



Truro Planning Board Agenda

Remote Meeting

Wednesday, October 21, 2020 – 6:00 pm

www.truro-ma.gov

Open Meeting

This will be a remote meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website (www.truro-ma.gov). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment via the link below, which can also be found on the calendar of the Board's webpage along with the meeting Agenda and Packet, or by calling in toll free at [1-866-899-4679](tel:1-866-899-4679) and entering the following access code when prompted: [208-987-653](tel:208-987-653). Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing the Town Planner at planner1@truro-ma.gov.

Meeting link: global.gotomeeting.com/join/208987653

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

Public Hearing – Continued

2020-003/SPR – William J. Marsh for property located at 30 Longnook Road (Atlas Map 43, Parcel 121, Registry of Deeds title reference: Book 32127, Page 302). Applicant seeks a Residential Site Plan Review under Section 70 of the Truro Zoning Bylaw for the demolition and reconstruction of a pre-existing single-family residence with a slightly enlarged footprint in the Seashore District.

Public Hearing

2020-010/PB Abigail B. Schirmer, Audrey Schirmer, and Joseph M. Schirmer seek approval of a Definitive Subdivision Plan of Land, pursuant to G.L. c. 41, §81L and §2.5 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at Route 6 and Amity Lane, Truro MA, Map 46, Parcel 8, containing 6.66 acres.

2020-004/SPR – Daniel F. Roche, Jr. for property located at 7 Coast Guard Road, Truro MA (Atlas Map 34, Parcel 5, Registry of Deeds title reference: Book 13174, Page 177). Applicant seeks a Residential Site Plan Review under Section 70 of the Truro Zoning Bylaw for a 2-story addition to an existing 3,018 net sq. ft. residence on a lot located in the Seashore District containing three acres.

Board Action/Review

2020-011/PB – Samantha Perry, Hillside Farm, LLC seeks approval of Form A – Application for Determination that Plan Does Not Require Approval (ANR) pursuant to Section 2.2 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at 23 Perry Road, Truro MA, Map 45, Parcel 131.

Discussion of Certified Abutters List Request Form.

Cloverleaf update.

Discussion for setting goals for FY2021.

Discussion for setting dates for future Board public workshops.

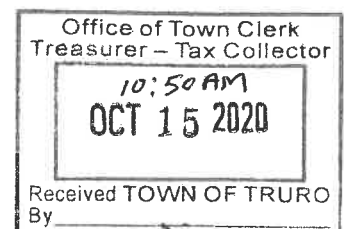
Minutes

None

Next Meeting

Wednesday, November 4, 2020, at 5:00 p.m. (*Note time change*)

Adjourn



STAFF MEMORANDUM

To: Truro Planning Board

From: Barbara Carboni, Interim Town Planner/Town Counsel, KP Law

Date: October 18, 2020

Re: Meeting October 21, 2020

2020-003/SPR – 30 Longnook Road (Map 43, Parcel 121). Application of William J. Marsh for Residential Site Plan Review - CONTINUED FROM OCTOBER 7, 2020

The Board held a Site Visit on October 6, 2020, and opened public hearing on the application on October 7, 2020. The proposed project entails demolition and reconstruction of a nonconforming single-family dwelling on a lot located in the Seashore District. The lot is nonconforming as to lot area, containing 32,265+- square feet (3 acres required) and nonconforming as to front setback (29.6 feet to the single-family dwelling where 50 feet required). A second detached structure contains a garage and a two-bedroom, one-bath apartment recently renovated by the property owner

The existing ranch-style house is 1,236 square feet; proposed is a 1,627 square foot house of one and a half-stories within, more or less, the footprint of the existing house. The front setback will remain essentially unchanged (30 feet). The proposed dwelling creates no new nonconformities.

As discussed at the Board's previous meeting, the proposal requires a special permit from the Zoning Board of Appeals because it increases the nonconformity of the existing dwelling.¹ The ZBA approved the special permit on August 24, 2020, but the decision has not yet issued. The *draft* decision² contains the following conditions:

- 1. Construction shall conform to the plans referenced in this decision.*
- 2. The Applicant must obtain Residential Site Plan Approval from the Planning Board pursuant to Bylaw Section 70.4 prior to the exercise of this Special Permit.*
- 3. The Applicant may maintain the existing kitchen facilities in the garage apartment during the time the single-family dwelling is being constructed on the property. Prior to issuance of the certificate of occupancy for the single-family dwelling, the kitchen*

¹ Although the Bylaw calls for Residential Site Plan Review prior to other Town permitting, the Applicant states that he was advised by the previous Town Planner to file with the ZBA first because the Planning Board was not at that time meeting.

