



# Truro Planning Board Agenda

## Remote Meeting

Wednesday, April 21, 2021 – 5:00 pm  
[www.truro-ma.gov](http://www.truro-ma.gov)

### **Open Meeting**

This will be a remote meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website ([www.truro-ma.gov](http://www.truro-ma.gov)). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment by: entering the meeting link; clicking on the Agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free at [1-877-309-2073](tel:1-877-309-2073) and entering the access code [879-069-693#](tel:879-069-693#) when prompted. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing the Town Planner at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov).

Meeting link: <https://global.gotomeeting.com/join/879069693>

### **Public Comment Period**

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

### **Public Hearing**

**2021-002/SPR – Silvador, LLC** for property located at 298 Route 6 (Atlas Map 43, Parcel 57). Applicant seeks a Commercial Site Plan Review under Section 70 of the Truro Zoning Bylaw and/or an amendment of Planning Board Decision 2019-003/SPR (approved May 2019) to replace elevator access to upper-level self-storage of Building II with drivable access to proposed raised rear platform deck.

**Public Hearing – Continued**

**2020-006/SPR – Anne Labouisse Peretz; William T. Burdick & Richard C. Vanison, Trustees, Dune House Nom. Tr.** for property located at 112 North Pamet Road (Atlas Map 48, Parcel 1). Applicants seek a Residential Site Plan Review under Section 70 of the Truro Zoning Bylaw for demolition and removal of existing single-family dwelling in the Seashore Zoning District and construction of new smaller dwelling at a new location, set back from the coastal bank. The existing dwelling is at risk of sudden destruction due to storm-driven coastal bank erosion in its current location. [Material in 1/6/2021, 1/20/2021, and 3/10/2021 packets] plus {New material in this packet}

**Planner Report**

◆

**Board public workshops:**

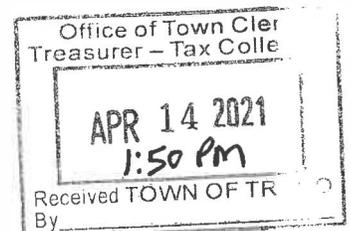
- ◆ Wednesday, April 28, 2021 at 5:00 pm – Housing Choice Legislation
- ◆ TBD – CCC regarding DRI

**Minutes**

- ◆ None

**Next Meeting** – Wednesday, May 5, 2021, at 5:00 pm

**Adjourn**



## STAFF MEMORANDUM

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To: Truro Planning Board

From: Barbara Carboni, Town Planner and Land Use Counsel

Date: April 18, 2021

Re: April 21, 2021 meeting

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**2020-06/SPR – 112 North Pamet Road** (Map 48, Parcel 1). Application of Anne LabouissePeretz; William T. Burdick & Richard C. Vanison, Trustees, Dune House Norm. Tr. for Residential Site Plan Review for removal of dwelling and reconstruction of dwelling at new location. CONTINUED HEARING.

Applicant to provide updated information on proposed location of dwelling, landscape, and other project features.

*Current extension from applicant through April 21, 2021 for hearing and through May 5, 2021 for Board action.*

Update: The Applicant has submitted additional materials including a revised site plan showing the proposed dwelling (C2.1.1); a revised grading plan (C2.2.1); floor plans and elevations (A-1 through A-7); a comparative “Old House vs. New House” (A-8); a plan showing ‘Building Profiles in Relation to Top of Coastal Bank” (A-9); a lighting plan (E-1); an additional “Site Plan with Retaining Walls” (S-1); two alternative sites for relocating the dwelling (S-2 and S-3); and a landscape restoration plan. The most significant change and new information is the “proposed retaining wall w/fence (wall height varies),” extending from the gravel portion of the driveway along the length of the dwelling, with an additional “L” section around the back. No heights for the retaining wall are provided. The Applicant might be asked to provide detail on the dimensions and materials of the retaining wall

The dwelling itself remains at 25 feet from the lot line, but a “proposed patio above grade” is shown extending into the setback (dimensions not identified). The Applicant might be asked to describe the “above grade” patio further; it replaces a deck in an earlier iteration of the project that encroached into the setback.

Related permitting: Assuming the patio is of characteristics permissible in within the setback, the Applicant does not need any variances from the Zoning Board of Appeals. The Applicant will still need a special permit for the reconstruction of a nonconforming dwelling under G.L. c. 40A, s. 6 and Zoning Bylaw Section 30.7, where the frontage is nonconforming.

Draft decision: A revised draft decision is circulated with this Staff Memo. For the sake of convenience only, it is in the form of a grant, should the Board approve the proposal.

**2021-002/SPR – 298 Route 6** (Atlas Map 42, Parcel 57). Application of Salvador, LLC for modification of Commercial Site Plan Approval (Planning Board Decision 2019-003/SPR, May 1, 2019) to replace elevator access to approved (but not yet constructed) second building with drivable access to a proposed rear platform deck.

### Existing Conditions and Prior Site Plan Approval

On May 1, 2021, the Planning Board granted Commercial Site Plan Approval of “Tradesman Park - South”, approving the construction of two buildings, landscaping, and other associated site improvements on this 1.1 acre lot on Route 6.<sup>1</sup> The property is located in the Route 6 General Business zoning district, and within the Water Resource Protection Overlay District. Pursuant to this approval, Building 1 was constructed on the northern area of the property, containing seven contractor bays and sixty-four self-storage units. A second building on the southern area of the property was approved (five contractor bays on the main level, and forty-six self-storage units on a second level, served by an elevator), but has not yet been constructed.

### Proposed Modification

The Applicant seeks to modify the approved project by eliminating the elevator from the design of Building 2, replacing it with “drivable access to a proposed rear platform deck” at the second level of the Building, on the rear of the building (facing the adjacent Truro Motor Inn property). This drivable access will be provided by constructing a 12-foot wide driveway around three sides of the Building, a feature which did not exist in the earlier approved plan. This extends the limit of work (and activity on the lot) close to the rear and side lot lines. A landscaped buffer is proposed between the Building and the driveway. Exterior stairs on the southeast corner of Building 2 will be removed.

Modifications to parking are proposed to reflect current usage of Building 1; it appears that the Applicant is requesting a modification from 35 to 31 spaces. See Narrative letter, p. 2.

Additional landscaping and modifications to the plumbing and drainage system are proposed. See Narrative letter pp. 2-3 and revised Landscape Plan. The Applicant states that pavement, retaining walls and parking will increase from 43.0% (21,915 square feet) to 52.3% (26,088 square feet); and that open space will be reduced from 30.8% to 22.3%. Narrative letter, p. 2.<sup>2</sup> Revised drainage calculations have been prepared. The Applicant further states that the proposal meets the design requirements of the WRPD and that best management practices for protection of groundwater within an Interim Wellhead protection Areas. Narrative, p. 3.

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<sup>1</sup> It may be noted that in the Board’s May 1, 2019 decision, Condition 16 stated that “[t]he Board shall conduct a site visit two (2) years after the first building is constructed at the Property to confirm that the approved landscaping has been installed and is alive.”

<sup>2</sup> The dimensions cited in the Narrative submitted to the Commission differ somewhat, perhaps attributable to the retaining wall originally included. For example, the narrative submitted to the Commission states that open space is to be reduced from 30.8% to 18.3%.

### Cape Cod Commission review

The original project was reviewed by the Cape Cod Commission, which in a DRI Scoping Decision issued January 10, 2019, imposed conditions relating to the adjacent public water supply well; handling of wastewater; limitations on nitrogen loading; landscape management; limitations on hazardous materials; and stormwater management. The Scoping Decision was modified On June 6, 2019.

In January 2021, the Applicant applied to the Commission for a Minor Modification to incorporating the proposed driveway around Building 2 and second story access at the rear of the Building. As then proposed, a concrete retaining wall would support the rear section of the driveway. In a revised request submitted in February 2021, the retaining wall was omitted. Some additional information is provided in the January Narrative, presumably still applicable:

“The driveway would rise in elevation of fifty-six feet at the northwest corner of Building 2 to sixty-two feet on the southeast corner to sixty-six feet at the proposed loading dock grade and then decrease in elevation to sixty-two feet on the southeast corner and return to 56 feet on the northeast corner of Building 2.”

The Commission has not yet issued a decision on the request for modification.

### Sufficiency of Application

In a technical sense, the application is complete. Yet neither the Narrative nor the elevations submitted provide a clear picture of the driveway's appearance at the rear of the building. As described by the Applicant, “the elevated access proposed will, in effect, screen Building 2 by reducing exposed wall area by the elevated driveway.” See Narrative letter, p. 2. The Building wall will be screened, but by what? In the absence of a retaining wall, what will support the driveway and how will it appear?

### Review Criteria

The proposed driveway around the building and second-story access at the rear of the building (facing the Motor Inn) alters the use of the property fairly significantly from the previously-approved project. Traffic, lighting, noise and fumes from use of the driveway will impact the Motor Inn property and the residential properties on Anderson Way backing up to the property. For this reason, attention to 70.3(F) Review Criteria/Design Guidelines 2, 3, 5, 10 and 15 is warranted, as well as discussion of mitigation of these impacts.

### Draft Decision

A draft decision is circulated with this memo. For the sake of convenience only, it is in the form of a grant, should the Board approve the proposal.



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA

Date March 22, 2021

The undersigned hereby files an application with the Truro Planning Board for the following:

*Site Plan Review* pursuant to §70 of the Truro Zoning Bylaw – And/or Amendment to Planning Board Decision

*Waiver of Site Plan Review* pursuant to §70.9 of the Truro Zoning Bylaw

(Note: *Site Plan Review shall not be waived in the Seashore District*)

### 1. General Information

Applicant Seeks Site Plan Review and/or an amendment of Planning Board Decision 2019-003/SPR (previously approved) to replace elevator access to upper level self storage of Building II with drivable access to proposed raised rear platform deck.

Property Address 298 Rte 6, State Highway \_\_\_\_\_ Map(s) and Parcel(s) 43/57 \_\_\_\_\_

Registry of Deeds title reference: Book 32256, Page 157, or Certificate of Title  
Number \_\_\_\_\_ and Land Ct. Lot # \_\_\_\_\_ and Plan # \_\_\_\_\_

Applicant's Name; Silvador, LLC

Applicant's Legal Mailing Address: c/o Marian S. Rose/Andrew Singer, Attorney - PO Box 67, Dennisport, MA 02639

Applicant's Phone(s), Fax and Email: 508-398-2221; fax 508-398-1568; Email - msrose@singer-law.com

Applicant is one of the following: (please check appropriate box) \*Written Permission of the owner is required for submittal of this application.

Owner     Prospective Buyer\*     Other\*

Owner's Name and Address: Silvador, LLC -P.O. Box 430, No. Truro, MA 02652 - Manager: Daniel Silva

Representative's Name and Address: Marian S. Rose, Law Office of Singer & Singer, LLC P.O. Box 67 Dennisport, MA 02639

Representative's Phone(s), Fax and Email: 508-398-2221, 508-398-1568, msrose@singer-law.com

**2. Waiver(s) Request** – The Planning Board may, upon the request of the applicant, pursuant to §70.3.E, waive requirements of §70.3.D, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

### Signature(s)

Marian Rose

Applicant(s)/Representative Printed Name(s)

Dan Silva

Owner(s) Printed Name(s) or written permission

Marian Rose

Applicant(s)/Representative Signature(s)

Dan Silva (by MSRose)

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

**70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant**

| Address: <u>298 Route 6, Truro, MA</u> Applicant Name: <u>Silvador, LLC</u> |   | Date: March 22, 2021 |              |                        |
|---|---|----------------------|--------------|------------------------|
| No.   | Requirement   | Included             | Not Included | Explanation, if needed |
| <b>D. Procedures and Plan Requirements</b>                                  |   |                      |              |                        |
| 1a.   | An original and 14 copies of the Application for Site Plan Review   | Y                    |              |                        |
| 1b.   | 15 copies of the required plans and other required information including this Checklist   | Y                    |              |                        |
| 1c.   | Completed Criteria Review   | Y                    |              |                        |
| 1d.   | Certified copy of the abutters list obtained from the Truro Assessors Office  | Y                    |              |                        |
| 1e.   | 3 copies of drainage calculations stamped by a Professional Engineer  | Y                    |              |                        |
| 1f.   | Applicable filing fee   | Y                    |              |                        |
| 1g.   | Any other information that may be applicable or required by the Planning Board  | Y                    |              |                        |
| <b>Site Plans</b>   |   |                      |              |                        |
| 2a.   | Site Plans shall be prepared, signed and stamped by a Registered Land Surveyor and Professional Engineer  | Y                    |              |                        |
| 2b.   | Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger  | Y                    |              |                        |
| 3a.   | General - Submitted plans shall contain the following:<br>North Arrow/Location Map: A north arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.  | Y                    |              |                        |
| 3a. 1   |   |                      |              |                        |
| 3a. 2   | Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed. This information shall be placed in a table format which must list all parking; setbacks; percent of lot coverage, broken down by parking, walkways, building(s), etc.; number of dwelling units; total amount of square feet; size of signs, and any other applicable zoning information necessary for the proper review of the site plan. |                      |              |                        |
| <b>Existing:</b>  |   |                      |              |                        |
|   | All parking   | Y                    |              |                        |
|   | All setbacks  | Y                    |              |                        |
|   | Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.   | Y                    |              |                        |
|   | Number of dwelling units  |                      |              | No dwelling units      |
|   | Total amount of square feet   | Y                    |              |                        |

**70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant**

| Address: <u>398 Route 6, Truro, MA</u> Applicant Name: <u>Silvador, LLC</u> Date: <u>March 22, 2021</u> |  |          |              |                          |
|---|--|----------|--------------|--------------------------|
| No.   | Requirement  | Included | Not Included | Explanation, if needed   |
|   | Size of signs  |          | N            | No changes from approved |
|   | Any other applicable zoning information necessary for the proper review of the site plan   |          |              |                          |
|   | <u>Proposed:</u>   |          |              |                          |
|   | All parking  | Y        |              |                          |
|   | All setbacks   | Y        |              |                          |
|   | Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.  | Y        |              |                          |
|   | Number of dwelling units   |          | N            | No dwelling units        |
|   | Total amount of square feet  | Y        |              |                          |
|   | Size of signs  |          | N            | No changes from approved |
|   | Any other applicable zoning information necessary for the proper review of the site plan   | Y        |              |                          |
| 3a. 3   | Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.  | Y        |              |                          |
| 3a. 4   | Graphic Scale  | Y        |              |                          |
| 3a. 5   | Title Block - Including:   | Y        |              |                          |
|   | Name and description of the project  | Y        |              |                          |
|   | Address of the property  | Y        |              |                          |
|   | Names of the record owner(s) and the applicant(s)  | Y        |              |                          |
|   | Date of the preparation of the plan(s) and subsequent revision dates   | Y        |              |                          |
| 3a. 6   | Legend of all symbols  | Y        |              |                          |
| 3b.   | Existing Conditions Plan - showing the following:  |          |              |                          |
| 3b. 1   | Total area and dimensions of the lot shown on a surveyed plan conforming to the requirements of the Barnstable County Registry of Deeds.   | Y        |              |                          |
| 3b. 2   | Location of existing buildings (including the number of stories, overall height in feet, and gross floor area in square feet of all existing buildings), parking, drives, walks, lighting service areas, all utilities, drainage facilities, easements, and other appurtenances, including setbacks from property lines. |          |              |                          |
|   | Location of existing buildings   | Y        |              |                          |
|   | Number of stories  | Y        |              |                          |

**70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant**

| Address: <u>298 Route 6, Truro, MA</u> |   | Applicant Name: <u>Silvador, LLC</u> |              | Date: <u>March 22, 2021</u>   |  |
|--|---|--------------------------------------|--------------|-------------------------------|--|
| No.                                    | Requirement   | Included                             | Not Included | Explanation, if needed        |  |
|  | Overall height in feet  | Y                                    |              |                               |  |
|  | Gross floor area in square feet   | Y                                    |              |                               |  |
|  | Parking   | Y                                    |              |                               |  |
|  | Drives  | Y                                    |              |                               |  |
|  | Walks   | Y                                    |              |                               |  |
|  | Lighting service areas  | Y                                    |              |                               |  |
|  | All utilities   | Y                                    |              |                               |  |
|  | Draining facilities   | Y                                    |              |                               |  |
|  | Easements   | Y                                    |              |                               |  |
|  | Other appurtenances   | Y                                    |              |                               |  |
|  | Setback from property lines   | Y                                    |              |                               |  |
| 3b. 3                                  | Existing contours based on two foot (2') contour intervals.   | Y                                    |              |                               |  |
| 3b. 4                                  | General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH), all resource areas as defined in M.G.L. Chapter 131, Section 40, landscaping and other significant natural features. |                                      | N            | No change from approved plans |  |
| 3b. 5                                  | Respective floor areas and/or square footage of existing uses of buildings and/or the property.   | Y                                    |              |                               |  |
| 3b. 6                                  | Existing location(s) of any freestanding sign(s).   |                                      | N            | No change from approved plans |  |
| 3b. 7                                  | National Flood Insurance Program flood hazard elevation.  | Y                                    |              |                               |  |
| 3b. 8                                  | Massachusetts Natural Heritage Endangered Species Act jurisdiction.   | Y                                    |              |                               |  |
| 3c.                                    | Proposed Conditions Plan - showing the following:   | Y                                    |              |                               |  |
| 3c. 1                                  | Building Location: Identification of all building(s) to be located on the site. The number of stories, overall height in feet and gross floor area in square feet of all buildings shall be indicated.                      | Y                                    |              |                               |  |
| 3c. 2                                  | Building Elevation: A drawing(s) of the exterior of all building(s), as viewed from all sides, including dimensions, at a scale of no smaller than 1/8" = 1'-0". This drawing must be at least 8" x 11" in size.            | Y                                    |              |                               |  |

**70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant**

| Address: <u>298 Route 6, Truro, MA</u> |   | Applicant Name: <u>Slvador, LLC</u> |              | Date: <u>March 22, 2021</u>   |  |
|--|---|-------------------------------------|--------------|---|--|
| No.                                    | Requirement   | Included                            | Not Included | Explanation, if needed  |  |
| 3c. 3                                  | Location of Parking/Walkways: Identification of the location of all parking and walkways, including curb cuts that will be used for site access from adjacent roadways or access points. Parking shall be consistent with the requirements outlined in §30.9.   | Y                                   |              | Relocation of 2 parking spaces to accommodate driveway. Waiver granted in Decision 2019-003/SPR |  |
| 3c. 4                                  | Easements/Legal Conditions: Identification of legal encumbrances(s), including easements, that are related to the site's physical development, and a listing of any condition(s) placed upon the site by the Zoning Board of Appeals, Planning Board, Conservation Commission, Board of Health or any other public body or agency with the authority to place conditions on the site's development. | Y                                   |              | Referenced in original application  |  |
| 3c. 5                                  | Stormwater Drainage: All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.  | Y                                   |              | Drainage drywell added to treat additional stormwater   |  |
| 3c. 6                                  | Grades: Topography and a grading plan of the site.  | Y                                   |              |   |  |
| 3c. 7                                  | Location of Walls: Identification of the location, height, length, and materials to be used for all retaining walls to be located on the site.  | Y                                   |              |   |  |
| 3c. 8                                  | Signs: Identification of the location, height and materials to be used for all signs to be located on the site. Signs will be reviewed using the Town of Truro Sign Code section of the zoning bylaw.   |                                     | N            | No changes from approved Decision   |  |
| 3c. 9                                  | Location of Streets/Drives: Identification of all streets and driveways including the type and dimensions of curbs and gutters. Distances to all the nearest streets and/or curb cuts shall be shown for both sides of any street which is adjacent to the site.  | Y                                   |              |   |  |
| 3c. 10                                 | Outdoor Storage/Display Areas: Identification of the location and type of outdoor storage and display areas on the site.  | Y                                   |              |   |  |
| 3c. 11                                 | Refuse Areas: Identification of the location of each outdoor refuse storage area, including the method of storage and screening. All refuse areas must be fully enclosed.   | Y                                   |              |   |  |

**70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant**

| Address: <u>298 Route 6, Truro, MA</u> |  | Applicant Name: <u>Silvador, LLC</u> |              | Date: <u>March 22, 2021</u>         |
|--|--|--------------------------------------|--------------|-------------------------------------|
| No.                                    | Requirement  | Included                             | Not Included | Explanation, if needed              |
| 3c. 12                                 | Lighting Facilities: Identification of all illumination, including numbers and locations, indicating the direction and the degree of illumination offered by the lighting facilities and including specifications of the light fixture(s) to be used. (Also see General Bylaws Ch. IV §6.)   | Y                                    |              |                                     |
| 3c. 13                                 | Location of Wetlands and Other Resource Areas: All resource areas as defined in M.G.L. Chapter 131, Section 40. (If applicable, the applicant shall file a Notice of Intent with the Truro Conservation Commission concurrently with the application to the Planning Board for Site Plan Review.)  | Y                                    |              |                                     |
| 3c. 14                                 | Location and Description of Utilities. Identification of all utilities, including sewer line locations and profiles and storm drainage systems.  | Y                                    |              |                                     |
| 3c. 15                                 | Parking and Driveway Cross Section: a cross section identifying the proposed construction of driveways and parking areas on the site.  |                                      | N            |                                     |
| 3c. 16                                 | Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s).   |                                      |              |                                     |
| 3d.                                    | Proposed landscape schedule for, and identification of, the location of all perimeter and interior landscaping – showing the following:<br>Proposed paving materials for walkways<br>Fences<br>Stonewalls<br>All planting materials to be placed on the site<br>All existing trees over 10 inches diameter at breast height (DBH) to be saved or removed shall be shown on the site plan | Y                                    |              | Waiver granted in original Decision |
| 3e.                                    | Building Plans – at a scale of no less than 1/8" = 1'-0" showing the following:  |                                      |              |                                     |
| 3e. 1                                  | Elevations showing exterior materials and features including but not limited to doors, windows, trim, roof, lighting and including the height of the building(s).  | Y                                    |              |                                     |
| 3e. 2                                  | Floor plans with dimensions.   |                                      |              |                                     |
| 3f.                                    | Project Estimate:<br>Estimated date of initiation  |                                      |              |                                     |
|  | Estimated time required to complete the proposed project and any and all phases thereof  |                                      |              |                                     |
|  | Written cost estimate with a breakdown of the building(s) and all site improvements  |                                      |              |                                     |

**ADDRESSING THE REVIEW CRITERIA**

**§ 70.1 PURPOSE**

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

**Instructions:** Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.3F of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

**§70.3F – REVIEW CRITERIA/DESIGN GUIDELINES**

The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw because:

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Please see attached Narrative and Decision 2019-003/SPR.

The only changes proposed relate to replacing elevator access to the upper floor with drivable access to a proposed rear platform deck; increased landscaping and an additional drain to accommodate increased coverage created by drivable access.

2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses because:

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Please see attached Decision 2019-003/SPR

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3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro because:

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Please see attached Decision 2019-003/SPR

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4. The proposal provides for the protection of significant or important natural, historic, or scenic features because:

\_\_\_ Please see attached Decision 2019-003/SPR

5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention because:

\_\_\_ Please see attached Decision 2019-003/SPR  
\_\_\_ Landscaping, as shown on proposed Landscape Plan.

6. The proposal adequately provides for refuse disposal because:

\_\_\_ Please see attached Decision 2019-003/SPR

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use because:

\_\_\_ Please see attached Decision 2019-003/SPR

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool because:

\_\_\_ Please see attached Decision 2019-003/SPR  
\_\_\_ Drainage calculations were reassessed in light of proposed increase in previous coverage and an additional drain is proposed.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction because:

\_\_\_\_ Please see attached Decision 2019-003/SPR  
\_\_\_\_ The work area at the rear of Building II is altered to accommodate construction of the drivable access, an adequate soil erosion plan is proposed.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises because:

\_\_\_\_ Please see attached Decision 2019-003/SPR  
\_\_\_\_ In addition, please review Proposed Landscape Plan showing 8 (eight) 4' Leyland Cyprus proposed on western bound, 6 (six) 5-6' Leyland Cyprus on southern bound and 3 (three) Leyland Cyprus on south-east corner. Additional landscaping shown in landscaped area between proposed drive and building.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area because:

\_\_\_\_ Please see attached Decision 2019-003/SPR

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground because:

\_\_\_\_ Please see attached Decision 2019-003/SPR

13. The project shall not place excessive demands on Town services because:

\_\_\_\_ Please see attached Decision 2019-003/SPR

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged because:

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Please see attached Decision 2019-003/SPR

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15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site because:

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Please see attached Decision 2019-003/SPR

---

Drivable access surrounding Building II will better accommodate vehicles including but not limited to emergency and/or Fire Department Vehicles.

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16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s) because:

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Please see attached Decision 2019-003/SPR

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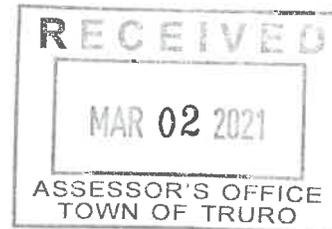


# TOWN OF TRURO

## Assessors Office

### Certified Abutters List

### Request Form



DATE: March 2, 2021

NAME OF APPLICANT: Silvador, LLC

NAME OF AGENT (if any): Marian S. Rose, Attorney – Law Office of Singer & Singer, LLC

MAILING ADDRESS: P.O. Box 67 – (26 Upper County Road), Dennisport, MA 02639

CONTACT: HOME/CELL 508-398-2221 EMAIL msrosc@singer-law.com

PROPERTY LOCATION: 298 State Highway/ Route 6, Truro, MA 02657  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 43 PARCEL 57 EXT. \_\_\_\_\_  
(if condominium)

ABUTTERS LIST NEEDED FOR: FEE: \$15.00 per checked item  
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Board of Health <sup>5</sup>         | <input type="checkbox"/> Planning Board (PB)                           | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission                  | <input type="checkbox"/> Special Permit <sup>1</sup>                   | <input type="checkbox"/> Special Permit <sup>1</sup>   |
| <input type="checkbox"/> Conservation Commission <sup>4</sup> | <input checked="" type="checkbox"/> Site Plan <sup>2</sup> - AMENDMENT | <input type="checkbox"/> Variance <sup>1</sup>         |
| <input type="checkbox"/> Licensing                            | <input type="checkbox"/> Preliminary Subdivision <sup>3</sup>          |  |
| Type: _____   | <input type="checkbox"/> Definitive Subdivision <sup>3</sup>           |  |
|   | <input type="checkbox"/> Accessory Dwelling Unit (ADU) <sup>2</sup>    |  |
| <input type="checkbox"/> Other _____                          | (Fee: Inquire with Assessors)  |  |
- (Please Specify)

**Note:** Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

#### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 3/2/2021 Date completed: 3/2/2021  
List completed by: D. Farrell Date paid: DUE Cash/Check \_\_\_\_\_

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



**TRURO ASSESSORS OFFICE**  
PO Box 2012 Truro, MA 02666  
Telephone: (508) 214-0921  
Fax: (508) 349-5506

**Date:** March 2, 2021

**To:** Marian S. Rose, Agent

**From:** Assessors Department

**Certified Abutters List:** 298 Route 6

**Site Plan**

Attached is a combined list of abutters for the property located at 298 Route 6.

The current owner is Silvador LLC.

The names and addresses of the abutters are as of February 24, 2021 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

Olga Farrell  
Assessing Clerk

TOWN OF TRURO, MA  
 BOARD OF ASSESSORS  
 P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



| Key  | Parcel ID  | Owner   | Location         | Mailing Street                | Mailing City  | ST | Zip Cd/Country |
|------|------------|---|------------------|-------------------------------|---------------|----|----------------|
| 1766 | 42-184-0-R | DEMASI SHIRLEY M IRREV TRUST<br>TRS: DEMASI SHIRLEY M           | 8 CABRAL FARM RD | 90 ELLIOT AVE                 | QUINCY        | MA | 02171-2808     |
| 1767 | 42-185-0-R | DEMASI SHIRLEY M IRREV TRUST<br>TRS: DEMASI SHIRLEY M           | 302 RT 6         | C/O SEARCY JOEL<br>PO BOX 640 | TRURO         | MA | 02666-0640     |
| 1768 | 42-186-0-R | PERRY CLAIRE A LIVING TRUST<br>TRS: PERRY CLAIRE A              | 300 RT 6         | PO BOX 1016                   | TRURO         | MA | 02666-1016     |
| 1769 | 42-187-0-R | LAMADRID RENE G   | 7 ANDERSON WAY   | PO BOX 1233                   | TRURO         | MA | 02666-1233     |
| 1770 | 42-188-0-R | LUND DAVID R & RENARD BRIAN T                                   | 8 ANDERSON WAY   | PO BOX 79                     | TRURO         | MA | 02666-0079     |
| 1771 | 42-189-0-R | FLANAGAN PAUL A & SHARON A                                      | 6 ANDERSON WAY   | 11 PEACH TREE WAY             | PEMBROKE      | MA | 02359-2728     |
| 1772 | 42-190-0-R | HOVANEC MARK  | 4 ANDERSON WAY   | 241 NORTH WINDHAM RD          | NORTH WINDHAM | CT | 06526          |
| 1873 | 42-293-0-R | ROME STEPHEN WILLIAM &<br>PACKARD LESLIE H                      | 6 CABRAL FARM RD | 418 COMMERCIAL ST             | PROVINCETOWN  | MA | 02657          |
| 1892 | 43-15-0-R  | FALKENBURG II WARREN H &<br>RUDELLE T                           | 1 STORY BOOK LN  | PO BOX 156                    | NORTH TRURO   | MA | 02652          |
| 1923 | 43-46-0-R  | BARNA ERIC M & GRACE E  | 5 ANDERSON WAY   | 55 TODD HILL RD               | POUGHKEEPSIE  | NY | 12603          |
| 1924 | 43-47-0-R  | ANDERSON RICHARD A SR & DEBBIE                                  | 3 ANDERSON WAY   | 355 DIANE CIR                 | ABINGTON      | MA | 02351          |
| 1925 | 43-48-0-E  | THE SEACENT PINES 126 CONDO                                     | 126 CASTLE RD    | 5 ROCKWELL PL                 | MILTON        | MA | 02186          |
| 7259 | 43-48-1-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL | 126 CASTLE RD    | PO BOX 12                     | TRURO         | MA | 02666          |
| 7260 | 43-48-2-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL | 126 CASTLE RD    | PO BOX 12                     | TRURO         | MA | 02666          |
| 7261 | 43-48-6-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL | 126 CASTLE RD    | PO BOX 12                     | TRURO         | MA | 02666          |

*JWC 3/2/2021*

| Key  | Parcel ID  | Owner   | Location           | Mailing Street      | Mailing City | ST | ZipCd/Country |
|------|------------|---|--------------------|---------------------|--------------|----|---------------|
| 1926 | 43-49-0-E  | THE SEACENT PINES CONDOMINIUM<br>RMDR: CAROL PESIRI     | 124 CASTLE RD      | 5 ROCKWELL PL       | MILTON       | MA | 02186         |
| 7251 | 43-49-3-R  | PESIRI CAROL A  | 124 CASTLE RD      | PO BOX 12           | TRURO        | MA | 02666         |
| 7252 | 43-49-4-R  | REAGOR BRION  | 124 CASTLE RD      | 21 COMMERCIAL DRIVE | BERWICK      | ME | 03901         |
| 7254 | 43-49-5-R  | GALLAGHER CAITLIN                                       | 124 CASTLE RD      | 99 GORE ST, APT 1   | CAMBRIDGE    | MA | 02141         |
| 7253 | 43-49-11-R | PESIRI CAROL A  | 124 CASTLE RD      | PO BOX 12           | TRURO        | MA | 02666         |
| 1927 | 43-50-0-R  | OASIS CLAN REV LIV TRUST<br>TRS MONAHAN SEAN T & LISA A | 25 WHITMANVILLE RD | PO BOX 651          | NO TRURO     | MA | 02652         |
| 1988 | 43-116-0-R | DELGIZZI DANIEL R                                       | 296 RT 6           | 3 BITTERSWEET LANE  | WESTON       | MA | 02493-1903    |
| 2057 | 43-185-0-R | FALKENBURG II WARREN H &<br>RUDELLE T                   | 29 WHITMANVILLE RD | PO BOX 156          | NORTH TRURO  | MA | 02652         |
| 2058 | 43-186-0-R | FALKENBURG II WARREN H &<br>RUDELLE T                   | 27 WHITMANVILLE RD | PO BOX 156          | NORTH TRURO  | MA | 02652         |
| 5752 | 43-207-0-R | MORRIS PETER  | 23 WHITMANVILLE RD | PO BOX 80           | TRURO        | MA | 02666         |

|            |   |            |  |            |   |
|------------|---|------------|--|------------|---|
| 42-184-0-R | DEMASI SHIRLEY M IRREV TRUST<br>TRS: DEMASI SHIRLEY M<br>90 ELLIOT AVE<br>QUINCY, MA 02171-2808 | 42-185-0-R | DEMASI SHIRLEY M IRREV TRUST<br>TRS: DEMASI SHIRLEY M<br>C/O SEARCY JOEL<br>PO BOX 640<br>TRURO, MA 02666-0640 | 42-186-0-R | PERRY CLAIRE A LIVING TRUST<br>TRS: PERRY CLAIRE A<br>PO BOX 1016<br>TRURO, MA 02666-1016       |
| 42-187-0-R | LAMADRID RENE G<br>PO BOX 1233<br>TRURO, MA 02666-1233  | 42-188-0-R | LUND DAVID R & RENARD BRIAN T<br>PO BOX 79<br>TRURO, MA 02666-0079   | 42-189-0-R | FLANAGAN PAUL A & SHARON A<br>11 PEACH TREE WAY<br>PEMBROKE, MA 02359-2728                      |
| 42-190-0-R | HOVANEC MARK<br>241 NORTH WINDHAM RD<br>NORTH WINDHAM, CT 06526                                 | 42-293-0-R | ROME STEPHEN WILLIAM &<br>PACKARD LESLIE H<br>418 COMMERCIAL ST<br>PROVINCETOWN, MA 02657                      | 43-15-0-R  | FALKENBURG II WARREN H &<br>RUDELLE T<br>PO BOX 156<br>NORTH TRURO, MA 02652                    |
| 43-46-0-R  | BARNA ERIC M & GRACE E<br>55 TODD HILL RD<br>POUGHKEEPSIE, NY 12603                             | 43-47-0-R  | ANDERSON RICHARD A SR & DEBBIE<br>355 DIANE CIR<br>ABINGTON, MA 02351  | 43-48-0-E  | THE SEACENT PINES 126 CONDO<br>5 ROCKWELL PL<br>MILTON, MA 02186                                |
| 43-48-1-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL<br>PO BOX 12<br>TRURO, MA 02666 | 43-48-2-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL<br>PO BOX 12<br>TRURO, MA 02666                | 43-48-6-R  | PESIRI FAMILY INVESTMENT TRUST<br>TRS: PESIRI RICHARD S & CAROL<br>PO BOX 12<br>TRURO, MA 02666 |
| 43-49-0-E  | THE SEACENT PINES CONDOMINIUM<br>RMDR: CAROL PESIRI<br>5 ROCKWELL PL<br>MILTON, MA 02186        | 43-49-3-R  | PESIRI CAROL A<br>PO BOX 12<br>TRURO, MA 02666   | 43-49-4-R  | REAGOR BRION<br>21 COMMERCIAL DRIVE<br>BERWICK, ME 03901  |
| 43-49-5-R  | GALLAGHER CAITLIN<br>99 GORE ST, APT 1<br>CAMBRIDGE, MA 02141                                   | 43-49-11-R | PESIRI CAROL A<br>PO BOX 12<br>TRURO, MA 02666   | 43-50-0-R  | OASIS CLAN REV LIV TRUST<br>TRS MONAHAN SEAN T & LISA A<br>PO BOX 651<br>NO TRURO, MA 02652     |
| 43-116-0-R | DELGIZZI DANIEL R<br>3 BITTERSWEET LANE<br>WESTON, MA 02493-1903                                | 43-185-0-R | FALKENBURG II WARREN H &<br>RUDELLE T<br>PO BOX 156<br>NORTH TRURO, MA 02652                                   | 43-186-0-R | FALKENBURG II WARREN H &<br>RUDELLE T<br>PO BOX 156<br>NORTH TRURO, MA 02652                    |
| 43-207-0-R | MORRIS PETER<br>PO BOX 80<br>TRURO, MA 02666  |            |  |            |   |

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

\_\_\_\_\_  
Myer R. Singer (1938-2020)

Tel: (508) 398-2221  
Fax: (508) 398-1568  
www.singer-law.com

## **Site Plan Review and/or Amendment to Planning Board Decision 2019-003/SPR Narrative**

Project Name: Tradesmen's Park South  
Property: 298 Route 6 (State Highway), Truro, MA  
Applicant: Silvador LLC

The Cape Cod Commission and the Truro Planning Board have approved the development of the land located at 298 Route 6 (State Highway) in Truro with two buildings to be used by local tradesmen and for conditioned self-storage. The Applicant has completed Phase I of the development and a Certificate of Compliance has been issued by the Town of Truro. Prior to beginning Phase II (the build-out of Building 2), the Applicant has determined that access to the conditioned storage area on the upper level would be more safely, reliably and efficiently met by replacing the approved elevator access and accompanying design elements connected to such access with direct drive-able access to the conditioned storage by means of a graded one-way driveway to a raised deck at the rear of Building 2 and continuing to the north-east corner of Building 2. At present, the revisions to Phase II of the project described below are under review as a minor modification by the Cape Cod Commission and the Commission has approved Applicant's request for simultaneous Planning Board review.

