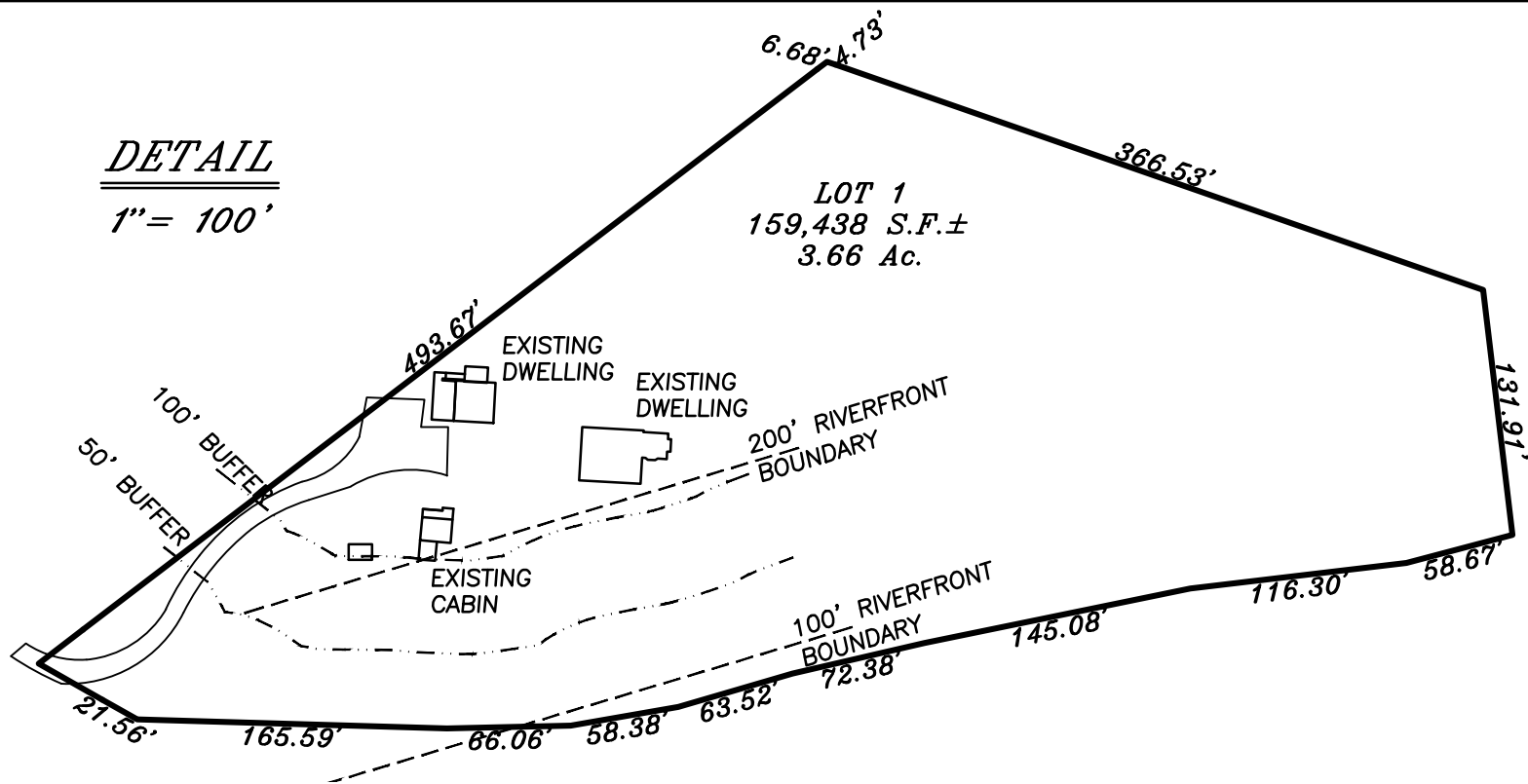






**DETAIL**

1" = 100'



**SITE PLAN**

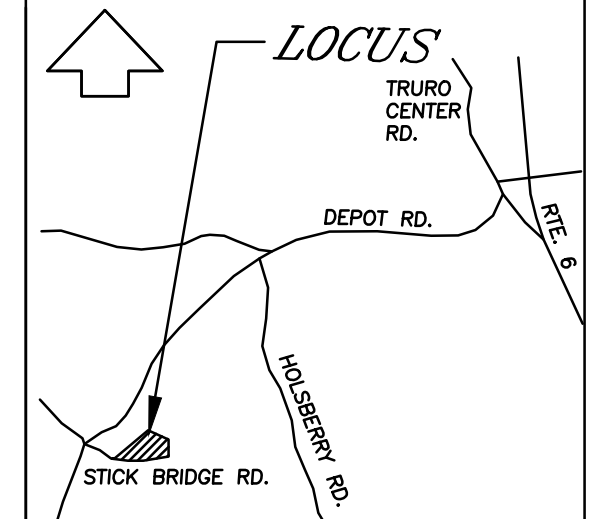
1" = 30'

**DATUM**

NAVD 88

**LOCATION MAP**

Not to Scale



**LOT 1**  
159,438 S.F. ±  
3.66 Ac.

**Reference**

Lot 1, Plan Book 635 Page 15  
Deed Book 31230 Page 33  
Assessors Map 54, Parcel 89

**CONSTRUCTION NOTES:**

- LIMITS OF CONSTRUCTION AND/OR GRADING TO BE AS SHOWN ON PLAN AND SHALL BE VISIBLY MARKED, PRIOR TO, AND DURING CONSTRUCTION.
- FABRIC SILTFENCE TO BE SECURELY STAKED IN PLACE PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN REVEGETATED.
- DISTURBED AREAS SHALL BE STABILIZED AND REVEGETATED AS SOON AS PRACTICABLE UPON COMPLETION OF GRADING.
- ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
- GUTTERS AND DOWNSPOUTS CONNECTED TO DRYWELLS, OR CRUSHED STONE @ ROOF DRIPLINE, TO BE UTILIZED TO CONTAIN ROOF RUN-OFF.
- ANY ADDITIONAL WORK BEYOND THE SCOPE OF THAT WHICH IS SHOWN HEREON, AND WHICH IS WITHIN 100' OF THE WETLAND, WILL REQUIRE CONSERVATION COMMISSION APPROVAL.

SLOPE EXISTING GRAVEL DRIVE AND PROPOSED GRAVEL PARKING AREA TOWARD GRAVEL DRAINAGE TRENCH (2' WIDE X 3' DEEP) TO INTERCEPT STORMWATER RUNOFF

PROPOSED BARN W/ GRAVEL PARKING (SLAB EL = 28.5') (SHED TO BE MOVED)

PROPOSED DRAINAGE TRENCH

INSTALL GRAVEL DRAINAGE TRENCH ALONG EAST SIDE OF EXIST. DRIVEWAY TO INTERCEPT ANY EXISTING STORMWATER RUNOFF

AREA INVADDED WITH WHITE POPLAR SPROUTS TO BE RETURNED TO MEADOW AND PLANTED WITH FRUIT TREES ( 6,270 S.F. ) BLACK CHERRY & LOCUST TREES TO REMAIN FOR BEE POLLINATION

LSCSF ZONE AE (EL. 12)

**ZONE:** Seashore District  
Abutters Setback = 25'  
Maximum Height = 30'

**BUILDING COVERAGE**  
Existing = 2,100 s.f. (1.3%)  
Proposed = 2,911 s.f. (1.8%)

**SITE COVERAGE**  
Gravel Drive = 4,043 s.f.  
Decks & Stair = 416 s.f.  
Patio, Walkways and Steps = 1,464 s.f.  
5,923 s.f. (3.7%)

**SITE PLAN ~ SHOWING PROPOSED BARN**

Prepared for: Loic Rossignon & Rob Anderson  
Location: 8 Stick Bridge Road Truro, MA

Ryder & Wilcox, Inc., P.E. & P.L.S.  
3 Ciddiah Hill Rd.  
P.O. Box 439  
So. Orleans, MA, 02662  
Tel. (508) 255-8312  
Fax. (508) 240-2306  
Scale: 1" = 30'  
Drawn by DJC  
Date - June 17, 2020  
Revised 7/29/2020

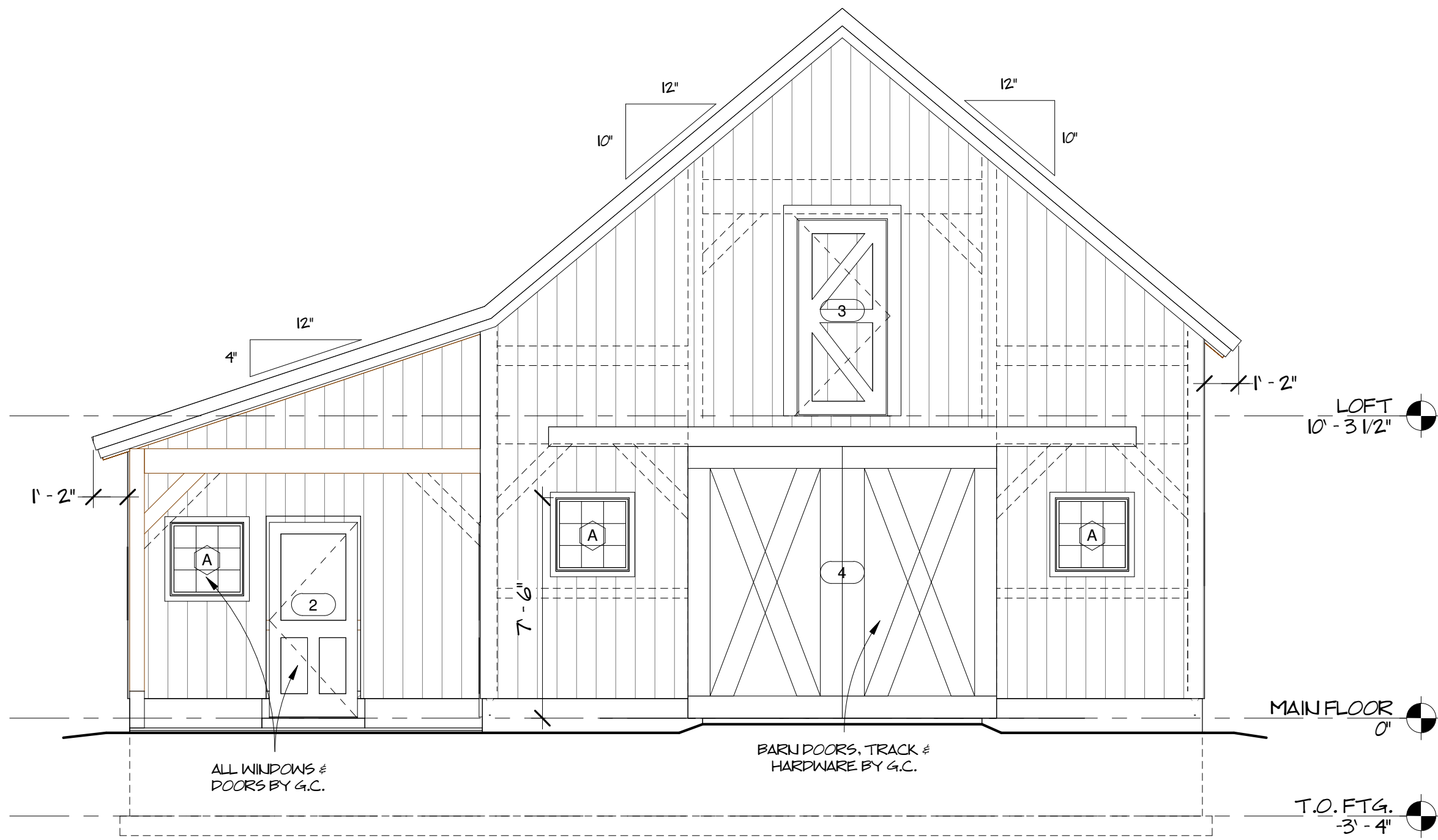
ANDERSON/ROSSIGNON BARN  
 TELURO, MA  
 ELEVATIONS

REVISIONS

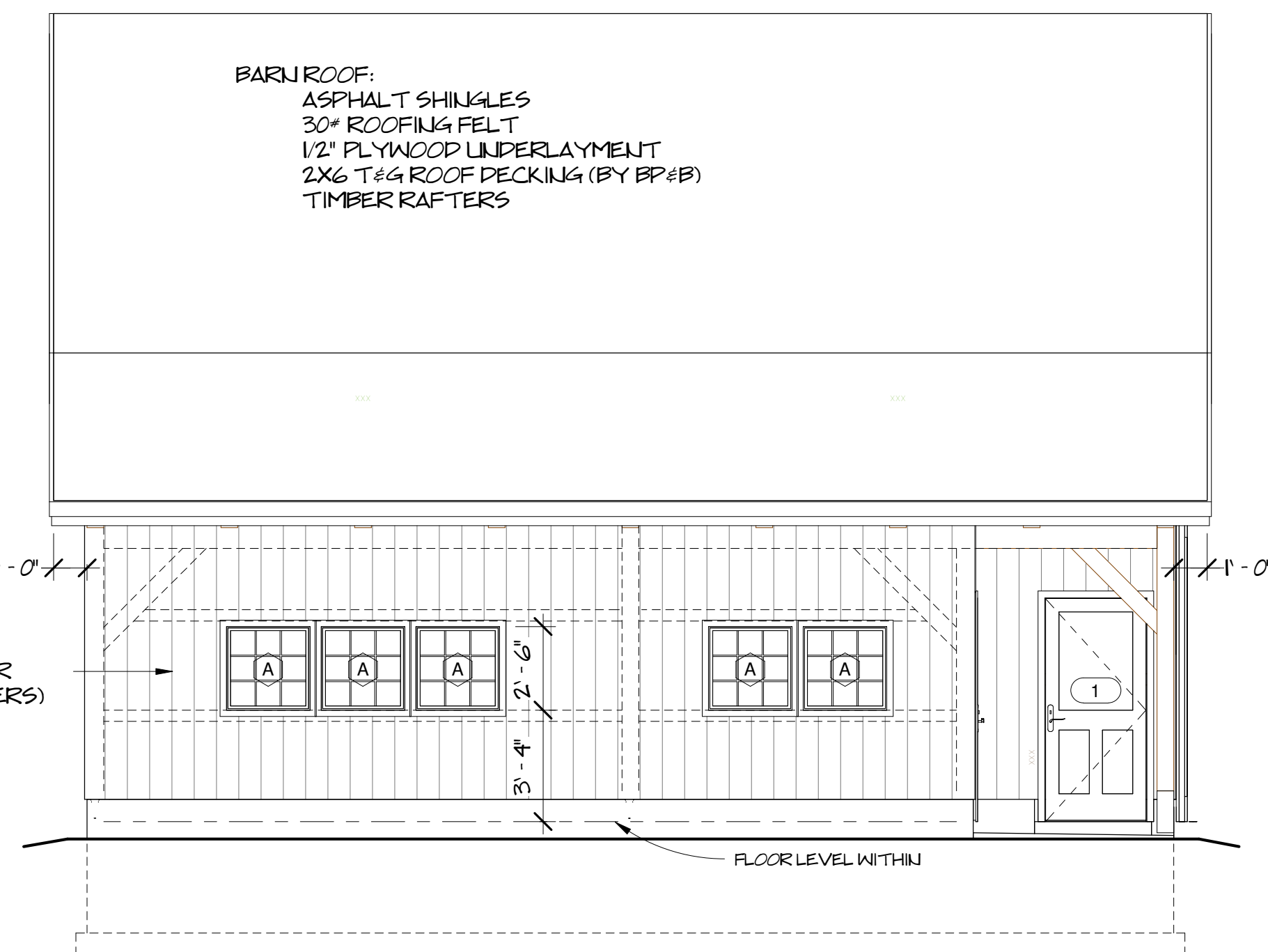
No.	Date
1	06/29/20
2	07/14/20

SHEET

**A1**



1 NORTH  
 1/4" = 1'-0"



BARN ROOF:  
 ASPHALT SHINGLES  
 30# ROOFING FELT  
 1/2" PLYWOOD UNDERLAYMENT  
 2X6 T&G ROOF DECKING (BY BP#B)  
 TIMBER RAFTERS