² Provided with the permission of the ZBA Chairman.

facilities in the garage apartment must be removed, such that the structure conforms to the definition of an Habitable Studio under the Bylaw.

4. *The Applicant must obtain an administrative determination from the Health Agent, and, if necessary, approval by the Board of Health, of any improvements to the existing septic system needed to provide adequate service for all bedrooms on the property.*

Issues raised at October 7, 2020 hearing

Septic

A concern was raised regarding the legality of five bedrooms on a parcel of 32,265 square feet; Board of Health regulations require 10,000 square feet buildable upland for each 110 gpd of design flow). The record for this hearing contains an email dated September 3, 2020 from Emily Beebe, Health Agent, stating:

- “This application appears to be in order; there is no increase in flow and the septic for the property was reviewed updated in 2010 and passed inspection in 2018.
- No changes are proposed for the apartment, only the main dwelling”

It is not clear whether the property is “grandfathered,” or why otherwise permitted to vary from the BOH regulation, but this issue is within the jurisdiction of that Board. The ZBA’s decision requires the applicant to obtain a determination from the Health Agent or BOH that the existing system is adequate – admittedly, a separate question.

MESA review

Another concern raised was whether the work is within the jurisdiction of NHESP and requires any approvals from that program within the Division of Fisheries & Wildlife. The property lies within mapped Priority Habitat (PH945).

The Applicant has corresponded with a representative of NHESP and has received advice that if work is limited to areas of the property already developed, then the project would be exempt from MESA review pursuant to 321 CMR 10.14. A representative *from the Applicant* responded to NHESP that the work is within the existing lawn. See emails dated October 9, 2020, included in meeting packet. It does not appear that NHESP has in fact eyeballed the project and made a formal determination as to whether the exemption applies. It would be reasonable for the Board to require a determination of exemption, in writing, by NHESP itself.

Limit of Work depiction

The Board requested, and the Applicant has provided a revised plan showing the limit of work. See “Proposed Conditions,” L1.2, dated October 8, 2020.

The Board may determine based on the site visit, upcoming hearing, and further knowledge of the area whether the project meets the applicable Criteria, including Building Design and Landscaping, and Preservation of Landscape. This is particularly important given the undersized lot.

2020-010/PB – 1 Amity Lane (Map 46, Parcel 8). Application of Abigail B. Schirmer Audrey Schirmer, and Joseph M. Schirmer for approval of definitive subdivision plan.

On July 22, 2020, the Board voted to approve a preliminary plan of this subdivision, subject to certain conditions. As record of the Board’s approval, and for reference for when the Applicants returned with a definitive plan, the Board reviewed and approved a document containing these conditions and several findings on August 5, 2020. This document is included in the meeting packet.

As described and depicted in the definitive plan application, three lots are proposed:

- Lot 3, containing an existing single-family house with frontage on the depicted Amity Lane and an unnamed “Way”
- Lot 4, containing 184,203 sq.ft, vacant, with frontage on the unnamed “Way”; and
- Lot 5, containing 33,169 sq. ft, lacking frontage on any way.

The Applicants represent that Lot 4 and Lot 5 will be conveyed to the Truro Conservation Trust. As proposed, the unnamed “Way” will not be constructed at this time.

It is not entirely clear what portion of Lot 4, once conveyed to the Truro Conservation Trust, would be developed. According to the Plan, Lot 4 contains 2.75 acres of upland and has 158.68 feet of frontage on the unnamed “Way.” It is seemingly intended to be a buildable lot, and in approving the preliminary plan, the Board included the following condition:

At such time that Lot 4 is improved by a residence, Amity Lane and the unnamed “Way” shall be constructed in conformance with the Planning Board Rules and Regulations Governing the Subdivision of Lane.

The intentions for Lot 4 might be clarified.

The Applicants report that eleven trees on Amity Lane identified by the Fire Chief as requiring removal, have been removed.