Proposed amendments to the approved plan are requested in order to provide the revised drive-able access. The Applicant requests that these changes be approved as an amendment to the Planning Board Decision 2019-003/SPR:

1. The elevator shaft and parking pad at the northwest corner of Building 2 to be removed and a one-way driveway originating at the northwest corner of Building 2, rising in elevation to meet proposed raised platform deck at rear of Building 2 and returning to grade level on northeast corner of

- Building 2 is proposed. At its closest points, the proposed drive will be no closer than six feet from the south-west property line, sixteen feet from the southerly property line and seven feet from the eastern property line. The proposed driveway will be twelve feet wide and would be designed so that an eight-foot-wide landscaped buffer would exist between the building and the driveway and the turning radii for the driveway extension will be identical in scope to the radius of the northeast corner of Building 1, previously approved by the Truro Planning Board and with the support of the Truro Fire Department in Planning Board Commercial Site Plan Review Decision 2019-003/SPR;
2. The Applicant has revised parking to reflect the actual use of Building 1 where three of the contractor's bays (requiring two spaces per bay) are being used as storage (a use which requires one space per ten units). Thirty-five parking spaces were originally approved by the Planning Board and Cape Cod Commission and the Applicant requests an amended number of thirty-one, where twenty-eight are required under the Truro Zoning By-Law for the uses permitted on the Property;
  3. The approved exterior stairs on southeast corner of Building 2 to be removed and secondary access replaced by rear access and the existing and unchanged access from the northwest corner of Building 2. The exterior light on the south-east corner near the removed exterior stairs will be relocated to at or near the proposed raised platform deck at the rear center of Building 2;
  4. A proposed tight tank to be installed as required by the State Plumbing Code for commercial garage bays with vehicle access; the two approved roof drain dry wells at the east and west sides of Building 2 would be moved twenty-five feet to the north corners of Building 2 as shown on the proposed condition plan, and the relocation of exterior LP bottles to locations shown on the proposed conditions plan as suggested by the propane tank supplier subsequent to permitting.
  5. The proposed work limit along south border to be amended to accommodate construction of the proposed rear driveway extension. In the proposed expanded work area, two pine trees (now dead) will be removed to accommodate this work. Applicants propose to plant additional trees as shown on the proposed landscape plan which will result in a net increase of eighteen additional trees and at least seven shrubs on the site. The elevated access proposed will, in effect, screen Building 2 by reducing exposed wall area by the elevated driveway.
  6. In terms of overall effect on the Property, the proposed site plan would increase building coverage on the site from 25.3% (12,600 square feet) approved to 25.4% (12,680 square feet) proposed (an increase of eighty square feet). Pavement, retaining walls and parking would increase from 43.9% (21,915 square feet) approved to 52.3% (26,077 square feet) proposed. Open space be reduced from 30.8% (15,377 square feet) to 22.3% (11,135 square feet).

7. Drainage on the site has been recalculated to determine whether the increase in building coverage and impervious areas in Parking/Driveway Area 2 and Parking/Driveway Area 3. No additional remediation is needed in the Parking/Driveway Area 2 (which includes the extension of the rear driveway). An additional leach pit is proposed to be installed in Parking/Driveway Area 3 and is shown on the Revised Site Plan dated February 16, 2021 attached. The proposal meets the site design requirements of the Water Resource Protection District to direct runoff toward vegetated swales or basins for surface infiltration and by maximizing protection of groundwater through siting potential pollution sources such as on-site disposal systems outside of the District to the extent feasible. In addition, the Applicant has included best management practices for the protection of the groundwater within the Interim Wellhead Protection Area.

Based on the foregoing, the Applicant respectfully requests approval of the redevelopment as an amendment to the Planning Board Site Plan Decision covering Phase I and Phase II of the redevelopment of 298 Route 6A to include the changes as per the proposed condition site plan and landscape plan attached.



# The Commonwealth of Massachusetts

## TOWN OF TRURO

*In accordance with the Massachusetts State Building Code; 780 CMR Section R110 Ninth Edition, this*

### CERTIFICATE OF USE AND OCCUPANCY

Is issued to Silvador LLC

Of: P.O. Box 430, North Truro, MA 02652

I certify that I have inspected the Tradesman Park – South, Building # 1

Map 43 Parcel 57

Located at 298 Route 6 in the Town of Truro County of Barnstable, Commonwealth of Massachusetts.  
The building is hereby certified to be in compliance with the Code and for the purpose stated below.

USE GROUP **S-1**

TYPE OF CONSTRUCTION II B OCCUPANCY LOAD

AUTOMATIC SPRINKLER SYSTEM:  YES  NO  REQUIRED

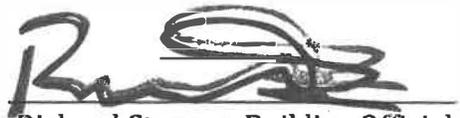
TYPE OF SPRINKLER: N/A

May 27, 2020

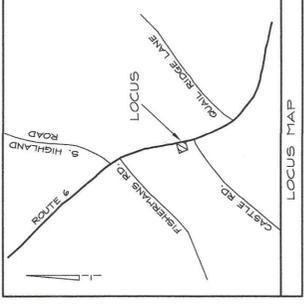
Associated with Building Permit # 19-260, Building # 1

Date Certificate Issued

Conditions if Any:

  
Richard Stevens, Building Official

*The building official shall be notified of any changes in the above information.*



# SITE PLAN

SHOWING REVISED DRIVENWAY FOR PROPOSED BUILDING #2  
**298 STATE HIGHWAY - ROUTE 6**  
**TRADESMAN PARK - SOUTH**  
**TRURO, MA**

PREPARED FOR:

**TRADESMAN PARK - SOUTH**

FEBRUARY 16, 2021 SCALE AS NOTED

REVISED: MARCH 19, 2021

REFERENCE: -ASSESSORS MAP 43 PARCEL 57

"SITE PLAN  
 SHOWING EXISTING CONDITIONS AND  
 PROPOSED COMMERCIAL DEVELOPMENT  
 298 STATE HIGHWAY - ROUTE 6  
 TRURO, MA  
 PREPARED FOR:  
 TRADESMAN PARK - SOUTH  
 REVISED: MAY 10, 2019"

**East Cape Engineering, Inc.**

CIVIL ENGINEERS  
 LAND SURVEYORS  
 # 44 Route 28, Orleans, Mass.  
 (508) 255-7120



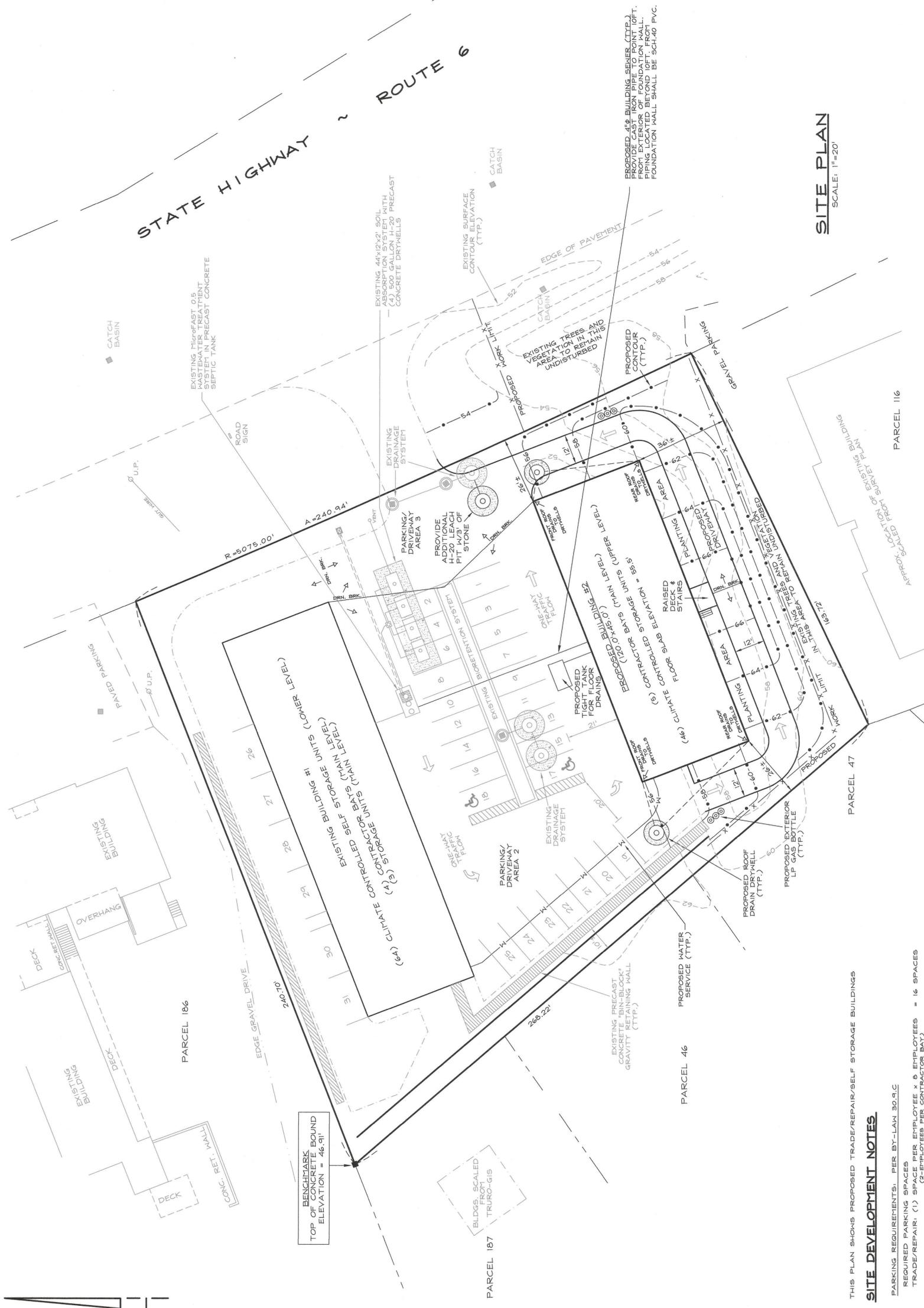
*Timothy J. Brady*  
 PROFESSIONAL ENGINEER

3/19/21  
 DATE

STATE HIGHWAY ~ ROUTE 6

# SITE PLAN

SCALE: 1"=20'



THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

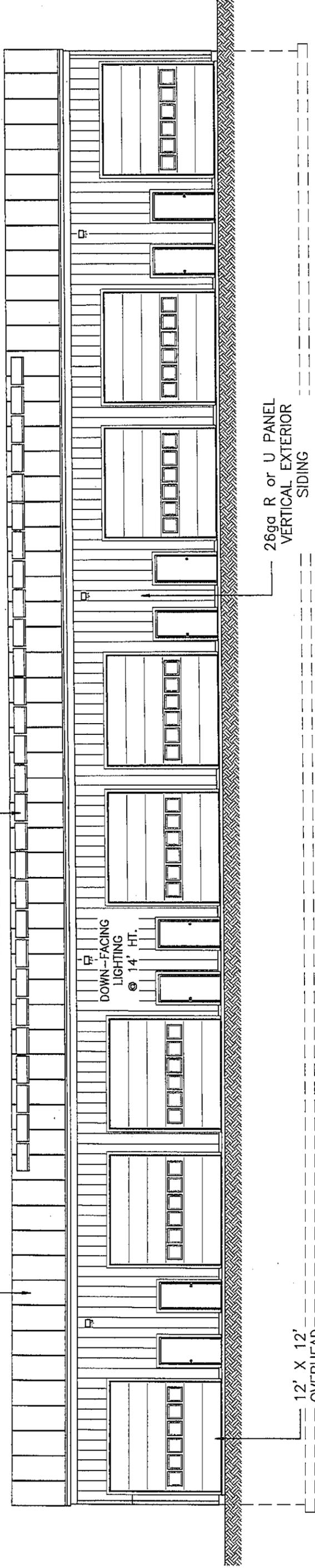
### SITE DEVELOPMENT NOTES

- PARKING REQUIREMENTS: PER BY-LAW 30.5.C
  - REQUIRED PARKING SPACES
  - TRADE/REPAIR: (1) SPACE PER EMPLOYEE x 6 EMPLOYEES = 16 SPACES (2-EMPLOYEES PER CONTRACTOR BAY)
  - BUILDING #1 MAIN LEVEL STORAGE UNITS: 1 SPACE PER 3 UNITS = 11 SPACES
  - SELF-STORAGE: (1) SPACE PER 10 UNITS x 110 UNITS = 12 SPACES
  - TOTAL SPACES REQUIRED: 28 SPACES
  - TOTAL SPACES PROVIDED: 31 SPACES
- GENERAL SITE COVERAGES:
- |   |                      |
|---|----------------------|
| TOTAL LOT AREA:                           | 49,642± Sq.Ft.       |
| BUILDING COVERAGE (INCLUDES RAISED DECK): | 25.4% 12,600± Sq.Ft. |
| PAVEMENT/PARKING/RET. WALLS:              | 52.3% 26,077± Sq.Ft. |
| OPEN SPACE:                               | 22.3% 11,135± Sq.Ft. |



24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT



26ga R or U PANEL  
VERTICAL EXTERIOR  
SIDING

12' X 12'  
OVERHEAD  
GARAGE DOOR

160'-0"

**FRONT ELEVATION**

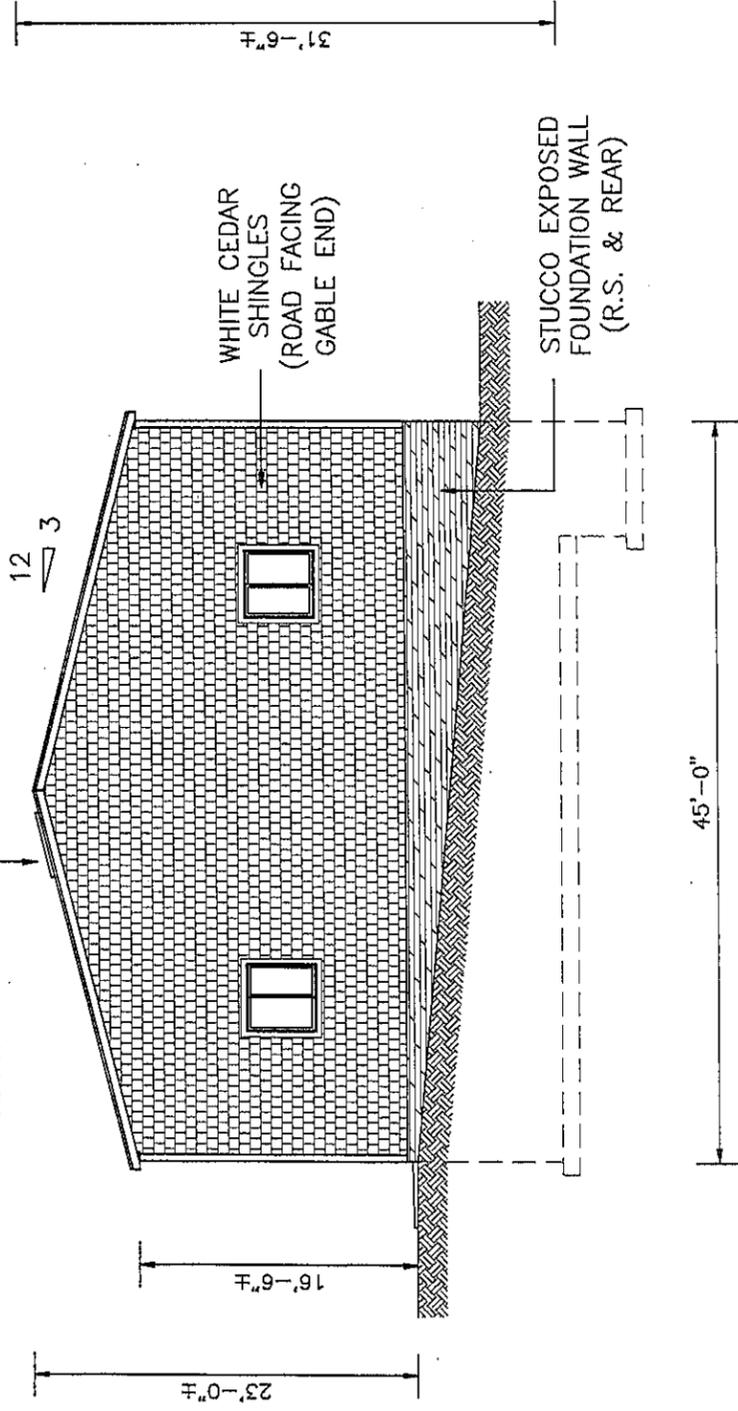
( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = CHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT



WHITE CEDAR  
SHINGLES  
(ROAD FACING  
GABLE END)

STUCCO EXPOSED  
FOUNDATION WALL  
(R.S. & REAR)

16'-6"

23'-0"

45'-0"

**RIGHT SIDE  
ELEVATION**

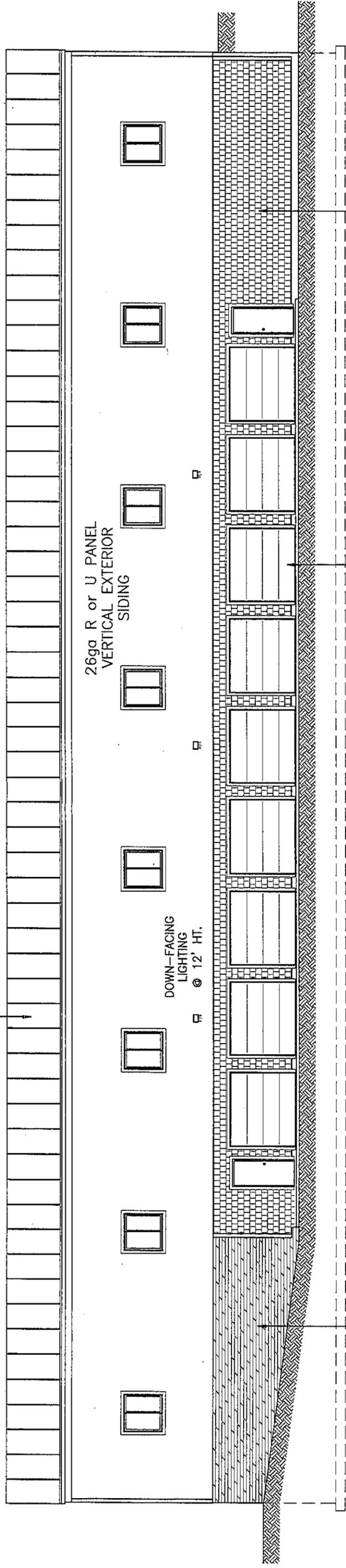
( 3/32" = 1' )

**DJS 298 RT. 6**

BUILDING 1

11/9/2018 SHEET 1 OF 4

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM



STUCCO EXPOSED  
FOUNDATION WALL  
(R.S. & REAR)

8'w. X 7'ht.  
OVERHEAD  
GARAGE DOOR

WHITE CEDAR  
SHINGLES  
(LOWER REAR  
WALL)

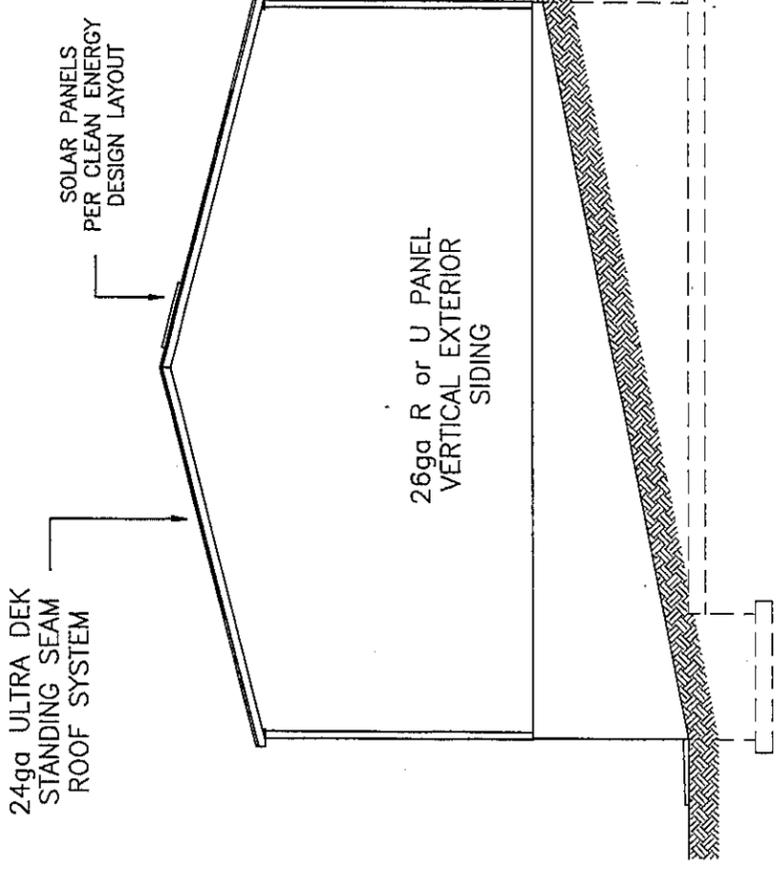
**REAR ELEVATION**

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = CHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE



**LEFT SIDE  
ELEVATION**

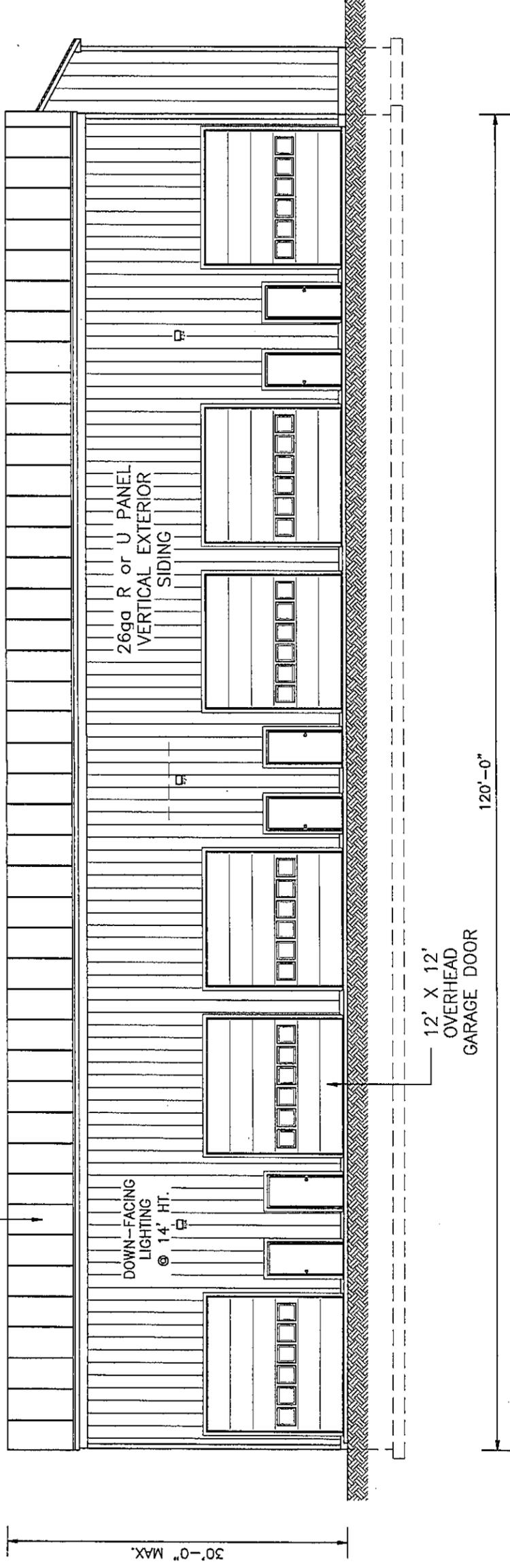
( 3/32" = 1' )

DJS 298 RT. 6

BUILDING 1

11/9/2018 SHEET 2 OF 4

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM



### FRONT ELEVATION

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

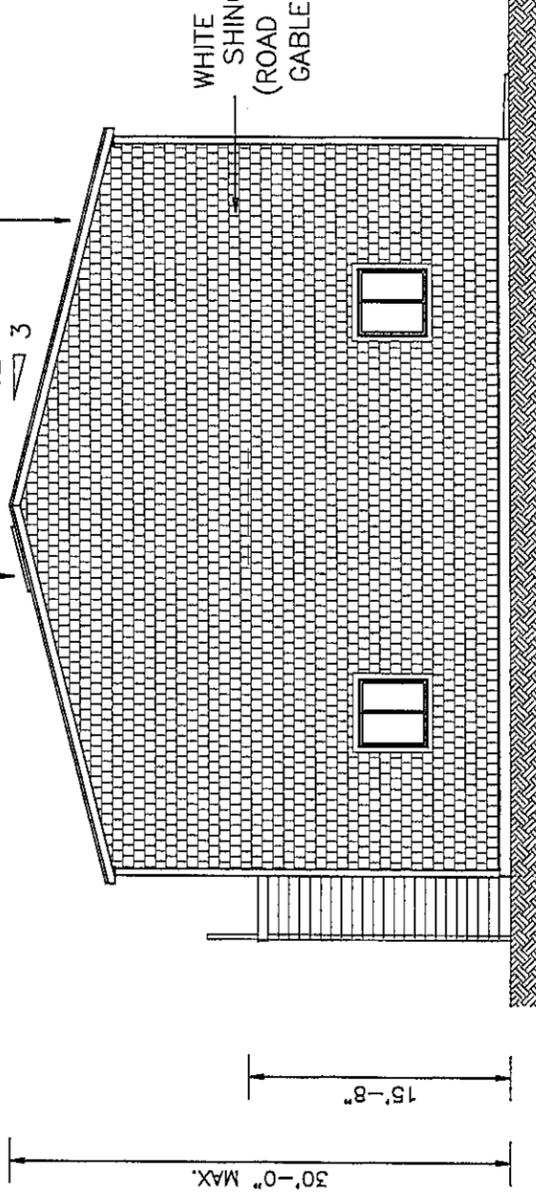
### LEFT SIDE ELEVATION

( 3/32" = 1' )

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

WHITE CEDAR  
SHINGLES  
(ROAD FACING  
GABLE END)

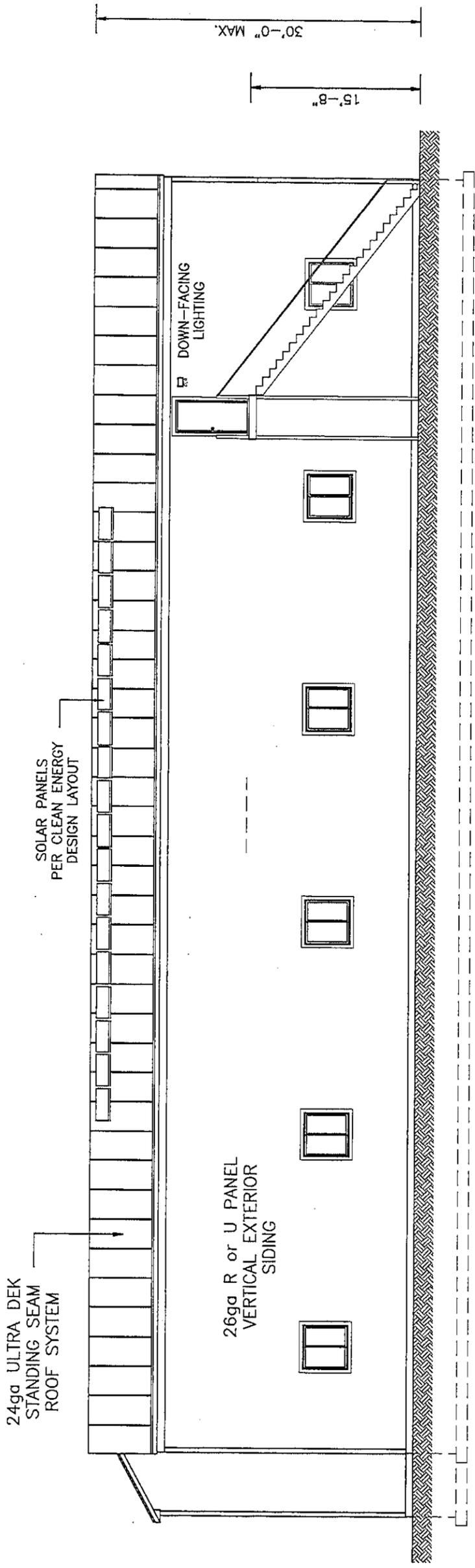
SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT



# DJS 298 RT. 6

BUILDING 2

11/9/2018 SHEET 3 OF 4



120'-0"

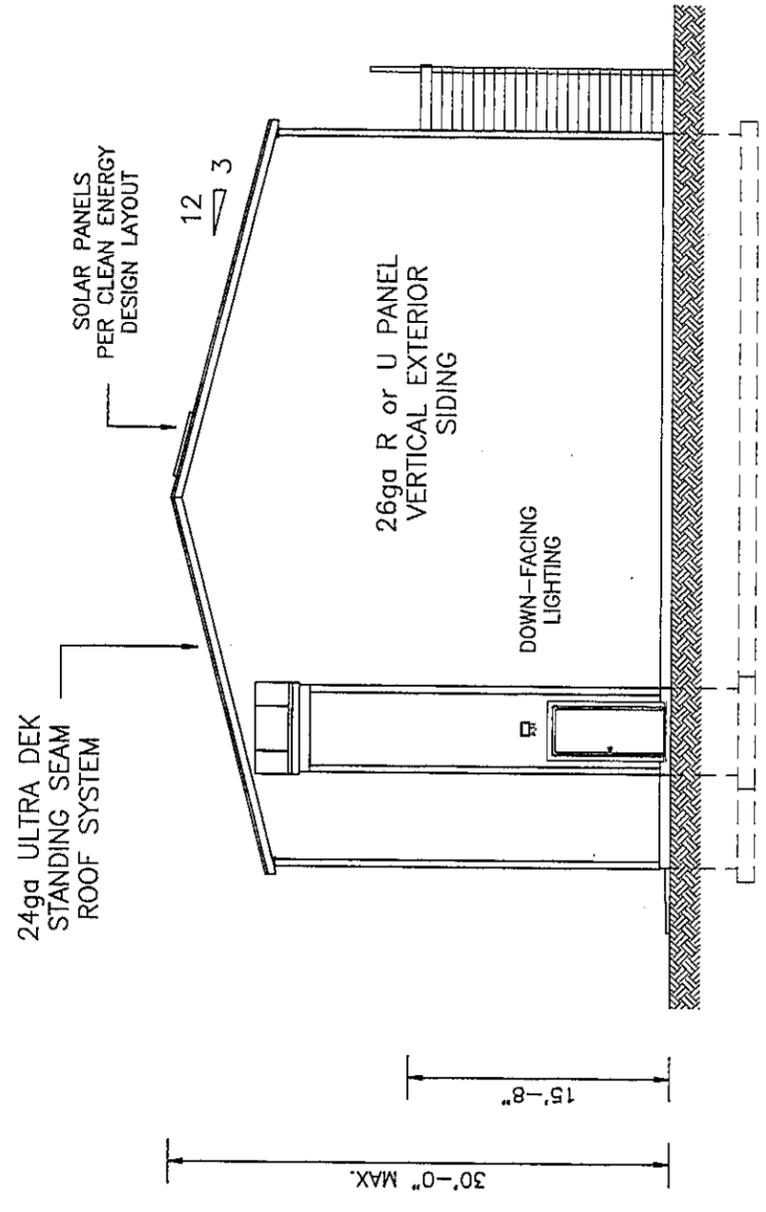
**REAR ELEVATION**

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE



**RIGHT SIDE ELEVATION**

( 3/32" = 1' )

**DJS 298 RT. 6**

**SITE PLAN**

SHOWING EXISTING CONDITIONS AND PROPOSED COMMERCIAL DEVELOPMENT

**298 STATE HIGHWAY - ROUTE 6 TRURO, MA**

PREPARED FOR:

**TRADESMAN PARK - SOUTH**

APRIL 4, 2018 SCALE: AS NOTED

REVISED: JUNE 28, 2018

REVISED: JULY 10, 2018

REVISED: SEPTEMBER 11, 2018

REVISED: FEBRUARY 13, 2019

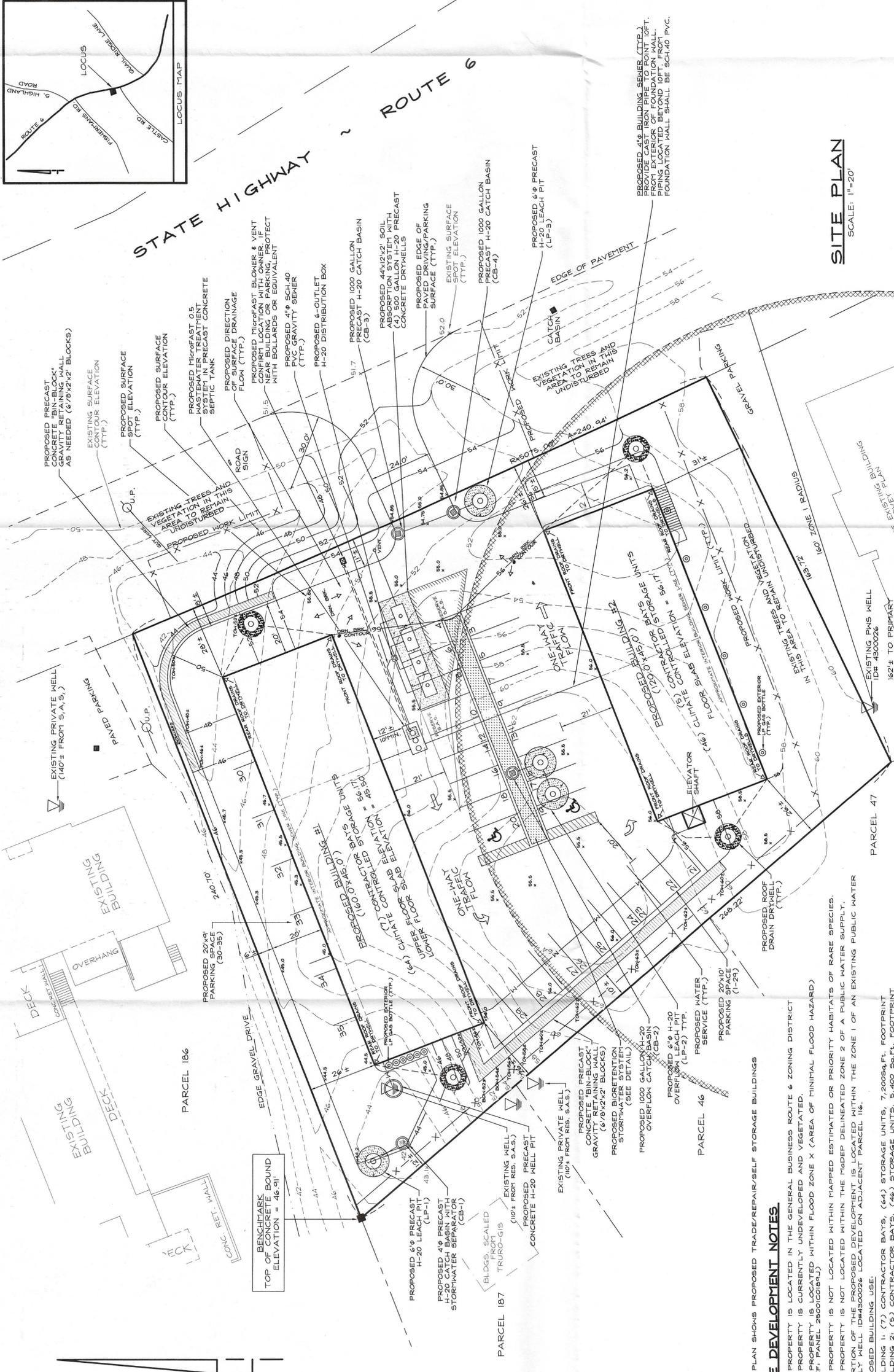
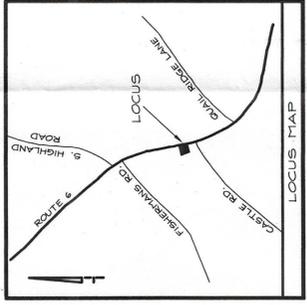
REVISED: APRIL 12, 2019

REVISED: MAY 10, 2019

REFERENCE: ASSESSORS MAP 43 PARCEL 57

**GENERAL NOTES**

1. DATUM TAKEN FROM TRURO ASSESSORS MAP TOPOGRAPHY.
2. REFER TO ARCHITECTURAL PLANS PREPARED FOR D.S. 298 RT. 6 FOR FLOOR LAYOUT, DIMENSIONS AND ELEVATIONS OF PROPOSED BUILDINGS.
3. ON-SITE UTILITY LINES INCLUDING ELECTRIC, COMMUNICATIONS, CABLE AND GAS LINES LOCATED OUTSIDE PROPERTY BOUNDARY HAVE NOT BEEN SHOWN, DESIGNED FOR A 50 YEAR STORM EVENT.
4. SUBSURFACE STORMWATER DRAINAGE SYSTEMS SHOWN HAVE BEEN DESIGNED IN ACCORDANCE WITH 310 CMR 15.000.
5. NO KNOWN SEWAGE DISPOSAL SYSTEMS WITHIN 100' OF EXISTING WELL.
6. NO KNOWN WELLS WITHIN 100' OF PROPOSED SOIL ABSORPTION SYSTEM.
7. BUILDING LIGHTING HAS NOT BEEN SHOWN ON THIS PLAN. LOCATION AND STYLE OF LIGHTING TO BE SHOWN ON ARCHITECTURAL DRAWINGS.