2 EAST  
 1/4" = 1'-0"

PRELIMINARY PLANS-NOT FOR CONSTRUCTION

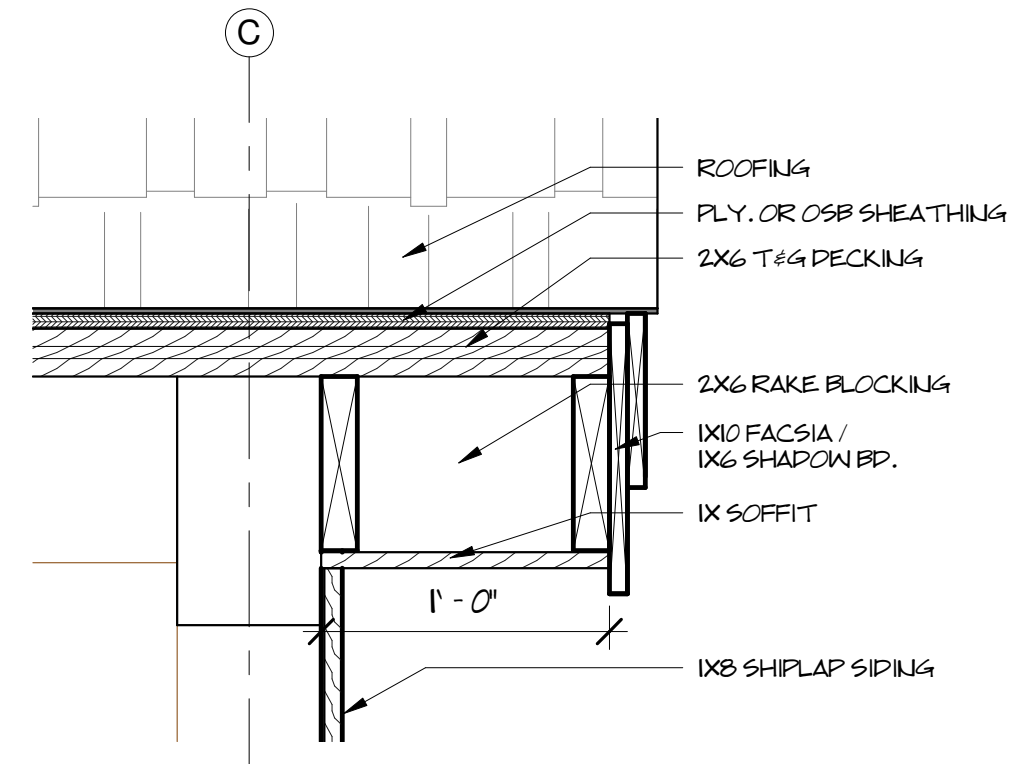
ANDERSON/ROSSIGNON BARN  
 TELURO, MA  
 ELEVATIONS