Conservation Commission proceedings

As reported by the Health Agent, the Board of Health reviewed and approved the proposal at a meeting on October 5, 2020. That Board required that the property owner upgrade the septic system serving the existing dwelling on Lot 3. The Board of Health accepted and signed off on the terms of a conservation restriction [*to be held by whom?*] which was recently approved by the Select Board.

Form C and Definitive Plan Review Checklist/Waivers

The Applicants have submitted a Definitive Subdivision Plan and a Topography Plan. These Plans appear to conform to the applicable submission requirements of the Checklist, with the substantial exception of requirements relating to construction of drainage and roadway improvements.³ The Applicants have not submitted plans relating to drainage improvements or

³ Except that 1) it is not entirely clear what frontage serves abutting parcel 9 Castle, owned by Audrey and Joseph M. Schirmer and An Nguyen Huu, see Section 2.5.b.3; and 2) information regarding Amity Lane is not complete under Section 2.5.b.16.

roadway improvements, as the Applicants seek a waiver of requirements to improve either Amity Lane or the unnamed Way at this time.

This concept was contemplated and accepted by the Board in approving the preliminary subdivision plan. The Board could impose the same condition contained in approving the preliminary plan - that when Lot 4 is developed, Amity Lane and the unnamed Way be improved to Planning Board standards – and the Applicants have included this condition on the Definitive Plan. Waivers of Planning Board requirements relating to drainage and roadway improvements may be granted if the Board remains of this mind.

The Applicants request a waiver of the Planning Board requirement of identifying all trees of diameter of 10” or more (2.5.b.30), on the grounds that no clearing for roadway or drainage construction is to take place at this time.

Conformity with the Board’s preliminary plan approval.

The Definitive Plan includes the notations directed by the Board in approving the preliminary plan:

At such time that Lot 4 is improved by a residence, Amity Lane and the unnamed “Way” shall be constructed in conformance with the Planning Board Rules and Regulations Governing the Subdivision of Lane.

Any further subdivision of land depicted on the Plan, or division of such land pursuant to G.L. c. 41, s. 81P shall require a modification of this subdivision plan.

Lot 5 is labeled as “unbuildable” as directed by the Board.

Additional information and requirements

Staff suggests that some additional information regarding the current condition of Amity Lane be noted on the Plan. See 2.5.b.16. A Plan note states that the roadway within Amity Lane is 8 feet +/- but “the physical condition of the roadway. . . surface type, depth of surface materials and condition of the road surface” are not.

Confirmation from the Applicant might be requested that no additional topographical information is available for Lot 5.

More information regarding the intended conveyance of lots 4 and 5 to the Truro Conservation Trust, and the conservation restriction might be requested.

More information regarding the intended development of Lot 4 might be requested. As noted above, it is not entirely clear what portion of Lot 4, once conveyed to the Truro Conservation Trust, would be developed. Lot 4 contains 2.75 acres of upland and has 158.68 feet of frontage on the unnamed Way.

2020-004/SPR – 7 Coast Guard Road (Map 34, Parcel 5). Application of Daniel F. Roche, Jr. for Residential Site Plan Review

Existing Conditions and Proposed Project.

A two-story addition is proposed for a single-family residence on this elongated 3-acre parcel in the Seashore District. The lot is nonconforming as to frontage, having 43.38 feet where 150 feet are required. The three-bedroom single-family house, located close to the rear of the property, was constructed in 2003⁴; as provided by the applicant, the net square footage of the house is 3,018 sq. ft.

A second building near the front of the property, labelled as a “cottage,” has a side-yard setback of 14.3 feet (nonconforming). Assessor’s records identify the cottage as constructed in 1959 and containing one bedroom and one bath. The gross floor area of this cottage is not identified on the Site Plan. Neither the cottage, nor a shed of 106 square feet are proposed to be altered.

The description of the project is “residential 2-story addition 744sf footprint to an existing 3018 net sf home, adds family room 1st fl & bedroom with bath above.” The Site Plan depicts an addition of 24’ x 31’ extending toward the center of the property.

If the addition is constructed, it appears that the property will contain five bedrooms. Plans depict “Ex.Bedroom #1” on the first floor; “Bedroom #2” and “New Bedroom” on the second floor, and “Bedroom #3” in the basement level. The cottage contains a fifth bedroom.