**SITE PLAN**  
SCALE: 1"=20'

**SITE DEVELOPMENT NOTES**

THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

THIS PROPERTY IS LOCATED IN THE GENERAL BUSINESS ROUTE 6 ZONING DISTRICT. THIS PROPERTY IS CURRENTLY UNDEVELOPED AND VEGETATED. THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) (REF. PANEL 2500C0189J)

THIS PROPERTY IS NOT LOCATED WITHIN MAPPED ESTIMATED OR PRIORITY HABITATS OF RARE SPECIES. THIS PROPERTY IS NOT LOCATED WITHIN THE MDEP DELINEATED ZONE 2 OF A PUBLIC WATER SUPPLY. A PORTION OF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE ZONE 1 OF AN EXISTING PUBLIC WATER SUPPLY WELL ID#4300026 LOCATED ON ADJACENT PARCEL 116.

PROPOSED BUILDING USE:  
BUILDING 1: (7) CONTRACTOR BAYS, (64) STORAGE UNITS, 7,200 SQ. FT. FOOTPRINT  
BUILDING 2: (5) CONTRACTOR BAYS, (46) STORAGE UNITS, 5,400 SQ. FT. FOOTPRINT

MINIMUM LOT REQUIREMENTS, PER BY-LAW SECTION 50.1A  
REQUIRED LOT AREA = 33,750 SQ. FT. 49,892± SQ. FT. PROVIDED  
REQUIRED FRONTAGE = 150 FT. 240.94 FT. PROVIDED

MINIMUM REQUIRED YARD SETBACKS, PER BY-LAW SECTION 50.1A  
REQUIRED FRONT YARD, 25 FT. MINIMUM  
SIDE YARD, 25 FT. MINIMUM  
REAR YARD, 25 FT. MINIMUM

MAXIMUM BUILDING HEIGHT, PER BY-LAW SECTION 50.1A  
PROPOSED BUILDING HEIGHT = 30 FT. ABOVE AVERAGE GRADE  
PROPOSED BUILDING HEIGHT = (REFER TO ARCHITECTURAL ELEVATIONS)

PARKING REQUIREMENTS, PER BY-LAW 30.9.C  
REQUIRED PARKING SPACES  
TRADE/REPAIR: (1) SPACE PER EMPLOYEE X 24 EMPLOYEES = 24 SPACES  
SELF-STORAGE: (1) SPACE PER 10 UNITS X 110 UNITS = 11 SPACES

GENERAL SITE COVERAGES:  
TOTAL LOT AREA: 49,892± SQ. FT.  
BUILDING COVERAGE: 25.3% 12,600± SQ. FT.  
PAVEMENT/PARKING: 43.9% 21,915± SQ. FT.  
OPEN SPACE: 30.8% 15,377± SQ. FT.

**WAIVERS REQUESTED TO TOWN OF TRURO ZONING BY-LAW**

- SECTION 70.3.D.3.B.4  
GENERAL LOCATION OF TREES HAVING A CALIPER OF TEN (10) INCHES OR MORE DIAMETER AT BREAST HEIGHT (DBH).  
I. EXISTING TREES HAVING A CALIPER OF TEN (10) INCHES OR MORE DIAMETER AT BREAST HEIGHT (DBH) HAVE NOT BEEN LOCATED AND SHOWN ON THE PLAN  
SECTION 70.3.D.3.E.11  
REFUSE AREAS.  
I. EXTERIOR ENCLOSED REFUSE/RECYCLING AREAS HAVE NOT BEEN SHOWN ON SITE PLAN. TENANTS INDIVIDUALLY RESPONSIBLE FOR REFUSE STORAGE AND REMOVAL.

APPROVED BY THE TOWN OF TRURO PLANNING BOARD

DATE: \_\_\_\_\_

FOR PERMITTING ONLY

**East Cape Engineering, Inc.**

CIVIL ENGINEERS  
LAND SURVEYORS  
# 44 Route 26, Orleans, Mass.  
(508) 285-7120



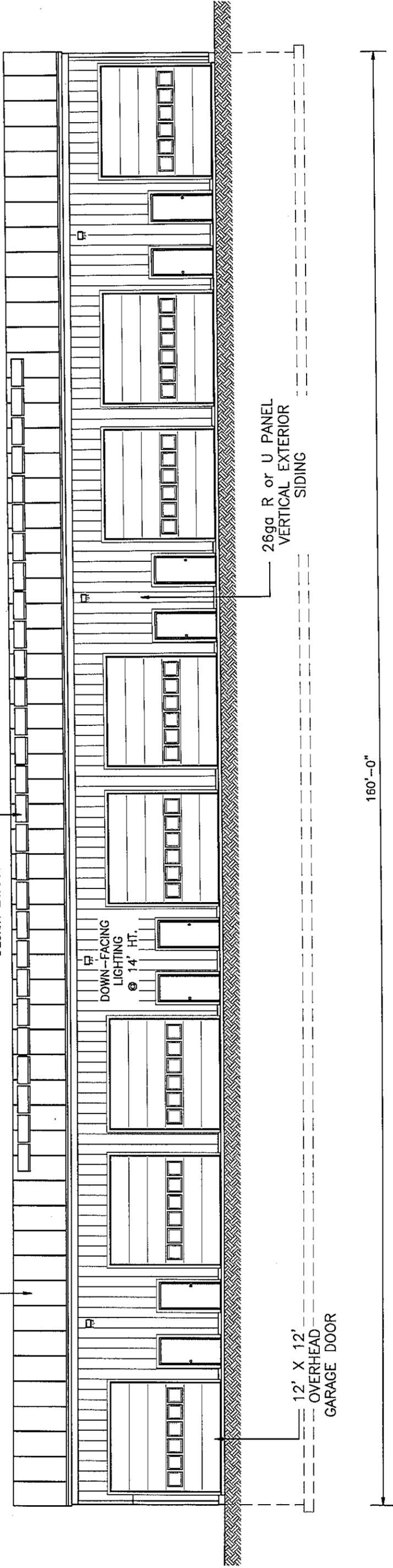
PROFESSIONAL ENGINEER

DATE: 5/10/19



24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT



**FRONT ELEVATION**

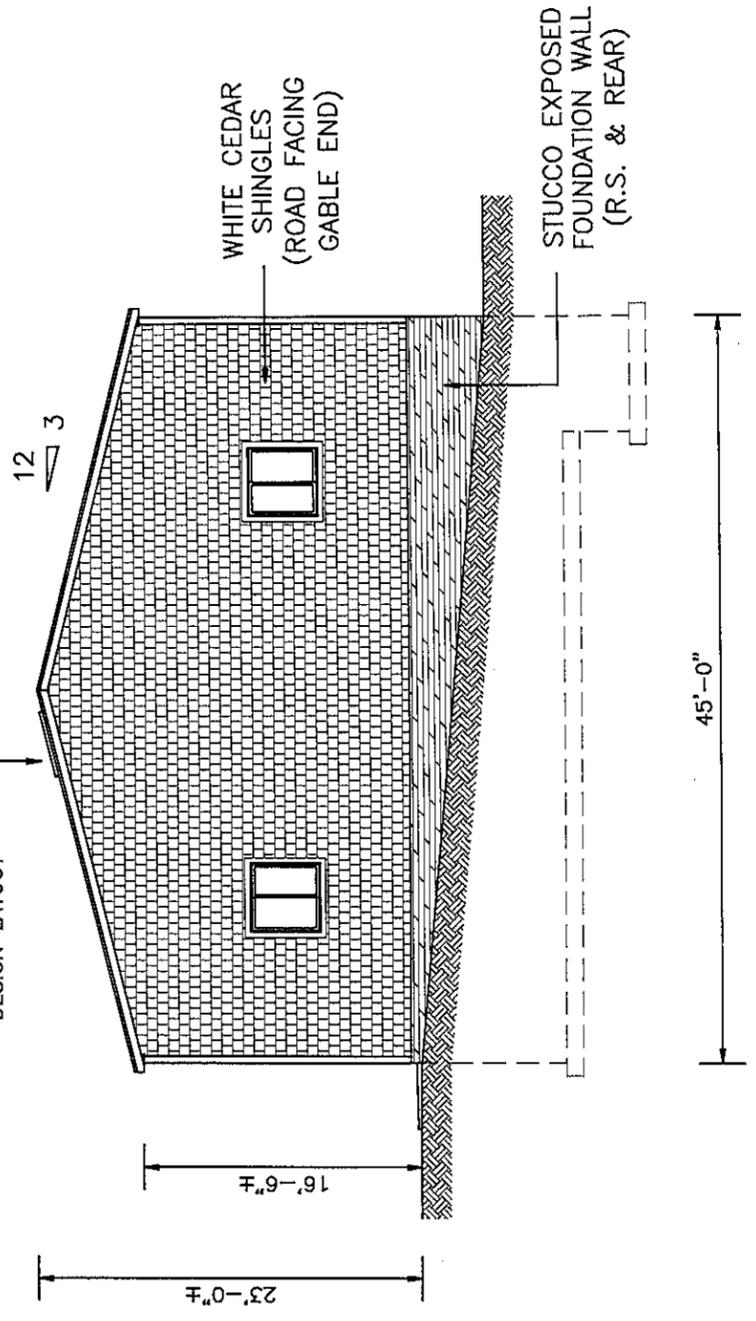
( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT



**RIGHT SIDE ELEVATION**

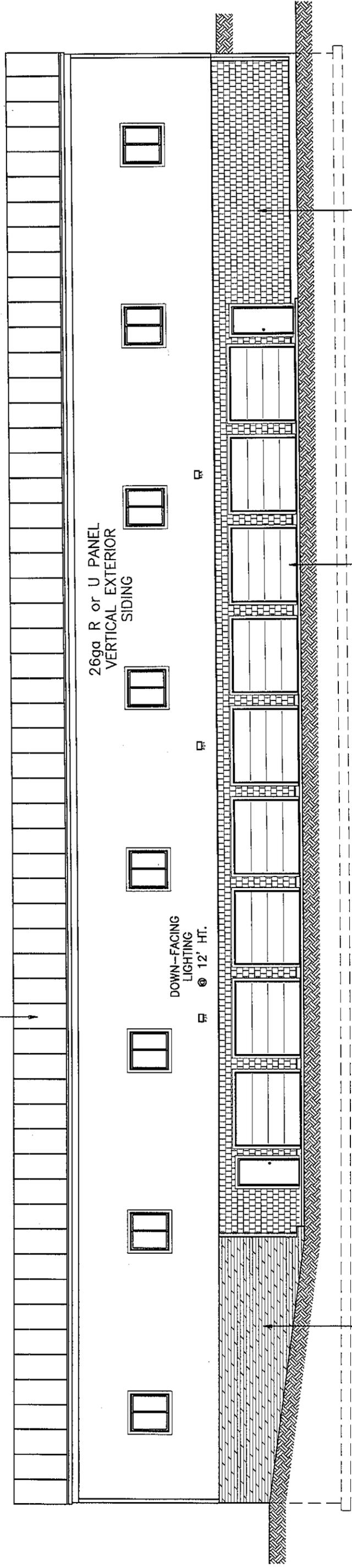
( 3/32" = 1' )

**DJS 298 RT. 6**

BUILDING 1

11/9/2018 SHEET 1 OF 4

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM



26ga R or U PANEL  
VERTICAL EXTERIOR  
SIDING

DOWN-FACING  
LIGHTING  
12' HT.

STUCCO EXPOSED  
FOUNDATION WALL  
(R.S. & REAR)

8'w. X 7'ht.  
OVERHEAD  
GARAGE DOOR

WHITE CEDAR  
SHINGLES  
(LOWER REAR  
WALL)

### REAR ELEVATION

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = CHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT

26ga R or U PANEL  
VERTICAL EXTERIOR  
SIDING

### LEFT SIDE ELEVATION

( 3/32" = 1' )

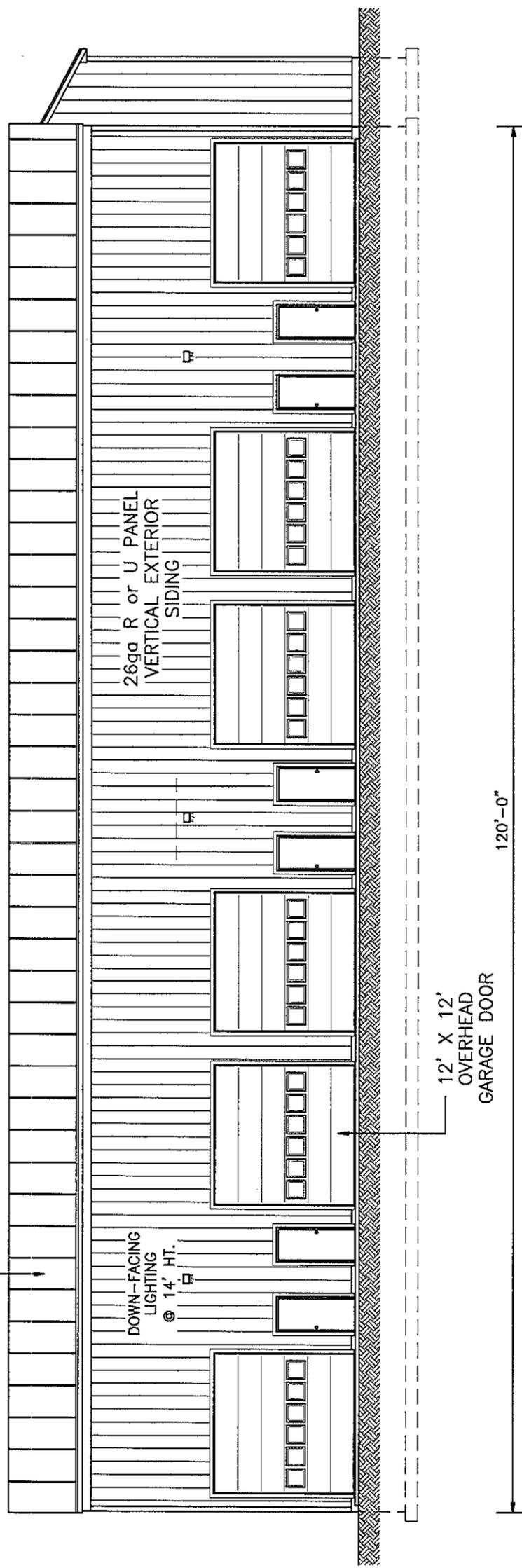
DJS 298 RT. 6

BUILDING 1

11/9/2018 SHEET 2 OF 4

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

30'-0" MAX.



**FRONT ELEVATION**

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

**LEFT SIDE ELEVATION**

( 3/32" = 1' )

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT

12  
3

WHITE CEDAR  
SHINGLES  
(ROAD FACING  
GABLE END)

30'-0" MAX.

15'-8"

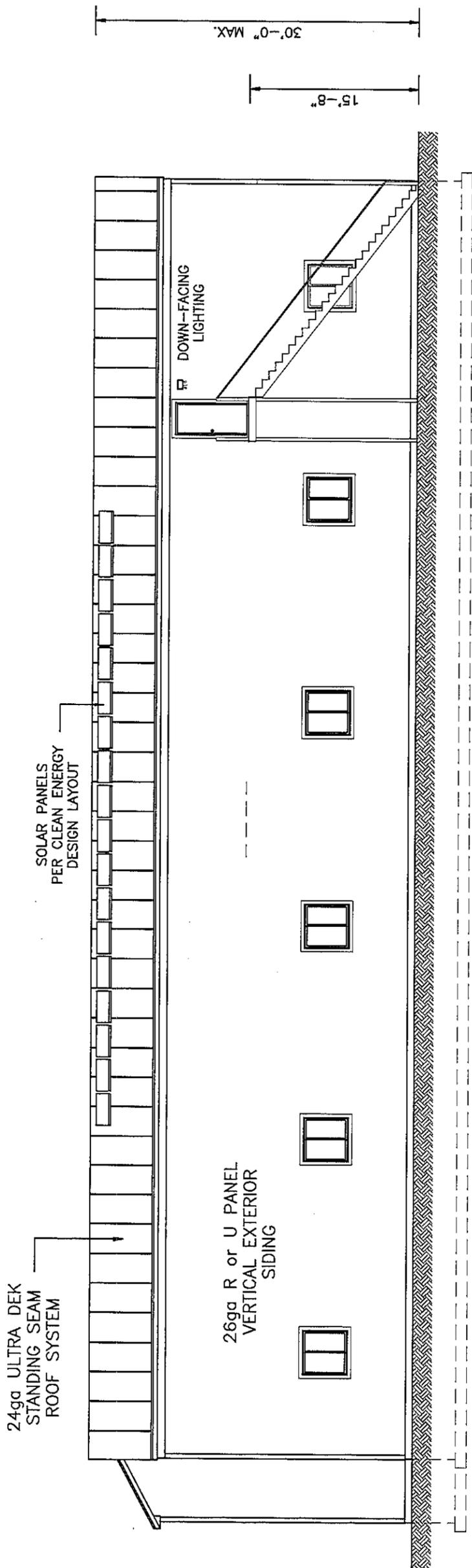
45'-0"

16.88

DJS 298 RT. 6

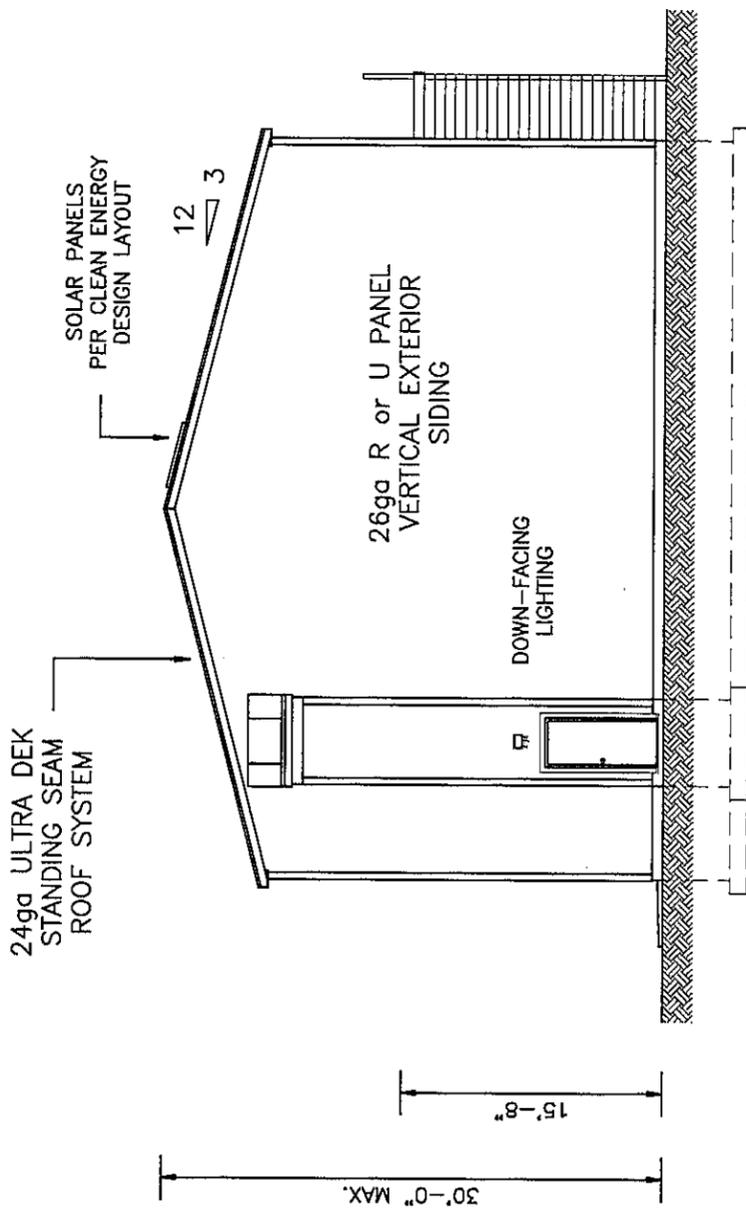
BUILDING 2

11/9/2018 SHEET 3 OF 4



**REAR ELEVATION**

( 3/32" = 1' )



**RIGHT SIDE ELEVATION**

( 3/32" = 1' )

- ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY
- ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL
- ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

**DJS 298 RT. 6**

## Project Estimate

Phase II, 298 Route 6a, Truro  
Silvador LLC

1. The estimated date of initiation is April 15, 2021.  
Estimated date of completion is December 1, 2021
2. Estimated cost of construction:

|                        |               |
|------------------------|---------------|
| Foundation             | 65,000        |
| Building erection      | 300,000       |
| HVAC                   | 60,000        |
| Plumbing               | 30,000        |
| Electrical             | 60,000        |
| Concrete flat work     | 55,000        |
| Site work and Drainage | 30,000        |
| Paving                 | 25,000        |
| Insulation             | 25,000        |
| Sheet rock             | 35,000        |
| Planting               | 25,000        |
| Storage unit build out | 55,000        |
| Total estimated cost   | <hr/> 765,000 |

**DRAINAGE AREA DESIGN SHEET**

PROJECT NAME: Silva-Tradesmans Park  
 TOWN: Truro  
 DESIGN AREA: Parking/ Driveway Area 2

CA = runoff coeff. x surface area in square feet

|      |      |       |   |      |       |               |
|------|------|-------|---|------|-------|---------------|
| CA = | 0.9  | 16030 | = | 0.33 | ACRES | PAVEMENT/ROOF |
| CA = | 0.65 | 0     | = | 0.00 | ACRES | GRAVEL        |
| CA = | 0.3  | 0     | = | 0.00 | ACRES | VEGETATION    |

**DRAINAGE VOLUME PROPOSED**

| Pit Diameter (ft.) | No. Pits | Stone (ft.) | Depth (ft.) | Bottom | Volume (ft <sup>3</sup> ) |
|--------------------|----------|-------------|-------------|--------|---------------------------|
|                    |          |             |             |        | Swale 361                 |
| 6.00               | 2        | 3.00        | 5           | 113.04 | 1130.40                   |

Total volume  
1491 ft<sup>3</sup>

5'effective with h-20 1000 pit

$\Delta$  = Surface Area of Leaching System = Bottom Area + Sidewall Area

Diameter of pit with stone  ft.  
 Overall depth of pit  ft.

$\Delta$  =  ft<sup>2</sup>

$Q_{out} = \Delta \text{ s.f.} / [(2 \text{ min./in.})(60 \text{ sec./min.})(12 \text{ in.ft.)}]$

$Q_{out} =$   ft<sup>3</sup>/sec. X  pits =

**DRAINAGE VOLUME REQUIRED**

I for 50 YEAR STORM

$Q_{in} = CIA$

$Q_{total} = Q_{in} - Q_{out}$

Volume = ( $Q_{total}$ )x(Time)x(60)

| CA   | I    | Q <sub>in</sub> | Q <sub>out</sub> | Q <sub>total</sub> | Time (min.) | Volume (ft <sup>3</sup> ) |
|------|------|-----------------|------------------|--------------------|-------------|---------------------------|
| 0.33 | 3.6  | 1.19            | 0.42             | 0.77               | 30          | 1392.57                   |
| 0.33 | 2.50 | 0.83            | 0.42             | 0.41               | 60          | 1473.59                   |
| 0.33 | 2.00 | 0.66            | 0.42             | 0.24               | 90          | 1316.14                   |
| 0.33 | 1.60 | 0.53            | 0.42             | 0.11               | 120         | 801.00                    |
| 0.33 | 1.40 | 0.46            | 0.42             | 0.05               | 150         | 405.10                    |
| 0.33 | 1.25 | 0.41            | 0.42             | 0.00               | 180         | -50.42                    |

**DRAINAGE AREA DESIGN SHEET**

PROJECT NAME: Silva-Tradesmans Park  
 TOWN: Truro  
 DESIGN AREA: Parking/ Driveway Area 3

CA = runoff coeff. x surface area in square feet

|      |      |      |   |      |       |               |
|------|------|------|---|------|-------|---------------|
| CA = | 0.9  | 5068 | = | 0.10 | ACRES | PAVEMENT/ROOF |
| CA = | 0.65 | 0    | = | 0.00 | ACRES | GRAVEL        |
| CA = | 0.3  | 0    | = | 0.00 | ACRES | VEGETATION    |

**DRAINAGE VOLUME PROPOSED**

| Pit Diameter (ft.) | No. Pits | Stone (ft.) | Depth (ft.) | Bottom Area (ft <sup>2</sup> ) | Volume (ft <sup>3</sup> ) |
|--------------------|----------|-------------|-------------|--------------------------------|---------------------------|
| 6.00               | 2        | 3.00        | 5           | 113.04                         | 1130.40                   |

5'effective with h-20 1000 pit

$\Delta$  = Surface Area of Leaching System = Bottom Area + Sidewall Area

Diameter of pit with stone 12 ft.  
 Overall depth of pit 5 ft.

$\Delta$  = 301.44 ft<sup>2</sup>

$Q_{out} = \Delta \text{ s.f.} / [(5 \text{ min./in.})(60 \text{ sec./min.})(12 \text{ in.ft.})]$

$Q_{out} =$  0.08373 ft<sup>3</sup>/sec. X 2 pits = 0.167466667

**DRAINAGE VOLUME REQUIRED**

I for 50 YEAR STORM

$Q_{in} = CIA$

$Q_{total} = Q_{in} - Q_{out}$

Volume = ( $Q_{total}$ )x(Time)x(60)

| CA   | I    | Qin  | Qout | Qtotal | Time (min.) | Volume (ft <sup>3</sup> ) |
|------|------|------|------|--------|-------------|---------------------------|
| 0.10 | 3.6  | 0.38 | 0.17 | 0.21   | 30          | 377.09                    |
| 0.10 | 2.50 | 0.26 | 0.17 | 0.09   | 60          | 339.52                    |
| 0.10 | 2.00 | 0.21 | 0.17 | 0.04   | 90          | 226.56                    |
| 0.10 | 1.60 | 0.17 | 0.17 | 0.00   | 120         | 0.51                      |
| 0.10 | 1.40 | 0.15 | 0.17 | -0.02  | 150         | -187.84                   |
| 0.10 | 1.25 | 0.13 | 0.17 | -0.04  | 180         | -395.04                   |

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

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Myer R. Singer (1938-2020)

Tel: (508) 398-2221  
Fax: (508) 398-1568  
www.singer-law.com

April 12, 2021

## **Via Email**

Truro Planning Board  
Truro Town Hall  
24 Town Hall Road  
Truro, MA 02666

Re: Tradesmen's Park South Application to amend PB decision 2019-003/SPR  
298 Route 6, Truro  
Cape Cod Commission Minor Modification Request filings

Dear Members of the Board,

I am writing to forward copies of the filings made to the Cape Cod Commission in relation to the changes requested for Phase 2 of the Tradesmen's Park project which was previously approved by both the Truro Planning Board and the Commission. The changes entirely relate to the Applicants' desire to replace the approved elevator access to elevated conditioned storage space with drivable access by means of an extended rear driveway.

The Applicants filed a Minor Modification Request with the Commission in January 2021 and made a subsequent revision to the request in February 2021. Both filings are attached. With permission of the Commission, the Applicants filed the amendment request with the Truro Planning Board in March 2021. The amended site plan proposed and submitted to the Planning Board is in response to the Commission's staff comments. The site plan before the Board provides for a landscaped area between Warehouse 2 and the proposed access driveway which is responsive to the Commission's concern for lot coverage, drainage and screening.

Thank you for the Board's ongoing consideration of the proposal. We look forward to meeting with you on the site on April 20<sup>th</sup>.

Very truly yours,  
*Marian S. Rose*  
Marian S. Rose

With attachments



CAPE COD  
COMMISSION

# Application Cover Sheet

**Cape Cod Commission**  
3225 Main Street, PO Box 226  
Barnstable, MA 02630  
Tel: (508) 362-3828 • Fax: (508) 362-3136

**For Commission Use Only**

**Date Received:**

**Fee (\$):**

**Check No:**

**File No:**

**A Type of Application** (check all that apply)

Development of Regional Impact (DRI)

DRI Scoping

DRI Exemption

Hardship Exemption

Jurisdictional Determination

Request for Joint MEPA/DRI Review

Decision Extension

Decision Modification

**B Project Information**

Project Name: \_\_\_\_\_ Total Site Acreage: \_\_\_\_\_

Project/Property Location: \_\_\_\_\_ Zoning: \_\_\_\_\_

Brief Project Description:

Include total square footage of proposed and existing development, gross floor area, number of lots existing or to be created, specific uses, description of existing conditions, as applicable (attach additional sheets if necessary).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**C Owner(s) of Record**

List the following information for all involved parcels. Provide copies of each Deed and Purchase and Sale Agreement and/or evidence of leasehold interest, if applicable, for all involved parcels. Proof of ownership/legal rights for Applicant(s) to proceed with the proposed development must be documented prior to the Commission deeming any application complete. List the local, state, or federal agencies from which permits or other actions have been/will be filed (attach additional sheets if necessary).

| Map/Parcel | Owner's Name | Lot & Plan | Land Court Certificate of Title # | Registry of Deeds Book/Page # |
|------------|--------------|------------|-----------------------------------|-------------------------------|
| _____      | _____        | _____      | _____                             | _____                         |
| _____      | _____        | _____      | _____                             | _____                         |

There **ARE ARE NOT** (circle one) court claims, pending or completed, involving this property (if yes, please attach relevant information).

Is there an existing CCC Decision for the Property?  yes  no (if so, recording information for decision, please attach relevant information).

**D Certification**

I hereby certify that all information provided on this application form and in the required attachments is true and accurate to the best of my knowledge. I agree to notify the Cape Cod Commission of any changes on the information provided in this application, in writing, as soon as is practicable. I understand failure to provide the required information and any fees may result in a procedural denial of my project.

**NOTE: For wireless communication facilities, a licensed carrier should be either an applicant or a co-applicant.**

|                  |   |
|------------------|---|
| <b>APPLICANT</b> | <b>Applicant(s) Name:</b> _____ Tel: _____ Fax: _____ |
|                  | Address: _____  |
|                  | Signature: _____ Date: _____                          |

|                     |  |
|---------------------|--|
| <b>CO-APPLICANT</b> | <b>Co-Applicant(s) Name:</b> _____ Tel: _____ Fax: _____ |
|                     | Address: _____   |
|                     | Signature: _____ Date: _____                             |

|                |   |
|----------------|---|
| <b>CONTACT</b> | <b>Contact:</b> _____ Tel: _____ Fax: _____ |
|                | Address: _____                              |
|                | Signature: _____ Date: _____                |

|                       |  |
|-----------------------|--|
| <b>PROPERTY OWNER</b> | <b>Property Owner:</b> _____ Tel: _____ Fax: _____ |
|                       | Address: _____                                     |
|                       | Signature: _____ Date: _____                       |

|                        |  |
|------------------------|--|
| <b>BILLABLE ENTITY</b> | <b>Name:</b> _____ Tel: _____ Fax: _____ |
|                        | Address: _____                           |

# Law Office of Singer & Singer, LLC

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Marian S. Rose

\_\_\_\_\_  
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Tel: (508) 398-2221  
Fax: (508) 398-1568  
www.singer-law.com

January 20, 2021

Via email: [jidman@capecodcommission.org](mailto:jidman@capecodcommission.org)

Mr. Jonathon Idman  
Chief Regulatory Officer  
Cape Cod Commission  
PO Box 226 / 3225 Main Street  
Barnstable, MA 02630

Re: Trademens Park South, 298 Route 6, Truro, Silvador, LLC  
DRI Scoping Decision Minor Modification request

Dear Jonathon,

Thank you for speaking with me this past week. As we discussed, the Silva's have completed Phase I of this project and, in part as a result of seeing how the first warehouse (Building 1, Phase 1) operates, would like to amend the DRI Scoping Decision by means of a Minor Modification. This letter, the attached Narrative and accompanying documents, namely a proposed conditions site plan, an approved conditions site plan, approved and proposed elevations, and approved and proposed conditions landscape plans are submitted as a request for a Minor Modification.

In addition to the plans above, I have also included an annotated proposed site plan, landscape plan and elevations to indicate where the changes to the approved plan are. The changes are primarily related to the proposed replacement of the elevator access to the upper storage area in Building 2 with a drivable access by means of rear loading dock at storage level grade accessible by a one-way drive circling the building.

I would be happy to review the plans and answer any questions you may have regarding the request. We will be going before the Truro Planning Board to seek its approval for the proposed changes as well.