REVISIONS

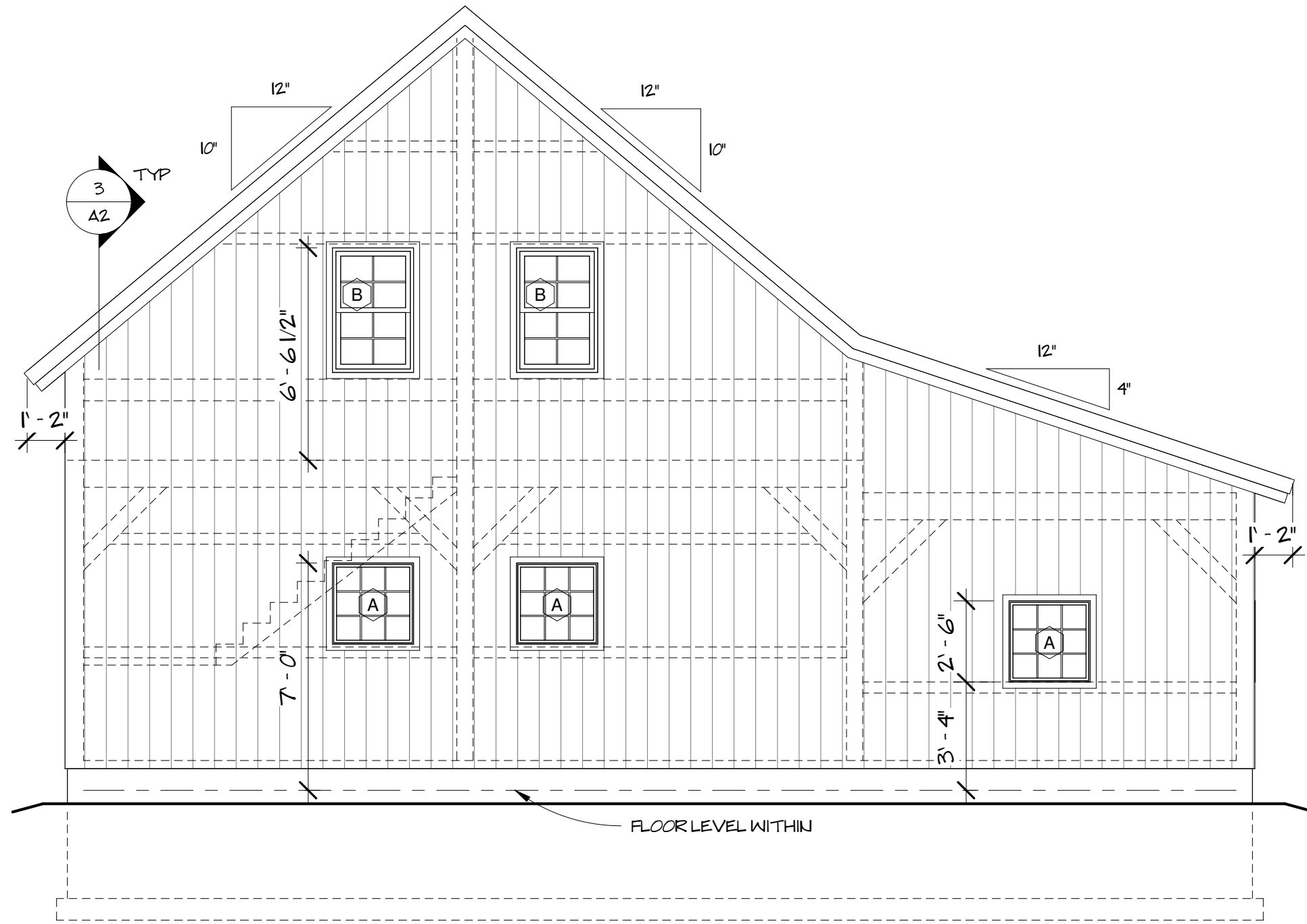
No.	Date
1	06/29/20
2	07/14/20

SHEET

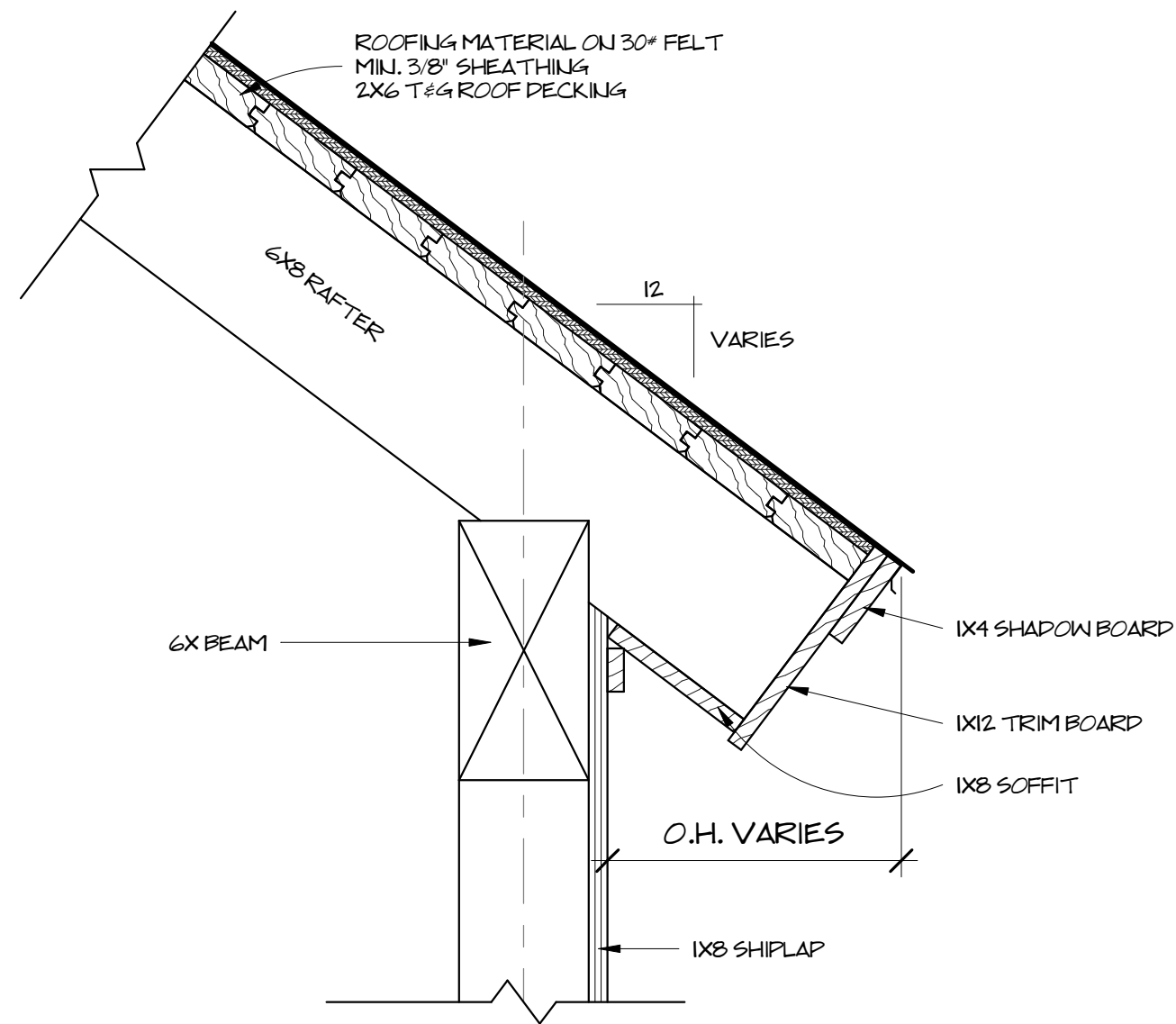
**A2**



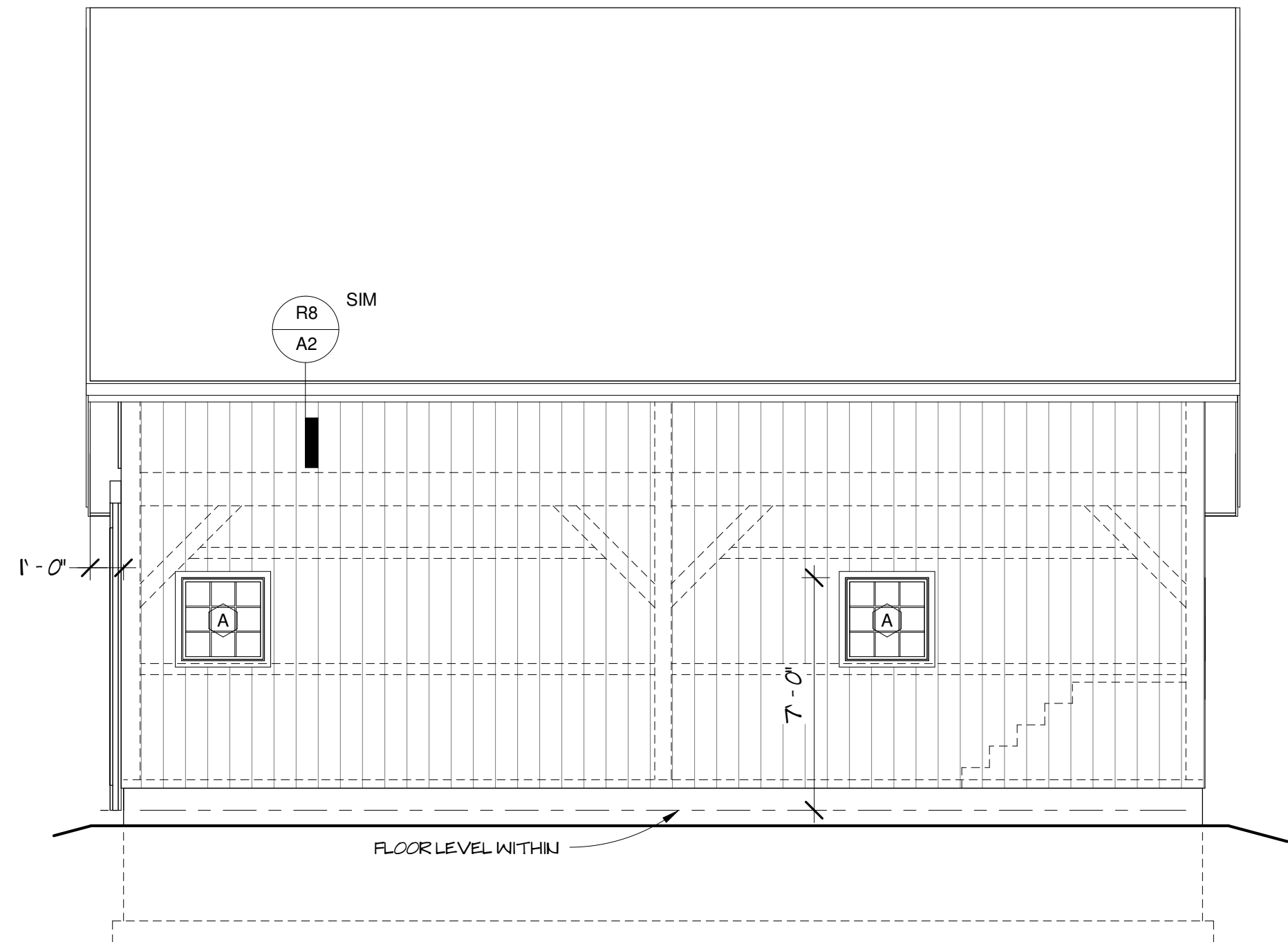
3 TYPICAL RAKE  
 1 1/2" = 1'-0"



1 SOUTH  
 1/4" = 1'-0"



R8 EAVE - WRAPPED SOFFIT - BARN  
 SCALE: 1/2" = 1'-0"



2 WEST  
 1/4" = 1'-0"

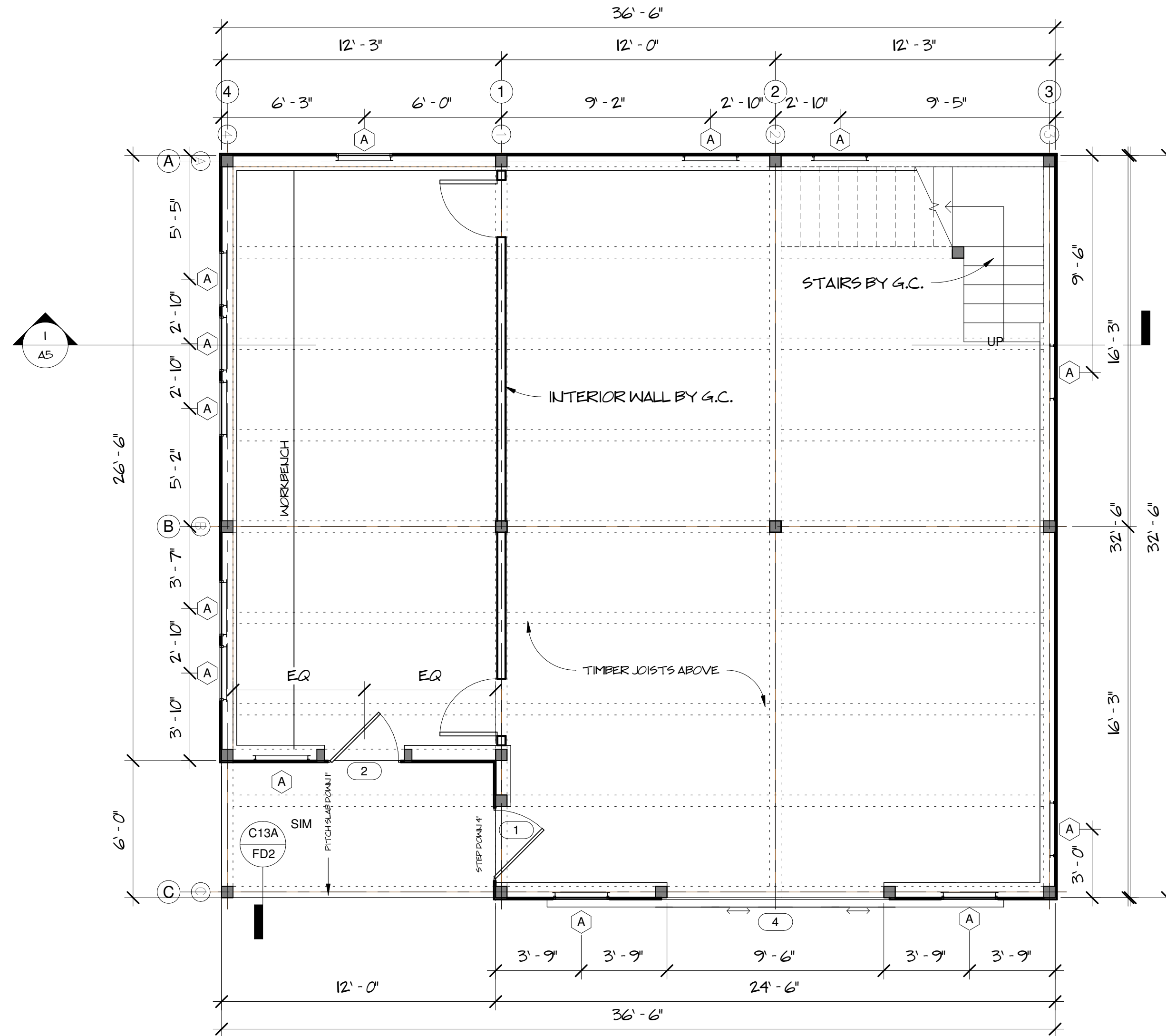
PRELIMINARY PLANS-NOT FOR CONSTRUCTION

PLAN NOTES:

1. PARTITIONS ARE DRAWN TO FINISHED THICKNESS (4 1/2", 6 1/2", 10 1/4").
2. PARTITIONS ARE DIMENSIONED TO CENTER LINE OR FACE OF STUD.
3. WHEN PARTITION IS ADJACENT TO TIMBER FRAME ELEMENTS, LEAVE 5/8" SPACE FOR 1/2" GWB.
4. PLUMBING SHOULD NOT PENETRATE TIMBERS. PLUMBER AND ELECTRICIAN TO CHECK WITH GENERAL CONTRACTOR BEFORE DRILING OR ALTERING ANY TIMBERS.
5. INSTALL FIREPLACE AND HEARTH IN ACCORDANCE WITH ALL LOCAL CODES & FIRE REGULATIONS. MAINTAIN 1" CLEARANCE FROM COMBUSTIBLES.
6. SEE BROOKS POST & BEAM OWNER'S MANUAL FOR ADDITIONAL DETAILS AND SPECIFICATIONS.

Window Schedule						
Type Mark	Manufacturer	Width	Height	Count	Operation	Comments
A	Brosco or Eq.	2' - 6"	2' - 6"	13	Fixed	
B	Brosco or Eq.	2' - 6"	3' - 10"	2	Double Hung	

Exterior Door Schedule				
Mark	Function	Width	Height	Description
1	Exterior	3' - 0"	6' - 8"	Half Glass-Inswing
2	Exterior	3' - 0"	6' - 8"	Half Glass-Inswing
3	Exterior	3' - 0"	6' - 8"	Site-built Crossbuck
4	Exterior	10' - 0"	9' - 0"	Site-built Rolling



1 MAIN FLOOR  
1/4" = 1'-0"

PRELIMINARY PLANS-NOT FOR CONSTRUCTION

COPYRIGHT TIMBERCAD DESIGN, LLC, 2020. DRAWN IN ACCORDANCE WITH BROOKS POST & BEAM SPECIFICATIONS. (SEE BROOKS POST & BEAM OWNER'S MANUAL.)

TIMBERCAD DESIGN, LLC  
LYNDEBOROUGH, NH 03082  
Tel: (603) 654-3210

ANDERSON/ROSSIGNON BARN  
TRURO, MA  
FLOOR PLANS

REVISIONS

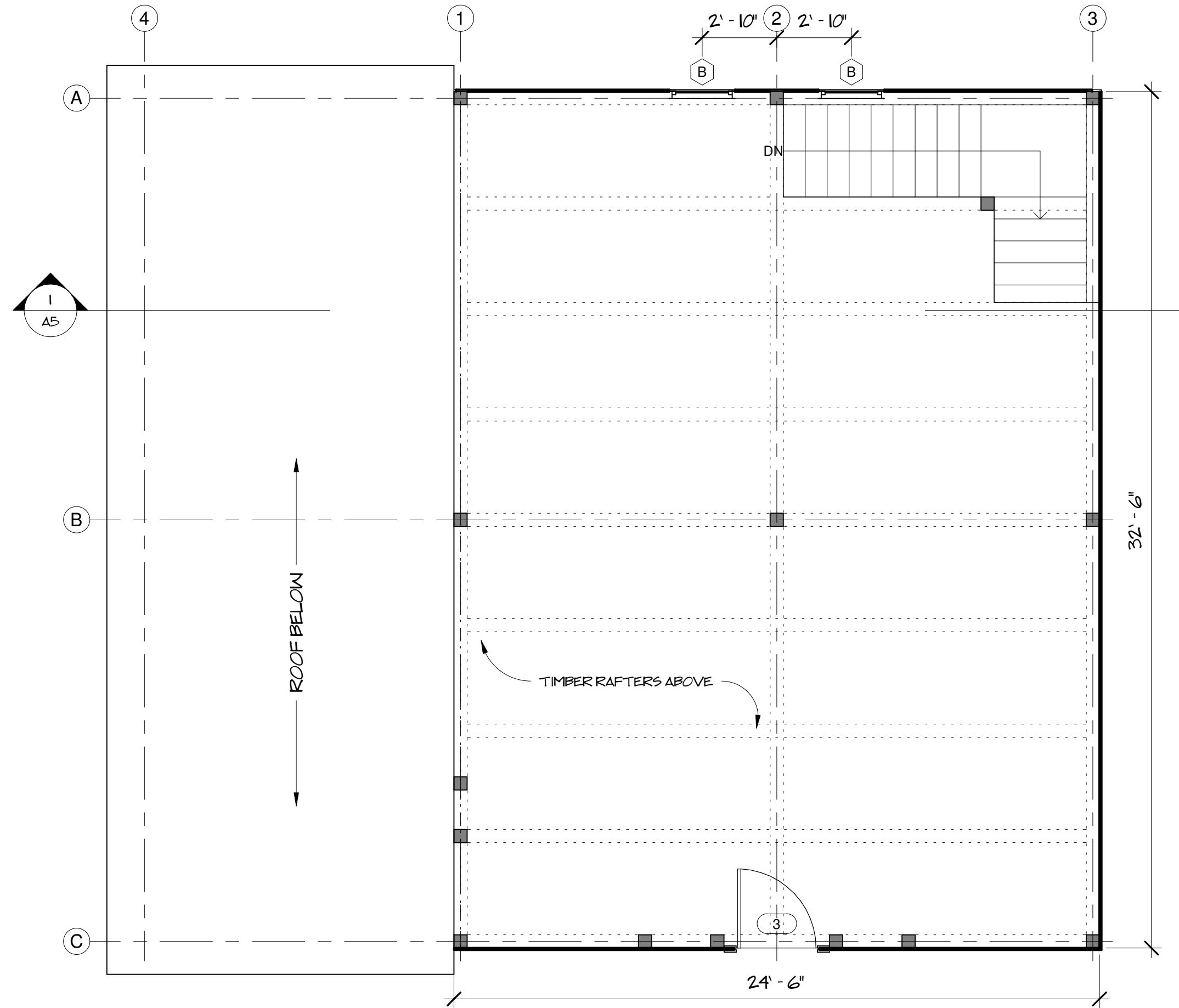
No.	Date
1	06/29/20
2	07/14/20

SHEET

A3

PLAN NOTES:

1. PARTITIONS ARE DRAWN TO FINISHED THICKNESS (4 1/2", 6 1/2", 10 1/4").
2. PARTITIONS ARE DIMENSIONED TO CENTER LINE OR FACE OF STUD.
3. WHEN PARTITION IS ADJACENT TO TIMBER FRAME ELEMENTS, LEAVE 5/8" SPACE FOR 1/2" GNB.
4. PLUMBING SHOULD NOT PENETRATE TIMBERS. PLUMBER AND ELECTRICIAN TO CHECK WITH GENERAL CONTRACTOR BEFORE DRILING OR ALTERING ANY TIMBERS.
5. INSTALL FIREPLACE AND HEARTH IN ACCORDANCE WITH ALL LOCAL CODES & FIRE REGULATIONS. MAINTAIN 1" CLEARANCE FROM COMBUSTIBLES.
6. SEE BROOKS POST & BEAM OWNER'S MANUAL FOR ADDITIONAL DETAILS AND SPECIFICATIONS.