Sufficiency of Application

The Applicant has submitted a single page Site Plan depicting the 3-acre parcel required scale (1”=40’). The Site Plan provides limited information on the existing structures, i.e, square footage, length, and width of the house and cottage are not identified. A separate page, containing a portion of a 2001 Site & Sewage Plan with some dimensions indicated and handwritten notes, is included. It would be reasonable for the Board to require that this information be provided on a more conventional and stamped plan.

The Zoning Table does not provide all information required. See 3a.2. For example, it provides setbacks for the single-family house, but not for the cottage. A single Gross Floor area of 2,741 square feet is provided; it is not clear whether this applies to the house alone, or represents the combined Gross Floor Area of the house and cottage. The Gross Floor Area of the house and cottage should be separately provided so that the existing Total Gross Floor Area may be identified. Total square footage for the existing three structures is not provided, nor the total as proposed.

⁴ As the lot is nonconforming, this construction was presumably pursuant to a variance, or was a reconstruction of a nonconforming structure.

There is a note on the Plan that “Locus falls within the NHESP Estimated Habitats of Rare Wildlife and the NHESP Priority Habitats of Rare Species,” but the Checklist entry is “NA.” Locus lies NHESP identified PH945.

Information provided on existing structures and conditions is limited. No existing lighting is indicated; a single exterior light is indicated on the proposed southwest elevation. See 3a.13. If lighting currently exists, or is proposed for the driveway, it is not depicted. Depictions of existing landscape features (vegetative and structural, see 3a.14.) are limited to several aerial photographs presumably included for neighborhood context, see 3d. The Board is conducting a site visit and may gather sufficient information at that time. The limit of work is not indicated on the plan. See 3a.15

The elevations provided combine existing and proposed conditions; the same is true of floor plans provided. The presentation would benefit from larger-scale depictions of the addition structure, as detail is lost. The elevations do not indicate the height of the existing or proposed house. See 3b. As shown on the Site Plan, the addition will consume some of the gravel driveway. It appears that the Applicant intends to expand the driveway area; this should be indicated and described, including a revegetation/landscaping plan. See 3e. The Review Criteria submission indicates “new parking” and “vegetation removal limited to meadow grasses”).

Review Criteria under Section 70.4D

The Application adequately addresses the Review Criteria of Section 70.4D. The Board may determine based on its site visit and further knowledge of the area whether the project meets applicable Criteria.

Zoning Compliance

Seashore District Total Gross Floor Area

Total Gross Floor Area in the Seashore District is limited on a 3-acre parcel to 3600 square feet, as of right. See Section 30.3.1.A.1. By special permit from the Zoning Board of Appeals, Total Gross Floor Area may be increased to a maximum of 4,600 square feet. Section 30.3.1.A.2 and B. Seashore District Gross Floor Areas is defined the Bylaw:

“The *aggregate gross floor area of the dwelling and accessory structures on a lot* within the Seashore District, shall consist of the sum of the horizontal areas of the floor(s) of a building measured from the exterior faces of the exterior walls of the building, without deduction for hallways stairs, closets and thickness of walls, columns or other features used or intended to be used for living, sleeping, sanitation, cooking or eating purposes, excluding cellar and basement floor area, garage, porches, decks, attics, barns, sheds, greenhouses and agricultural buildings. For the purpose of computing floor area, any portion of the floor area measuring less than five feet from the finished floor to the finished ceiling shall not be including in the computation of floor area.”

(emphasis supplied). In this case, the existing *aggregate* Gross Floor Area is the sum of the Gross Floor Area of the single-family dwelling and the cottage. The existing Gross Floor Area

provided on the Site Plan Zoning Table is 2,741 square feet, but as noted above it is not clear whether this applies to the house only, or the house and cottage combined. The proposed Gross Floor Area provided in the Table is 4,066 square feet, but this is subject to adjustment upward if the cottage was not included in calculation of the Gross Floor Area.

Whether the proposed Gross Floor Area is 4,066 square feet or some greater number, it appears that a special permit is required under Section 30.3.1.A.2 to allow square footage over the 3,600 sq.ft. limit. Pursuant to Section 30.3.1.B, this special permit may be sought from the ZBA following Site Plan Review approval.