Very truly yours,

*Marian S. Rose*

Marian S. Rose

Enclosures

# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer

Myer R. Singer  
Of Counsel

Tel: (508) 398-2221

Fax: (508) 398-1568

www.singer-law.com

## CCC Limited DRI Minor Modification 1

### Narrative

Project Name: Tradesmen's Park South  
Property: 298 Route 6 (State Highway), Truro, MA  
Applicants: Daniel Silva and Erin Sullivan-Silva and Jon Salvador and Wendy Salvador

In connection with the Applicants proposal to develop the vacant parcel of land located at 298 Route 6 (State Highway) in Truro with two (2) metal buildings to be used by local tradesmen (carpenters, cabinet makers, artists, etc.) in Truro and the surrounding communities, the Cape Cod Commission issued a DRI Scoping Decision for the project on January 10, 2019, the original of which has been recorded with the Barnstable County Registry of Deeds in Book 31848, Page 41.

Subsequent to the Commission's Decision, the Applicants appeared before the Truro Planning Board for commercial site plan review. At their May 1, 2019 public meeting, the Truro Planning Board approved the proposal including required changes to the site design, imposing the following conditions:

1. Each component of the Project shall be constructed in accordance with the plans referenced herein;
2. The turn-around off the west end of the rear of Building 1 shall be lengthened to twenty (20) feet east to west and the north-south portion shall be widened as feasible;
3. There shall be paved access (approximately five to six feet in width) to the elevator at the southwest corner of Building 2;
4. There shall be a paved sidewalk to the stairs at the southeast corner of the rear of Building 2;
5. The parking spaces shall be identified on the ground to identify contractor bay number to which the respective use is designated;
6. There shall be one-way traffic flow through the central portion of the Property;
7. The building lighting shall be downward-lit as follows. Entry lights will be equipped with motion detectors, and other exterior lighting shall be on a timer and shall be shut off at 11:00 p.m.;
8. Access to the storage units shall be limited to 7:00 a.m. to 7:00 p.m., seven days per week;
9. All stormwater runoff shall be contained on site;

10. The Applicant shall meet all requirements of the Health and Building Departments;
11. Emergency spill kits shall be provided on site, one per building;
12. A monitoring well shall be installed in the southwest corner of the Property;
13. All hazardous materials shall be properly stored and such storage shall be subject to inspection by the Health Department if and as warranted;
14. The freestanding sign at the entrance shall be located on the Property consistent with the Truro Sign Code;
15. The second well shown on the Landscape Plan shall also be added to the Site Plan;
16. The Board shall conduct a site visit two (2) years after the first building is constructed at the Property to confirm that the approved landscaping has been installed and is alive; and
17. A revised site plan conforming to the above shall be submitted to the Planning Department before this Decision is signed.

Accordingly, the Site Plan has been revised per the conditions imposed by the Planning Board. A copy of the revised Site Plan is attached.

The Applicants respectfully request a Minor Modification #1 to the DRI Scoping Decision issued by the Cape Cod Commission to include the changes as per the revised Site Plan.

8. The Truro Board of Selectmen submitted a letter to the Cape Cod Commission, dated July 10, 2018, stating its support for the Project and further that "this commercial development will fill an identified need in the community."
9. The Truro Health and Conservation Agent submitted an email, dated May 1, 2019, **indicting** the Applicant's work with the Agent during the regulatory review process and suggesting conditions re: best management practices in connection with the proposed drainage in the northwest corner of the site. The Applicant has agreed with these proposed conditions.
10. Ten (10) letters of support have been submitted from the following people and entities: Chuck Leigh, Bert Yarborough, Gerald J. Costa, Jr., Shawn Costa, J. Ian Millar, Noah Santos, Jared Colley, Steven Roderick, the Provincetown Art Association and Museum, and Truro Vineyards.
11. Two (2) letters of opposition have been submitted from the following people: Dina B. Browne, Esquire, Bletzer & Bletzer, P.C. on behalf of Truro Motor Inn and Claire A. Perry.
12. The proposed site and building design will comply with all dimensional requirements of the Zoning By-Law. Building coverage will be 25.3%, open space will be 30.8%, and building height will be 30 ft. and 23 ft., respectively.
13. The parking spaces will be conforming at 10 x 20 and are so noted on the plan. In addition, the parking spaces will not impede access to the self-storage units at the lower level of Building 1, and drive aisles have been dimensioned and will provide safe and adequate access throughout the site.
14. The Division of Water Protection for the Southeast Regional Office of the MassDEP confirmed in an email dated April 5, 2019, that all records determine that the Zone 1 for the Truro Motor Inn's active Well #2 is 160 feet.
15. The proposal meets the site design requirements of the Water Resource Protection District to direct runoff toward vegetated swales or basins for surface infiltration and by maximizing protection of groundwater through siting potential pollution sources such as on-site disposal systems outside of the District to the extent feasible. The Applicant has adopted bioremediation measures recommended by the Cape Cod Commission and industry-wide to capture and infiltrate stormwater on site. This includes a large vegetated, bioretention swale in the center of the Property. In addition, the Applicant has incorporated an oil-water separator in the drainage structure at the northwest part of the Property, and roof runoff will be separately captured and infiltrated. Further, the Applicant has, in compliance with MA DEP and Title V regulations, located its septic system outside of the Zone I radii not only of the public water supply well at the Truro Motor Inn, but also those of the private water supply wells and has included best management practices for protection of the groundwater within the Interim Wellhead Protection Area.
16. The design includes an enhanced, denitrification, FAST septic system which will make the Property the most conforming to Title V standards in this portion of the Commercial Zoning District. Nitrogen calculations prepared for the proposal demonstrate that nitrogen loading on the Property will be less than the 5 ppm design standard (4.85 ppm proposed).
17. There will be one set of bathrooms in the center of each building to service the contractor bays in that building. This reduces the need for plumbing and makes the sanitary facilities more efficient. There will be no water service within the respective contractor bays.
18. A model lease was submitted and reviewed including provisions providing for restrictions and limitations on hazardous materials, inspections, and enforcement.

Cynthia A. Slade, Town Clerk, Town of Truro / May 15, 2019 / pages 1-7



# TOWN OF TRURO

Planning Board  
P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004 Fax: (508) 349-5505

## COMMERCIAL SITE PLAN REVIEW

### DECISION

Atlas Map 43 Parcel 57

Address: 298 Route 6

Case Reference No: 2019-003/SPR

Applicants: Erin Sullivan-Silva and Daniel Silva  
and Jon Salvador and Wendy Salvador

Hearing Date: March 20, 2019, April 17, 2019, May 1, 2019

Decision Date: May 1, 2019

Registry of Deeds Book 26185, Page 169

At a duly posted and noticed Truro Planning Board hearing held May 1, 2019, the Board voted to approve with conditions an application for Commercial Development Site Plan Review pursuant to §70.3 of the Truro Zoning By-Law for the development of two (2) steel-framed buildings on the Property as follows: Building One to have a footprint of 7,200 square feet and contain seven (7) contractor bays on the main level and sixty-four (64) climate-controlled self-storage units on the lower level, and Building Two to have a footprint of 5,400 square feet and contain five (5) contractor bays on the main level and forty-six (46) climate-controlled self-storage units on the second level. The Property is a vacant, undeveloped parcel of land in the Route 6 General Business Zoning District and is located at 298 Route 6, Map 43, Parcel 57.

The following materials were submitted as part of the complete application for review:

- Application for Site Plan Review (Commercial Development), including Project Narrative prepared by the Law Office of Singer & Singer, LLC
- Certified Abutters List
- Filing Fee (\$250.00)
- Cape Cod Commission Development of Regional Impact Scoping Decision, dated January 10, 2019 (Tradesmen's Park South (CCC No. LR18007)
- Cape Cod Commission Transportation Staff Memorandum, dated February 12, 2018

A true copy, attest: *[Signature]*

- Summary of Reasoning prepared by the Law Office of Singer & Singer, LLC
- Supplemental Memorandum prepared by the Law Office of Singer & Singer, LLC, dated April 17, 2019
- Landscape Plan, 298 State Highway – Route 6, prepared for Tradesman Park – South, dated February 16, 2019
- Site Plan prepared by East Cape Engineering, Inc., of 298 State Highway – Route 6, Truro, MA prepared for Tradesman Park – South, dated April 4, 2018, revised June 28, 2018, July 10, 2018, September 11, 2018, and February 13, 2019, Sheet 1; Sewage Disposal System Detail Plan, dated July 5, 2018, revised September 11, 2018, Sheet 2; Stormwater Drainage System Details Plan, dated July 5, 2018, revised September 11, 2018, Sheet 3; and 4-Ft Diameter First Defense High Capacity General Arrangement, dated November 25, 2014, revised November 5, 2015, prepared by Hydro International Storm Solutions
- Proposed Building 1 and 2 Elevation and Floor Plans, prepared for DJS, dated February 16, 2019, Sheets 1-4
- Five (5) color photographs labeled “View of property looking West into the property”, Property line just beyond telephone pole: Rte 6 headed North”, “View looking south with Truro Central Village pictured”, “View of property looking South (Truro Central Village in view) and “Existing sign for the Truro Tradesmen’s Park @ 352 Rte 6”
- Sample Commercial Lease Agreement
- Drainage Calculations prepared for Silva-Tradesmens Park in Truro by Timothy J. Brady, revised on 9/11/18 (5 pages)
- E-mail from DEP concerning Zone 1 Radius, dated April 5, 2019
- Letter of project support from the Town of Truro Board of Selectmen to the Cape Cod Commission, dated July 10, 2018
- Email from Emily Beebe, Truro Health and Conservation Agenda, dated May 1, 2019
- Ten (10) letters of support for the project
- Two (2) Letters of opposition to the project

**Board Vote:**

At the May 1, 2019 Planning Board meeting, Paul Kiernan made a motion, seconded by R. Bruce Boleyn, to close the Public Hearing, and the vote was unanimous. The request of 2019-003/SPR Erin Sullivan-Silva, Daniel Silva, John Salvador, and Wendy Salvador for Commercial Development Site Plan approval pursuant to §70.3 of the Truro Zoning By-law was unanimously granted with conditions and waivers by the Planning Board, with Paul Kiernan making the motion and R. Bruce Boleyn seconding the vote. This decision is pursuant to the following findings of facts, conditions, and waivers:

**Findings:**

1. This is an application by Erin Sullivan-Silva, Daniel Silva, Jon Salvador, and Wendy Salvador for Commercial Development Site Plan Review under Truro Zoning By-law ("Bylaw") Section 70.3.
2. The property is located at 298 Route 6 and is shown on Truro Assessor's Map 43, Parcel 57 ("Property"). The Property is located in the Route 6 General Business Zoning District.
3. The Property is owned by Shirley M. DeMasi, Trustee of the Shirley M. DeMasi Irrevocable Trust, and consists of 1.1± acres of vacant, undeveloped land with an existing water supply well.
4. The Applicants propose to construct two (2) steel-framed buildings with associated site improvements on the Property. Building One to have a footprint of 7,200 square feet and contain seven (7) contractor bays on the main level and sixty-four (64) climate-controlled self-storage units on the lower level, and Building Two to have a footprint of 5,400 square feet and contain five (5) contractor bays on the main level and forty-six (46) climate-controlled self-storage units on the second level (collectively "Project").
5. The Project requires Commercial Development Site Plan Review pursuant to Section 70.3 of the By-law because it proposes construction of a property for non-residential use. The Truro Building Commissioner, as the Zoning Enforcement Agent, has determined that the proposed use (Trade/Repair/Self Storage) is permitted by right and complies with the zoning uses approved by Truro Town Meeting for the Route 6 General Business Commercial Zone.
6. The Applicants own a similar facility (without storage units) north of the site, also on Route 6, which is called Tradesmen's Park. They have a longstanding waiting list of local businesses and tradespeople and are hoping to be able to accommodate the need and provide this additional opportunity in Truro. The twelve contractor bays will thus be used by local tradesmen (carpenters, cabinet makers, artists, etc.) from Truro and the surrounding communities. There is also a high demand for additional climate-controlled self-storage in the community. Many retail stores and nonprofit organizations currently rent contractor bays for inventory storage in addition to the demand by local contractors themselves.
7. The Project underwent review by the Cape Cod Commission, including in the areas of Land Use, Economic Development, Water Resources, Natural Resources, Transportation, Waste Management, Energy, and Heritage Preservation and Community Character. The Cape Cod Commission made extensive findings and imposed conditions on the Project, including regarding the applicable Zone I and Interim Wellhead Protection Area to an adjacent public water supply well, handling of wastewater, limitations on nitrogen loading, landscape management, limitations on hazardous materials, stormwater management, and enforcement.

8. The Truro Board of Selectmen submitted a letter to the Cape Cod Commission, dated July 10, 2018, stating its support for the Project and further that "this commercial development will fill an identified need in the community."
9. The Truro Health and Conservation Agent submitted an email, dated May 1, 2019, indicting the Applicant's work with the Agent during the regulatory review process and suggesting conditions re: best management practices in connection with the proposed drainage in the northwest corner of the site. The Applicant has agreed with these proposed conditions.
10. Ten (10) letters of support have been submitted from the following people and entities: Chuck Leigh, Bert Yarborough, Gerald J. Costa, Jr., Shawn Costa, J. Ian Millar, Noah Santos, Jared Colley, Steven Roderick, the Provincetown Art Association and Museum, and Truro Vineyards.
11. Two (2) letters of opposition have been submitted from the following people: Dina B. Browne, Esquire, Bletzer & Bletzer, P.C. on behalf of Truro Motor Inn and Claire A. Perry.
12. The proposed site and building design will comply with all dimensional requirements of the Zoning By-Law. Building coverage will be 25.3%, open space will be 30.8%, and building height will be 30 ft. and 23 ft., respectively.
13. The parking spaces will be conforming at 10 x 20 and are so noted on the plan. In addition, the parking spaces will not impede access to the self-storage units at the lower level of Building 1, and drive aisles have been dimensioned and will provide safe and adequate access throughout the site.
14. The Division of Water Protection for the Southeast Regional Office of the MassDEP confirmed in an email dated April 5, 2019, that all records determine that the Zone 1 for the Truro Motor Inn's active Well #2 is 160 feet.
15. The proposal meets the site design requirements of the Water Resource Protection District to direct runoff toward vegetated swales or basins for surface infiltration and by maximizing protection of groundwater through siting potential pollution sources such as on-site disposal systems outside of the District to the extent feasible. The Applicant has adopted bioremediation measures recommended by the Cape Cod Commission and industry-wide to capture and infiltrate stormwater on site. This includes a large vegetated, bioretention swale in the center of the Property. In addition, the Applicant has incorporated an oil-water separator in the drainage structure at the northwest part of the Property, and roof runoff will be separately captured and infiltrated. Further, the Applicant has, in compliance with MA DEP and Title V regulations, located its septic system outside of the Zone I radii not only of the public water supply well at the Truro Motor Inn, but also those of the private water supply wells and has included best management practices for protection of the groundwater within the Interim Wellhead Protection Area.
16. The design includes an enhanced, denitrification, FAST septic system which will make the Property the most conforming to Title V standards in this portion of the Commercial Zoning District. Nitrogen calculations prepared for the proposal demonstrate that nitrogen loading on the Property will be less than the 5 ppm design standard (4.85 ppm proposed).
17. There will be one set of bathrooms in the center of each building to service the contractor bays in that building. This reduces the need for plumbing and makes the sanitary facilities more efficient. There will be no water service within the respective contractor bays.
18. A model lease was submitted and reviewed including provisions providing for restrictions and limitations on hazardous materials, inspections, and enforcement.

19. A soil erosion plan will be implemented during construction.
20. Bollards shall be installed in front of each garage door leading to a contractor bay at Building 1 in order to prevent vehicles from entering the respective contractor bays. For Building 2, the Applicant is proposing to install floor drains within each contractor bay that will be connected to a building-wide tight tank to contain all materials within the building.
21. There will be no outside storage of any materials nor of large construction or other vehicles or equipment. Parking of motor vehicles will be limited to the delineated parking spaces, and each contractor bay will be assigned a certain number of parking spaces. Parking for the self-storage is also provided.
22. Abutting properties and the surrounding area will be protected by vegetative screening, topography, and site design. A landscape plan has been provided showing existing trees and vegetation to remain plus additional plantings on the Property adjacent to the Route 6 layout buffer area and the adjacent property. There is also a significant, natural vegetated buffer located within the Route 6 State layout between the development and screening shown on the plans and the traveled way. In addition, given the topography of the Property, the buildings will be set six feet below the top of the knoll at the back of the Property. No noise, litter, odor or other sources of potential nuisance or inconvenience to adjoining properties, public ways or neighbors are anticipated, and the proposal will not adversely affect the public good.
23. Access to the buildings and to the individual storage units will be by respective key pad locks on the exterior and interior doors for the self-storage areas.
24. The proposal is a low-traffic generator, particularly in comparison to other uses allowed by right and special permit in the Commercial Zoning District.
25. There will be one curb cut for the Property, and the curb cut has been designed to provide safe access and egress to and from the Property and has been reviewed and analyzed by the Cape Cod Commission's Transportation Staff.
26. The layout of the driveways and parking areas have been designed to provide safe and efficient on-site circulation in conformance with the site plan and zoning review standards. There will be one-way circulation through the central driveway on the Property.
27. The proposed lighting is consistent with the By-laws of the Town of Truro and will protect adjacent properties and the night sky from intrusive lighting.
28. Each contractor bay shall be responsible for storing its own refuse inside the unit and disposing of the same. Refuse cans will be provided in the climate-controlled storage areas.
29. The site will be served by all required utilities and the same will be placed underground. Photovoltaic (solar) panels are being proposed for the roofs of each building to assist in alternative energy generation for the Property.
30. The Planning Board has reviewed all plans and materials submitted with respect to this Application and found that they comply with the requirements set forth in Section 70.3 of the By-law.

**Waivers:**

The Board has considered and authorized the following three (3) waivers from the site plan review standards in accordance with Section 70.3.E of the Zoning By-Law:

1. Section 70.3.D.3.b.4 – General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH): Existing trees having a caliper of ten (10) inches or more in diameter at breast height (DBH) have not been located and shown on plan;
2. Section 70.3.D.3.c.3 – Referencing Section 30.9.G.4 Drive Aisle Width for 90 degree parking angle spaces: Driveway width as shown is less than 24 ft, but determined as designed to allow safe and efficient traffic and parking movements; and
3. Section 70.3.D.3.c.11 – Refuse Areas: Exterior enclosed refuse/recycling areas have not been shown on site plan. Tenants individually responsible for refuse storage and removal.

**Conditions:**

The Board has determined to impose the following conditions on the proposal:

1. Each component of the Project shall be constructed in accordance with the plans referenced herein;
2. The turn-around off the west end of the rear of Building 1 shall be lengthened to twenty (20) feet east to west and the north-south portion shall be widened as feasible;
3. There shall be paved access (approximately five to six feet in width) to the elevator at the southwest corner of Building 2;
4. There shall be a paved sidewalk to the stairs at the southeast corner of the rear of Building 2;
5. The parking spaces shall be identified on the ground to identify contractor bay number to which the respective use is designated;
6. There shall be one-way traffic flow through the central portion of the Property;
7. The building lighting shall be downward-lit as follows. Entry lights will be equipped with motion detectors, and other exterior lighting shall be on a timer and shall be shut off at 11:00 p.m.;
8. Access to the storage units shall be limited to 7:00 a.m. to 7:00 p.m., seven days per week;
9. All stormwater runoff shall be contained on site;
10. The Applicant shall meet all requirements of the Health and Building Departments;
11. Emergency spill kits shall be provided on site, one per building;
12. A monitoring well shall be installed in the southwest corner of the Property;
13. All hazardous materials shall be properly stored and such storage shall be subject to inspection by the Health Department if and as warranted;
14. The freestanding sign at the entrance shall be located on the Property consistent with the Truro Sign Code;
15. The second well shown on the Landscape Plan shall also be added to the Site Plan;
16. The Board shall conduct a site visit two (2) years after the first building is constructed at the Property to confirm that the approved landscaping has been installed and is alive; and
17. A revised site plan conforming to the above shall be submitted to the Planning Department before this Decision is signed.

This Commercial Development Site Plan Approval for Commercial Site Plan shall expire in two (2) years from the date of this approval.

Pursuant to §70.6 of the Truro Zoning By-law, it shall be the responsibility of the applicant to obtain a true attested copy of the decision from the Town Clerk. The applicant shall be responsible for recording the Planning Board Commercial Site Plan decision at the Barnstable Registry of Deeds or Land Court, as applicable. Prior to the issuance of a building permit, the applicant shall present evidence of such recording to the Building Commissioner and the Planning Board Secretary.

Staren Sollog 5/14/19  
Chairman, Truro Planning Board Date

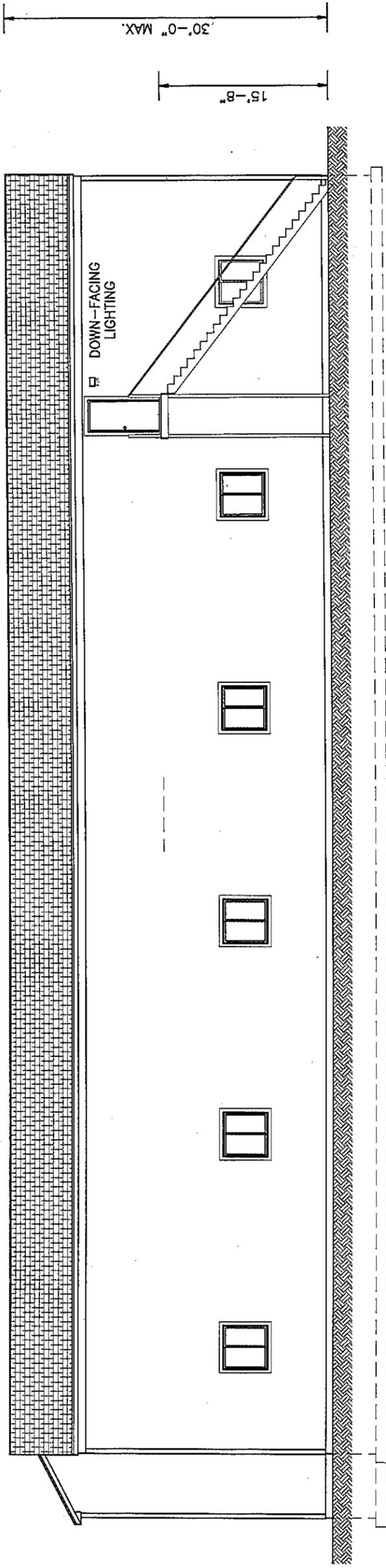
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Received MAY 14, 2019  
Received, Office of the Town Clerk Date



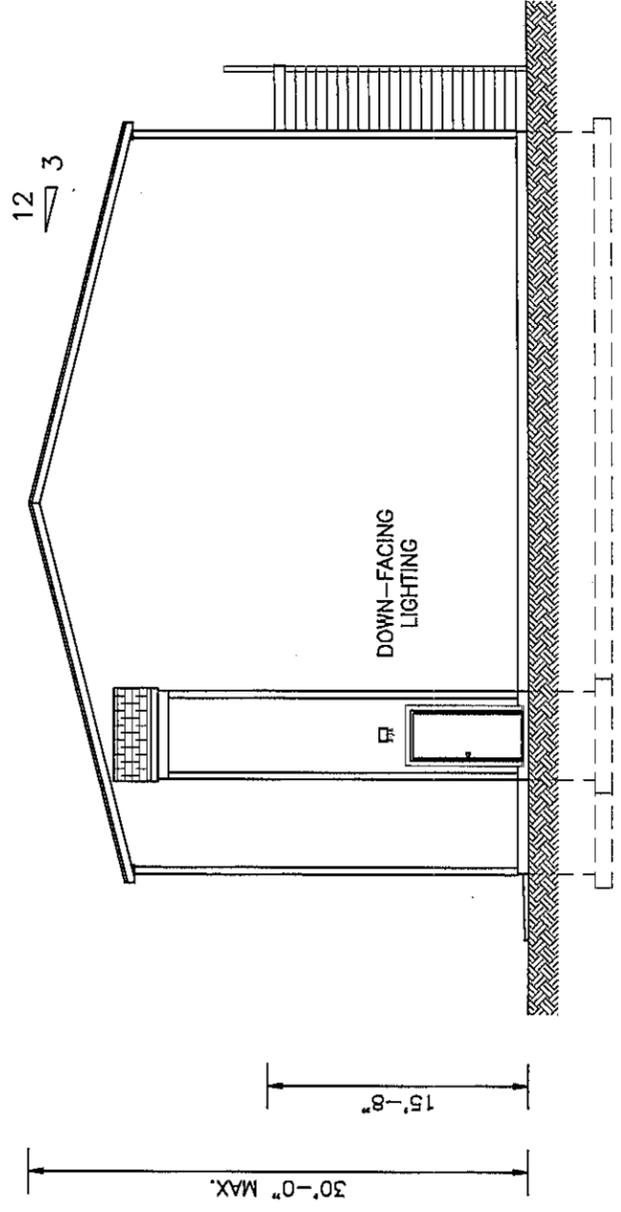






REAR ELEVATION

( 3/32" = 1' )



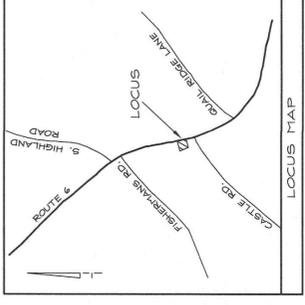
RIGHT SIDE ELEVATION

( 3/32" = 1' )

DJS 298 RT. 6

BUILDING 2

SHEET 4 OF 4



# SITE PLAN

SHOWING REVISED DRIVEWAY FOR PROPOSED BUILDING #2

**298 STATE HIGHWAY - ROUTE 6  
TRURO, MA**

PREPARED FOR:

**TRADESMAN PARK - SOUTH**

DECEMBER 22, 2020 SCALE AS NOTED

REFERENCE: - ASSESSORS MAP 43 PARCEL 57

"SITE PLAN  
SHOWING EXISTING CONDITIONS AND  
PROPOSED COMMERCIAL DEVELOPMENT  
298 STATE HIGHWAY - ROUTE 6  
TRURO, MA  
PREPARED FOR:  
TRADESMAN PARK - SOUTH  
REVISED: MAY 10, 2014"

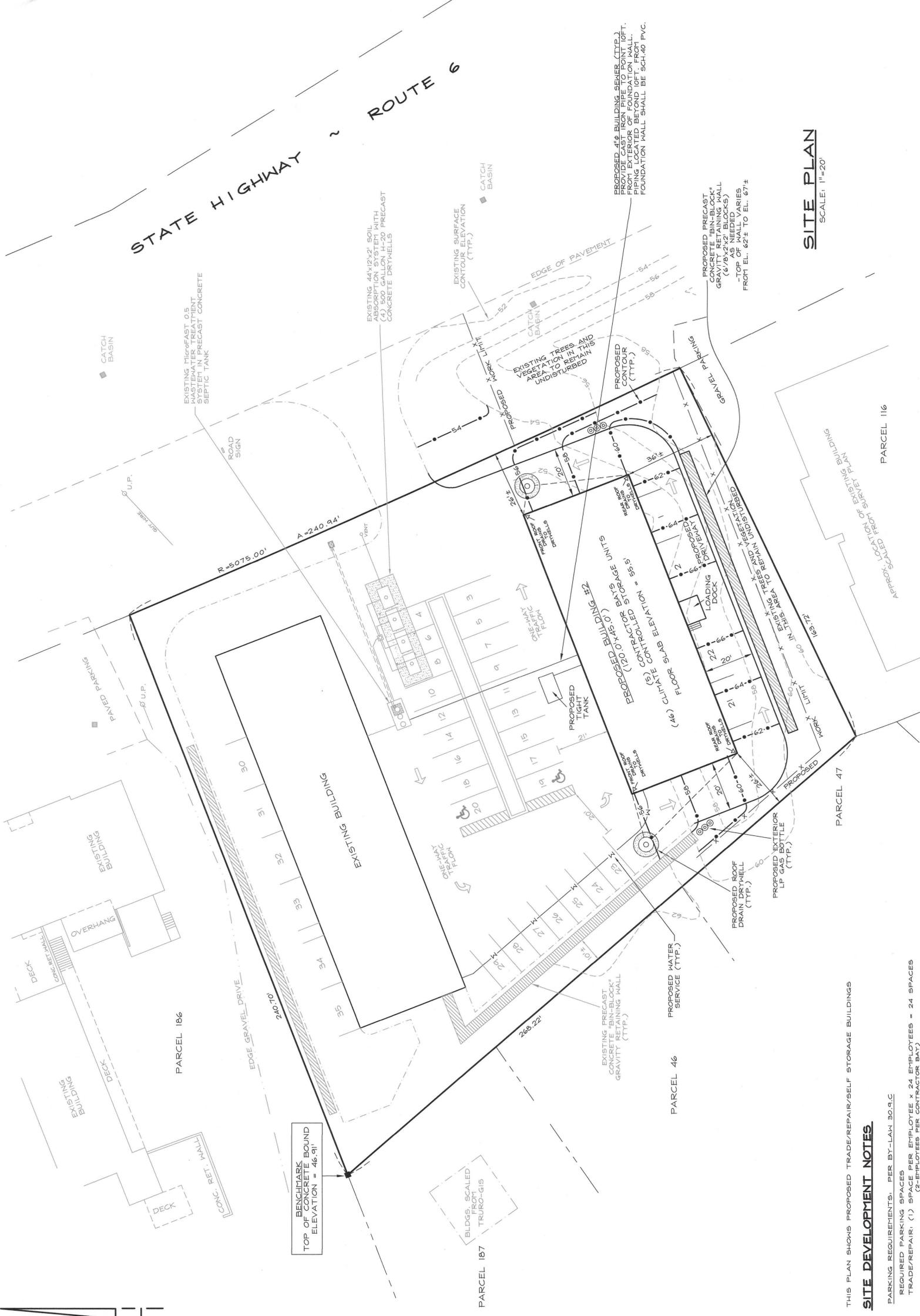
**East Cape Engineering, Inc.**

CIVIL ENGINEERS  
LAND SURVEYORS  
# 44 Route 28, Orleans, Mass.  
(508) 285-7120

PROFESSIONAL ENGINEER

DATE

DXG:1706051T2  
JOB# 17-050



# SITE PLAN

SCALE: 1"=20'

THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

## SITE DEVELOPMENT NOTES

- PARKING REQUIREMENTS, PER BY-LAW 30.9.C
- REQUIRED PARKING SPACES
- TRADE/REPAIR: (1) SPACE PER EMPLOYEE x 24 EMPLOYEES = 24 SPACES
- SELF-STORAGE: (1) SPACE PER 10 UNITS x 110 UNITS = 11 SPACES
- TOTAL SPACES REQUIRED: 35 SPACES
- TOTAL SPACES PROVIDED: 35 SPACES
- GENERAL SITE COVERAGES:
- TOTAL LOT AREA: 49,892± SQ. FT.
- BUILDING COVERAGE (INCLUDES LOADING DOCK): 25.4% 12,600± SQ. FT.
- PAVEMENT/PARKING/RET. WALLS: 56.3% 28,093± SQ. FT.
- OPEN SPACE: 18.3% 9,112± SQ. FT.