1 LOFT  
1/4" = 1'-0"

TIMBERCAD DESIGN, LLC  
LYNDEBOROUGH, NH 03082  
Tel: (603) 654-3210

ANDERSON/ROSSIGNON BARN  
TELRO, MA  
FLOOR PLANS

REVISIONS

No.	Date
1	06/29/20
2	07/14/20

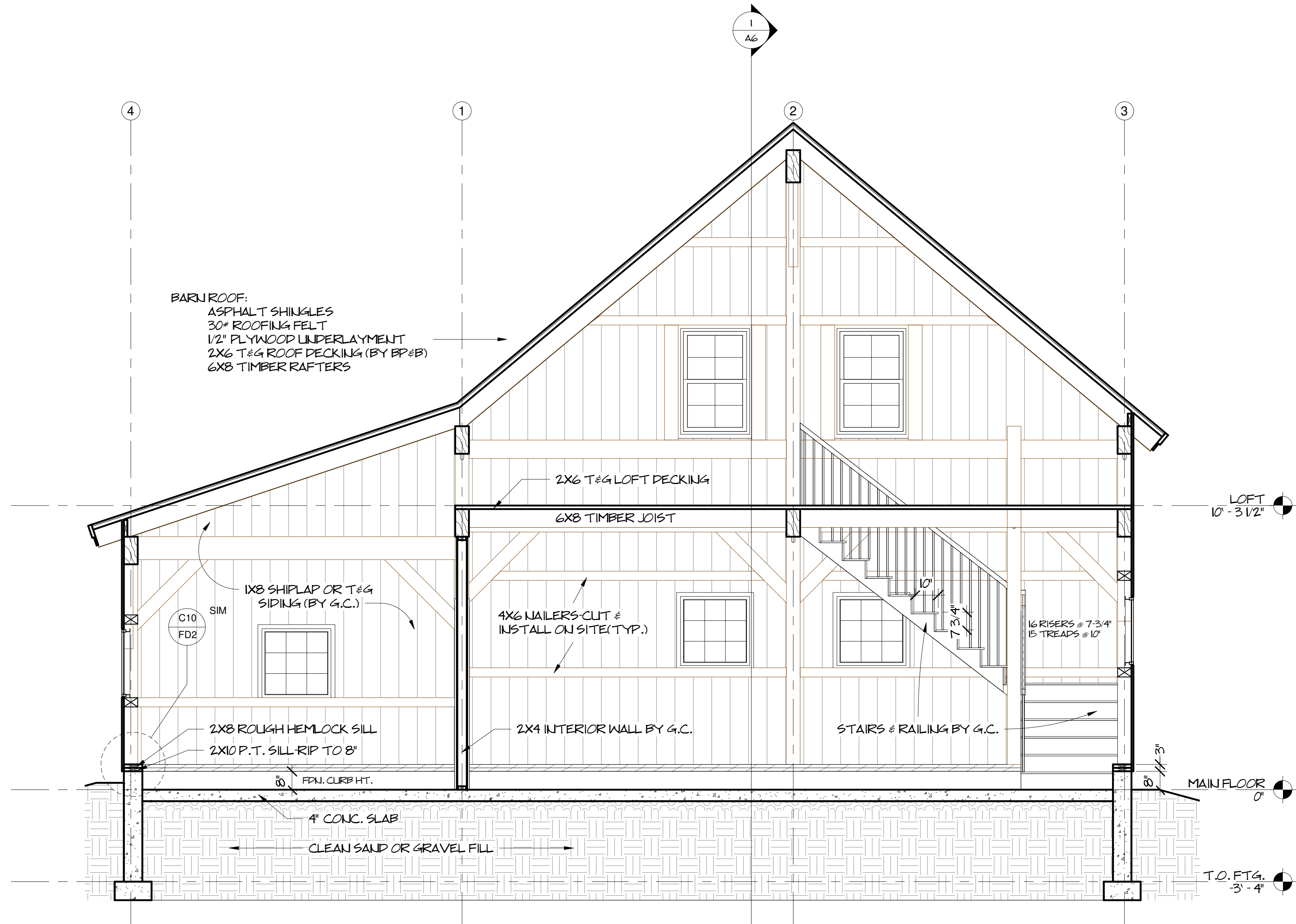
SHEET

A4

PRELIMINARY PLANS-NOT FOR CONSTRUCTION

COPYRIGHT TIMBERCAD DESIGN, LLC, 2020. DRAWN IN ACCORDANCE WITH BROOKS POST & BEAM SPECIFICATIONS. (SEE BROOKS POST & BEAM OWNER'S MANUAL.)





1 Section 1  
 3/8" = 1'-0"

TIMBERCAD DESIGN, LLC  
 LYNDENBOROUGH, NH 03082  
 Tel: (603) 654-3210

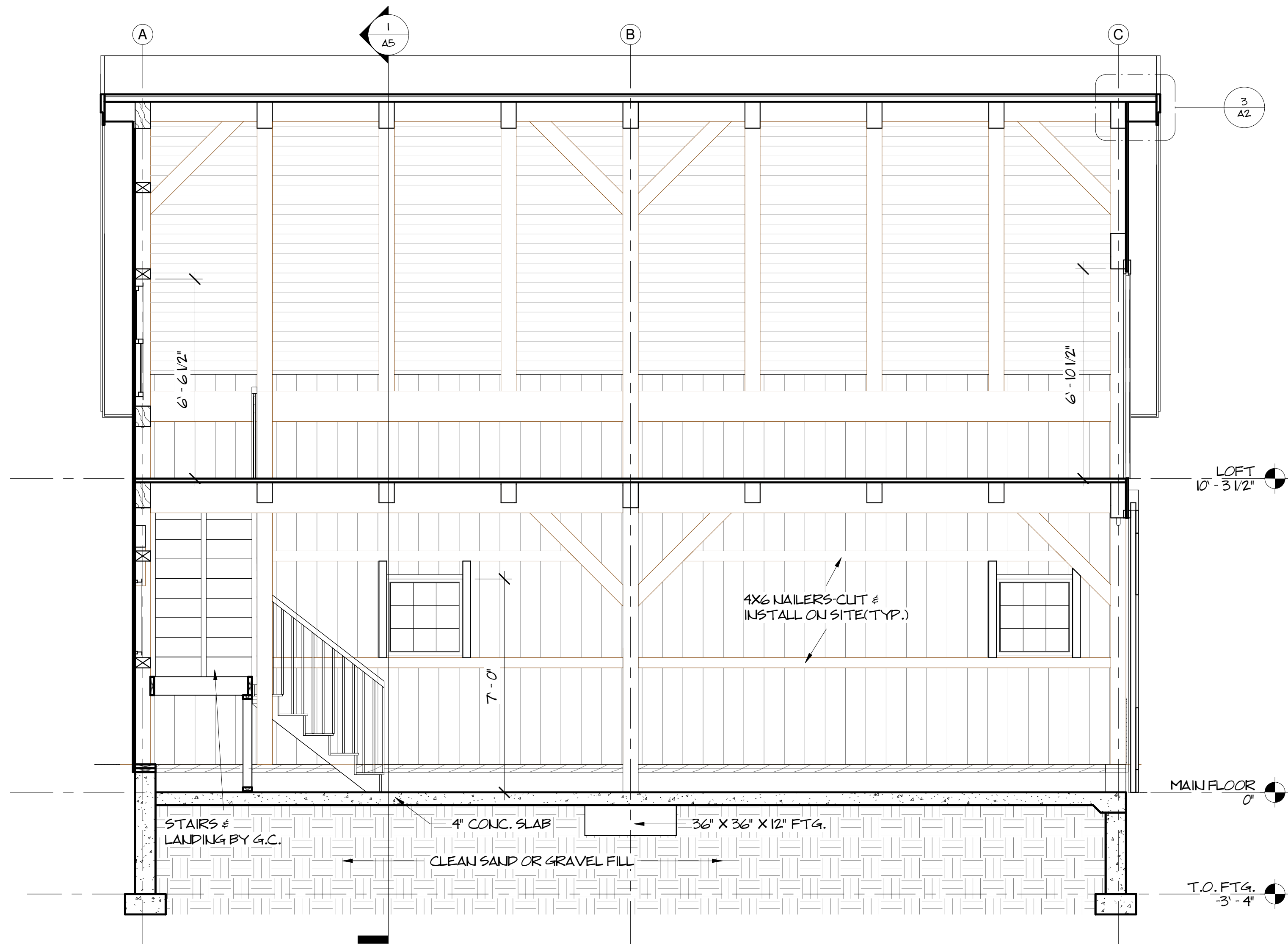
ANDERSON/ROSSIGNON BARN  
 TRLRO, MA  
 SECTION

REVISIONS

No.	Date
1	06/29/20
2	07/14/20

SHEET  
**A5**





1 Section 2  
3/8" = 1'-0"

TIMBERCAD DESIGN, LLC  
LYNDEBOROUGH, NH 03082  
Tel: (603) 654-3210

ANDERSON/ROSSIGNON BARN  
TRURO, MA  
SECTION



REVISIONS

No.	Date
1	06/29/20
2	07/14/20

SHEET

**A6**

**LEGEND**

-  CONCRETE WALL
-  DROPPED WALL FOR DOORS/PORCH SLAB

TO BE LOCATED BY OWNER/G.C.  
 ELECTRIC SERVICE FOR CONSTRUCTION  
 ELECTRIC PANEL AND SERVICE ENTRANCE  
 WATER SUPPLY  
 WASTEWATER EXIT  
 FUEL SERVICE SUPPLY  
 SILL COCK

**CONCRETE NOTES:**

- ALL FOUNDATION CONCRETE TO BE 3000 PSI DESIGN MIX IN 28 DAYS. (IRC 2015, R402.2)
- ALL PROTECTED FLOOR SLABS TO BE 2500 PSI DESIGN MIX. EXPOSED SLABS AND GARAGE SLABS TO BE 3500 PSI DESIGN MIX. WET CURE 7 DAYS.
- GARAGE SLABS TO BE 5" THICK. USE 6X6X10 WWF.
- CONCRETE SLAB TO HAVE CONTROL JOINTS.
- CONCRETE TO BE PLACED WITH A SLUMP NOT TO EXCEED 4-5".
- STEP FOOTING AND FROST WALLS AS NEEDED TO MAINTAIN MIN. ELEV. BELOW FROST ACCORDING TO LOCAL CODES.

**GENERAL NOTES:**

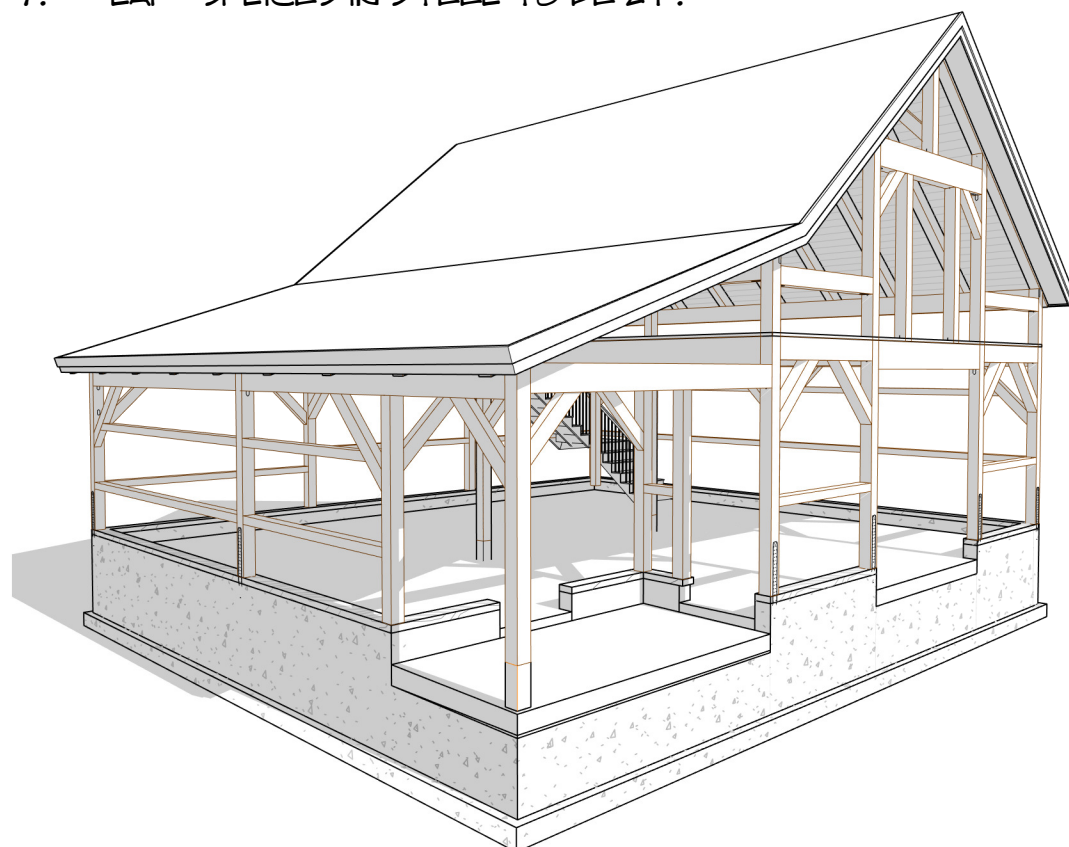
- IN ANY INSTANCE OF CONFLICTING SPECIFICATIONS, LOCAL CODES AND REGULATIONS SUPERSEDE DRAWINGS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR IS TO BE FAMILIAR WITH AND REQUIRED TO OBSERVE ALL LOCAL CODES AND REGULATIONS.