Expansion of a Nonconforming Structure

Alteration of a dwelling on a lot nonconforming as to *area* increases the existing nonconformity and requires a special permit under G.L. c. 40A, s. 6. Bjorklund v. Zoning Board of Appeals of Norwell, 450 Mass. 357 (2008). It is not clear whether such alteration on a lot nonconforming as to *frontage* (but not area) increases the existing nonconformity and requires a special permit. This question will be resolved as the project undergoes Site Plan Review and anticipated special permit proceedings before the Board.

2020-011/PB – 23 Perry Road (Map 45, Parcel 131). Application of Samantha Perry, Hillside Farm, LLC for a determination that submitted Plan does not require approval under the Subdivision Control Law (endorsement as “Approval Not Required” under G.L. c. 41, s. 81)

Application

The submitted Form A identifies the subject property as a 9.7 +- acre parcel on Hardings Road, a private way. Three lots are proposed: Lot 1, containing 5.58+- acres, having 324.36 feet of frontage on Perry Road, as well as 242.94 feet of frontage on a cul-de-sac at the end of Hardings Road; Lot 2, containing 3.23+- acres and having over 600 feet of frontage on Hardings Road, and Lot 3, containing .88 acres (38,300+- square feet), with 163.44 feet of frontage on Hardings Road.

The Application includes an unsigned “Memorandum: Title History for Properties of Perry Road, Truro.” This Memorandum contains a narrative regarding the history of this parcel and of adjacent land held by various members of the Perry family, including a recitation of numerous conveyances and other changes in title (see pp. 2-6 of Memorandum). Sketches and various recorded plans are attached. The Memorandum and attachments do not conform to the standards or conventions of a title report, and it is not possible to confirm the conveyances through the documents provided (and without considerable and skilled research).

The Memorandum seeks to establish a distinction between land held by family members to the north of Perry Road, and “a contiguous area of land to the *south* of Perry Road and the *east* of the Little Pamet River.” See Memorandum at p. 1, para. 4 (emphasis in the original). More specifically, the Memorandum distinguishes between the 27.84 acre northerly parcel, previously subdivided, and the contiguous 9.70 acre parcel here petitioned for ANR endorsement. Memorandum at p. 1, para. 5. Most pointedly, the Memorandum seeks to establish that “the two different land areas have not been held in common ownership, either before or after the

September 30, 1994 cutoff date for Cape Cod Commission mandatory referrals for parcels containing thirty or more acres of land area.” Memorandum a p. 1, para. 5. See also p. 6 (“at no time from September 30, 1994 to the present date has there been common title ownership of the former John B. Perry and Mary J. Perry farmlands north of Perry Road and the former Joseph farmlands south of Perry Road, nor has there been common title ownership of an area of land equal to or more than 30.00 acres”).

Development of Regional Impact (DRI) and Prior Applications

As the Board is aware, one of the thresholds requiring referral of a development proposal to the Cape Cod Commission as a Development of Regional Impact (DRI)⁵ is:

“(c) Any development that proposes to divide parcel(s) of land totaling 30 acres or more in common ownership or control on or after September 30, 1994, including assembly and recombination of lots. . . .”

From Section 3, “Developments Presumed to be Developments of Regional Impact (DRI Review Thresholds)” of the Regulations Governing Review of Developments of Regional Impact.

Planning Department records indicate that Perry properties have been the subject of a number of applications to the Board under the Subdivision Control Law, and on at least two occasions, the applications were referred to the Commission as DRIs. Correspondence between the former Interim Town Planner (Jessica Bardi, Esq.) and Jonathon Idman, the Commission’s Chief Regulatory Officer, indicates that in 2018, an application of “Claire Perry – Preliminary Plan”, 2018-004PB, was before the Board. At that time, Mr. Idman advised Ms. Bardi:

“The land that is the subject of that proposed preliminary plan was once part of a larger assemblage of land, in excess of 30 contiguous acres, owned by John S. and Lucy Perry. That larger assemblage of land was the subject of two cases previously referred by the planning board to the Cape Cod Commission for development of regional impact review. I’ve attached copies of the Commission’s files in those two cases (1995 and 2000), both of which were withdrawn from consideration⁶

. . .