**PLANT MATERIALS LIST**

| #  | SPECIES                  | SIZE      | FULL GROWN |
|----|--------------------------|-----------|------------|
| 8  | ARBORVITAE (GREEN GIANT) | 4' - 5'   | 15' x 50'  |
| 10 | BAYBERRY                 | 18" - 24" | 9' x 9'    |
| 5  | BEARBERRY                | 1 GAL.    | 6" x 48"   |
| 14 | INKBERRY                 | 24" - 30" | 8' x 10'   |
| 26 | LEYLAND CYPRESS          | 5' - 6'   | 15' x 60'  |
| 8  | LEYLAND CYPRESS          | 4'        | 15' x 60'  |

**WATERING PLAN**

| TYPE | TIME          | DURATION                         |
|------|---------------|----------------------------------|
| DRIP | 45 MIN. / DAY | 5 MONTHS / YEAR<br>1 ST. 3 YEARS |

**LANDSCAPE PLAN**

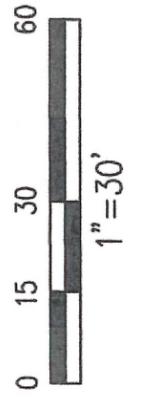
SUBJECT: **298 STATE HIGHWAY - ROUTE 6**  
TRURO, MA

PREPARED FOR: **TRADESMAN PARK - SOUTH**  
298 STATE HIGHWAY - ROUTE 6  
TRURO, MA 02666

ASSESSOR'S MAP 43 PARCEL 57 SCALE: 1" = 30'

DATE: FEBRUARY 16, 2019 SHEET 1 OF 1

**PLAN**



FILE: DJS 298 RT 6 - LANDSCAPE.DWG

REVISION: NOVEMBER 28, 2020  
FEBRUARY 4, 2021

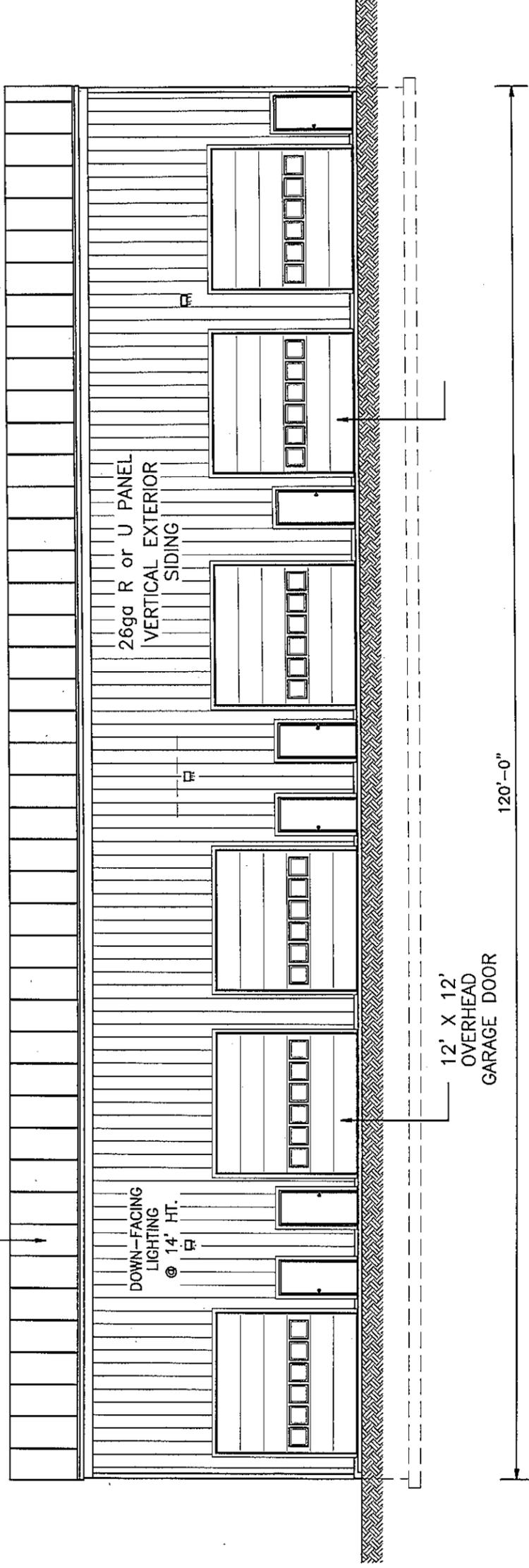
PCL. 116

PCL. 47

PCL. 46

PCL. 116

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM



### FRONT ELEVATION

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE

### LEFT SIDE ELEVATION

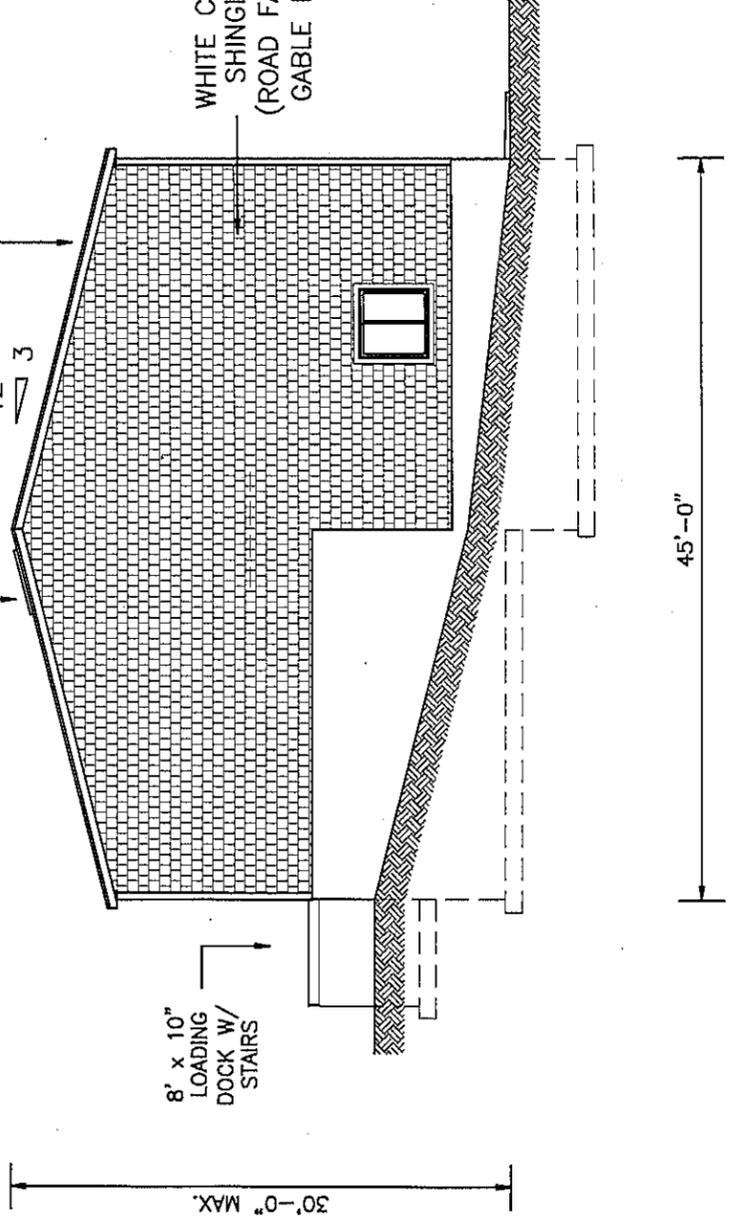
( 3/32" = 1' )

24ga ULTRA DEK  
STANDING SEAM  
ROOF SYSTEM

SOLAR PANELS  
PER CLEAN ENERGY  
DESIGN LAYOUT

8' x 10"  
LOADING  
DOCK W/  
STAIRS

WHITE CEDAR  
SHINGLES  
(ROAD FACING  
GABLE END)



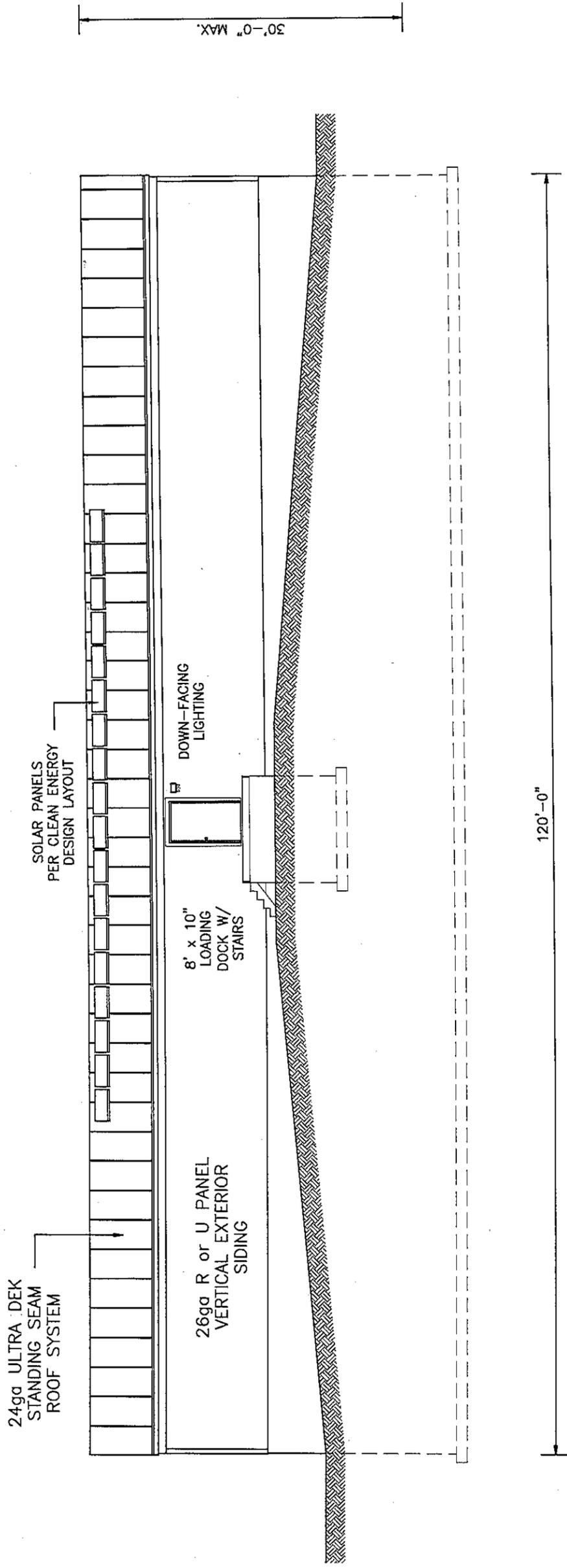
# TRADESMAN PARK - SOUTH

## 298 RT. 6

TRURO

BUILDING 2

11/24/2020 SHEET 1 OF 4



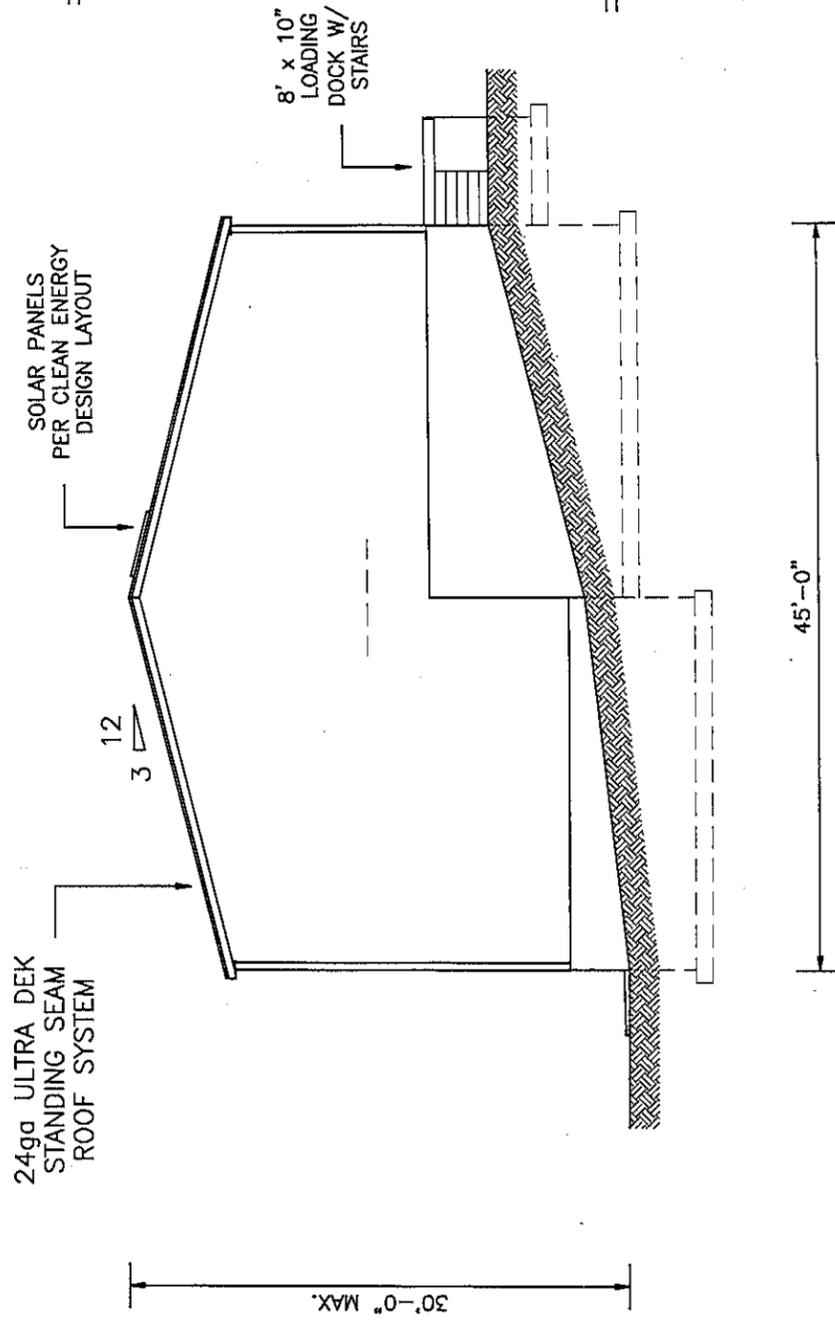
**REAR ELEVATION**

( 3/32" = 1' )

ALL TRIM MATERIAL TO BE METAL  
COLOR = IVORY

ALL ROOF MATERIAL TO BE 24ga  
ULTRA DEK STANDING SEAM ROOF  
SYSTEM  
COLOR = GHARCOAL

ALL SIDING MATERIAL (OTHER THAN  
W.C. SHINGLED AREAS) TO BE 26ga  
R or U PANEL VERTICAL SIDING  
COLOR = LIGHT STONE



**RIGHT SIDE ELEVATION**

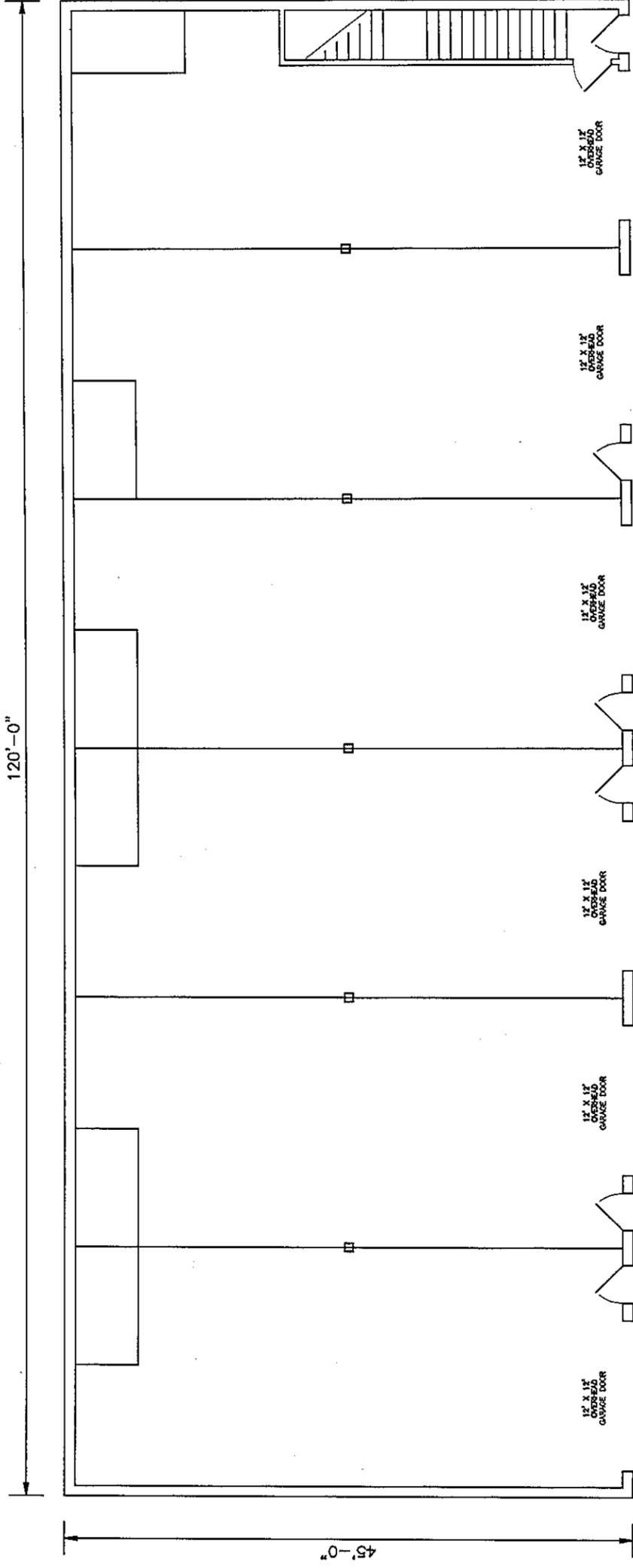
( 3/32" = 1' )

**TRADESMAN PARK - SOUTH  
298 RT. 6**

TRURO

BUILDING 2

11/24/2020 SHEET 2 OF 4



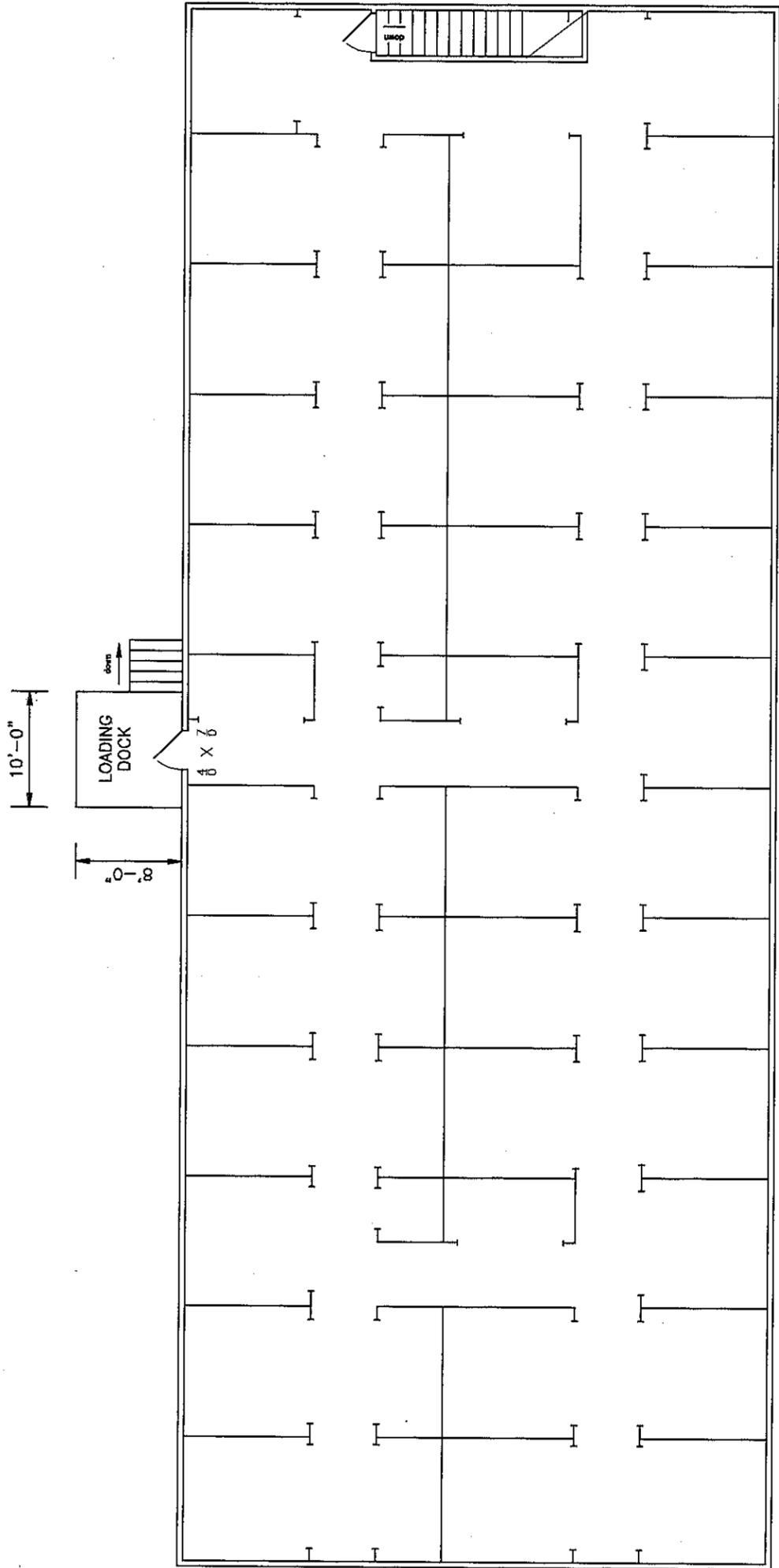
**FIRST FLOOR**

( 3/32" = 1' )

TRADESMAN PARK - SOUTH  
 298 RT. 6  
 TRURO

BUILDING 2

11/24/2020 SHEET 3 OF 4



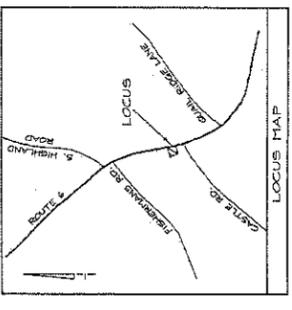
SECOND FLOOR

( 3/32" = 1' )

TRADESMAN PARK - SOUTH  
 298 RT. 6  
 TRURO

BUILDING 2

plan annotations plan - proposed changes



### SITE PLAN

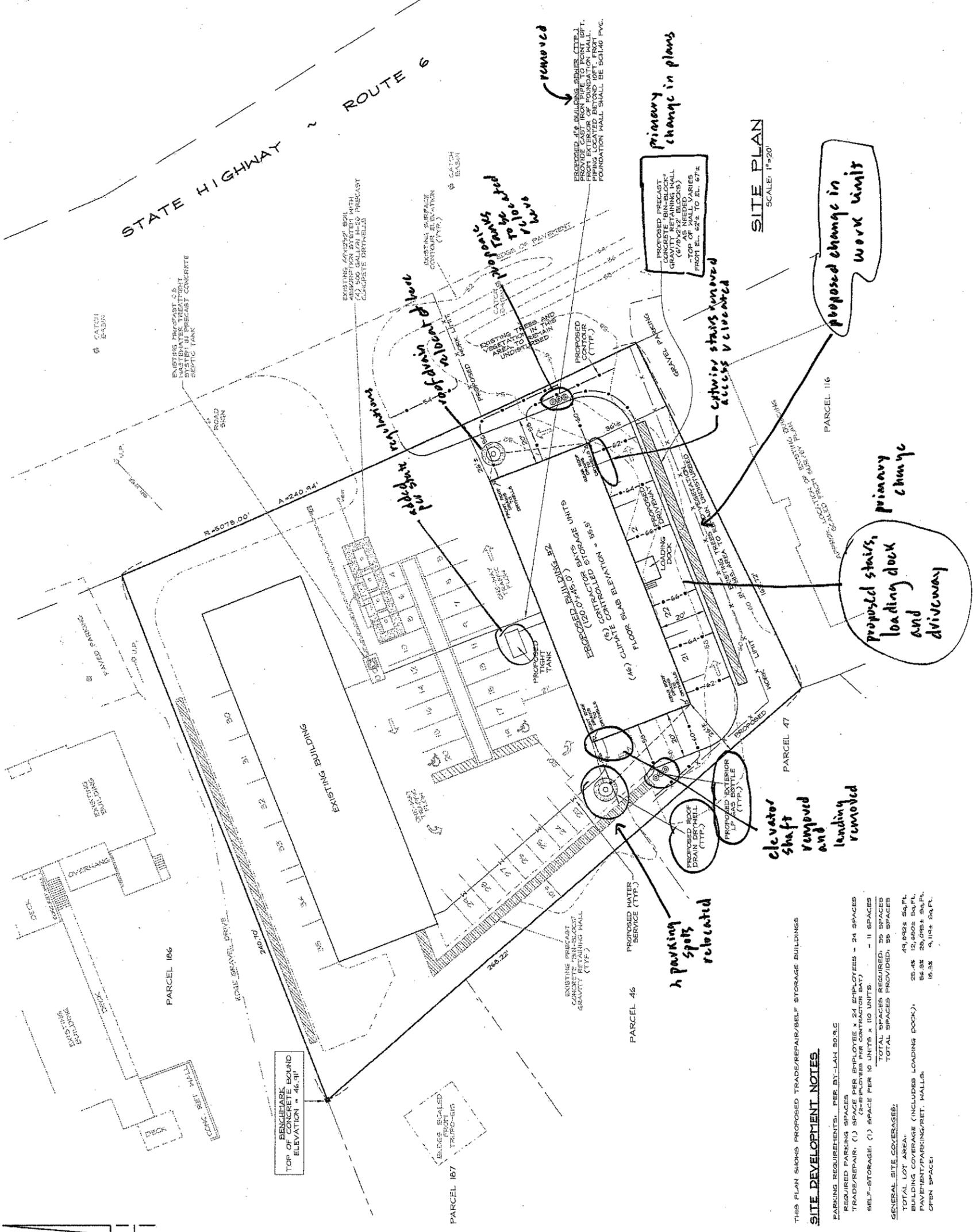
SHOWING REVISED DRIVENWAY FOR PROPOSED BUILDING #2  
 298 STATE HIGHWAY - ROUTE 6  
 TRURO, MA  
 PREPARED FOR:  
 TRADESMAN PARK - SOUTH  
 DECEMBER 22, 2020 SCALE AS NOTED

REFERENCE: -ASSESSORS MAP 48 PARCEL 57  
 -SITE PLAN SHOWING EXISTING CONDITIONS AND PROPOSED COMMERCIAL DEVELOPMENT 298 STATE HIGHWAY - ROUTE 6 TRURO, MA FOR TRADESMAN PARK - SOUTH REVISED: MAY 10, 2019

East Cape Engineering, Inc.  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 # 44 Route 26, Orleans, Mass.  
 (603) 255-7120

PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

D:\G17080512  
 JOB# 17-080



SITE PLAN  
 SCALE: 1"=20'

THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

#### SITE DEVELOPMENT NOTES

PARKING REQUIREMENTS: PER BY-LAW 50.9.C  
 REQUIRED PARKING SPACES  
 TRADE/REPAIR: (1) SPACE PER EMPLOYEE X 24 EMPLOYEES = 24 SPACES  
 (2) SPACES PER CONTRACTOR BAY  
 SELF-STORAGE: (1) SPACE PER 10 UNITS - 11 SPACES  
 TOTAL SPACES REQUIRED: 35 SPACES  
 TOTAL SPACES PROVIDED: 55 SPACES

GENERAL SITE COVERAGES:  
 TOTAL LOT AREA: 49,932 SQ. FT.  
 BUILDING COVERAGE (INCLUDES LOADING DOCK): 25.4% 12,580 SQ. FT.  
 PAVEMENT/PARKING/RET. MALLS: 66.3% 20,093 SQ. FT.  
 OPEN SPACE: 18.3% 9,152 SQ. FT.

proposed stairs, loading dock and driveway  
 primary change

elevator shaft ramp and landing removed

parking spots relocated

cutaway stairs removed access relocated

PROPOSED PRECAST CONCRETE RETAINING WALL (12'X22' BLOCKS)  
 -TOP AS NEEDED  
 -FRONT E.L. 62.2 TO E.L. 67.2

PROPOSED AS-BUILDING-FERRELL CORP. FROM EXTERIOR OF FOUNDATION MALL. PIPING LOCATED BEYOND 10 FT. FRONT FOUNDATION MALL SHALL BE SCH40 PVC.

proposed stairs to be relocated to new plan

proposed stairs to be relocated to new plan

BENCHMARK  
 TOP OF CONCRETE BOUND  
 ELEVATION = 46.31'

PARCEL 187

PARCEL 186

PARCEL 46

PARCEL 47

PARCEL 116

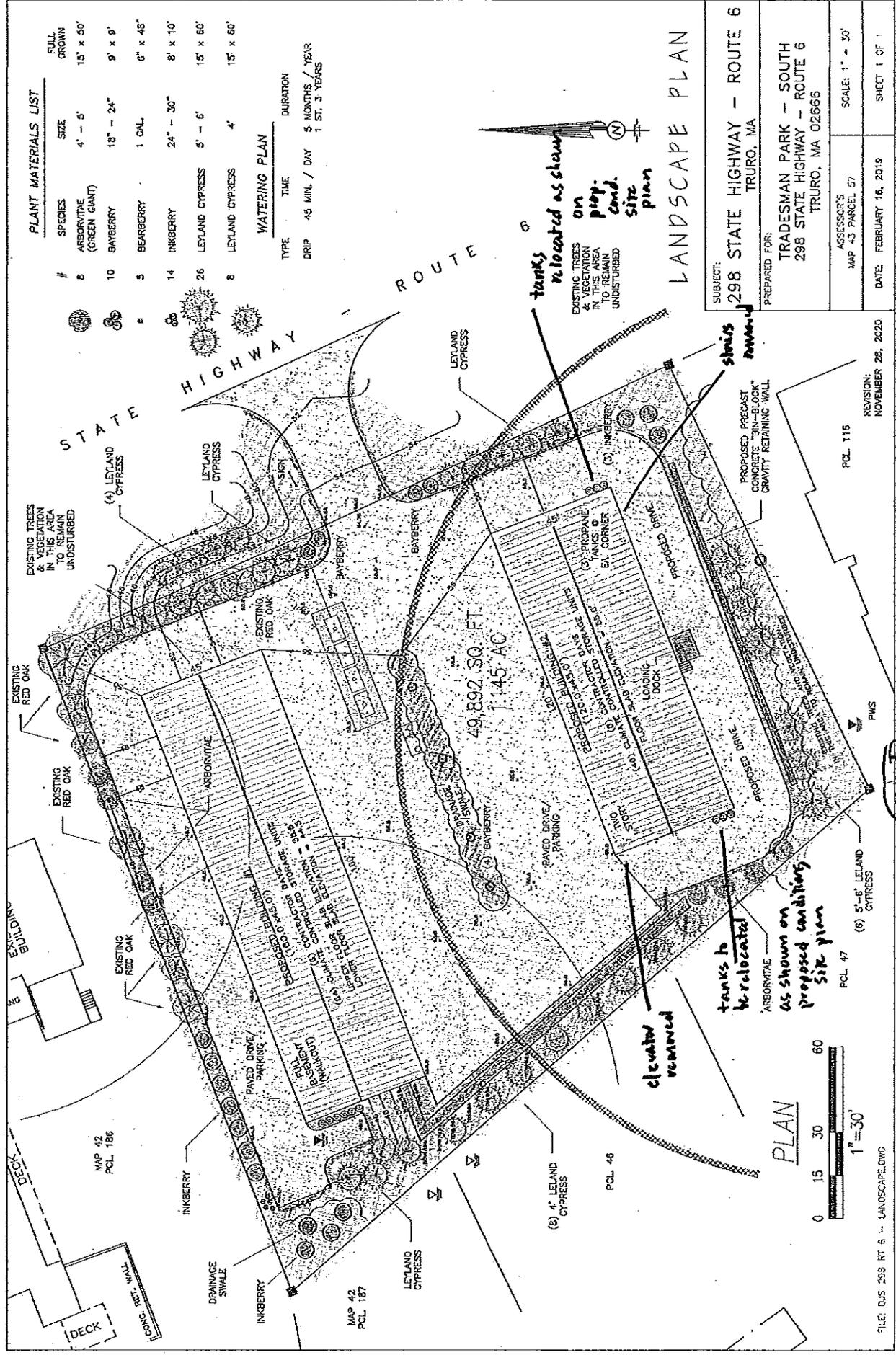
**MSR-Annotated  
Proposed  
Landscape Plan**

**PLANT MATERIALS LIST**

| #  | SPECIES                  | SIZE      | FULL GROWN |
|----|--------------------------|-----------|------------|
| 5  | ARBORVITAE (GREEN GIANT) | 4' - 5'   | 15' x 50'  |
| 10 | BAYBERRY                 | 18" - 24" | 9' x 9'    |
| 5  | BEARBERRY                | 1 GAL.    | 6" x 45"   |
| 14 | INKBERRY                 | 24" - 30" | 8' x 10'   |
| 26 | LELAND CYPRESS           | 5' - 6'   | 15' x 60'  |
| 8  | LELAND CYPRESS           | 4'        | 15' x 60'  |

**WATERING PLAN**

| TYPE | TIME          | DURATION                         |
|------|---------------|----------------------------------|
| DRIP | 45 MIN. / DAY | 5 MONTHS / YEAR<br>1 ST. 3 YEARS |



**SUBJECT:**  
298 STATE HIGHWAY - ROUTE 6  
TRURO, MA

**PREPARED FOR:**  
TRADESMAN PARK - SOUTH  
298 STATE HIGHWAY - ROUTE 6  
TRURO, MA 02666

**ASSASSOR'S:**  
MAP 43 PARCEL 57  
SCALE: 1" = 30'

**DATE:** FEBRUARY 16, 2019  
SHEET 1 OF 1

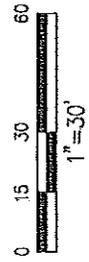
*tanks  
re located as shown  
on  
prop.  
cond.  
Site  
plan*

EXISTING TREES  
& VEGETATION  
IN THIS AREA  
TO REMAIN  
UNDISTURBED

*tanks to  
be relocated  
as shown on  
proposed conditions  
Site plan*

*elevator  
removed*

*catwalk  
drive, (work area) undisturbed area,  
retaining wall, loading dock  
proposed*



# Law Office of Singer & Singer, LLC

26 Upper County Road  
P. O. Box 67  
Dennisport, Massachusetts 02639

Andrew L. Singer  
Marian S. Rose

Tel: (508) 398-2221  
Fax: (508) 398-1568  
www.singer-law.com

Myer R. Singer (1938-2020)

February 19, 2021

Via email: jvelozo @capecodcommission.org

Ms. Jordan Velozo  
Regulatory Officer II  
Cape Cod Commission  
PO Box 226 / 3225 Main Street  
Barnstable, MA 02630

Re: Trademens Park South, 298 Route 6, Truro, Silvador, LLC  
DRI Scoping Decision Minor Modification request

Dear Ms. Velozo,

At Mr. Idman's direction, I'm forwarding the revised request for minor modification for your review. The project is for the construction of two buildings to be used for conditioned storage space and contractor bays on a site along Route 6 in Truro and was approved by the Commission in 2019. Phase 1, the construction of Building 1 and the parking area is complete and the amendments proposed relate to Phase 2, the construction of Building 2. The Applicants would like to amend the approved plan to replace the approved elevator access to the second floor (conditioned storage) of Building 2 with drive-able access by means of extending the driveway to a proposed loading dock on the south facing side (rear) of Building 2.

I submitted a request earlier this year and subsequently the Applicants have made a change, removing a proposed retaining wall for the rear section of the proposed driveway which this revised request reflects. This letter, the attached Narrative and accompanying documents, namely a proposed conditions site plan, an approved conditions site plan, approved and proposed elevations, and approved and proposed conditions landscape plans are submitted as a request for a Minor Modification.

In addition to the plans above, I have also included an annotated proposed site plan, landscape plan and elevations to indicate where the changes to the approved plan are. The changes are primarily related to the proposed replacement of the elevator access to the upper storage area in Building 2 with a drive-able

access by means of rear loading dock at storage level grade accessible by a one-way drive circling the building.

I would be happy to review the plans and answer any questions you may have regarding the request. We will be going before the Truro Planning Board to seek its approval for the proposed changes as well.

Very truly yours,

*Marian S. Rose .*

Marian S. Rose

Enclosures

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\_\_\_\_\_  
Myer R. Singer (1938-2020)

## **CCC Limited DRI Minor Modification**

### **Narrative**

Project Name: Tradesmen's Park South  
Property: 298 Route 6 (State Highway), Truro, MA  
Applicants: Daniel Silva and Erin Sullivan-Silva and Jon Salvador and Wendy Salvador

In connection with the Applicants' proposal to develop the vacant parcel of land located at 298 Route 6 (State Highway) in Truro with two metal buildings to be used by local tradesmen (carpenters, cabinet makers, artists, etc.) in Truro and the surrounding communities, the Cape Cod Commission issued a DRI Scoping Decision for the project on January 10, 2019, the original of which has been recorded with the Barnstable County Registry of Deeds in Book 31848, Page 41. A minor modification request to incorporate Truro Planning Board Conditions was subsequently approved by the Commission on June 6, 2019 and recorded with the Barnstable Registry of Deeds in Book 32234, Page 69.

The Applicants have completed Phase I of the development and a Certificate of Compliance has been issued. Prior to beginning Phase II (the build-out of Building 2), the Applicants have determined that access to the conditioned storage area on the upper level would be more safely, reliably and efficiently met by replacing the approved elevator access and accompanying design elements connected to such access with direct drive-able access to the conditioned storage by means of a graded one-way driveway to a raised loading dock at the rear of Building 2 and continuing to the north-east corner of Building 2.

Proposed amendments to the approved plan are requested in order to provide the revised drive-able access. The Applicants request that these changes be approved as a Minor Modification. The

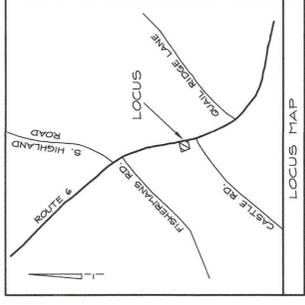
proposed amendments are shown on the proposed conditions site plan, landscape plan, and elevations attached to this Narrative and are listed below:

1. The elevator shaft and parking pad at the northwest corner of Building 2 to be removed and a one-way driveway originating at the northwest corner of Building 2, rising in elevation to meet proposed loading dock at rear of Building 2 and returning to grade level on northeast corner of Building 2 is proposed. The driveway would rise in elevation from an elevation of fifty-six feet at the northwest corner of Building 2 to sixty-two feet on the southwest corner to sixty-six feet at the proposed loading dock grade and then decrease in elevation to sixty-two feet on the southeast corner and return to fifty-six feet on the northeast corner of Building 2. At its closest point, the proposed drive will be sixteen feet from the southerly property line. The turning radii for the driveway extension will be identical in scope to the radius of the northeast corner of Building 1, previously approved by the Truro Planning Board and with the support of the Truro Fire Department in Planning Board Commercial Site Plan Review Decision 2019-003, recorded with the Barnstable Registry of Deeds, Book 32234, Page 62.
2. Parking places spaces numbers 21 and 22 on southwest corner of central parking area to be relocated from their approved location and moved to the rear of Building 2 adjacent to the proposed loading dock. Parking will remain unchanged and a conforming thirty-five spaces;
3. The approved exterior stairs on southeast corner of Building 2 to be removed and secondary access replaced by loading dock access and the existing and unchanged access from the northwest corner of Building 2;
4. A proposed tight tank to be installed as required by the State Plumbing Code for commercial garage bays with vehicle access; the two approved roof drain dry wells at the east and west sides of Building 2 would be moved twenty-five feet to the north corners of Building 2 as shown on the proposed condition plan, and the relocation of exterior LP bottles to locations shown on the proposed conditions plan as suggested by the propane tank supplier subsequent to permitting.
5. The proposed work limit along south border to be amended to accommodate construction of the proposed rear driveway extension. In the proposed expanded work area, two pine trees (now dead) will be removed to accommodate this work. Applicants propose to plant additional trees as shown on the proposed landscape plan which will result in a net increase in trees on the site.
6. In terms of overall effect on the Property, the proposed site plan would increase building coverage on the site from 25.3% (12,600 square feet) approved to 25.4% (12,680 square feet) proposed (an increase of eighty square feet). Pavement, retaining walls and parking would

increase from 43.9% (21,915 square feet) approved to 56.3% (28,093 square feet) proposed. Open space be reduced from 30.8% (15,377 square feet) to 18.3% (9,119 square feet).