**SOIL NOTES:**

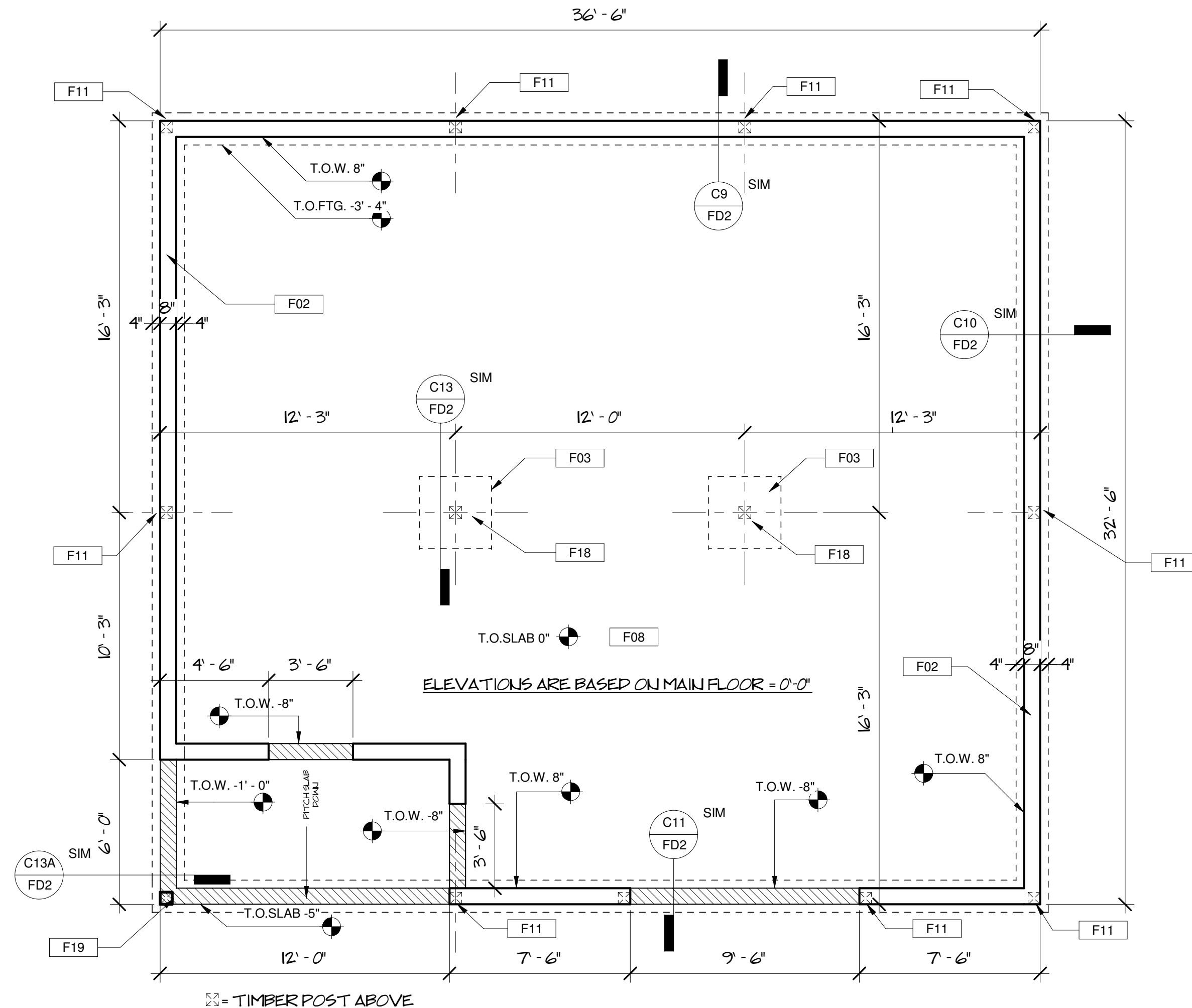
- PLACE FOOTINGS ON UNDISTURBED SOIL OR CRUSHED STONE (SEE WALL SECTION). ROCKS LARGER THAN 6" AND ANY DEBRIS SHALL BE REMOVED.
- CLEAN BACKFILL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% ASTM D1557 INSIDE BUILDING AND 90% OUTSIDE.
- BACKFILL SHALL BE PLACED SIMULTANEOUSLY ON EACH SIDE OF FROST WALLS OR AFTER DECK HAS BEEN INSTALLED.
- DESIGN SOIL BEARING CAPACITY 4000 PSF.
- FINISH GRADE TO BE NOT LESS THAN 6" BELOW TOP OF CONCRETE WALL.

**STEEL NOTES:**

- LOCATE ANCHOR BOLTS 5" FROM OUTSIDE OF WALL, UNLESS OTHERWISE NOTED.
- PROJECT ANCHOR BOLTS 2-1/2"
- LOCATE ANCHOR BOLTS 72" O.C. AND 12" FROM CORNERS AND DROPS.
- LOCATE (2) #4 CONTINUOUS IN FOOTING AND TOP & BOTTOM OF WALL.
- PROVIDE #4 VERTICAL @ 48" O.C. CENTERED IN WALL.
- STEEL REINFORCING TO BE GRADE 40.
- LAP - SPLICES IN STEEL TO BE 24".



FOUNDATION KEYNOTES	
Key Value	Keynote Text
F02	8" CONCRETE WALL ON 16" X 10" FTG.
F03	36" X 36" X 12" CONC. FOOTING PAD- REINF. W/ (3)#4 REBAR EACH WAY
F08	5" CONC. SLAB- REINF. W/ 6X6X10 WWF
F11	STHD14 (OR EQ.) TIE STRAP
F18	POST STANDOFF W/ STEEL ROD
F19	POST STANDOFF W/ TIMBERLINX CONNECTOR



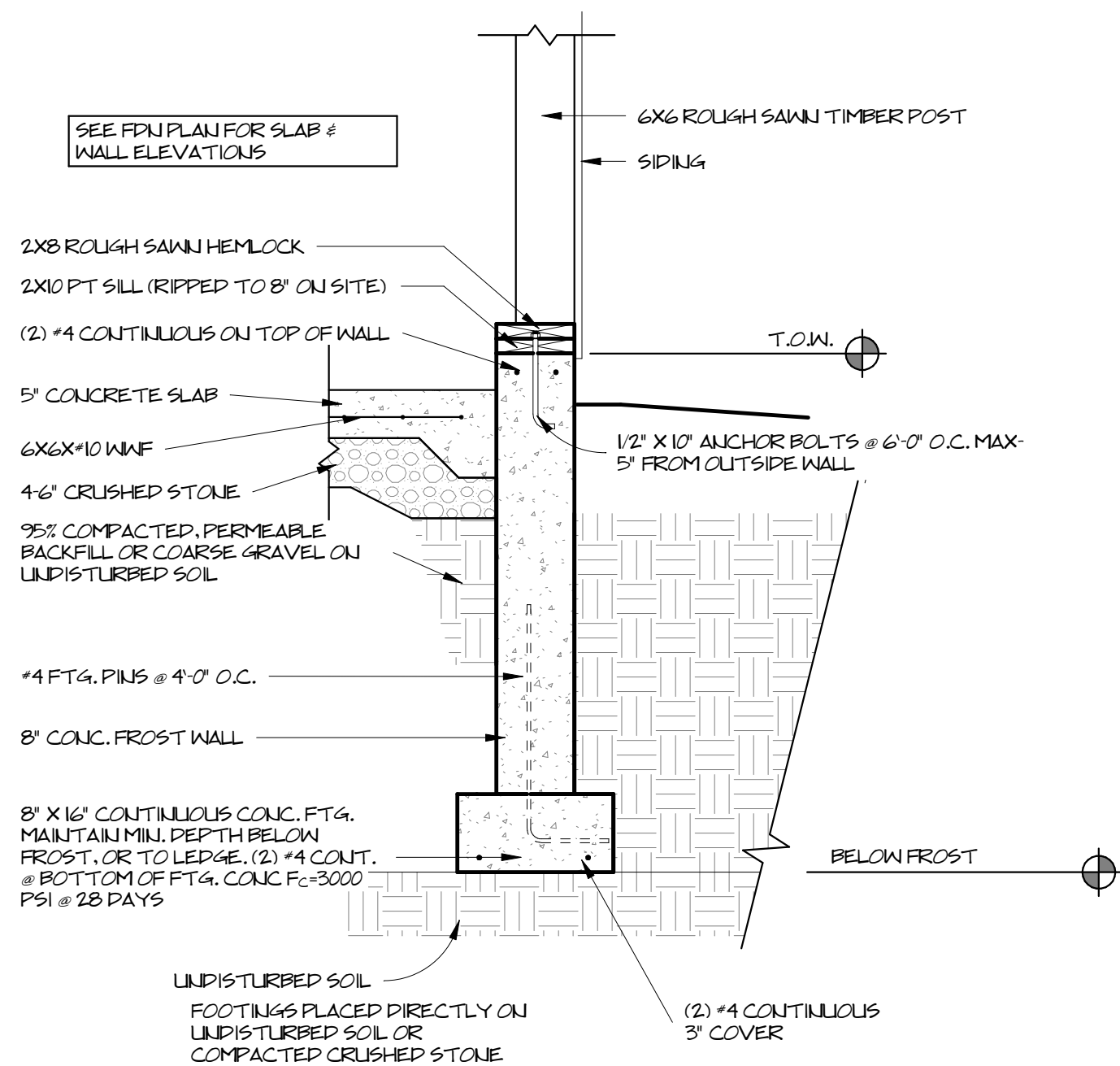
**1 FOUNDATION**  
 1/4" = 1'-0"

TIMBERCAD DESIGN, LLC  
 LYNDEBOROUGH, NH 03082  
 Tel: (603) 654-3210

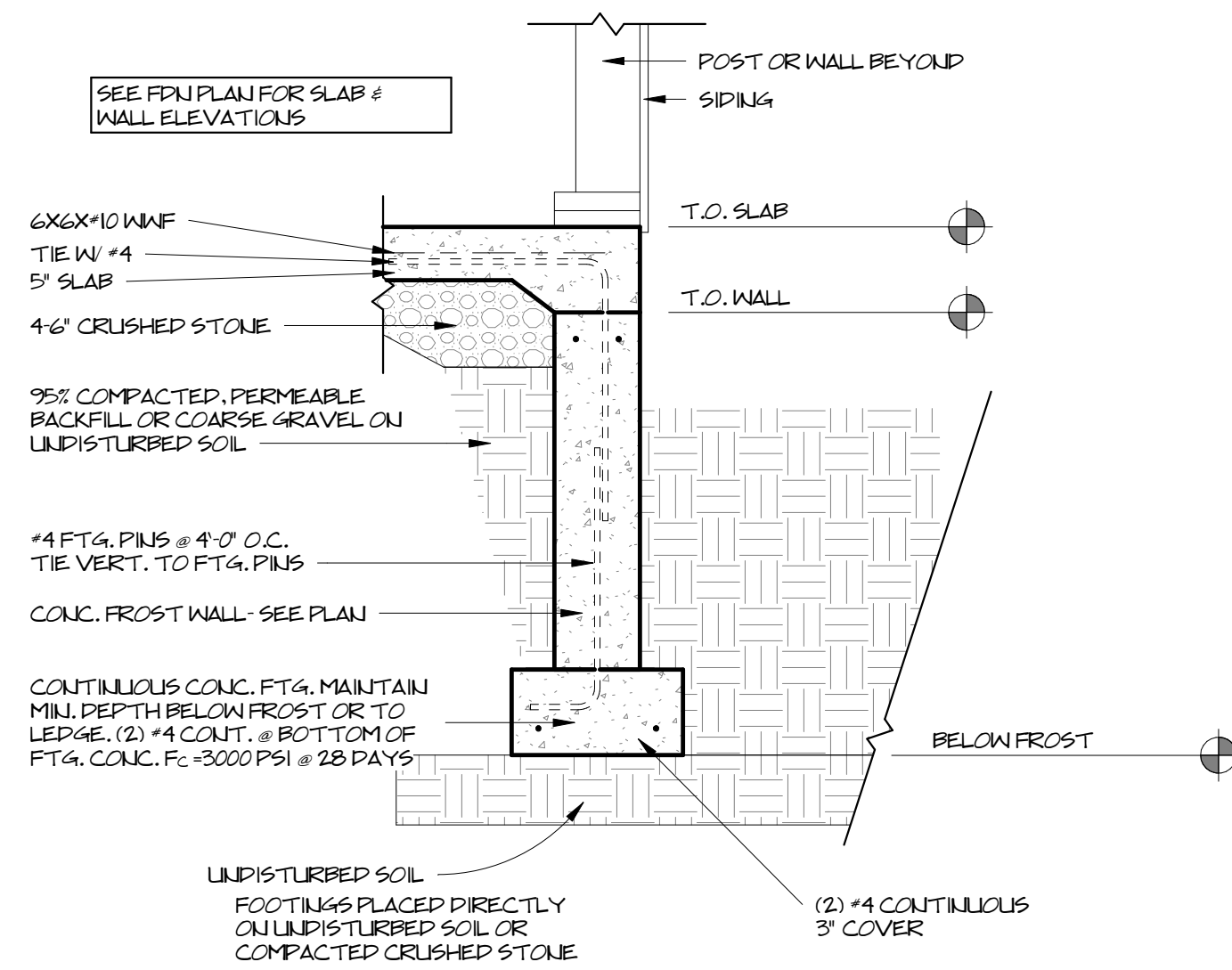
ANDERSON/ROSSIGNON BARN  
 TRLR01.MA  
 FOUNDATION PLAN

REVISIONS	
No.	Date
1	06/29/20
2	07/14/20

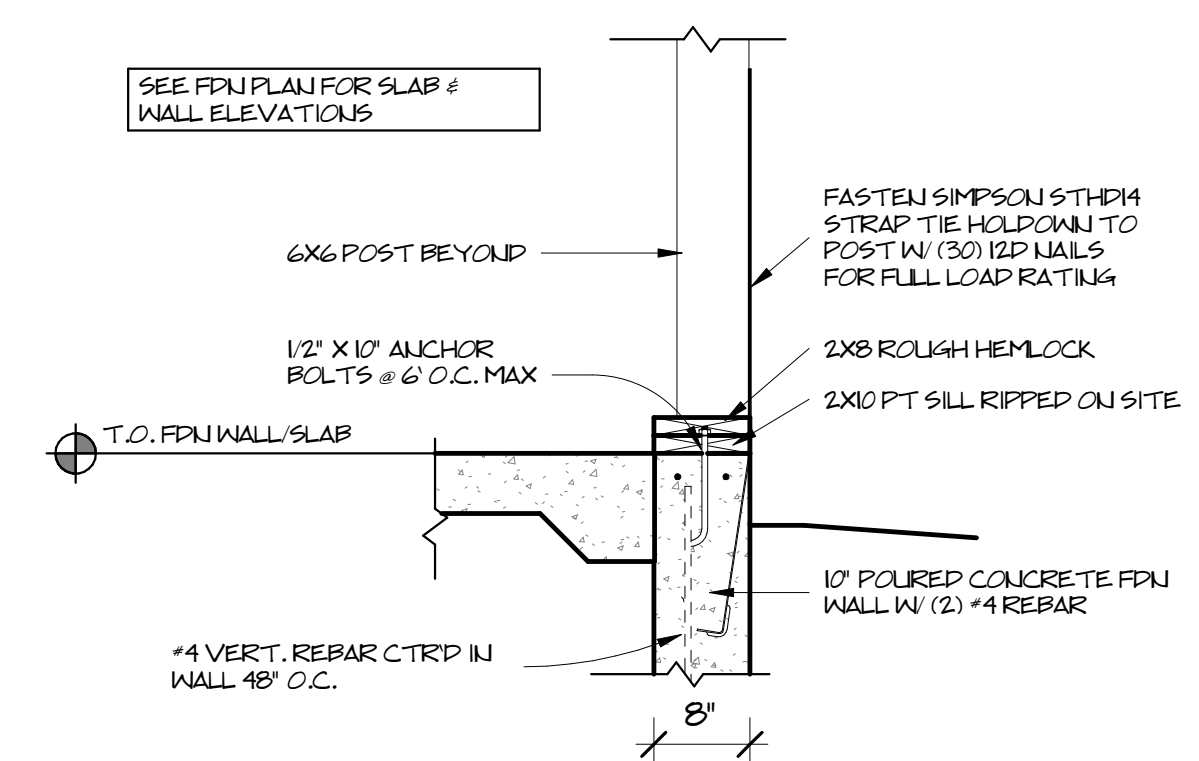
SHEET  
**FD1**



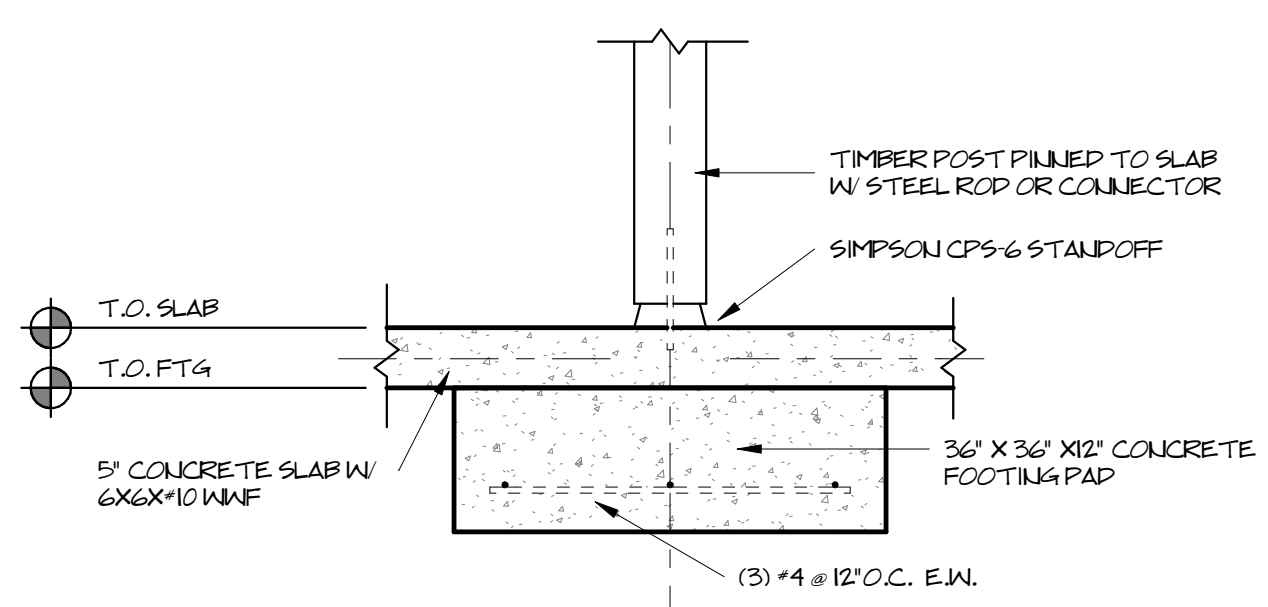
C10 BARN FOUNDATION WALL SECTION  
 NOT TO SCALE



C11 BARN FOUNDATION AT DOOR OPENING  
 NOT TO SCALE

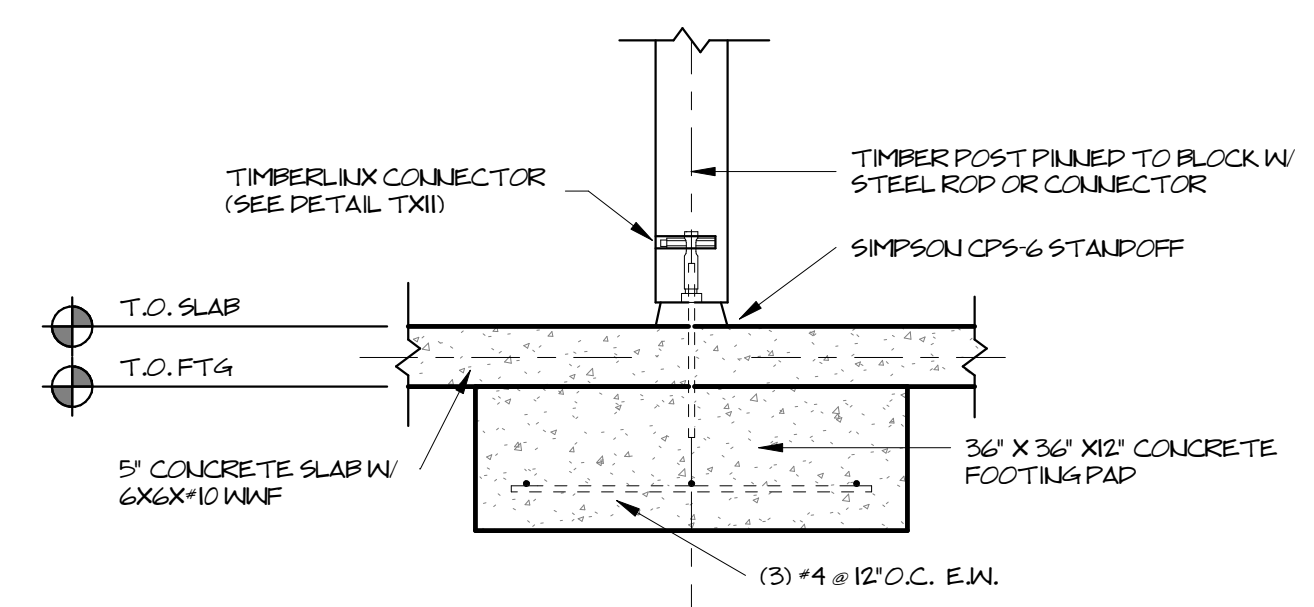


C9 POST HOLD-DOWN - BARN  
 SCALE: 3/4" = 1'-0"



C13 POST ON SLAB- BARN  
 NOT TO SCALE

FOR HOLDDOWN CONDITIONS USE TIMBERLINK CONNECTOR



C13A POST W/ HOLD DOWN  
 NOT TO SCALE

HOLDDOWN CONDITION W/ TIMBERLINK CONNECTION

REVISIONS

No.	Date
1	06/29/20
2	07/14/20

Application for residential Site plan review  
8 Stickbridge Rd  
Barn building proposal - Loic Rossignon

Lighting plan.

The lighting we would like to propose for the barn is very minimal.  
Inside we will have workshop type ceiling lights. Those will on only when needed.

Outside:

We'd like to propose:

- One gooseneck type outdoor wall sconce - facing downwards on each side of the barn doors. Those will only be turned on when access is needed at night.
- One light of the same kind above or next to the entry door on the North elevation
- One light of the same kind above or next to the entry door on the East elevation.



# Kane Land Surveyors

---

Professional Land Surveyors

P.O. Box 1302  
30 Higgins Lane  
Wellfleet, MA 02667  
508-397-0360 Phone  
peter@kanelandsurveyors.com

August 12, 2020

Truro Planning Board  
Anne Greenbaum, Chair  
24 Town Hall Road  
Truro, MA 02666

Dear Madam Chair,

I am writing regarding the ANR Plan for 14 Mill Pond Road and 16 Mill Pond Road, Truro, MA, which we recently submitted for endorsement. I am specifically referring to the underground utility easement in the chain of title for 14 Mill Pond Road which I failed to show on my plan dated June 23, 2020, but will show on a revised Plan.

The easement first appears on October 30, 1967 when Joseph & Eleanor Schoonejongen convey 14 Mill Pond Road to Joseph Blumenfeld. While I find the wording of the easement – “Subject to an easement for underground utilities as now existing along the Northwesterly line of said premises for the benefit of other land of the said grantors lying generally Westerly of the premises.” – to be fairly vague in identifying the precise location, I think I have a reasonable solution to its location.

The Schoonejongens bought 13 Abby Lane, Assessors Map 54 Parcel 55, on July 21, 1966. The Truro Assessors data lists the house at 13 Abby Lane as being built in 1968. The Schoonejongens sold 13 Abby Lane on June 28, 1969. And while 13 Abby Lane is not a direct abutter, I believe this is the “other land of grantors lying generally Westerly” mentioned in the 1967 easement.

I could find no reference to the Schoonejongens owning any of the lots abutting 14 Mill Pond Road in the late 1960’s. Nor could the Truro Building Department find any reference to the easement in their database.

Therefore, on the revised Plan I will depict the approximate location of the easement in a “cloud” in that corner of 14 Mill Pond Road closest to 13 Abby Lane.

Please feel free to call me if you have any questions.

Sincerely,

Peter J. Kane, P.L.S.



APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
TRURO PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE

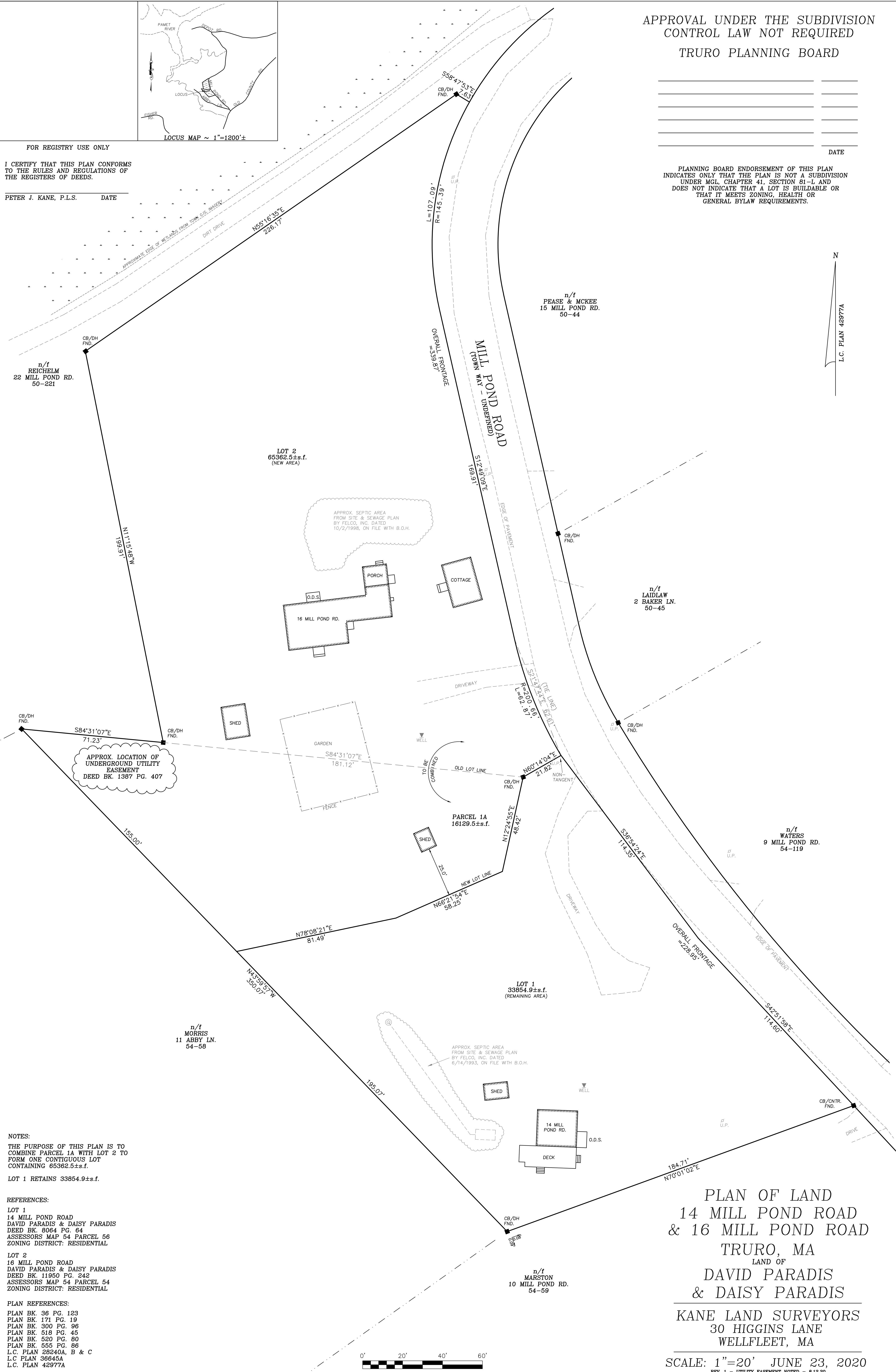
PLANNING BOARD ENDORSEMENT OF THIS PLAN INDICATES ONLY THAT THE PLAN IS NOT A SUBDIVISION UNDER MGL, CHAPTER 41, SECTION 81-L AND DOES NOT INDICATE THAT A LOT IS BUILDABLE OR THAT IT MEETS ZONING, HEALTH OR GENERAL BYLAW REQUIREMENTS.

N  
L.C. PLAN 42977A

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PETER J. KANE, P.L.S. DATE



APPROX. LOCATION OF UNDERGROUND UTILITY EASEMENT DEED BK. 1387 PG. 407

NOTES:  
THE PURPOSE OF THIS PLAN IS TO COMBINE PARCEL 1A WITH LOT 2 TO FORM ONE CONTIGUOUS LOT CONTAINING 65362.5±s.f.  
LOT 1 RETAINS 33854.9±s.f.