7. Drainage on the site has been recalculated to determine whether the increase in building coverage and impervious areas in Parking/Driveway Area 2 and Parking/Driveway Area 3. No additional remediation is needed in the Parking/Driveway Area 2 (which includes the extension of the rear driveway). An additional leach pit is proposed to be installed in Parking/Driveway Area 3 and is shown on the Revised Site Plan dated February 16, 2021 attached. The proposal meets the site design requirements of the Water Resource Protection District to direct runoff toward vegetated swales or basins for surface infiltration and by maximizing protection of groundwater through siting potential pollution sources such as on-site disposal systems outside of the District to the extent feasible. In addition, the Applicant has included best management practices for the protection of the groundwater within the Interim Wellhead Protection Area.
8. In terms of local review, it is anticipated that Applicants will file with the Truro Planning Board for an approval of an amendment to Truro Planning Board Commercial Site Plan Review Decision 2019-003, or, in the alternative, the approval of a new plan incorporating the revisions described above. It is not anticipated that the proposed project described above will need zoning relief from the Truro Zoning Board of Appeals. Informal inquiries to the Truro Board of Health and Truro Fire Department will be made to determine if additional review is necessary. It is anticipated that the Truro Fire Department will support the proposed changes given that this proposal would provide full access around the building and with turning radii identical to specifications approved for Building 1 as noted earlier.

Based on the foregoing, the Applicants respectfully request a Minor Modification to the DRI Scoping Decision issued by the Cape Cod Commission to include the changes as per the proposed condition site plan and landscape plan attached.



# SITE PLAN

SHOWING REVISED DRIVEWAY FOR PROPOSED BUILDING #2

**298 STATE HIGHWAY - ROUTE 6**  
**TRURO, MA**

PREPARED FOR:

**TRADESMAN PARK - SOUTH**

FEBRUARY 16, 2021 SCALE AS NOTED

REFERENCE: -ASSESSORS MAP 43 PARCEL 57

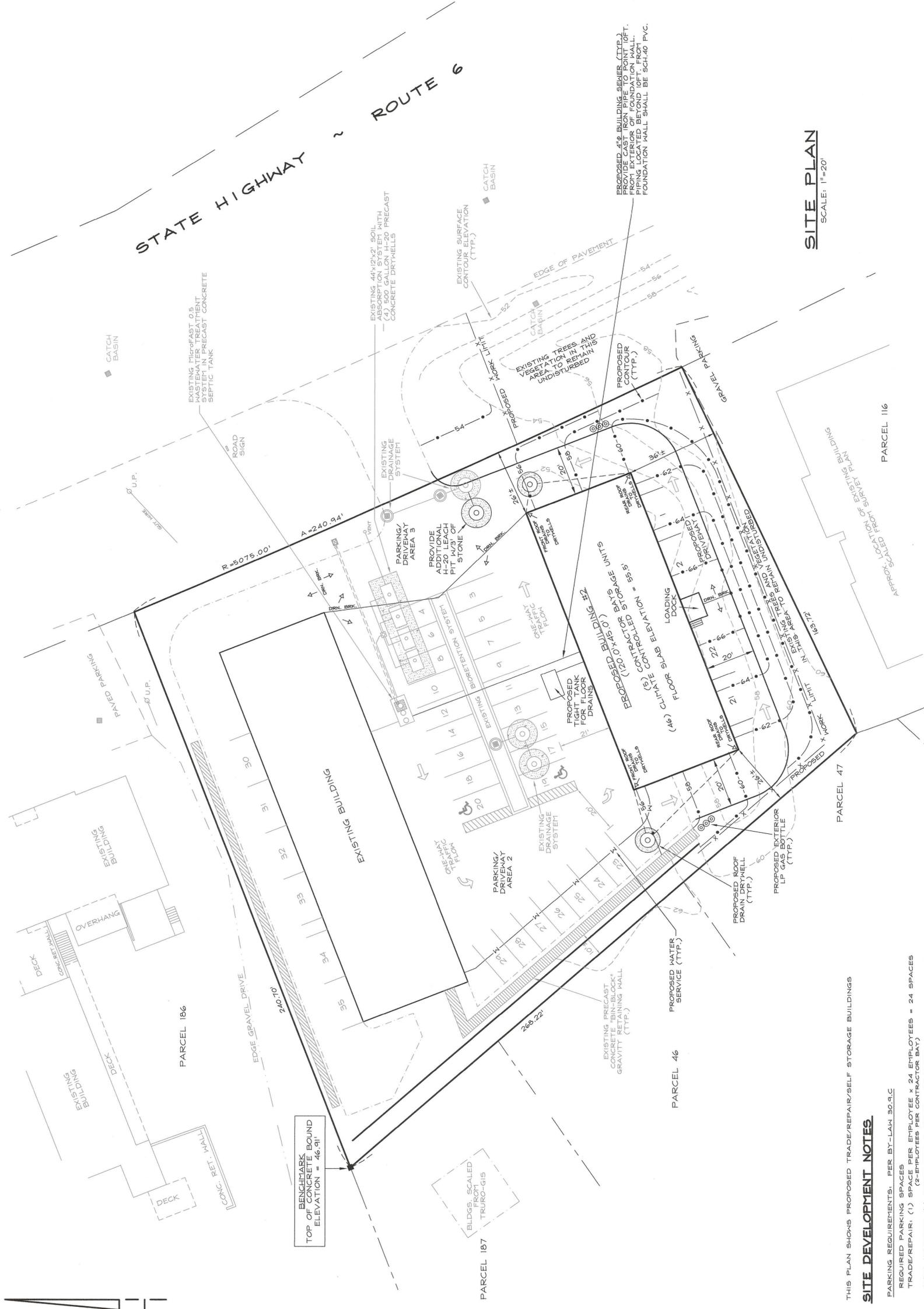
-SITE PLAN SHOWING EXISTING CONDITIONS AND PROPOSED COMMERCIAL DEVELOPMENT 298 STATE HIGHWAY - ROUTE 6 TRURO, MA PREPARED FOR: TRADESMAN PARK - SOUTH REVISED: MAY 10, 2019

**East Cape Engineering, Inc.**

CIVIL ENGINEERS  
LAND SURVEYORS  
# 44 Route 28, Orleans, Mass.  
(508) 255-7120

PROFESSIONAL ENGINEER

DATE



# SITE PLAN

SCALE: 1"=20'

THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

### SITE DEVELOPMENT NOTES

- PARKING REQUIREMENTS, PER BY-LAW 30.5.C
  - REQUIRED PARKING SPACES
  - TRADE/REPAIR: (1) SPACE PER EMPLOYEE x 24 EMPLOYEES = 24 SPACES
  - (2) EMPLOYEES PER CONTRACTOR BAY
  - SELF-STORAGE: (1) SPACE PER 10 UNITS x 110 UNITS = 11 SPACES
  - TOTAL SPACES REQUIRED: 35 SPACES
  - TOTAL SPACES PROVIDED: 35 SPACES
- GENERAL SITE COVERAGES:
- TOTAL LOT AREA: 491,092± Sq.Ft.
  - BUILDING COVERAGE (INCLUDES LOADING DOCK): 25.4% 12,680± Sq.Ft.
  - PAVEMENT/PARKING/RET. WALLS: 56.3% 26,093± Sq.Ft.
  - OPEN SPACE: 18.3% 9,119± Sq.Ft.

PROPOSED AS-BUILT BUILDING SERIES (TYP.) FOUNDATION SHALL BE 18" DIA. CONCRETE PILING LOCATED BEYOND FOUNDATION WALL. FOUNDATION WALL SHALL BE SCH.40 PVC.

BENCHMARK  
TOP OF CONCRETE BOUND  
ELEVATION = 46.91

BLDG'S SCALED  
TRURO-GIS

**PLANT MATERIALS LIST**

| #  | SPECIES                  | SIZE      | FULL GROWN |
|----|--------------------------|-----------|------------|
| 8  | ARBORVITAE (GREEN GIANT) | 4' - 5'   | 15' x 50'  |
| 10 | BAYBERRY                 | 18" - 24" | 9' x 9'    |
| 5  | BEARBERRY                | 1 GAL.    | 6" x 48"   |
| 14 | INKBERRY                 | 24" - 30" | 8' x 10'   |
| 26 | LEYLAND CYPRESS          | 5' - 6'   | 15' x 60'  |
| 8  | LEYLAND CYPRESS          | 4'        | 15' x 60'  |

**WATERING PLAN**

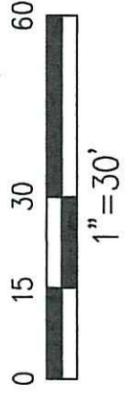
| TYPE | TIME          | DURATION                         |
|------|---------------|----------------------------------|
| DRIP | 45 MIN. / DAY | 5 MONTHS / YEAR<br>1 ST. 3 YEARS |



**LANDSCAPE PLAN**

|               |                   |  |
|---------------|-------------------|--|
| SUBJECT:      |                   | <b>298 STATE HIGHWAY - ROUTE 6</b>                                       |
| PREPARED FOR: |                   | TRADESMAN PARK - SOUTH<br>298 STATE HIGHWAY - ROUTE 6<br>TRURO, MA 02666 |
| ASSESSOR'S    | MAP 43 PARCEL 57  | SCALE: 1" = 30'  |
| DATE:         | FEBRUARY 16, 2019 | SHEET 1 OF 1   |

**PLAN**

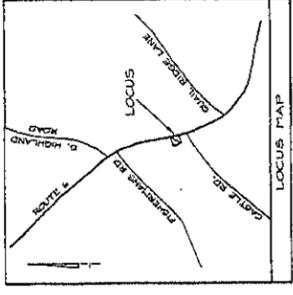


PCL. 116

PCL. 47

PCL. 46

REVISION:  
NOVEMBER 28, 2020



### SITE PLAN

SHOWING REVISED DRIVEWAY FOR PROPOSED BUILDING #2  
 298 STATE HIGHWAY - ROUTE 6  
 TRURO, MA

PREPARED FOR:  
 TRADESMAN PARK - SOUTH  
 FEBRUARY 16, 2021 SCALE AS NOTED

REFERENCE: -ASSESSORS MAP 43 PARCEL 57

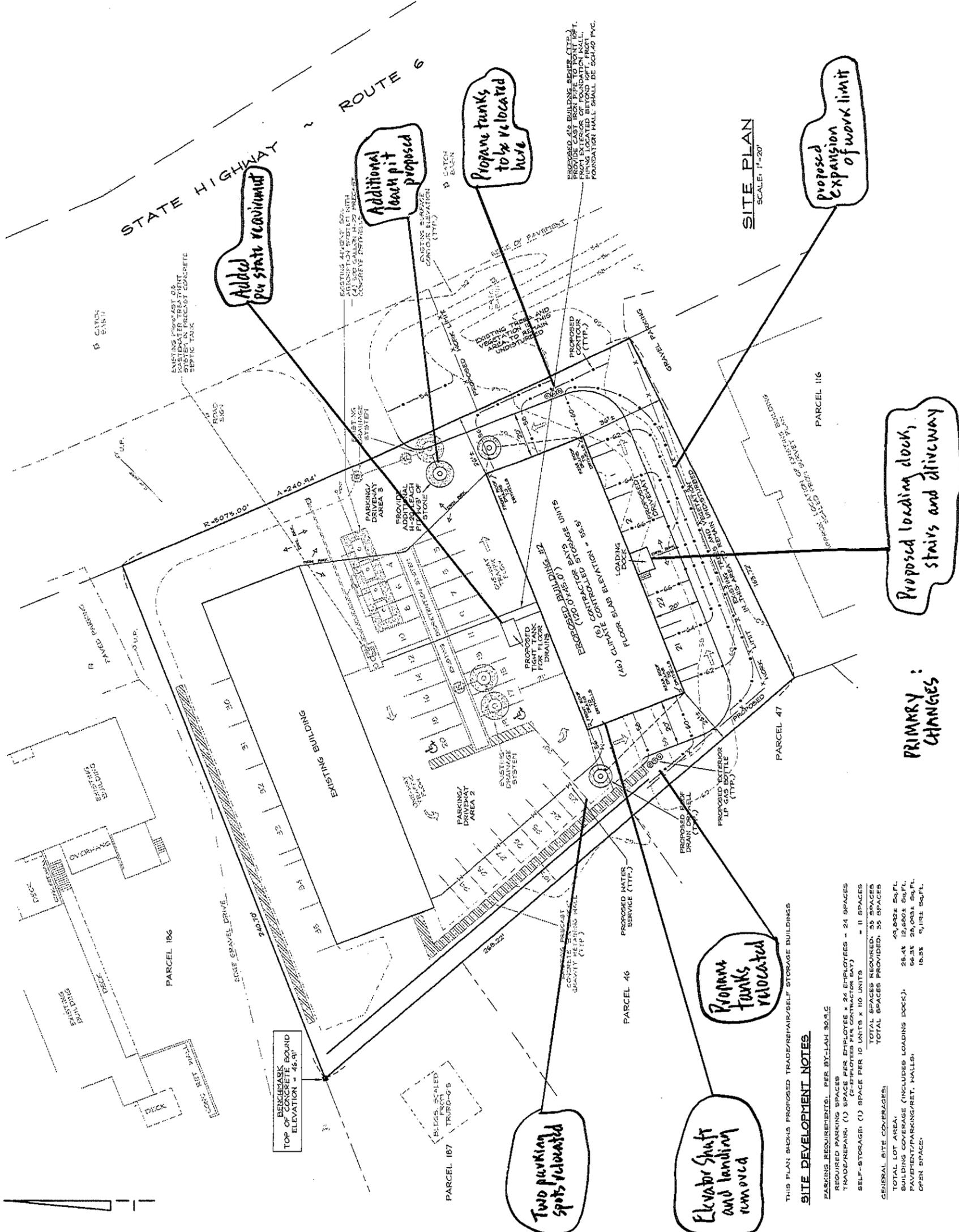
-SITE PLAN  
 SHOWING EXISTING CONDITIONS AND  
 PROPOSED COMMERCIAL DEVELOPMENT  
 298 STATE HIGHWAY - ROUTE 6  
 TRURO, MA  
 PREPARED FOR:  
 TRADESMAN PARK - SOUTH  
 REVISED: MAY 10, 2014

**East Cape Engineering, Inc.**  
 ENGINEERS  
 LAND SURVEYORS  
 # 44, Route 29, Orleans, Mass.  
 (508) 255-7120

PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DWG# 1760821T2  
 JOB# 17-080

FEB 2021 Amended Minor Mod



SITE PLAN  
 SCALE: 1"=20'

PRIMARY CHANGES:

#### SITE DEVELOPMENT NOTES

THIS PLAN SHOWS PROPOSED TRADE/REPAIR/SELF STORAGE BUILDINGS

| FARKING REQUIREMENTS, PER BY-LAN 30-9.5                         |  |
|---|--|
| REQUIRED PARKING SPACES   |  |
| TRADE/REPAIR: (1) SPACE PER EMPLOYEE x 24 EMPLOYEES = 24 SPACES |  |
| SELF-STORAGE: (1) SPACE PER 10 UNITS x 110 UNITS = 11 SPACES    |  |
| TOTAL SPACES PROVIDED: 35 SPACES                                |  |

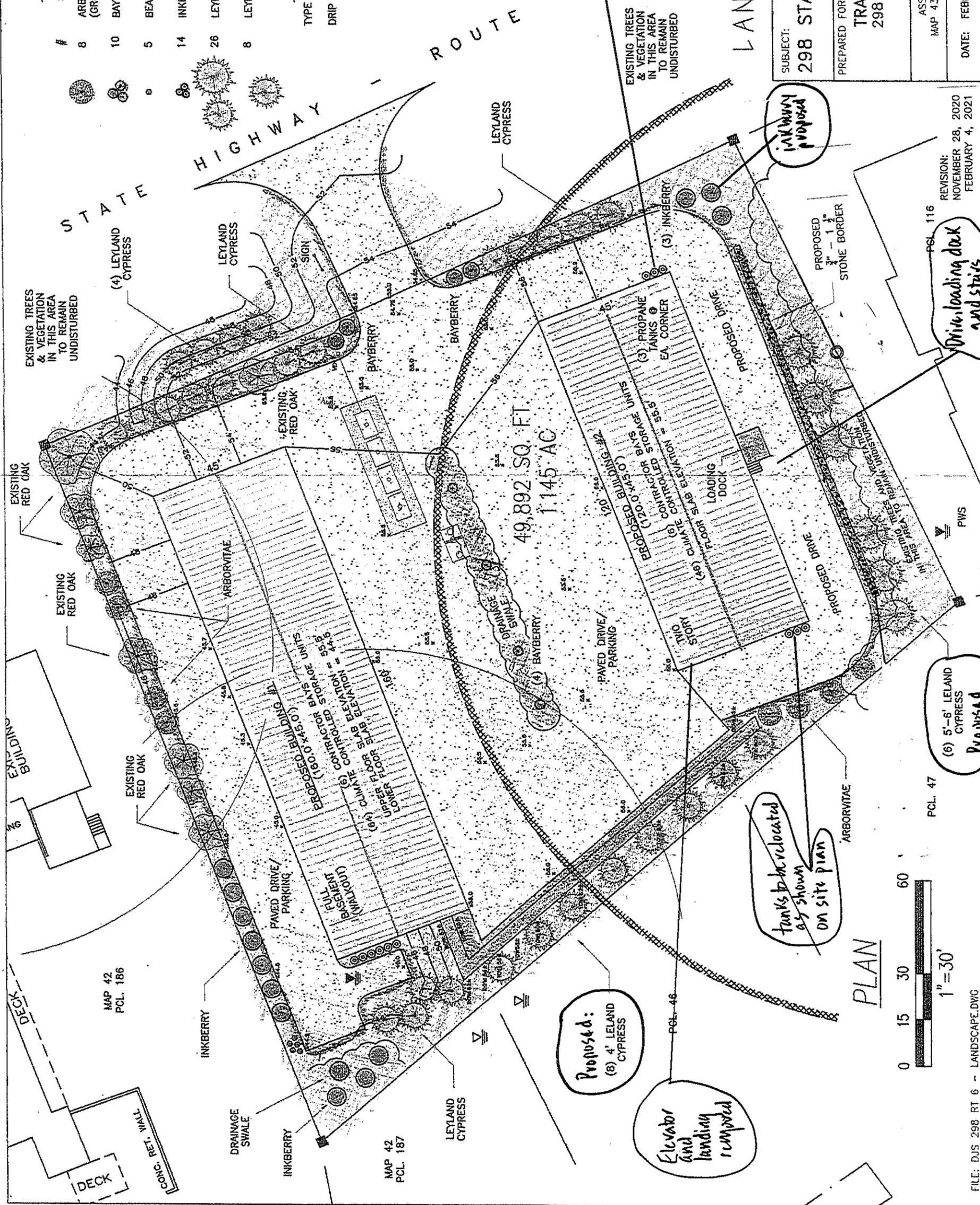
| GENERAL SITE COVERAGES:                    |                      |
|--|----------------------|
| TOTAL LOT AREA:                            | 43,822 sq. ft.       |
| BUILDING COVERAGE (INCLUDES LOADING DOCK): | 28.41 12,680 sq. ft. |
| PAVEMENT/PARKING/RET. WALLS:               | 66.31 28,083 sq. ft. |
| OPEN SPACE:                                | 18.35 7,918 sq. ft.  |

**PLANT MATERIALS LIST**

| #  | SPECIES                  | SIZE      | FULL GROWN |
|----|--------------------------|-----------|------------|
| 8  | ARBORVITAE (GREEN GIANT) | 4' - 5'   | 15' x 50'  |
| 10 | BAYBERRY                 | 18" - 24" | 9' x 9'    |
| 5  | BEARBERRY                | 1 GAL.    | 6" x 48"   |
| 14 | INKBERRY                 | 24" - 30" | 8' x 10'   |
| 26 | LEYLAND CYPRESS          | 5' - 6'   | 15' x 60'  |
| 8  | LEYLAND CYPRESS          | 4'        | 15' x 60'  |

**WATERING PLAN**

| TYPE | TIME          | DURATION                         |
|------|---------------|----------------------------------|
| DRIP | 45 MIN. / DAY | 5 MONTHS / YEAR<br>1 ST. 3 YEARS |



**LANDSCAPE PLAN**

SUBJECT: **298 STATE HIGHWAY -- ROUTE 6**  
TRURO, MA

PREPARED FOR: **TRADESMAN PARK - SOUTH**  
298 STATE HIGHWAY - ROUTE 6  
TRURO, MA 02666

ASSESSOR'S MAP 43 PARCEL 57

SCALE: 1" = 30'

DATE: FEBRUARY 16, 2019

SHEET 1 OF 1

**PLAN**



REVISION: NOVEMBER 28, 2020  
FEBRUARY 4, 2021

COMMERCIAL DEVELOPMENT SITE PLAN REVIEW DECISION

**Atlas Map 43 Parcel 57**

**Address 298 Route 6**

**Case Reference No.: 2021-002/SPR**

**Applicant: Silvador, LLC**

**Owner: Silvador, LLC**

**Title Reference: Barnstable Registry of Deeds, Book 32256 Page 157**

**Hearing Dates: April 21, 2021**

**Decision Date: April 21, 2021**

**Sitting:** Anne Greenbaum, Chair; Steve Sollog, Vice Chair; Jack Riemer, Clerk;  
Paul Kiernan; Bruce Boleyn; Peter Herridge; Richard Roberts

Following duly posted and noticed Truro Planning Board hearing held on April 21, 2021, the Board voted to approve the application for modification to Commercial Site Plan Review Decision granted by the Board on May 1, 2019, pursuant to Section 70.3(H) of the Truro Zoning Bylaw. The modification here approved is the removal of the elevator from Building 2 and the addition of a driveway around the building, elevating to serve a loading area on the second floor at the rear of the building, on property located at 298 Route 6 Map 43, Parcel 57 in the Route 6 General Business District.

The following materials were submitted as part of the complete application for review:

- Application for Commercial Site Plan Review
- Commercial Site Plan Review Decision of the Truro Planning Board dated May 1, 2019
- Certified Abutters List
- Narrative
- "Site Plan showing revised driveway for proposed Building #2, 298 State Highway – Route 6, Truro, MA prepared for Tradesman Park – South," dated February 6, 2021, scale as noted
- "Tradesman Park – South, 298 Rt. 6, Truro, Building 2, Sheets 1-4," dated November 24, 2020 (elevations and floor plan)
- "DJS 298 Rt. 6, Building 1 and Building 2, Sheets 1-4," dated November 9, 2018 (elevations)
- "Landscape Plan, 298 State Highway – Route 6, Truro, MA, prepared for Tradesman Park – South, 298 State High Highway – Route 6 Truro, MA 02666," Scale 1" = 30', dated February 16, 2019
- "Landscape Plan, 298 State Highway – Route 6, Truro, MA, prepared for Tradesman Park – South, 298 State High Highway – Route 6 Truro, MA 02666," Scale 1" = 30', dated February 16, 2019, revisions November 28, 2020, February 4, 2021, March 19, 2021

- Project Estimate
- Drainage Area Design Sheet
- Certificate of Use and Occupancy, Tradesman Park – South, Building #1
- Review Criteria form, completed
- Commercial Site Plan Review Checklist
- Filings with Cape Cod Commission dated January 2021 and amended filing dated February 2021 [*detail?*]

**Board Vote:**

At the April 21, 2021 meeting, M. made a motion, seconded by M. , to approve the application for Modification of Commercial Site Plan Approval. Vote was X-X in favor.

In favor of the Motion:

*Anne Greenbaum, Chair; Steve Sollog, Vice Chair; Jack Riemer, Clerk; Paul Kiernan; Bruce Boleyn; Peter Herridge; Richard Roberts*

The application of Silvador, LLC for Modification to Commercial Site Plan Approval pursuant to s. 70 of the Truro Zoning Bylaw was granted by the Planning Board.

This decision is pursuant to the following facts and conditions:

Findings:

1. This is an application by Silvador, LLC for Modification to a Commercial Site Plan Approval granted by the Board on May 1, 2019, pursuant to Section 70 of the Truro Zoning Bylaw (“Bylaw”).
2. The property is located in the Route 6 General Business zoning district, and within the Water Resource Protection Overlay District.
3. The Board’s May 1, 2019 decision granted Commercial Site Plan Approval of “Tradesman Park - South”, permitting the construction of two buildings, landscaping, and other associated site improvements on this 1.1 acre lot.
4. Pursuant to this approval, Building 1 was constructed on the northern area of the property, containing seven contractor bays and sixty-four self-storage units. A second building on the southern area of the property was approved (five contractor bays on the main level, and forty-six self-storage units on a second level, served by an elevator), but has not yet been constructed.
5. The Applicant seeks to modify the approved project by eliminating the elevator from the design of Building 2, replacing it with “drivable access to a proposed rear platform deck” at the second level of the Building, on the rear of the building (facing the adjacent Truro

Motor Inn property). This drivable access will be provided by constructing a 12-foot wide driveway around three sides of the Building, a feature which did not exist in the earlier approved plan. This extends the limit of work (and activity on the lot) close to the rear and side lot lines.

6. A landscaped buffer is proposed between the Building and the driveway, and between the driveway and abutting properties. Exterior stairs on the southeast corner of Building 2 will be removed.
7. In addition, modifications to parking are proposed to reflect current usage of Building 1; *the Applicant requests a modification from 35 to 31 spaces.*
8. Additional landscaping and modifications to the plumbing and drainage system are proposed.
9. The original project was reviewed by the Cape Cod Commission, which in a DRI Scoping Decision issued January 10, 2019, imposed conditions relating to the adjacent public water supply well; handling of wastewater; limitations on nitrogen loading; landscape management; limitations on hazardous materials; and stormwater management. The Scoping Decision was modified on June 6, 2019 to reflect changes required by this Board in its May 1, 2019 decision.
10. In January 2021, the Applicant applied to the Commission for a Minor Modification to incorporate the proposed driveway around Building 2 and second story access at the rear of the Building. The Commission has not yet issued a decision on the request for modification.
11. The Board has reviewed all plans with respect to this Application and has found that they comply with all requirements set forth in Section 70.3 of the Bylaw.
12. The Board finds that the proposed modification to the project is appropriate to use of this site in the Route 6 General Business District. Drive-up access to the second story of Building 2 provides added convenience to the tenants of the facility.
13. The Board further finds that the wraparound driveway and its use will result in increased impacts of the facility on abutting properties. These impacts include increased lighting, noise and fumes from vehicles utilizing the second story access. To mitigate these increased impacts, the Board imposes certain additional conditions below.
14. Pursuant to Section 70.3(F) of the Bylaw, the Board makes the following findings under the relevant Review Criteria and Design Guidelines relating to the requested modification:
  - A. The proposal is in conformity with all applicable provisions of the Zoning Bylaw.

Commented [B1]: confirm

- B. As conditioned below, the proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses.
- C. As conditioned below, the proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting shall be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro.
- D. As conditioned below, the building site will minimize tree, vegetation, and soil removal and grade changes to the greatest extent possible given the revised design.
- E. As approved by the Cape Cod Commission, the modified drainage system within the site is adequate to handle the runoff resulting from the development.
- F. With a soil erosion plan approved by the Cape Cod Commission, slopes within the site shall be adequately protected and runoff to adjacent properties and streets controlled both during and after construction.
- G. The proposal provides for structural and/or landscaped screening or buffers for storage areas and loading docks viewed from street frontages and residentially used or zoned premises.
- H. Convenience and safety of vehicular and pedestrian movement within the site and in relation to Route 6 are maximized. Traffic patterns for vehicles show safe and adequate circulation within and access to and from the site.

**Commented [B2]:** Am relying on Commission's expertise as I'm not qualified to review drainage calcs

**Commented [B3]:** Same. Am hoping Commission requires this

Conditions

1. Except as modified by this Decision, all conditions contained in the Board's May 1, 2019 Decision remain applicable and enforceable.
2. The use of the Property shall be in strict conformance with the Town of Truro Bylaw.
3. Construction of Building 2 and all other improvements shall conform to the plans referenced in this decision, including the Landscape Plan.
4. Any additional lighting shall be installed and maintained so as to comply with the Truro of Truro Outdoor Lighting Bylaw, Chapter IV, Section 6 of the General Bylaws.
5. ADDITIONAL CONDITIONS RELATING TO LANDSCAPING; OTHER SCREENING; MITIGATION; HOURS OF USE?
6. The Applicant shall submit to the Building Commissioner all plans referenced above prior to commencing site work.





April 13, 2021

Benjamin E. Zehnder  
ext. 128  
bzehnder@latanzi.com

Susan Joseph, Acting Town Clerk  
Truro Town Hall  
24 Town Hall Road  
Truro, MA 02666

Re: Supplemental Filing /  
Planning Board Case No. 2020-06 / SPR  
112 North Pamet Road (Assessor's Parcel ID 48-1)

Dear Ms. Joseph:

Please find enclosed for filing with Planning Board Case No. 2020-06 / SPR an original packet of supplemental materials, plus fourteen additional packet copies. My office will email a scan of the entire application to [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov) today. The enclosed supplemental materials are listed as follows:

1. Site Plan dated April 12, 2021 numbered C2.1.1;
2. Grading Plan dated April 12, 2021 numbered C2.2.1;
3. Architectural floor plans, elevations, lighting plan, and materials and exterior lighting schedules dated March 29, 2021 (9 sheets: S-1; S-2; S-3; A1; A2; A3; A4; A5; A6; A7; A8; A9; E1 and Lighting Specifications);
4. Blueflax Design Landscape Restoration Plan dated April 13, 2021.

Thank you for your assistance.

Very truly yours,

Benjamin E. Zehnder

Enc.  
cc via email only w/ attachments:  
Barbara Huggins Carboni, Esq., Assistant Town Administrator  
client  
Daniel Costa  
Bradford Malo  
David Michniewicz  
Theresa Sprague

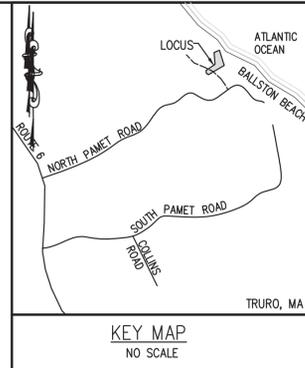
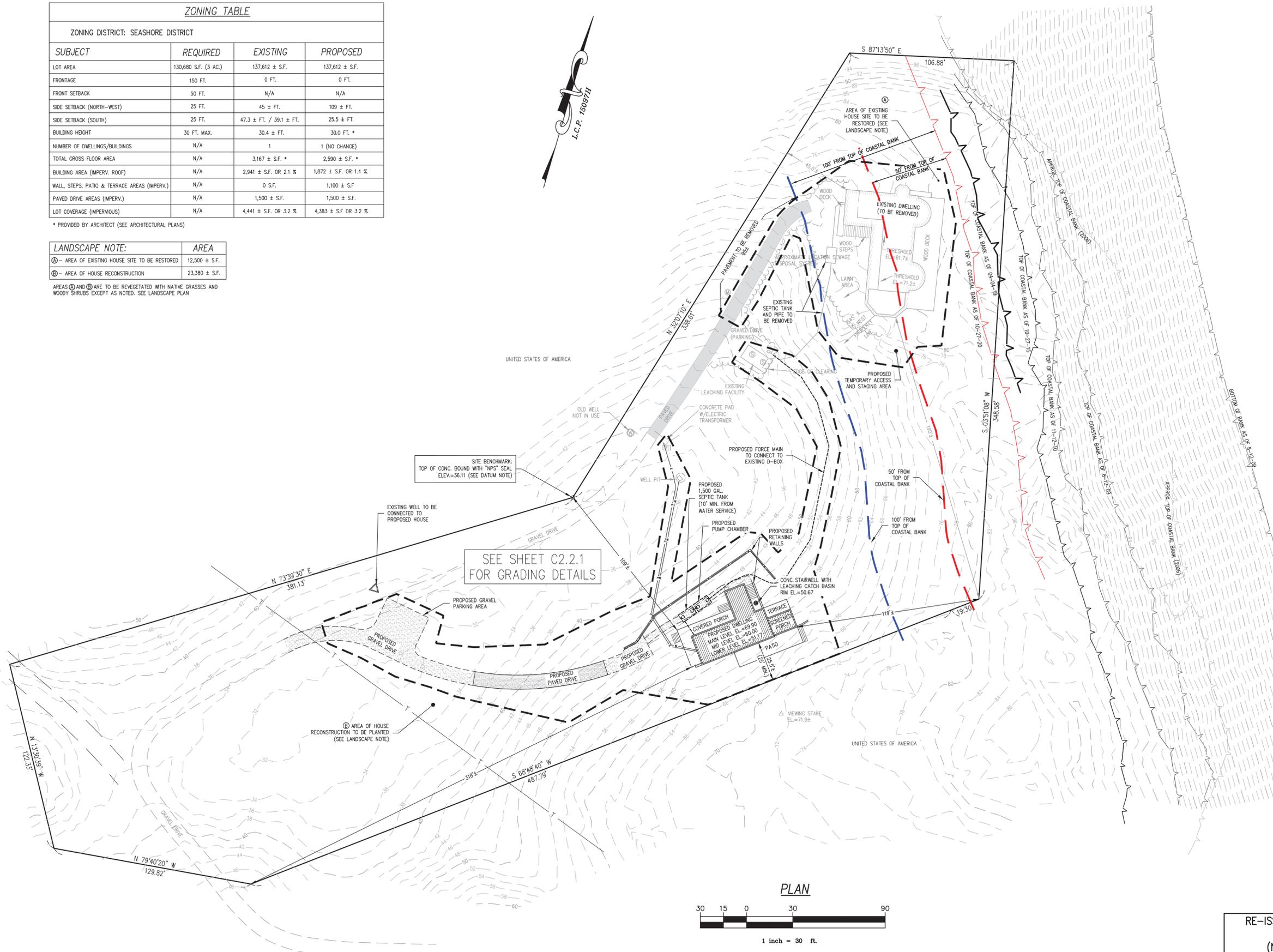
*A Legal Beacon since 1969*

| ZONING TABLE                                 |                      |                         |                       |
|--|----------------------|-------------------------|-----------------------|
| ZONING DISTRICT: SEASHORE DISTRICT           |                      |                         |                       |
| SUBJECT                                      | REQUIRED             | EXISTING                | PROPOSED              |
| LOT AREA                                     | 130,680 S.F. (3 AC.) | 137,612 ± S.F.          | 137,612 ± S.F.        |
| FRONTAGE                                     | 150 FT.              | 0 FT.                   | 0 FT.                 |
| FRONT SETBACK                                | 50 FT.               | N/A                     | N/A                   |
| SIDE SETBACK (NORTH-WEST)                    | 25 FT.               | 45 ± FT.                | 109 ± FT.             |
| SIDE SETBACK (SOUTH)                         | 25 FT.               | 47.3 ± FT. / 39.1 ± FT. | 25.5 ± FT.            |
| BUILDING HEIGHT                              | 30 FT. MAX.          | 30.4 ± FT.              | 30.0 FT. *            |
| NUMBER OF DWELLINGS/BUILDINGS                | N/A                  | 1                       | 1 (NO CHANGE)         |
| TOTAL GROSS FLOOR AREA                       | N/A                  | 3,167 ± S.F. *          | 2,590 ± S.F. *        |
| BUILDING AREA (IMPERV. ROOF)                 | N/A                  | 2,941 ± S.F. OR 2.1 %   | 1,872 ± S.F. OR 1.4 % |
| WALL, STEPS, PATIO & TERRACE AREAS (IMPERV.) | N/A                  | 0 S.F.                  | 1,100 ± S.F.          |
| PAVED DRIVE AREAS (IMPERV.)                  | N/A                  | 1,500 ± S.F.            | 1,500 ± S.F.          |
| LOT COVERAGE (IMPERVIOUS)                    | N/A                  | 4,441 ± S.F. OR 3.2 %   | 4,383 ± S.F. OR 3.2 % |