REFERENCES:  
LOT 1  
14 MILL POND ROAD  
DAVID PARADIS & DAISY PARADIS  
DEED BK. 8064 PG. 64  
ASSESSORS MAP 54 PARCEL 56  
ZONING DISTRICT: RESIDENTIAL  
LOT 2  
16 MILL POND ROAD  
DAVID PARADIS & DAISY PARADIS  
DEED BK. 11950 PG. 242  
ASSESSORS MAP 54 PARCEL 54  
ZONING DISTRICT: RESIDENTIAL

PLAN REFERENCES:  
PLAN BK. 36 PG. 123  
PLAN BK. 171 PG. 19  
PLAN BK. 300 PG. 96  
PLAN BK. 519 PG. 45  
PLAN BK. 520 PG. 80  
PLAN BK. 555 PG. 86  
L.C. PLAN 28240A, B & C  
L.C. PLAN 36645A  
L.C. PLAN 42977A



PLAN OF LAND  
14 MILL POND ROAD  
& 16 MILL POND ROAD  
TRURO, MA  
LAND OF  
DAVID PARADIS  
& DAISY PARADIS  
KANE LAND SURVEYORS  
30 HIGGINS LANE  
WELLFLEET, MA  
SCALE: 1"=20' JUNE 23, 2020  
REV. 1 - UTILITY EASEMENT NOTED - 8.12.20



[Planning Board letterhead]

[date]

John F. Meade, Register and Assistant Recorder of the Land Court  
Barnstable Registry of Deeds  
3915 Main Street, P.O. Box 368  
Barnstable, MA 02630

Re: Truro Planning Board  
Notices pursuant to G.L. c. 41, s. 81P and s. 81X of authorization to endorse plans

Dear Register Meade,

At a properly noticed meeting on August 5, 2020, the Truro Planning Board, pursuant to G.L. c. 41, s. 81P, voted to authorize *both and either* Anne Greenbaum, Chair, and Jack Riemer, Clerk to endorse, on behalf of the Board, "Approval Not Required" (ANR) plans under this statute. The vote of the Board was as follows: Anne Greenbaum, Chair: Aye; Karen Tosh, Vice Chair: Aye; Jack Riemer, Clerk: Aye; Steve Sollog: Aye; Paul Kiernan: Aye

At the same meeting, the Truro Planning Board, pursuant to G.L. c. 41, s. 81X, voted to authorize *both and either* Anne Greenbaum, Chair, and Jack Riemer, Clerk to endorse, on behalf of the Board, subdivision plans under this statute. The vote of the Board was as follows: Anne Greenbaum, Chair: Aye; Karen Tosh, Vice Chair: Aye; Jack Riemer, Clerk: Aye; Steve Sollog: Aye; Paul Kiernan: Aye

As required under G.L. c. 41, s. 81P and G.L. c. 41, s. 81X, the signatures of a majority of the Planning Board (four members) appear below. Would you kindly update the records of the Registry of Deeds, and records of Registered Land, to reflect the above authorizations?

Very truly yours,

\_\_\_\_\_

Name

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Date

**TOWN OF TRURO  
Planning Board  
MEETING MINUTES  
December 4, 2019  
TRURO TOWN HALL**

**Members Present:** Chair-Steve Sollog, Peter Herridge, Karen Tosh, Jack Riemer, Bruce Boleyn, Anne Greenbaum, Paul Kiernan

**Members Absent:** None

**Others Present:** Town Planner-Jeffrey Ribeiro, Linda Noons Rose

Chair Sollog called the meeting to order at 5:07 pm.

**Public Comment Period:** No public comments.

**Temporary Sign Permit Applications**

**Outer Cape Chorale, for two (2) signs, 3' x 2 ½' to be located near the Library on Route 6 at Standish Way and near Aldrich Road on Route 6. The signs will be installed on December 5<sup>th</sup> and removed December 16<sup>th</sup> for a concert on December 13<sup>th</sup> and 14<sup>th</sup>.**

**Member Greenbaum made a motion to approve the two (2) signs for Outer Cape Chorale.**

**Member Herridge seconded.**

**So voted; 7-0-0, motion carries.**

**Public Hearing-Continued**

**2019-006/PB Abigail B. Schirmer, Audrey Schirmer, and Joseph M. Schirmer seek approval of a Preliminary Subdivision Plan of Land, pursuant to G.L. c. 41, §81S and §2.4 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at Route 6 and Amity Lane, Truro, MA, Map 46, Parcel 8.**

Chair Sollog read from a staff report that stated the applicant requested to continue the hearing to December 18, 2019 to provide adequate time to receive comment from the Health Agent and the Board of Health.

Member Greenbaum asked if the Board had done a site visit. Member Kiernan stated they had not because this is a preliminary.

**Member Kiernan made a motion to continue the Public Hearing in the matter of 2019-006/PB to the December 18, 2019 meeting.**

**Member Boleyn seconded.**

**So voted; 7-0-0, motion carries.**

**Board Action/Review**

**2019-009/SPR – Warm Salt Breeze (Linda Noons Rose), for property located at 1 Sand Pit Road (Atlas Map 39, Parcel 164). Applicant seeks Waiver of Commercial Development Site Plan under §70.9 of the Truro Zoning Bylaw for construction of a 25' x 36' metal building for machine storage.**

Linda Noons Rose came before the Board. She stated that the piece of property where this building is to be built is an area that had been flattened out previously. The Building Inspector issued her husband a permit in May. The floating slab was installed along with foundation pieces, and when the Building Inspector came for a foundation inspection, he told her husband that he incorrectly gave him the building permit. The project should have gone before the Planning Board first. They have put a lot of money into this and the only thing left is to install the building.

In Member Kiernan's opinion they are taking a parking space where equipment was parked, building a Quonset hut and storing the trucks inside. Chair Sollog asked what type of services would be in the building. Ms. Noons Rose stated that at some point her husband may want to add a small structure with a roof on one end. There are no plans for heat.

As Member Riemer understands it, even if the Board waives the Commercial Site Plan Review, all the plans and documentation will be maintained in a file. Chair Sollog agreed that it would become part of the record. He asked that a plan be produced which will show the location of the new building on the property. Neither Member Tosh nor Member Herridge feels that is necessary. Chair Sollog thinks it's nice to have a record but will not hold anyone's feet to the fire. Member Riemer asked if it would be adequate to have the building included on the Felco plan. Town Planner Ribeiro stated it would be more typical to show the existing structures in the immediate vicinity. Chair Sollog would like to have one plan with all the structures on it. Member Tosh and Member Herridge believe that all the information needed is already within the application. Member Greenbaum agrees with Chair Sollog.

**Member Kiernan made a motion to waive Commercial Development Site Plan review based on the condition that a plan shall be submitted showing both the proposed building and the existing building. Member Tosh seconded.**

**So voted; 7-0-0, motion carries.**

**Review of the Cloverleaf Truro Rental Housing Comprehensive Permit application under MGL Ch. 40B to formulate comments for submittal to the Zoning Board of Appeals.**

Town Planner Ribeiro stated that they have a 40B Comprehensive Permit project before the Zoning Board. The application was distributed to the Planning Board and it is customary that they provide comments to the ZBA. As part of the Comprehensive Permit process the ZBA is the sole permitting board for local regulations and the applicant has requested a waiver from Site Plan Review in favor of a general site review. The Planning Board can offer any comments it chooses. The comments which would be most useful, and appreciated, would be on the site plan review process.

Member Kiernan would like to know if the Cape Cod Commission will be chiming in. Town Planner Ribeiro let the Board know that the Cape Cod Commission comments came in yesterday afternoon and he will make copies for them to read. The Commission did not have any problems with site or building design. They provided some basic traffic count information and didn't seem to have significant concerns with vehicular traffic at the site. The Commission did suggest that the applicant work with the Town, the DOT, and potentially the Cape Cod Regional Transit Authority, to have a sidewalk that goes from the site to the bus stop. The biggest area of commenting from the Cape Cod Commission was around the topic of wastewater and stormwater. Town Planner Ribeiro distributed copies of the Commission's comments for the Board to view.

Member Herridge wished to state that Pond Village is the hottest nitrogen area in Truro. As of nine years ago, that area's levels were close to toxic levels. Chair Sollog does not want anyone "pointing the finger" and warning someone that they are in grave danger. He does not feel it's fair for the Board to do that. Member Herridge countered that he is a physician and he can interpret the facts and he is very alarmed. Chair Sollog stated that the Planning Board was in sympathy with that alarm.

Member Riemer thanked Town Planner Ribeiro for providing the two-page working document to the Board. He did notice that 70.1A, Purpose, was included but 70.1B was not, and he wished to read that into the record.

Member Kiernan asked Town Planner Ribeiro if there was a time limit on their response. Town Planner Ribeiro stated, "No". One item he mentioned that was discussed with the Zoning Board of Appeals was that wastewater and stormwater was going to be a concern. The Cape Cod Commission comments will be very useful, in part, to help scope a potential peer review. Tomorrow night there will be a strong recommendation of staff that they move forward with bringing on a consultant for the Town that will review the hydrology, the nitrogen loading, the movement of the groundwater, the effects that the stormwater may have, all of those things. Those items will be looked at by accredited professionals. Member Herridge wants to know how the groundwater will be dealt with. He states nitrate is toxic at low levels. At levels of 10 mg/liter it can cause *blue baby syndrome*. He has evidence from a recent review article that levels below 10 mg/liter can, over a long period of time, can cause types of cancer and an increase in birth defects. He does not know if the Board of Health was aware of the toxicity of nitrates. He presented it to the Board of Health last night. He feels it must be dealt with. Town Planner Ribeiro thinks the specifics of the project need to be looked at very closely. The consultants will be accredited professionals who have experience working in other towns. The Zoning Board will have the final say in who is chosen, and Town Counsel is putting together a list of potential firms that could be used. Chair Sollog asked if the Board would be able to ask for specific people to be considered. He is thinking of the Association to Protect Cape Cod (APCC) as one of that group's main concern is groundwater. Town Planner Ribeiro thinks that reaching out to APCC is reasonable. Member Herridge stated that 40B does not trump safety.

Member Kiernan asked Town Planner Ribeiro if he is the technical person who is helping the ZBA with the process. Town Planner Ribeiro is working with Town Counsel. Member Kiernan would like to know at what point the ZBA would be wrapping up to a vote. Town Planner Ribeiro feels at the earliest it would be mid-January, but there are many factors which will affect the timeline. Member Kiernan did some research, stating that the Cloverleaf project has seventy bedrooms which, according to Board of Health regulations, would require 700,000 square feet of property. This property has 170,000 square feet. The developer is asking the ZBA to waive the Board of Health regulations. He would like to know how involved the Board of Health will be in helping to develop this project to the benefit of all Truro. He feels it's important, from a site plan review standpoint, to point these things out. Member Kiernan's hope is that the ZBA will take this very seriously and get someone from the State to look at the water problem.

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Town Planner Ribeiro brought out a plan for Edgewood Farm for the Board members to sign.



**Approval of Minutes**

**Member Kiernan made a motion to approve the September 18, 2019 minutes as amended.**

**Member Boleyn seconded.**

**So voted; 7-0-0, motion carries.**

Chair Sollog stated that he would like to place “the election of officers” onto the next agenda.

**Member Riemer made a motion to adjourn at 7:19 pm.**

**Member Boleyn seconded.**

**So voted; 7-0-0, motion carries.**

**Respectfully Submitted,  
Noelle L. Scoullar**

**TOWN OF TRURO  
Planning Board  
MEETING MINUTES  
December 4, 2019  
TRURO TOWN HALL**

**Members Present:** Chair-Steve Sollog, Peter Herridge, Karen Tosh, Jack Riemer, Bruce Boleyn, Anne Greenbaum, Paul Kiernan

**Members Absent:** None

**Others Present:** Town Planner-Jeffrey Ribeiro, Linda Noons Rose

Chair Sollog called the meeting to order at 5:07 pm.

**Public Comment Period:** No public comments.

**Temporary Sign Permit Applications**

**Outer Cape Chorale, for two (2) signs, 3' x 2 ½' to be located near the Library on Route 6 at Standish Way and near Aldrich Road on Route 6. The signs will be installed on December 5<sup>th</sup> and removed December 16<sup>th</sup> for a concert on December 13<sup>th</sup> and 14<sup>th</sup>.**

**Member Greenbaum made a motion to approve the two (2) signs for Outer Cape Chorale.**

**Member Herridge seconded.**

**So voted; 7-0-0, motion carries.**

**Public Hearing-Continued**

**2019-006/PB Abigail B. Schirmer, Audrey Schirmer, and Joseph M. Schirmer seek approval of a Preliminary Subdivision Plan of Land, pursuant to G.L. c. 41, §81S and §2.4 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at Route 6 and Amity Lane, Truro, MA, Map 46, Parcel 8.**

Chair Sollog read from a staff report that stated the applicant requested to continue the hearing to December 18, 2019 to provide adequate time to receive comment from the Health Agent and the Board of Health.

Member Greenbaum asked if the Board had done a site visit. Member Kiernan stated they had not because this is a preliminary.

**Member Kiernan made a motion to continue the Public Hearing in the matter of 2019-006/PB to the December 18, 2019 meeting.**

**Member Boleyn seconded.**

**So voted; 7-0-0, motion carries.**

**Board Action/Review**

**2019-009/SPR – Warm Salt Breeze (Linda Noons Rose), for property located at 1 Sand Pit Road (Atlas Map 39, Parcel 164). Applicant seeks Waiver of Commercial Development Site Plan under §70.9 of the Truro Zoning Bylaw for construction of a 25' x 36' metal building for machine storage.**

Linda Noons Rose came before the Board. She stated that the piece of property where this building is to be built is an area that had been flattened out previously. The Building Inspector issued her husband a permit in May. The floating slab was installed along with foundation pieces, and when the Building Inspector came for a foundation inspection, he told her husband that he incorrectly gave him the building permit. The project should have gone before the Planning Board first. They have put a lot of money into this and the only thing left is to install the building.

In Member Kiernan's opinion they are taking a parking space where equipment was parked, building a Quonset hut and storing the trucks inside. Chair Sollog asked what type of services would be in the building. Ms. Noons Rose stated that at some point her husband may want to add a small structure with a roof on one end. There are no plans for heat.