\* PROVIDED BY ARCHITECT (SEE ARCHITECTURAL PLANS)

| LANDSCAPE NOTE:                                | AREA          |
|--|---------------|
| Ⓐ - AREA OF EXISTING HOUSE SITE TO BE RESTORED | 12,500 ± S.F. |
| Ⓒ - AREA OF HOUSE RECONSTRUCTION               | 23,380 ± S.F. |

AREAS Ⓐ AND Ⓒ ARE TO BE REVEGETATED WITH NATIVE GRASSES AND WOODY SHRUBS EXCEPT AS NOTED. SEE LANDSCAPE PLAN



**PLAN & TITLE REFERENCES:**

ASSESSORS MAP 48, PARCEL 1  
 LOT 7 L.C.P. 15097H  
 C.T. OF TITLE 208468  
 OWNERS: WILLIAM T. BURDICK and RICHARD C. VANISON, TRUSTEES DUNE HOUSE NOMINEE TRUST

**DATUM NOTE:**

ELEVATIONS SHOWN HEREON ARE BASED ON APPROXIMATE NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 1929)

**FLOOD NOTE:**

FLOOD ZONE X AS SHOWN ON FEMA FIRM PANEL #25001C0144J REVISED JULY 16, 2014

**NOTE:**

THIS PROPERTY IS SUBJECT TO JURISDICTION UNDER NHESP

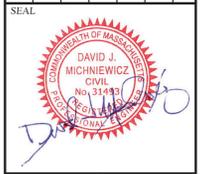
**PROPOSED GRADING:**

SEE DRAWING C2.2.1 FOR PROPOSED GRADING DETAILS

- LEGEND**
- EXISTING**
- NPS BOUND (NATIONAL PARK SERVICE)
  - ⊙ SEWER MANHOLE
  - ☒ TELEPHONE BOX
  - 80 — CONTOUR
  - 82.1 SPOT GRADE
- PROPOSED**
- 71.0 — WATER SERVICE
  - 71.0 — ELECTRIC SERVICE



| NO. | DATE       | REVISION  |
|-----|------------|---|
| 2   | 04-12-2021 | MODIFY DWELLING ELEV'S, DRIVEWAY LOCATION & GRADING |
| 1   | 02-24-2021 | MODIFY PROPOSED HOUSE LAYOUT & UPDATE ZONING TABLE  |



PROJECT: ANNE PERETZ  
 112 NORTH PAMET ROAD  
 TRURO, MA

SHEET TITLE: SITE PLAN SHOWING PROPOSED DWELLING RECONSTRUCTION

SCALE: AS NOTED

DRAWING FILE: C11483-C3D.dwg

DATE: 04-12-2021  
 REV: 12-07-2020

DRAWN BY: MAP/BPM/MJB

CHECKED BY:

PROJECT NO. C11483.01

1 OF 2 SHEETS

RE-ISSUED FOR PB & ZBA REVIEW  
 04-12-2021  
 (NOT FOR CONSTRUCTION)

F:\SDSK\PROJECT\1000\C11483\C11483-C3D.dwg Apr 12, 2021 3:45pm

| NO. | DATE       | BY  |
|-----|------------|-----|
| 2   | 04-12-2021 | BPM |
| 1   | 02-24-2021 | BPM |



|                      |   |
|----------------------|---|
| PROJECT              | TRURO, MA   |
| 112 NORTH PAMET ROAD |   |
| SHEET TITLE          | <b>PROPOSED GRADING PLAN FOR<br/>PROPOSED DWELLING RECONSTRUCTION</b> |
| SCALE                | AS NOTED  |
| DRAWING FILE         | C11483-C3D.dwg  |
| DATE                 | 04-12-2021  |
| REV.                 | 12-07-2020  |
| DRAWN BY             | BPM/MJB   |
| CHECKED BY           |   |
| PROJECT NO.          | C11483.01   |

**LEGEND**

**EXISTING**

- NPS BOUND (NATIONAL PARK SERVICE)
- ⊙ SEWER MANHOLE
- ☒ TELEPHONE BOX
- 80- CONTOUR
- +82.1 SPOT GRADE

**PROPOSED**

- 50- CONTOUR
- +56.5 SPOT GRADE
- W- WATER SERVICE
- E- ELECTRIC SERVICE

SITE BENCHMARK:  
TOP OF CONC. BOUND WITH "NPS" SEAL  
ELEV.=36.11 (SEE DATUM NOTE)

PROPOSED FORCE  
MAIN TO CONNECT TO  
EXISTING D-BOX

WELL PIT

PROPOSED GRAVEL WALKWAY

PROPOSED PUMP CHAMBER

PROPOSED RETAINING WALL W/FENCE  
(WALL HEIGHT VARIES)

PROPOSED 1,500 GALL  
SEPTIC TANK

CONC. STAIRWELL WITH  
LEACHING CATCH BASIN  
RIM EL.=50.67

PROPOSED COVERED PORCH  
EL.=59.50

PROPOSED DWELLING  
MAIN LEVEL EL.=69.90  
MID LEVEL EL.=68.00  
LOWER LEVEL EL.=61.17

PROPOSED TERRACE  
EL.=59.75

PROPOSED SCREENED PORCH

PROPOSED PATIO  
ABOVE GRADE  
EL. 69.79

PROPOSED LANDSCAPE WALL

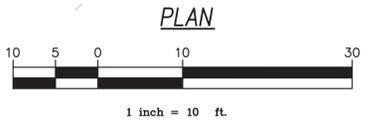
PROPOSED GRAVEL DRIVE

PROPOSED PAVED DRIVE

PROPOSED LIMIT OF WORK/  
SEDIMENTATION BARRIER  
(TYP.)

PROPOSED GRAVEL PARKING

AREA OF HOUSE  
RECONSTRUCTION TO  
BE PLANTED (SEE  
LANDSCAPE NOTE)

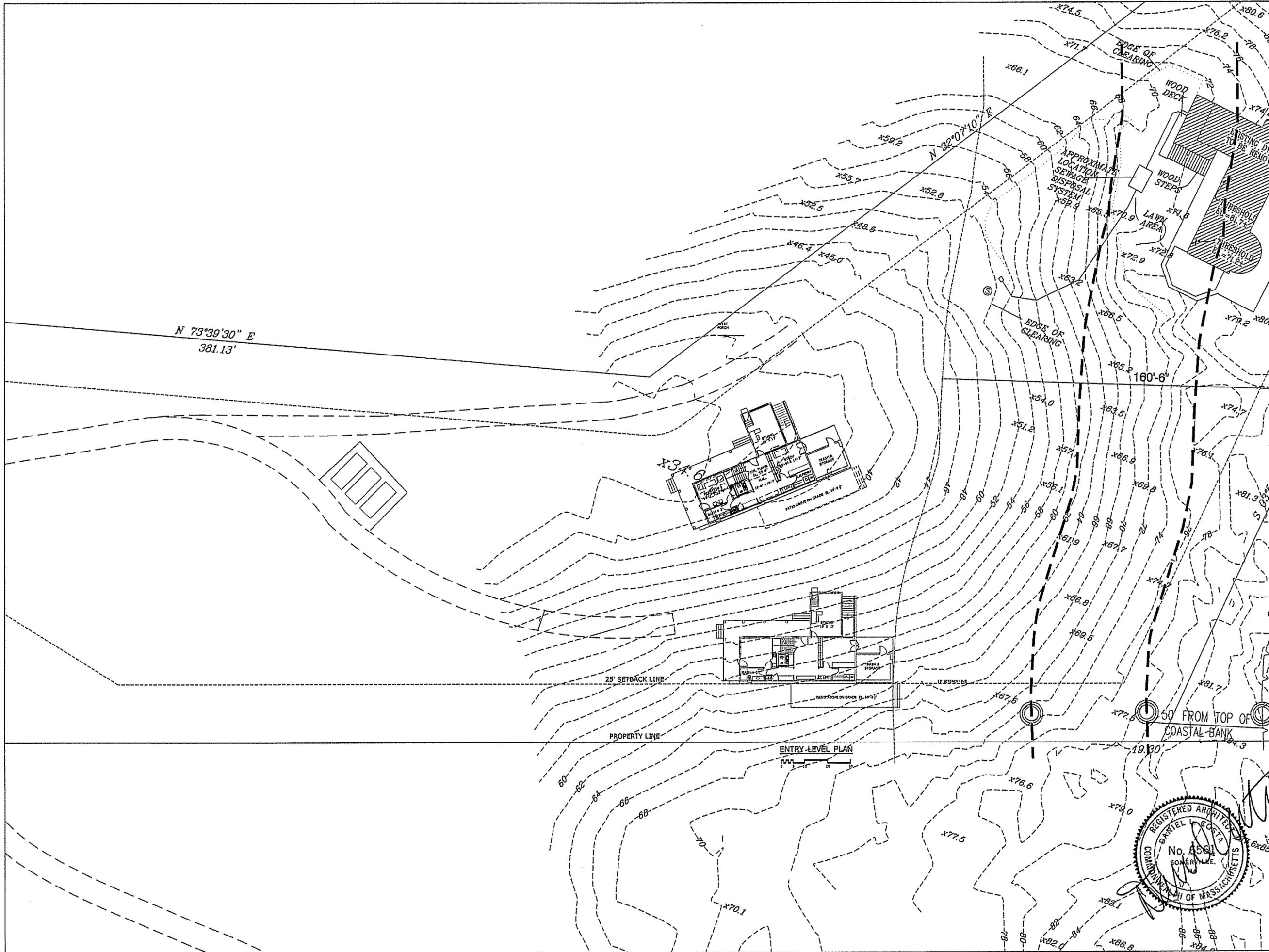


RE-ISSUED FOR PB & ZBA REVIEW  
04-12-2021  
(NOT FOR CONSTRUCTION)

**C2.21**

2 OF 2 SHEETS





PERETZ 112  
 112 NORTH PAMET RD.  
 TRURO, MA

DAN COSTA  
 P.O BOX 411  
 MYSTIC, CT 06355  
 617-448-9954

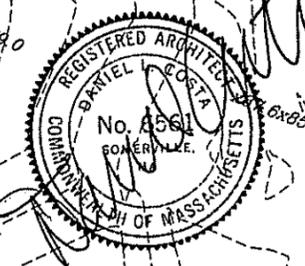
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OWNER SIGN-OFF WITH DATE

HOUSE MOVE  
 "A"  
 TO  
 FLAT AREA  
 OF SITE

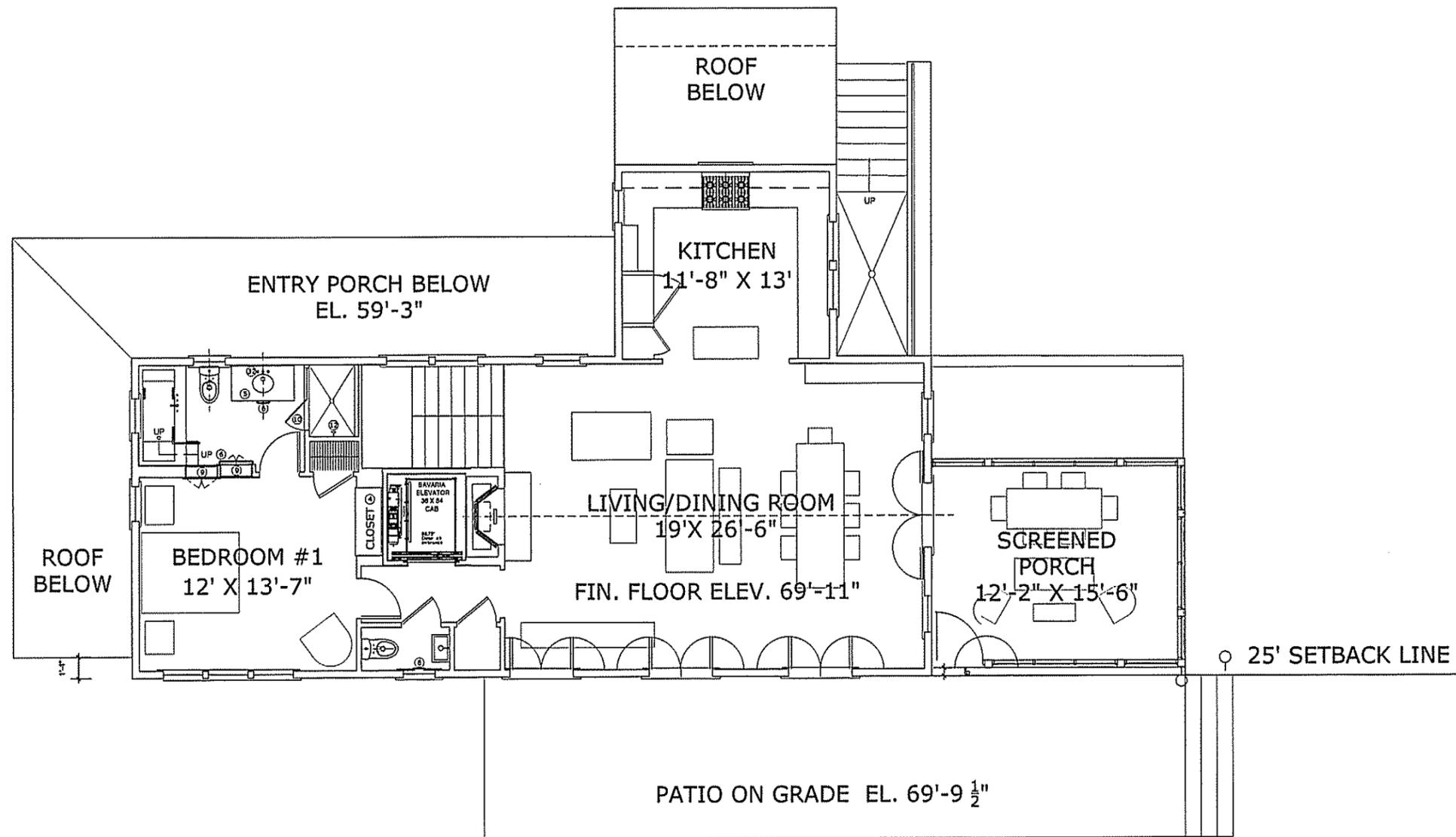
GRAPHIC SCALE

APRIL 4, 2021

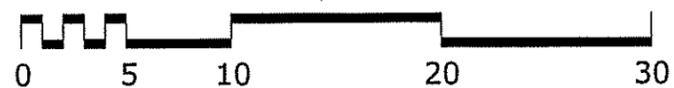


S-2





# MAIN LEVEL PLAN 3.29.21



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

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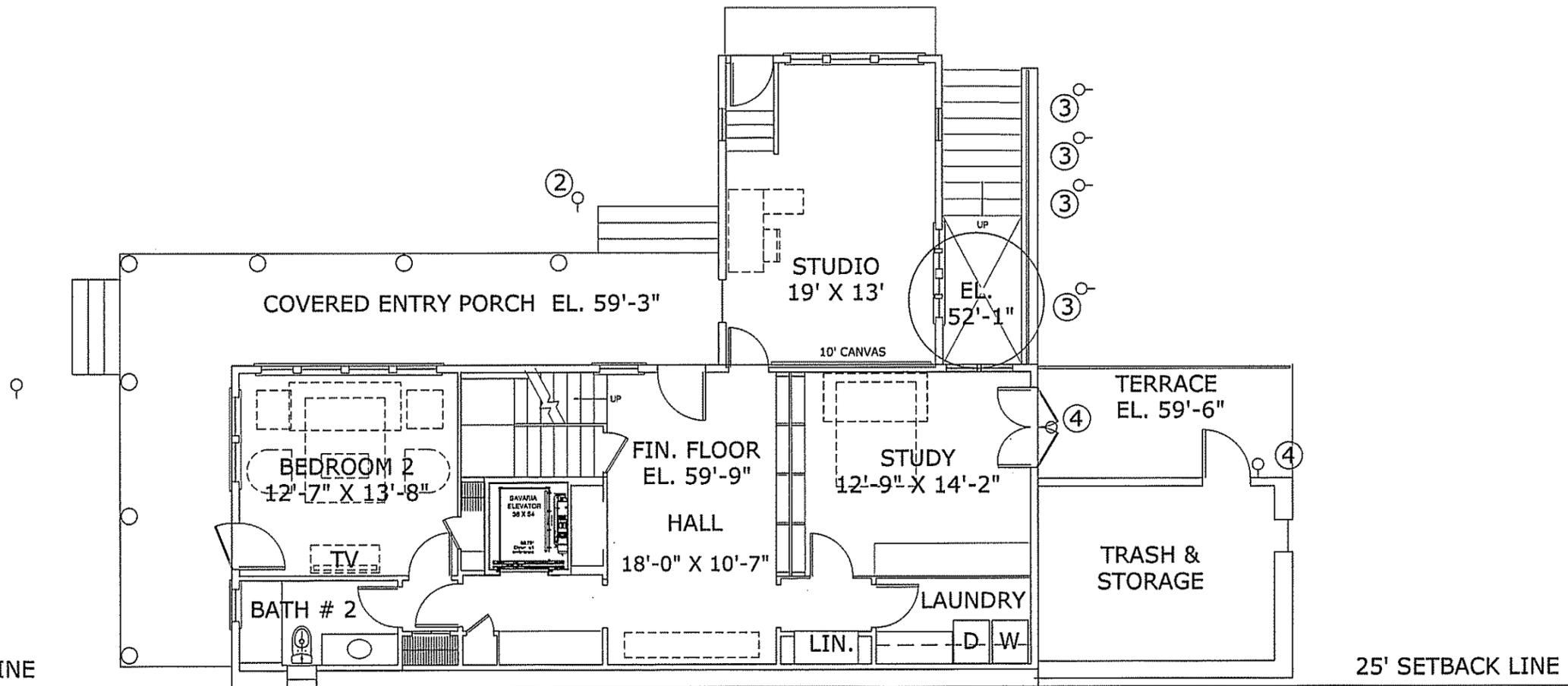
OWNER SIGN-OFF WITH DATE

MAIN LEVEL  
PLAN

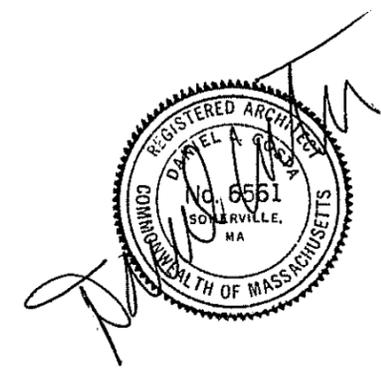
GRAPHIC SCALE

MARCH 29, 2021

A-1



# ENTRY LEVEL PLAN 3.29.21



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

| No. | Date | Revision |
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OWNER SIGN-OFF WITH DATE

ENTRY LEVEL  
PLAN

GRAPHIC SCALE

MARCH 29, 2021

A-2

PERETZ 112  
 112 NORTH PAMET RD.  
 TRURO, MA

DAN COSTA  
 P.O BOX 411  
 MYSTIC, CT 06355  
 617-448-9954

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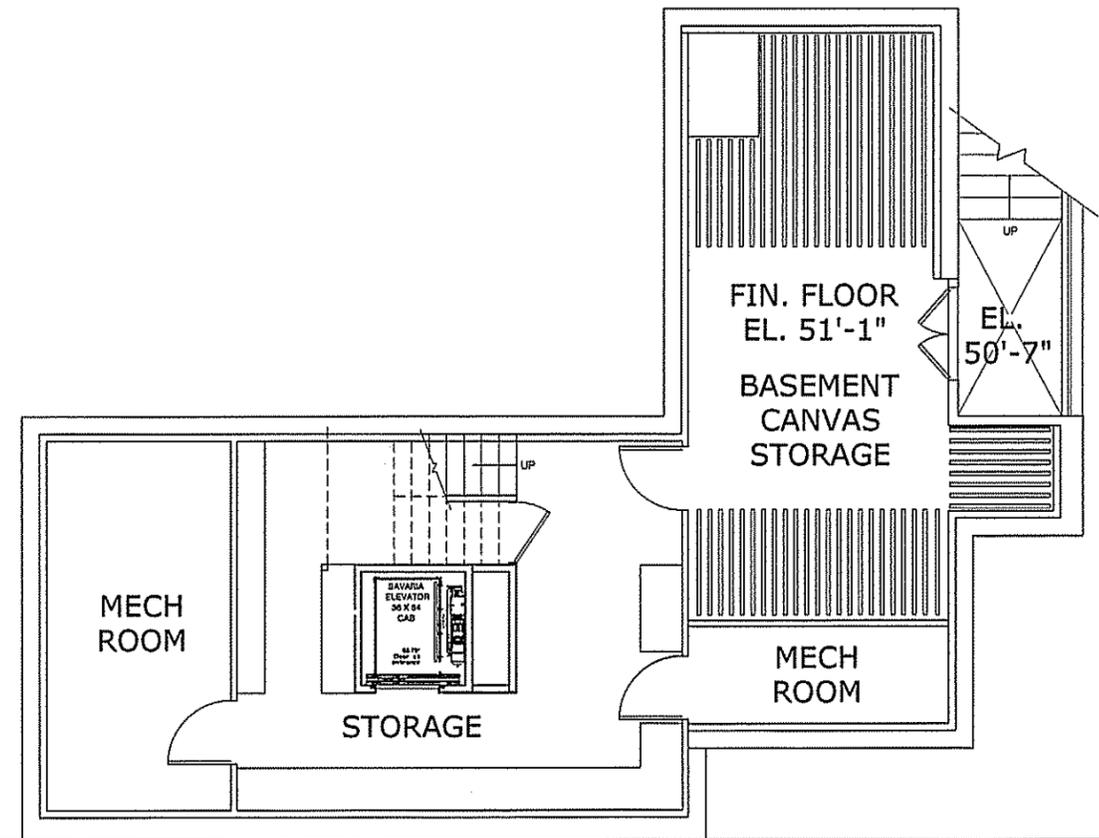
OWNER SIGN-OFF WITH DATE

**BASEMENT  
 PLAN**

GRAPHIC SCALE

MARCH 29, 2021

A-3

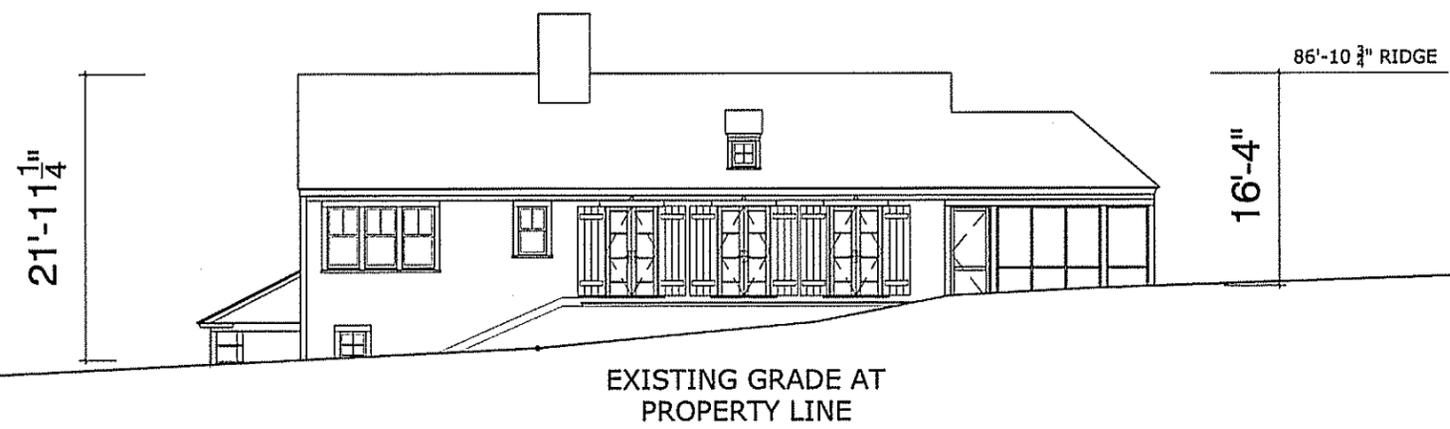


25' SETBACK LINE

25' SETBACK LINE

**BASEMENT PLAN 3.29.21**





**SOUTH ELEVATION 3.29.21**



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

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OWNER SIGN-OFF WITH DATE

**SOUTH ELEVATION**

GRAPHIC SCALE

MARCH 29, 2021

A-4

86'-10 3/4" RIDGE

69'-11" MAIN

59'-9" PORCH ENTRY

56'-6"



PROPERTY LINE

WEST ELEVATION 3.29.21



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

| No. | Date | Revision |
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OWNER SIGN-OFF WITH DATE

WEST  
ELEVATION

GRAPHIC SCALE

MARCH 29, 2021

A-5



NORTH ELEVATION 3.29.21



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

| No. | Date | Revision |
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OWNER SIGN-OFF WITH DATE

NORTH  
ELEVATION

GRAPHIC SCALE

MARCH 29, 2021

A-6

PERETZ 112  
 112 NORTH PAMET RD.  
 TRURO, MA

DAN COSTA  
 P.O BOX 411  
 MYSTIC, CT 06355  
 617-448-9954

| No. | Date | Revision |
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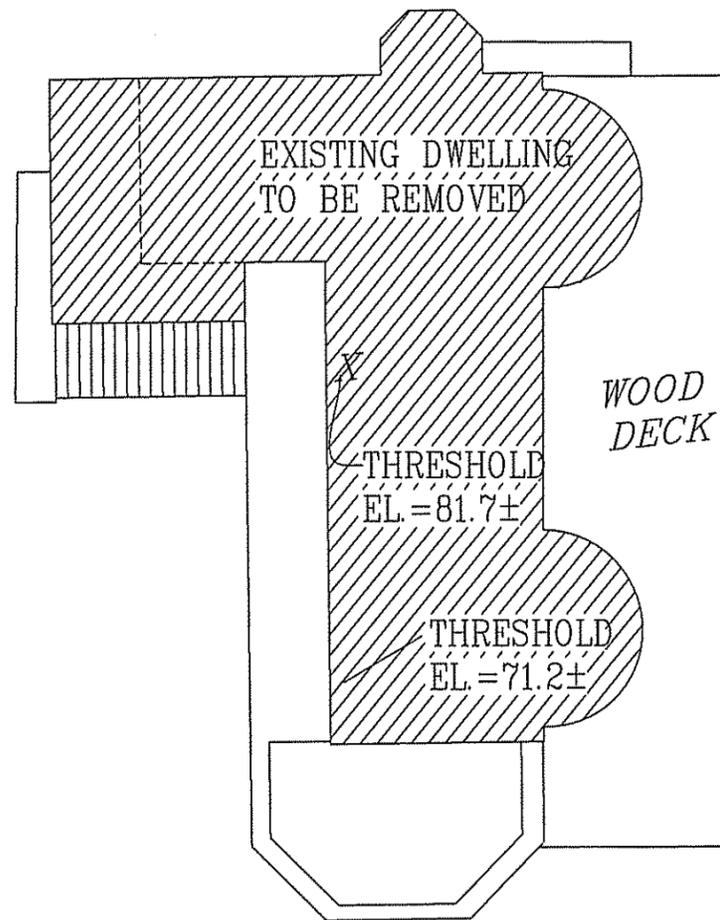
EAST  
 ELEVATION

GRAPHIC SCALE

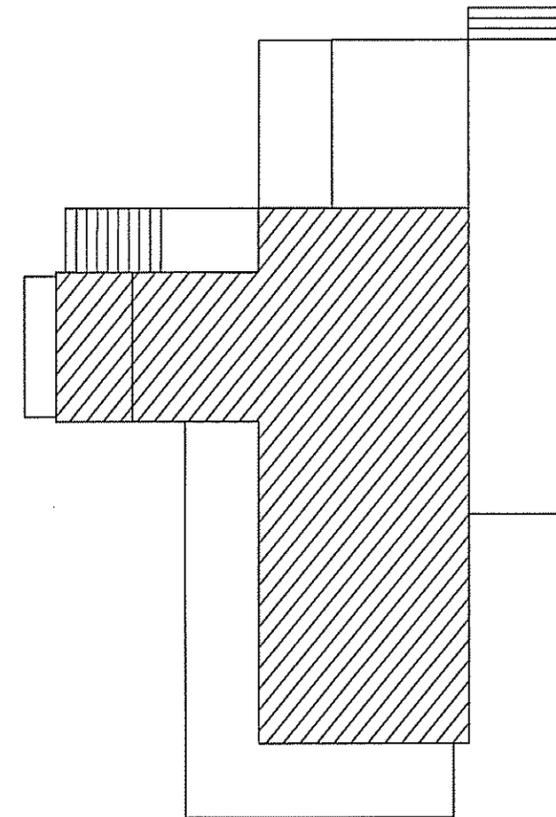
MARCH 29, 2021

A 7



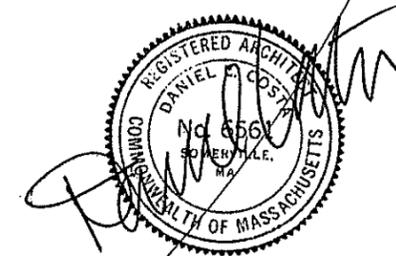


EXISTING HOUSE TO BE DEMOLISHED



PROPOSED NEW HOUSE

# 3.18.21



PERETZ 112  
112 NORTH PAMET RD.  
TRURO, MA

DAN COSTA  
P.O BOX 411  
MYSTIC, CT 06355  
617-448-9954

| No. | Date | Revision |
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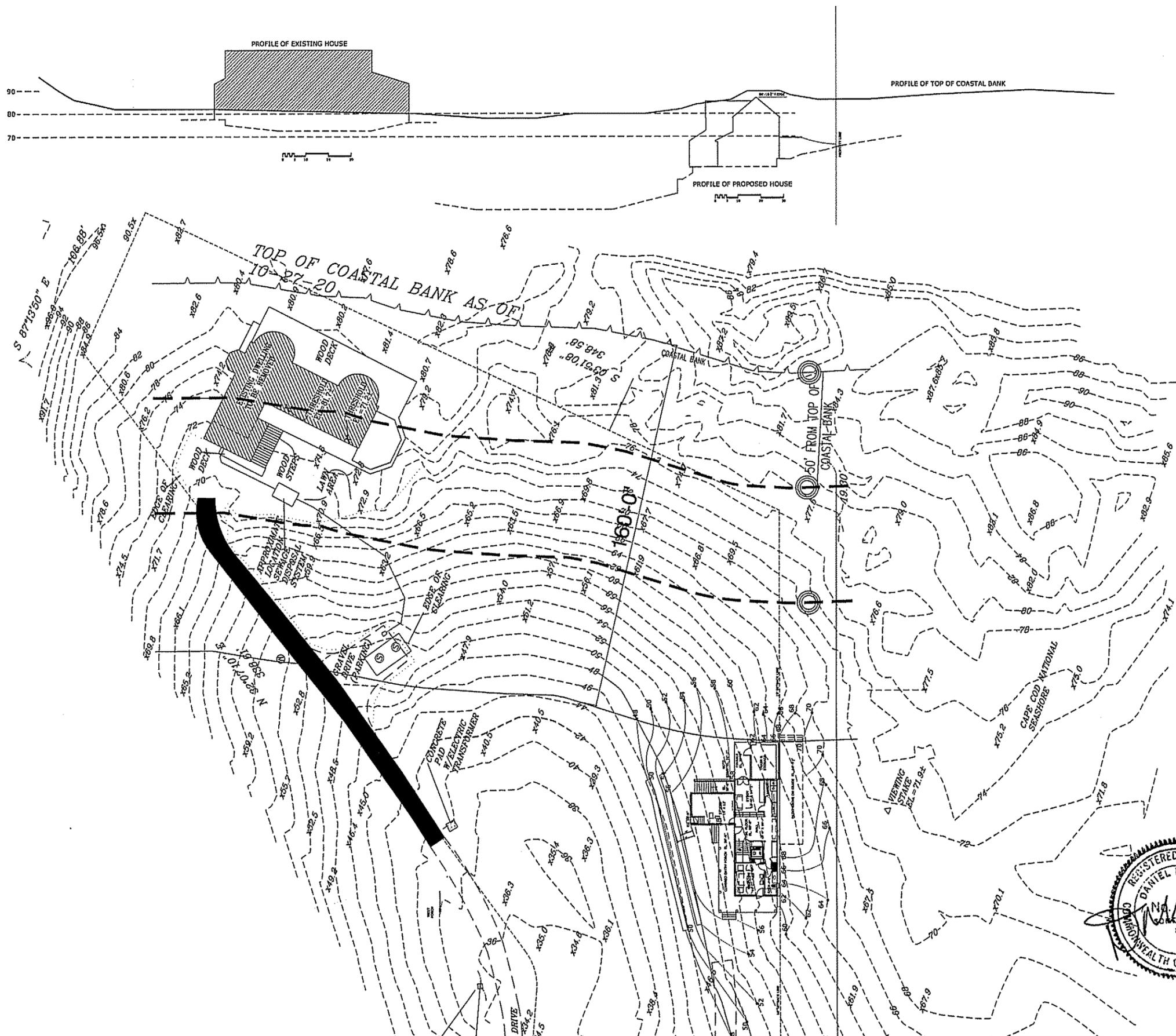
OWNER SIGN-OFF WITH DATE

OLD HOUSE  
VS.  
NEW HOUSE

SCALE: 1/8" = 1'-0"  
OR AS NOTED

MARCH 19, 2021

A-8



PERETZ 112  
 112 NORTH PAMET RD.  
 TRURO, MA

DAN COSTA  
 P.O BOX 411  
 MYSTIC, CT 06355  
 617-448-9954

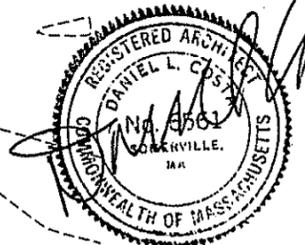
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OWNER SIGN-OFF WITH DATE