As Member Riemer understands it, even if the Board waives the Commercial Site Plan Review, all the plans and documentation will be maintained in a file. Chair Sollog agreed that it would become part of the record. He asked that a plan be produced which will show the location of the new building on the property. Neither Member Tosh nor Member Herridge feels that is necessary. Chair Sollog thinks it's nice to have a record but will not hold anyone's feet to the fire. Member Riemer asked if it would be adequate to have the building included on the Felco plan. Town Planner Ribeiro stated it would be more typical to show the existing structures in the immediate vicinity. Chair Sollog would like to have one plan with all the structures on it. Member Tosh and Member Herridge believe that all the information needed is already within the application. Member Greenbaum agrees with Chair Sollog.

**Member Kiernan made a motion to waive Commercial Development Site Plan review based on the condition that a plan shall be submitted showing both the proposed building and the existing building. Member Tosh seconded.**

**So voted; 7-0-0, motion carries.**

**Review of the Cloverleaf Truro Rental Housing Comprehensive Permit application under MGL Ch. 40B to formulate comments for submittal to the Zoning Board of Appeals.**

Town Planner Ribeiro stated that they have a 40B Comprehensive Permit project before the Zoning Board. The application was distributed to the Planning Board and it is customary that they provide comments to the ZBA. As part of the Comprehensive Permit process the ZBA is the sole permitting board for local regulations and the applicant has requested a waiver from Site Plan Review in favor of a general site review. The Planning Board can offer any comments it chooses. The comments which would be most useful, and appreciated, would be on the site plan review process.

Member Kiernan would like to know if the Cape Cod Commission will be chiming in. Town Planner Ribeiro let the Board know that the Cape Cod Commission comments came in yesterday afternoon and he will make copies for them to read. The Commission did not have any problems with site or building design. They provided some basic traffic count information and didn't seem to have significant concerns with vehicular traffic at the site. The Commission did suggest that the applicant work with the Town, the DOT, and potentially the Cape Cod Regional Transit Authority, to have a sidewalk that goes from the site to the bus stop. The biggest area of commenting from the Cape Cod Commission was around the topic of wastewater and stormwater. Town Planner Ribeiro distributed copies of the Commission's comments for the Board to view.

Member Herridge wished to state that Pond Village is the hottest nitrogen area in Truro. As of nine years ago, that area's levels were close to toxic levels. Chair Sollog does not want anyone "pointing the finger" and warning someone that they are in grave danger. He does not feel it's fair for the Board to do that. Member Herridge countered that he is a physician and he can interpret the facts and he is very alarmed. Chair Sollog stated that the Planning Board was in sympathy with that alarm.

Member Riemer thanked Town Planner Ribeiro for providing the two-page working document to the Board. He did notice that 70.1A, Purpose, was included but 70.1B was not, and he wished to read that into the record.

Member Kiernan asked Town Planner Ribeiro if there was a time limit on their response. Town Planner Ribeiro stated, "No". One item he mentioned that was discussed with the Zoning Board of Appeals was that wastewater and stormwater was going to be a concern. The Cape Cod Commission comments will be very useful, in part, to help scope a potential peer review. Tomorrow night there will be a strong recommendation of staff that they move forward with bringing on a consultant for the Town that will review the hydrology, the nitrogen loading, the movement of the groundwater, the effects that the stormwater may have, all of those things. Those items will be looked at by accredited professionals. Member Herridge wants to know how the groundwater will be dealt with. He states nitrate is toxic at low levels. At levels of 10 mg/liter it can cause *blue baby syndrome*. He has evidence from a recent review article that levels below 10 mg/liter can, over a long period of time, can cause types of cancer and an increase in birth defects. He does not know if the Board of Health was aware of the toxicity of nitrates. He presented it to the Board of Health last night. He feels it must be dealt with. Town Planner Ribeiro thinks the specifics of the project need to be looked at very closely. The consultants will be accredited professionals who have experience working in other towns. The Zoning Board will have the final say in who is chosen, and Town Counsel is putting together a list of potential firms that could be used. Chair Sollog asked if the Board would be able to ask for specific people to be considered. He is thinking of the Association to Protect Cape Cod (APCC) as one of that group's main concern is groundwater. Town Planner Ribeiro thinks that reaching out to APCC is reasonable. Member Herridge stated that 40B does not trump safety.

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**Approval of Minutes**

**Member Kiernan made a motion to approve the September 18, 2019 minutes as amended.  
Member Boleyn seconded.  
So voted; 7-0-0, motion carries.**

Chair Sollog stated that he would like to place “the election of officers” onto the next agenda.

**Member Riemer made a motion to adjourn at 7:19 pm.  
Member Boleyn seconded.  
So voted; 7-0-0, motion carries.**

**Respectfully Submitted,  
Noelle L. Scoullar**

**TOWN OF TRURO  
PLANNING BOARD**  
Meeting Minutes  
June 17, 2020 – 6:00 pm  
REMOTE MEETING

Members Present (Quorum): Anne Greenbaum (Chair); Karen Tosh (Vice Chair); Jack Riemer (Clerk); R. Bruce Boleyn; Peter Herridge; Paul Kiernan; Steve Sollog

Members Absent: None

Other Participants: Jeffrey Ribeiro, AICP – Truro Town Planner

Remote meeting convened at 6:03 pm, Wednesday, June 17, 2020 by Chair Greenbaum. Town Planner, Jeffrey Ribeiro, reiterated that this is a remote meeting which is being broadcast live on Truro TV Channel 18 and is being recorded. He gave the details of where to watch this meeting, how to access it, and to provide comment during the meeting by calling toll free 1-877-309-2073 and entering the access code 960-189-533. The telephone number and access code were repeated, and he noted that a slight delay of 15 to 30 seconds between the meeting and the live stream television broadcast might be experienced. He also noted that if you are calling in to please lower the volume on your computer or television during public comments so they may be heard clearly and to also identify yourself so multiple calls can be managed effectively. Citizens may provide public comment for this meeting by emailing [jribeiro@truro-ma.gov](mailto:jribeiro@truro-ma.gov) with your comments. The emails are being checked live during the meeting, so this is another way to contact us.

**Public Comment Period**

No public comment.

**Temporary Sign Permit Applications**

Chair Greenbaum reiterated the application information, asking Town Planner Ribeiro about the property owner which is the state; it is state land but typically reviewed by the Board. Chair Greenbaum asked the Board if they had any comments or questions and asked for a motion. Member Boleyn voted to accept. Member Herridge seconded. Voted all in favor by roll call vote; Member Tosh absent for the vote. So voted: 6-0-1.

**Public Hearing – Continued**

Chair Greenbaum asked Town Planner Ribeiro for the status of the Schirmer public hearing. He gave a brief synopsis. The Fire Chief was able to get the fire truck down there and mark the trees to be removed/trimmed. Town Planner Ribeiro continued stating that we're having the engineer mark those trees in the plan, this Board will review, and then we'll be able to get back to the discussion on potential approval, conditions, etc. I have spoken with the applicants and my recommendation is that we continue the public hearing to July 8th. Chair Greenbaum moved to continue the Schirmer public hearing to July 8th. Member Kiernan seconded. Voted all in favor by roll call vote; Member Tosh absent for the vote. So voted: 6-0-1.



Chair Greenbaum asked Town Planner Ribeiro for an update of the Nickerson public hearing. He stated this had not be opened substantively yet; the Agenda states that it is continued to the 22nd. It was previously discussed and decided not to do more than one case at any meeting, but there is a motion to continue. Member Kiernan moved to continue the Nickerson matter. Member Boleyn seconded. Chair Greenbaum stated that this would be to continue to July 22nd knowing that we won't actually have the hearing then as we haven't even done a site visit yet. Chair Greenbaum asked Town Planner Ribeiro if he had spoken to them about staking? Town Planner Ribeiro stated that he had not, but there was still time, and he believed that they would be able to go forward on the 22nd to do a site visit. Chair Greenbaum stated we have a motion and a second. Member Riemer stated that he just wanted to ensure that we have an extension in writing from the applicant to which Town Planner Ribeiro replied that because of the special dispensation, we actually do not need any extension. Voted all in favor by roll call vote; Member Tosh absent for the vote. So voted: 6-0-1.

### **Board Action/Review**

**Review of the Cloverleaf Truro Rental Housing Comprehensive Permit application under MGL Ch. 40B to formulate comments for submittal to the Zoning Board of Appeals.** Chair Greenbaum asked Town Planner Ribeiro for an update on the Cloverleaf. He responded that some updated plans came in, and they will be going to Town Counsel to forward to the Horsley Witten Group, to the Board, and to the public. The next ZBA hearing will probably be a week after July 4th. Given the timeline there, we should probably be talking about having a special meeting work session to discuss potential comments to submit. This Board, the Board of Health, and the public need a chance to respond to the updated plans. Chair Greenbaum asked what will happen at that hearing - is that when the applicant will submit, or we'll go through the new plans? Town Planner Ribeiro responded they will present their new plan, their septic system, etc. We're getting it to Horsley Witten, but I don't know if they'll have a full comment back to us. There will be more meetings after that. The Board discussed the timeframe for their next Cloverleaf work session. Chair Greenbaum would like the Board to be part of the Cloverleaf discussion. Monday, July 6th at 2:30 pm was scheduled for the work session to discuss the Cloverleaf looking at both the new plans and Horsley Witten response and the Board's response to the ZBA, if any.

**Board update/discussion about the potential to hold public hearings remotely.** Technology issues were discussed: getting on the remote meetings early allows time for troubleshooting; everyone should have the call-in information which is on the Agenda; the access information and link are on the email that comes with the Agenda; please mute yourself unless you are speaking; if your audio is not working, after a couple minutes just go ahead and call in which would be helpful. Town Planner Ribeiro stated he thought it was important, especially for you as the Board members, to at least be able to view the meeting on your screen even if you're not doing audio or video that way so that, if we're putting up a plan, you are able to see it.

Vice Chair Tosh asked why they weren't using Zoom. Town Planner Ribeiro stated he would find out why the GoToMeeting platform was chosen over Zoom. Vice Chair Tosh also stated that we can't have a public hearing when people can't talk, and when we don't know if the platform is going to shut down to which a few of the Board Members readily agreed. The Board discussed the issue

of how long do we wait if there are technical issues with a Board Member before continuing a meeting and also under what conditions do we stop a hearing and continue to the next meeting.

**Discussion for setting dates for future Board public workshops.** Chair Greenbaum stated that there is a work session on Monday, July 6, at 2:30 pm.

### **Approval of Minutes**

December 4, 2019 – Town Planner Ribeiro stated that the corrected minutes were not included in the packet and suggested discussion wait until next meeting. Chair Greenbaum concurred.

March 4, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. Hearing no changes offered, Chair Greenbaum asked for a motion. Member Kiernan moved to approve. Member Boleyn seconded. No further discussion. Member Sollog and Vice Chair Tosh were not present at that meeting and would not be voting. Chair Greenbaum asked for a roll call vote. Voted all in favor; Member Sollog and Vice Chair Tosh abstained. So voted: 5-0-2.

March 11, 2020 Work Session – Chair Greenbaum asked if anyone had any corrections to these minutes. Member Boleyn stated that a correction was needed on page 3, second paragraph: replace “uses as resources” with “used as resources”. Chair Greenbaum also had a correction to page 3: revise sentence to read “asked the Board to think about and start listing places where people all can meet”. Chair Greenbaum asked for a motion to accept the minutes as corrected. Member Boleyn moved to approve as amended. Member Kiernan seconded. No further discussion. Members Sollog and Herridge were not present at that meeting and would not be voting. Chair Greenbaum asked for a roll call vote. Voted all in favor; Members Sollog and Herridge abstained. So voted: 5-0-2.

March 18, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. Hearing no changes offered, Chair Greenbaum asked for a motion. Member Boleyn moved to approve as written. Member Kiernan seconded. No further discussion. Members Boleyn and Herridge were not present at that meeting and would not be voting. Chair Greenbaum asked for a roll call vote. Voted all in favor; Members Boleyn and Herridge abstained. So voted: 5-0-2.

April 1, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. Hearing no changes offered, Chair Greenbaum asked for a motion. Member Sollog moved to approve as written. Member Kiernan seconded. No further discussion. Member Boleyn was not present at that meeting and would not be voting. Chair Greenbaum asked for a roll call vote. Voted all in favor; Member Boleyn abstained. So voted: 6-0-1.

May 6, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. After discussion, it was decided to add clarification on page 2, paragraph 2 by restating: If “the Planning Board believes that the” meeting. Member Boleyn stated that a correction was needed on page 5, last paragraph: replace “bee” with “been”. Chair Greenbaum asked for a motion to accept the minutes as corrected. Member Sollog moved to approve as amended. Member Herridge seconded. No further discussion. Chair Greenbaum asked for a roll call vote. Voted all in favor. So voted: 7-0-0.

May 20, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. Member Boleyn moved to approve as written. Member Herridge seconded. No further discussion. Chair Greenbaum asked for a roll call vote. Voted all in favor. So voted: 7-0-0.

June 3, 2020 – Chair Greenbaum asked if anyone had any corrections to these minutes. Member Riemer stated that a correction was needed on page 4, second paragraph, Form D (Covenant): replace language “that there is nothing in this covenant that holds the applicant” with “that there is nothing in this covenant form that holds the applicant to any kind of timeframe”. Chair Greenbaum asked for a motion to accept the minutes as corrected. Member Kiernan moved to approve as amended. Member Herridge seconded. No further discussion. Chair Greenbaum asked for a roll call vote. Voted all in favor. So voted: 7-0-0.

Chair Greenbaum stated that their work session is Monday, July 6th at 2:30 pm on the Cloverleaf, and the next meeting is July 8th at 6:00 pm to hear the Schirmer application. Town Planner Ribeiro stated he would be getting them materials on the Cloverleaf and also the ZBA packet.

Chair Greenbaum asked if there were any other items for discussion but there were none. Chair Greenbaum then asked if she could have a motion to adjourn. Motion made by Member Boleyn with a second by Member Kiernan. No further discussion. Chair Greenbaum asked for a roll call vote. Voted all in favor. So voted: 7-0-0.

Meeting adjourned.

Respectfully submitted,

Elizabeth Sturdy