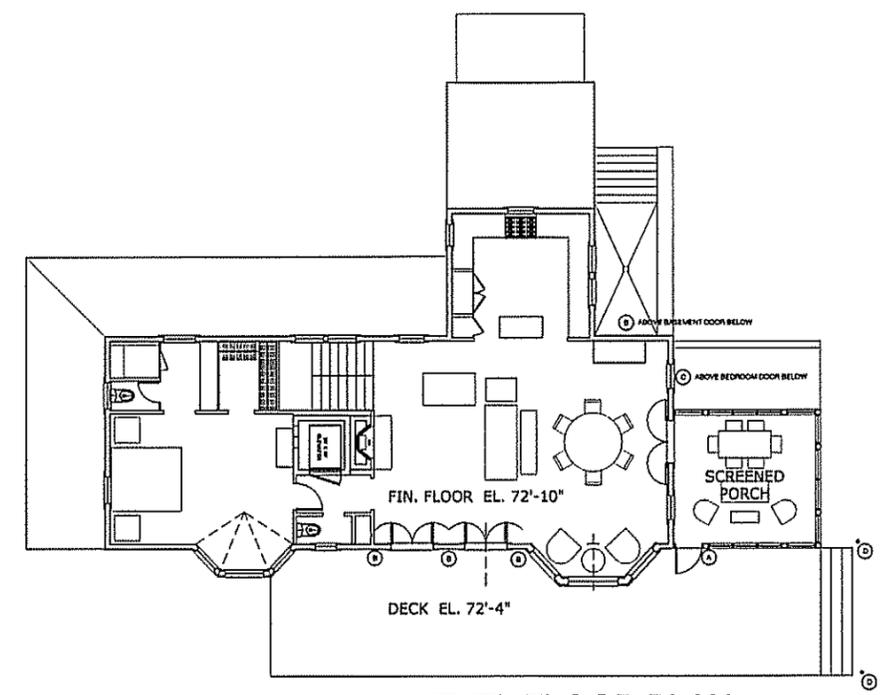
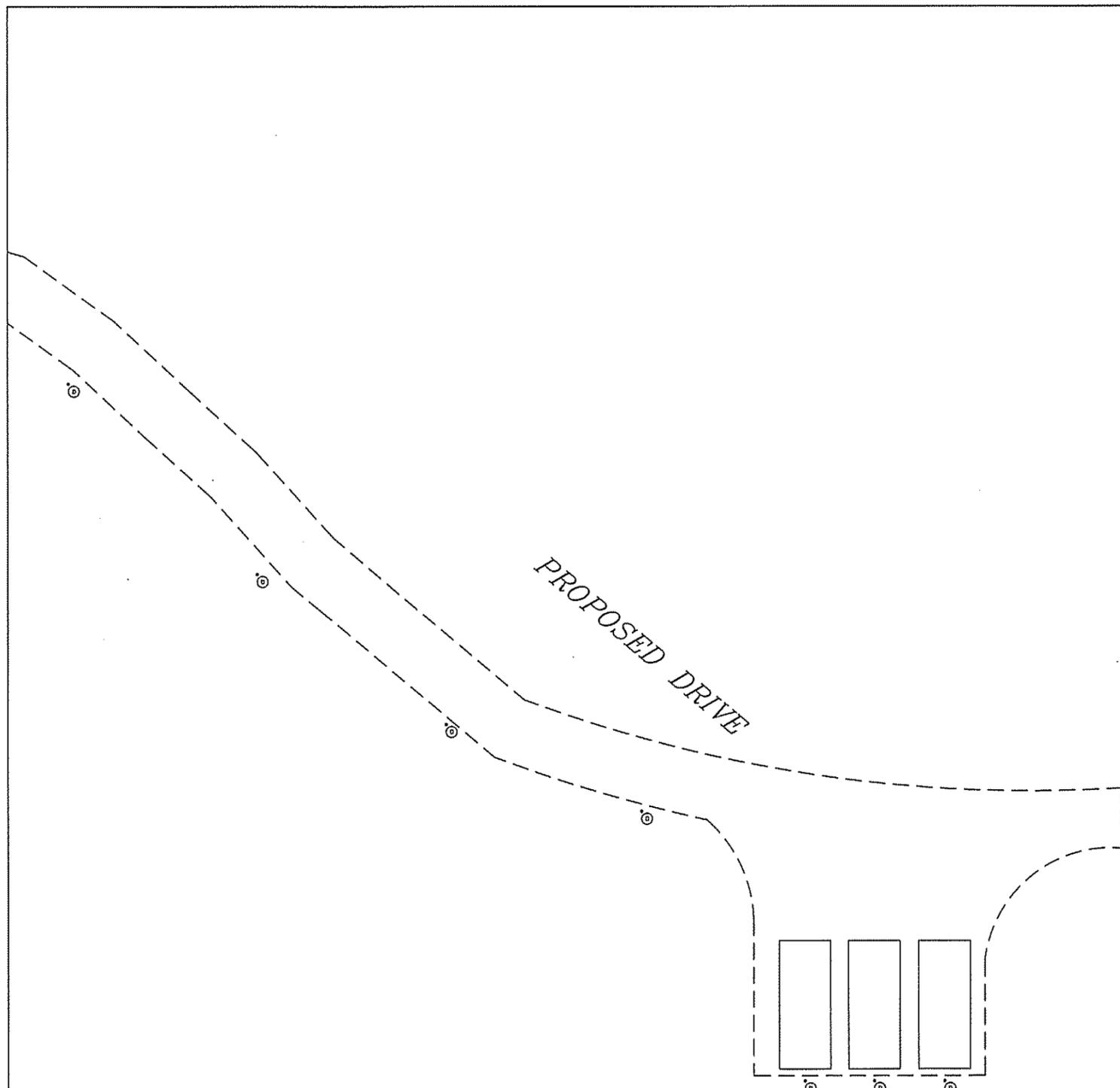
BUILDING  
 PROFILES  
 IN RELATION  
 TO TOP OF  
 COASTAL  
 BANK

GRAPHIC SCALE

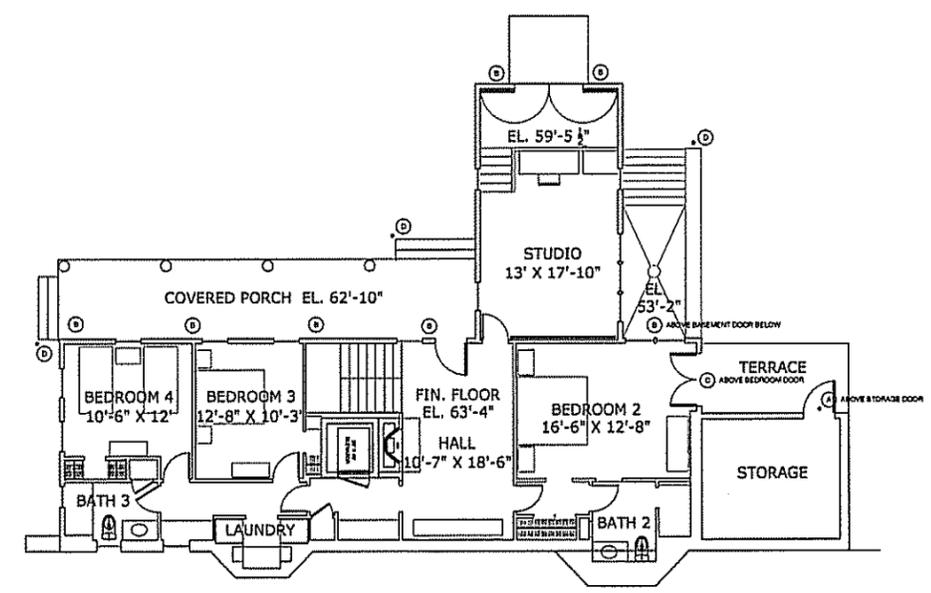
MARCH 29, 2021



A-9



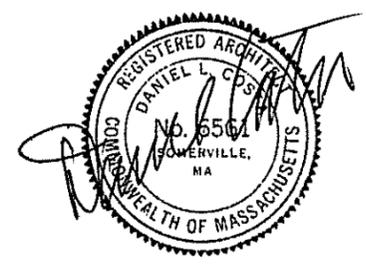
**MAIN LEVEL FLOOR PLAN**



**LOWER LEVEL FLOOR PLAN**

EXTERIOR BUILDING LIGHTING FIXTURES

|   |   |   |   |   |   |
|---|---|---|---|---|---|
| 1 | 2 | 3 | 4 | 5 | 6 |
|   |   |   |   |   |   |



**PERETZ RESIDENCE**  
**112 NORTH PAMET ROAD**  
**TRURO. MA**

NOTE: RECORD OWNERS LISTED BELOW NORTH ELEVATION

**DAN COSTA**  
**P.O BOX 411**  
**MYSTIC, CT 06355**  
**617-448-9954**

| No. | Date | Revision |
|-----|------|----------|
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OWNER SIGN-OFF WITH DATE

**EXTERIOR LIGHTING PLAN & FIXTURES**

SCALE: 1/8" = 1'-0"  
 OR AS NOTED

MARCH 17, 2017

**E1**

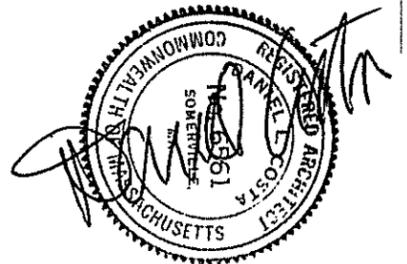


---

## TIER LITE

Pole Mount  
CAT. NO TL

The Tier Lite is designed for illuminating medium level foliage. It provides 360 degree illumination on a horizontal plane and does not project any vertical light. The luminaire is mounted onto a 700mm pole to provide a soft pool of light suitable for a wide variety of landscape situations.



1

## Pure LED

### LED Chip

Cree XHP-50-2 Plug and Play field replaceable LED board

### Output

510 Lumens @ 1050mA

### Lumens Per Watt

85 Lumens @ 6 watts

### Colour Temperature

2700K, 3000K, 4000K

### CRI Warm White (3000K)

90 standard

### Beam Angles

360 degrees

## Physical Properties

### Materials

Solid Powdercoated Aluminium, Copper or 316 Stainless Steel

### Ingress Protection

IP56/IP66

### Standards

As/NZS 61046, UL1838, CSA C22.2 No. 250.7

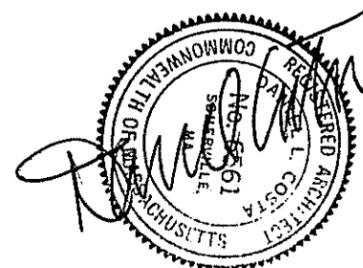
## Other Light Sources

### Alternative Light Sources

G4 bi-pin 5, 10 or 20 watt, Promus G4JCLEd, Fluorescent 110/240V

## Power Supply Options

### Recommended Power Supply



1

Remote (Series) Driver, Integral 12VAC Driver with Transformer, Retro 110/240VAC Driver

[View All LED Power Supplies →](#)

**Downloads**

 **IES**  
(7 Kb)

 **Installation Instructions Halogen**  
(238 Kb)

 **Installation Instructions Halogen USA**  
(407 Kb)

 **Installation Instructions Halogen Retro USA**  
(135 Kb)

 **Installation Instructions PureLED**  
(998 Kb)

 **Installation Instructions PureLED USA**  
(1329 Kb)

 **Product Diagram**  
(206 Kb)

 **Product Photo**  
(1208 Kb)

 **Specification Sheet**  
(796 Kb)

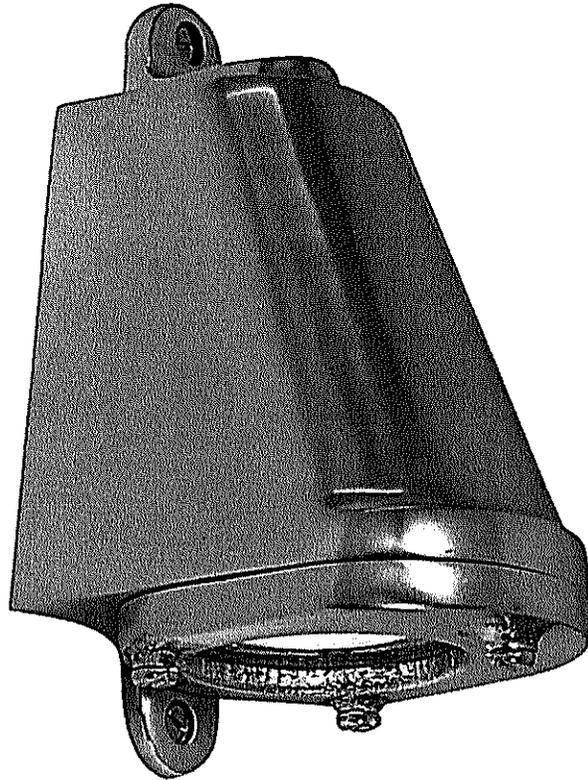


Search all light and living

3

FIND YOUR STYLE EVENT Save up to 40% Limited time only. [SHOP NOW](#)

Wall Lights : Wall Sconces : Outdoor Sconces : Mast Outdoor Wall Sconce by Original BTC



### Mast Outdoor Wall Sconce

by Peter Bowles for Original BTC

★★★★★ 5.0 (1) [Write a review](#)

\$419.00 - \$479.00 + FREE SHIPPING

Select Finish (5) : Anodized Aluminum



Low Price Guarantee

Easy Returns

\$419.00

+ FREE SHIPPING

1

[ADD TO CART](#)

Available to ship after Mon Apr 12 2021

[ADD TO PROJECT](#)

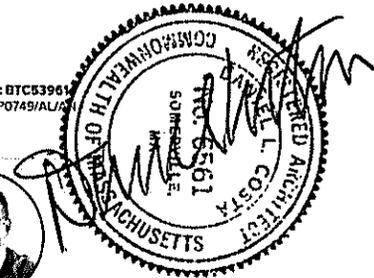
#### Questions about the Mast Outdoor Wall Sconce?

Our 100% US-based ALA-certified product specialists can help you find the perfect product

888.675.0790 | [Email Us](#) | [Live Chat](#)

Available to ship after  
Mon Apr 12 2021

ITEM#: BTC5396  
MFR ID: BT-DP0749/AL



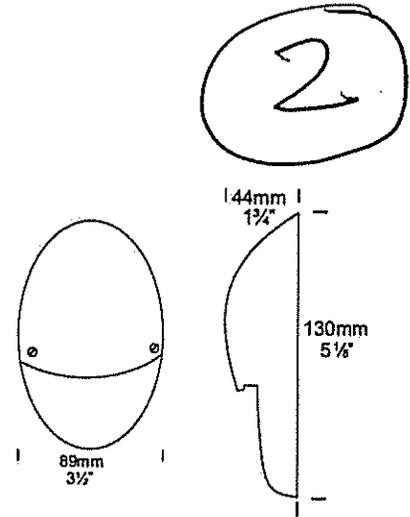
## Mouse Lite

|          |
|----------|
| PROJECT: |
| TYPE:    |
| SOURCE:  |
| NOTES:   |

### PURELED SPECIFICATIONS

|                            |  |
|----------------------------|--|
| <b>LED Chip</b>            | Cree XPG-3 Plug and Play field replaceable LED board                           |
| <b>Luminaire Output</b>    | 120 Lumens @ 700mA (2 watts), delivered from luminaire with unobstructed beam. |
| <b>Lumens Per Watt</b>     | 60 Lumens minimum @ 2 watts, delivered from luminaire with unobstructed beam   |
| <b>CRI (3000K)</b>         | 90+  |
| <b>Colour Temperatures</b> | 2700K, 3000K, 4000K  |
| <b>Beam Angles</b>         | 120 degrees  |
| <b>Ingress Protection</b>  | IP66   |

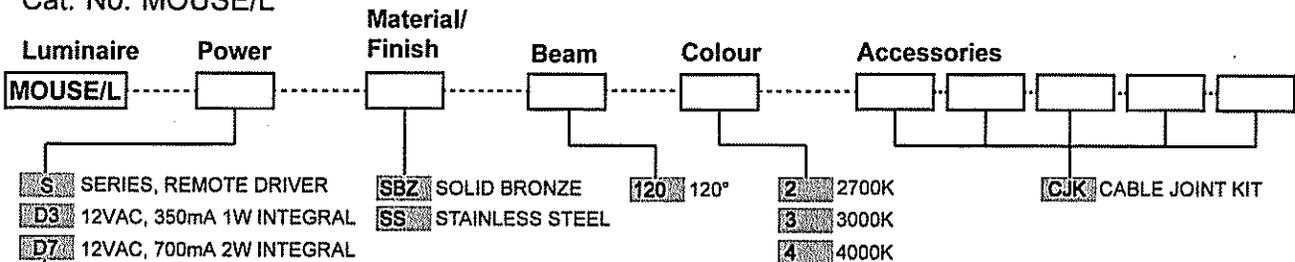
|                  |  |
|------------------|--|
| <b>Warranty</b>  | Electronics = 5 years<br>Body SS/SBZ = 10 years                                  |
| <b>Standards</b> | AS/NZS 61046, EN60598<br>cUL 1838, 2108<br>CSA C22.2 No.250.7, No.250.0-08<br>CE |



### PRODUCT CONFIGURATION

Please fill in appropriate codes into boxes provided

Cat. No. MOUSE/L



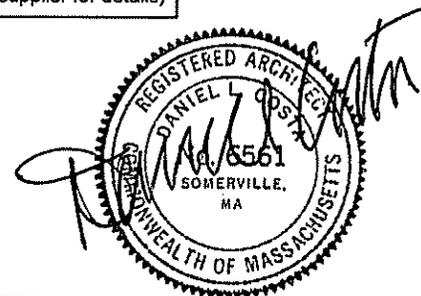
**SERIES, REMOTE DRIVER REQUIRED:**  
Constant current driver  
Individual fixtures require 3vdc @ 700mA maximum

**12VAC INTEGRAL DRIVER:**  
Hunza Buckbullet driver (included)  
Input: 12VAC, 3watt total  
Output: 3vdc @ D3=350mA, D7=700mA

[Click here for halogen specification sheet](#)

**OTHER LAMP OPTIONS:**  
MOUSE/H - G4 Halogen 12V Lamp  
MOUSE/GL - G4 LED Retrofit 12V Lamp (lamps vary by market - please refer to supplier for details)

[Click here for 240v Remote Power Supply Guidance Charts](#)  
[Click here for USA Remote Power Supply Guidance Charts](#)



# LUMINAIRE CONSTRUCTION

CNC machined from one of the following metals:  
**Solid Bronze:** investment cast in solid bronze with forge mounting plate.

**Luminaire Weight:**  
 SBZ: 0.820kg (1lb 13oz)  
 SS: 0.750kg (1lb 10oz)



**316 Stainless Steel:** investment cast in 316 stainless steel with investment cast 316 stainless steel mounting plate.

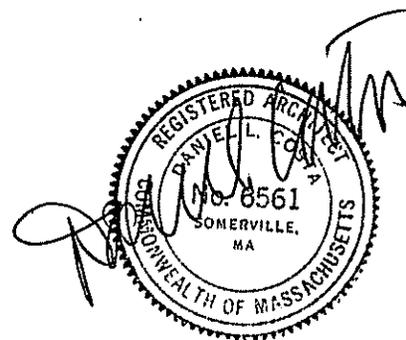
**Lens:** 2mm (1/16") frosted tempered shatter resistant glass.  
 Lifetime Warranty.

**Mounting:** mount using a mounting plate fixed to the wall, etc with 316 stainless screws. The luminaire is then fitted to the back plate using two pan head screws.

## ACCESSORIES

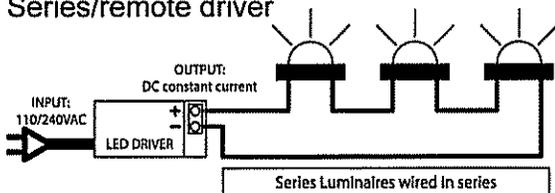
## BEAM ANGLES

IES files available for download: [hunzalighting.com/downloads](http://hunzalighting.com/downloads)



## WIRING GUIDE

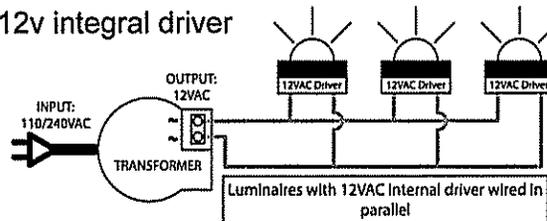
### Series/remote driver



Diagrams are a guide only, wire colours and polarity may change depending on fixture and country

Available for download: [hunzalighting.com/downloads](http://hunzalighting.com/downloads)

### 12v integral driver



Specifications may change without notification Aug 2017

PROJECT AREA



Google Earth aerial image of 112 N. Pamet Rd. Truro, MA.

| PLANT SCHEDULE |         |  |        |     |
|----------------|---------|--|--------|-----|
| TREES          | CODE    | BOTANICAL / COMMON NAME                  | CONT   | QTY |
|                | JUN EAS | Juniperus virginiana / Eastern Red Cedar | 2 gal  | 1   |
|                | PIN RIG | Pinus rigida / Pitch Pine                | 7 gal  | 4   |
|                | PRU WIL | Prunus serotina / Wild Black Cherry      | 2 gal  | 3   |
|                | QUE ALB | Quercus alba / White Oak                 | 10 gal | 1   |
|                | QUE ILI | Quercus ilicifolia / Scrub Oak           | 1 gal  | 9   |
| SHRUBS         | CODE    | BOTANICAL / COMMON NAME                  | CONT   | QTY |
|                | MYR PEN | Myrica pensylvanica / Northern Bayberry  | 1 gal  | 70  |
|                | PRU MAR | Prunus maritima / Beach Plum             | 1 gal  | 34  |
|                | ROS VIR | Rosa virginiana / Virginia Rose          | 1 gal  | 26  |
|                | VIB ARR | Viburnum dentatum / Viburnum             | 1 gal  | 21  |

- Restoration Planting Area  
Manage invasive species and seed with Native Grass and Wildflower mix
  - Restoration Planting Area  
Manage invasive species and plant with Beach Grass
  - Restoration Planting Area  
Manage invasive species and plant Little Blue Stem and Bearberry
  - Invasive Species Management Area  
Selectively cut and treat invasive vegetation. Seed bare soils. Allow existing native vegetation to recolonize the area.
- GRASS & WILDFLOWER SEED MIX**  
 Agrostis perennans / Autumn Bentgrass  
 Asclepias tuberosa / Butterfly Milkweed  
 Avena sativa / Spring Oats  
 Festuca ovina / Sheep Fescue  
 Panicum virgatum / Switchgrass  
 Solidago nemoralis / Gray Goldenrod  
 Schizachyrium scoparium / Little Bluestem Grass

**PLAN NOTES**

- Site plan provided by Coastal Engineering, Orleans, Ma.
- The proposed land management/restoration program addresses three project areas on the site.

1. Project Area 1 - Restoration of existing structure demolition area located at the top of the coastal bank - approximately 12,455 square feet:

- After demolition and re-contouring of the demolition site, restore the area with planting as illustrated in the planting plan.
- In areas not excavated as part of the structure demolition, manage invasive vegetation including Autumn olive (*Elaeagnus umbellata*), Asiatic bittersweet (*Celastrus orbiculatus*), and shrub Honeysuckle (*Lonicera spp.*) by selectively treating with an EPA-approved systemic herbicide using a cut and wipe method to avoid disturbing soils and surrounding native vegetation. All existing native vegetation in undisturbed areas will be protected throughout the invasive plant management process and will remain intact.
- All steep slopes remaining after land re-contouring will be seeded as shown, and blanketed with 100% biodegradable coconut/straw erosion control blanket, followed by planting of beach grass and/or woody vegetation.

2. Project Area 2 - New construction site - approximately 12,100 square feet:

- Restore areas within the limit of work of the proposed new construction with an appropriate native community to stabilize slopes, restore biomass, biodiversity, and wildlife habitat as illustrated in the planting plan.
- Prior to excavation of the site for construction, harvest existing heathland groundcovers within the structure footprint (bearberry (*Arctostaphylos uva-ursi*), beach heather (*Hudsonia tomentosa/ericoides*), reindeer lichen (*Cladonia rangiferina*), bayberry (*Myrica pensylvanica*), and beach plum (*Prunus maritima*) in 2x3 and 4x4 sections. Store harvested heathland sections on site (in open areas located in Project Area 1) to be used for restoration throughout disturbed areas on Project Area 2.
- All steep slopes remaining after land re-contouring will be seeded as shown, and blanketed with 100% biodegradable coconut/straw erosion control blanket, followed by planting of beach grass and/or woody vegetation.

3. Project Area 3 - Selective invasive vegetation management in areas between the two main project sites - approximately 12,685 square feet:

- Invasive species on site that will be managed/removed include Autumn olive (*Elaeagnus umbellata*), Asiatic bittersweet (*Celastrus orbiculatus*), and shrub Honeysuckle (*Lonicera spp.*). Invasive plants will be removed using a cut and wipe method with an EPA-approved systemic herbicide to avoid disturbing soils and surrounding native vegetation.
- After invasive species removal any bare soils will be seeded with a native grass and wildflower mix as necessary.
- Native vegetation that was damaged by invasive species or historic pruning may be regeneratively pruned using best management practices to promote healthy regeneration and vigorous growth.
- Existing native vegetation will be supported and allowed to naturally regenerate and recolonize the areas.
- All vegetation debris will be removed from the site and brought to an off-site disposal area.

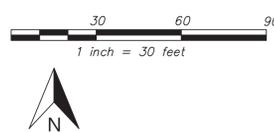
- Follow up invasive species management will be ongoing over the next three growing seasons to ensure proper management and successful restoration.
- Temporary irrigation will be required for restoration plantings for the first two to three growing seasons while plants establish. Once plants are established temporary irrigation will be removed.



**RESTORATION PLAN**

02/24/21 RSVD 04/13/21

PERETZ RESIDENCE  
 112 N. PAMET ROAD  
 TRURO, MA



| DATE | REVISION | INITIALS |
|------|----------|----------|
|      |          |          |
|      |          |          |
|      |          |          |

## Elizabeth Sturdy

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**From:** Amy Wolff <aseawolff@hotmail.com>  
**Sent:** Wednesday, April 21, 2021 11:11 PM  
**To:** Town Planner; annetruro@comcast.net; jack riemer; Jeffrey Ribeiro  
**Subject:** Letter re: 2020-006/SPR  
**Attachments:** Letter to Planning Board 4.21.21.docx

Greetings Intrepid Planners

Please find attached the letter I read at tonight's meeting.

Please send it on to the other Planning Board members or provide me with their email addresses and I will send it on myself.

Thank you for your good work,

Amy Wolff

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

April 21 2021

To: Truro Town Planner Barbara Carboni, Chair of the Truro Planning Board Anne Greenbaum and members of the Truro Planning Board,

I write to you as a neighbor of the project at 112 N Pamet Road. In keeping with Section D, #3 of the Residential Development Application for Site Plan Review: "3. Preservation of Landscape. The landscape shall be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil," I advocate for and support the Planning Board requiring that this project choose the least invasive avenues in the siting and building of a new house on this property. By least invasive I refer to choosing the site that requires the smallest amount of grade changes and landscape destruction.

At prior public hearings I have spoken to the fact that both the size of the original house and the newly proposed house far exceed (in fact, nearly double) the Seashore's guidelines. This fact is a "poke in the eye" to those of us who have followed the guidelines for decades, limiting the improvements on our property in favor of supporting and maintaining the values and value of the National Park. The tear down and new construction will be a major disruption for the neighborhood and for those visiting the National Seashore. There will be truck activity, noise and the sight of machinery tearing into a coastal dune.

I understand the precariousness of the current structure. I understand that in order to continue to live on the property, the owner needs to build a new house. I ask only that the Planning Board facilitate the choice of a plan that will minimize the disruption to the land and the non-human inhabitants of the land, the neighborhood and the National Park, even if this choice does not provide the owner with an ocean view.

I have spoken at each of the Planning Board meetings regarding this project. I do not desire to be a persistent pest or un-neighborly. It is time consuming and uncomfortable to speak up. However, as one of only a few who have done so, I feel it is important to keep the citizen perspective in this conversation.

Thank you for the opportunity to speak to this issue.

Amy Wolff

North Pamet Rd

RESIDENTIAL DEVELOPMENT SITE PLAN REVIEW DECISION

**Atlas Map 48 Parcel 1**

**Address 112 North Pamet Road**

**Case Reference No.: 2020-06/SPR**

Applicants: Anne Labouisse Peretz; William T. Burdick & Richard C. Vanison, Trustees, Dune House Nom. Trust

**Hearing Dates:** **January 6, 2021, January 20, 2021, February 3, 2021, February 17, 2021, March 10, 2021; [other dates] April 21, 2021 [note which continuances only]**

**Decision Date:** **April 21, 2021**

**Sitting:** *Anne Greenbaum, Chair; Vice Chair; Jack Riemer, Clerk; Paul Kiernan; Bruce Boleyn; Steve Sollog; Peter Herridge*

Following a duly posted and noticed Truro Planning Board hearing held on DATES, CONTINUANCES], on April 21, 2021, the Board voted to approve the application for Residential Development Site Plan Review pursuant to Section 70.4 of the Truro Zoning Bylaw for demolition of an existing residence, and construction in a landward location on property located at 112 North Pamet Road, Map 48, Parcel 1, in the Seashore District.

The following materials were submitted as part of the complete application for review: **[UPDATE to reflect most recent package]**

- Application for Site Plan Review (Residential)
- Certified Abutters List
- “Plan Showing Existing Site Conditions, 112 North Pamet Road, Truro, MA” prepared for Anne Peretz by Coastal Engineering, dated August 20, 2009, Scale 1” = 30 ft.
- “Site Plan Showing Proposed Dwelling Reconstruction, 112 North Pamet Road, Truro, MA” prepared for Anne Peretz by Coastal Engineering, dated December 7, 2020, revised February 24, 2021, Sheet C2.1.1 (superseding earlier site plan).
- Zoning Table Detail from Site Plan dated February 24, 2021
- “Proposed Grading Plan for Proposed Dwelling Reconstruction, 112 North Pamet Road, Truro, MA” prepared for Anne Peretz by Coastal Engineering, dated December 7, 2020, revised February 24, 2021, Sheet C2.2.1 (superseding earlier plan)
- “Proposed Grade Plane for Anne Peretz, 112 North Pamet Road, Truro, MA” prepared by Coastal Engineering dated February 23, 2021, Sheet No. SKC-1.
- “Landscape Plan, 112 North Pamet Road, Truro, MA” prepared for Anne Peretz by Coastal Engineering, dated December 7, 2020, Scale 1” = 10 ft.
- “Restoration Plan, Peretz Residence, 112 N. Pamet Road, Truro, MA” dated February 24, 2021 prepared by BlueFlax.

- Floor Plans, “Peretz 112, 112 North Pamet Road, Truro, MA” prepared by Dan Costa dated February 23, 2021, Sheets A1-A3
- Elevations, “Peretz 112, 112 North Pamet Road, Truro, MA” prepared by Dan Costa dated February 23, 2021, Sheets A4B, A5-A7
- “Exterior Lighting, Peretz 112, 112 North Pamet, Truro, MA” prepared by Dan Costa dated February 23, 2021, Sheet A8
- “Materials and Exterior Lighting Schedule, Peretz 112, 112 North Pamet, Truro, MA” prepared by Dan Costa dated February 23, 2021, Sheet A9.
- Review Criteria form, completed
- Residential Site Plan Review Checklist
- Product specifications for lighting fixture
- Transfer Certificate of Title and Land Court Plan
- Town of Truro Assessor’s Records
- Elevation calculations, Coastal Engineering Co. dated February 23, 2017 and November 12, 2020

**Board Vote:**

At the April 21, 2021 meeting, M. made a motion, seconded by M. , to approve the application for residential development site plan. Vote was 0-0 in favor.

The application of Anne Labouisse Peretz, William T. Burdick & Richard C. Vanison, Trustees, Dune House Nom. Trust for Residential Site Plan approval pursuant to s. 70.4 of the Truro Zoning Bylaw was granted by the Planning Board.

This decision is pursuant to the following facts and conditions:

**Findings:**

1. This is an application by Anne Labouisse Peretz, William T. Burdick & Richard C. Vanison, Trustees, Dune House Nom. Trust for Residential Site Plan Review pursuant to Section 70.4 of the Truro Zoning Bylaw (“Bylaw”). Residential Site Plan Review is required under Section 70.4 of the Zoning Bylaw, as the project is new construction (replacement) of an existing single-family dwelling in the Seashore District.
2. The Property is located at 112 North Pamet Road and is shown on Truro Assessor’s Map 48, Parcel 1. The Property contains 3.3 and is located in the Seashore District. The lot is nonconforming as to frontage, having no frontage on a street. It is accessed by a dirt road. The lot is surrounded by National Seashore property and has no residential abutters.
3. According to Assessor’s records, the existing house was constructed in 1991. It is located close to the top of coastal bank and is proposed to be demolished due to threat from ongoing coastal erosion. A new residence will be constructed away from the bank and close to the property’s southern boundary. This site was selected to avoid hollows to

the north and west on the property, and to provide protection from coastal bank erosion and storm damage.

4. A new paved driveway and gravel parking area are proposed. Regrading in the area of the new house site, and re-landscaping of the abandoned house site will occur. The existing septic system will be removed and a new system installed to the north of the new house.
5. The new dwelling has roughly the same dimensions as the existing dwelling. The Total Gross Floor area of the existing dwelling is 3,167 sq ft.; it will decrease to 2,590 sq ft. The height of the existing dwelling is nonconforming at 30.4 feet (peak ridge height of 105.4 feet – average grade of 75.03). The height of the proposed dwelling is a conforming at 30 feet (peak ridge height of 86' 10 ¾ inches; average grade of 56' 10.8 inches). Paved drive areas will remain at 1,500 square feet; patio and terrace areas will increase from 0 to 624 square feet. Lot coverage will decrease from 4,441 to 4,076 square feet, or from 3.2% to 3.0%.
6. Floor plans indicate that there will be a “main level”; “lower level” and “basement” (partially finished) and that the house will have two bedrooms. From the south elevation, the dwelling reads as a one and a half story structure; from the north elevation, it reads as a two and half story structure. Exterior material is indicated to be red cedar shingles. A terrace, screened porch, deck and covered porch expand the dwelling’s footprint.
7. The existing dwelling conforms to Bylaw setbacks. The proposed new dwelling was originally proposed at five feet from the southern lot line, requiring a variance. Pursuant to revised plans, the dwelling will now be located at a conforming twenty-five (25) feet from the lot line.
8. Reconstruction of a dwelling on a nonconforming lot – in this case, nonconforming as to frontage - increases the existing nonconformity, and requires a special permit under G.L. c. 40A, s. 6. Bjorklund v. Zoning Board of Appeals of Norwell, 450 Mass. 357 (2008)(nonconforming area). The Applicant has filed with the ZBA for a special permit under G.L. c. 40A, s. 6 and Section 30.7 of the Zoning Bylaw.
9. The height of the existing dwelling is nonconforming at 30.4 feet. The new dwelling as originally proposed was 31 feet in height, an increase in nonconformity. Pursuant to revised plans, the dwelling will be a conforming 30 feet in height.
10. The Board has reviewed all plans with respect to this Application and has found that they comply with all requirements set forth in Section 70.4(C) of the Bylaw.
11. The Board found that the house will be reconstructed in a manner that is in keeping with the scale of the existing building and other buildings in the neighborhood. This contributes to preserving the characteristics of the Seashore District.
12. Pursuant to Section 70.4(D) of the Bylaw, the Board found:

**Commented [B1]:** Confirm on revised plans

**Commented [B2]:** Confirm these

- a. Relation of Buildings and Structures to the Environment. The Board finds that the reconstructed dwelling relates to the existing terrain and lot, as it preserves the scale of the existing building; maximizes southern-facing exposure for solar gain; and follows the sloping topography of this area of the property. Ventilation is aided by a screened porch on the ocean-facing side of the house
- b. Building Design and Landscaping. The Board finds that the reconstructed house is in a vernacular style and scale consistent with other dwellings in the Seashore District and complementary to the landscape. The materials are likewise complementary and appropriate to the location.
- c. Preservation of Landscape. The Board finds that the landscape will be preserved, where the location of the existing house and driveway will be revegetated with appropriate native plantings. Regrading in the area of the new dwelling site will be minimal, and the new driveway and gravel parking area are modest.
- d. Circulation. The Board finds that the relocated driveway and new gravel parking area will adequately and safely serve the relocated and reconstructed house.
- e. Lighting. The Board finds that as herein conditioned, the lighting proposed for the structure will be consistent with General Bylaw Chapter IV, Section 6, and that adjacent properties and the night sky will be protected from intrusive lighting.

#### Conditions

1. The use of the Property shall be in strict conformance with the Town of Truro Bylaw;
2. Construction shall conform to the plans referenced in this decision;
3. [OTHER CONDITIONS – LIGHTING, LANDSCAPING?]
4. The Applicant must obtain a special permit from the Zoning Board of Appeals under Section 30.7 and 30.8, and G.L. c. 40A s. 6, to expand a nonconforming structure.
5. The Applicant must obtain approval from the Conservation Commission for demolition of the existing house; removal of the existing septic system; planting and other landscaping, and any other activity taking place within jurisdictional resources under the Wetlands Protection Act and/or Truro Wetlands Protection Bylaw.

This Site Plan Approval for a Residential Site Plan shall expire two (2) years from the date of approval.

Pursuant to Zoning Bylaw Section 70.6, it is the responsibility of the applicant to obtain a true attested copy of this decision from the Town Clerk and to record this decision in the Barnstable Registry of Deeds or Land Court, as applicable. Prior to the issuance of building permit, the