I believe that, under the foregoing review threshold, the Commission maintains (as it did in the earlier cases for which I provide you the case files) mandatory jurisdiction over division of the land proposed in the above referenced matter before the Planning Board

⁵ As defined in the Cape Cod Commission Act, a Development of Regional Impact is defined as:

“a development which, because of its magnitude or the magnitude of its impact on the natural or built environment, is likely to present development issues significant to or affecting more than one municipality, and which conforms to the criteria established in the applicable standards and criteria for developments of regional impact pursuant to section twelve.”

⁶ The packet provided by Mr. Idman contains approximately 50 pages, which can be distributed at the Board’s request.

because that proposal involves the division of land that is part of a larger assemblage of contiguous land exceeding 30 acres held in single or common ownership on or after September 30, 1994.”

Email dated September 13, 2018 from Jonathon Idman to Jessica Bardi. A week later, Attorney Bardi advised Mr. Idman that the applicant had decided to withdraw the application for a preliminary subdivision plan, counsel explaining that he would “be conducting a title search of the parcels to determine ownership of the parcels in or around September 1994.” Email from Jessica Bardi to Jonathon Inman dated September 20, 2018. The Memorandum submitted with the 23 Perry Road ANR application is presumably the fruit of those efforts.

I spoke with Mr. Idman last week and there has been no change in his approach to these properties and DRI referral. Mr. Idman did note (as he had in his September 13, 2018 email) that matters are complicated by the fact that the Planning Board has, since 2000, approved several ANRS and subdivisions of Perry land, including the creation of new road layouts.⁷ These proposals were not referred to the Commission, and following the approvals, lots have been conveyed out and current ownership of the once-larger assemblage of land is now checkerboarded.

Conclusions and Recommendations

The members of this Board are of course familiar with these properties and the history of proposed (and occasionally granted) divisions of land. I defer to the Board’s knowledge of this history.

At the same time, I do not believe that Board can conclude, based on the Memorandum submitted, that the land subject to the ANR proposal has not been in common ownership or control on or after September 30, 1994, with additional acreage totaling 30 contiguous acres or more. It may be that the applicant can make such a case, but as noted above, the Memorandum is not a title report and cannot be relied upon as such.

Where prior divisions of Perry land have been referred to the Commission as a DRI pursuant to this regulatory threshold; and where the Applicant has not demonstrated with the necessary foundation that the particular land subject to the ANR proposal has not been held in common ownership since September 30, 1994 with other land totaling 30+ acres, it appears that DRI referral is called for under Section 3(c) of the Regulations governing the Commission’s Review of Developments of Regional Impacts.

As an alternative, the Board might avail itself of Section 2(c) of the Commission’s Regulations, Jurisdictional Determinations:

“(c) Jurisdictional Determinations (i) Any Municipal Agency or Applicant for a development permit, whose application has not been referred to the Commission by a Municipal Agency or taken up by the Commission for review under Section 12(h) of the Act, may apply to the Commission for a Jurisdictional Determination as to whether a development is or is not a DRI under the Act, and/or as to whether the development is exempt from Commission review under Section 22 of the Act.”

⁷ Several such recorded plans are included in the attachments to the Applicant’s Memorandum.

Cheeseman, Melany (FWE)
melany.cheeseman@state.ma.us [via mass.gov](https://www.mass.gov)

Oct 9, 2020, 2:55 PM (3 days ago)

to me

Gordon,

Your email regarding the project at 30 Longnook Rd. in Truro was forwarded to me by Eve Schluter. I am not sure what you discussed with her about the proposed project but based on the provided photos and plans the project may be exempt from MESA review. Per 321 CMR 10.14 the following projects are exempt from review:

(4) the maintenance, repair, or replacement, or additions, including the construction of a driveway for an existing single family or two family home within existing paved and lawfully developed and maintained lawns or landscaped areas, provided there is no expansion of such existing paved, lawn and landscaped areas;

Will all work (construction, staging, access, landscaping, etc.) occur within the previously developed and maintained lawn/landscaped area of the property?

Melany Cheeseman

Endangered Species Review Assistant

Natural Heritage & Endangered Species Program

Massachusetts Division of Fisheries & Wildlife

1 Rabbit Hill Road, Westborough, MA 01581

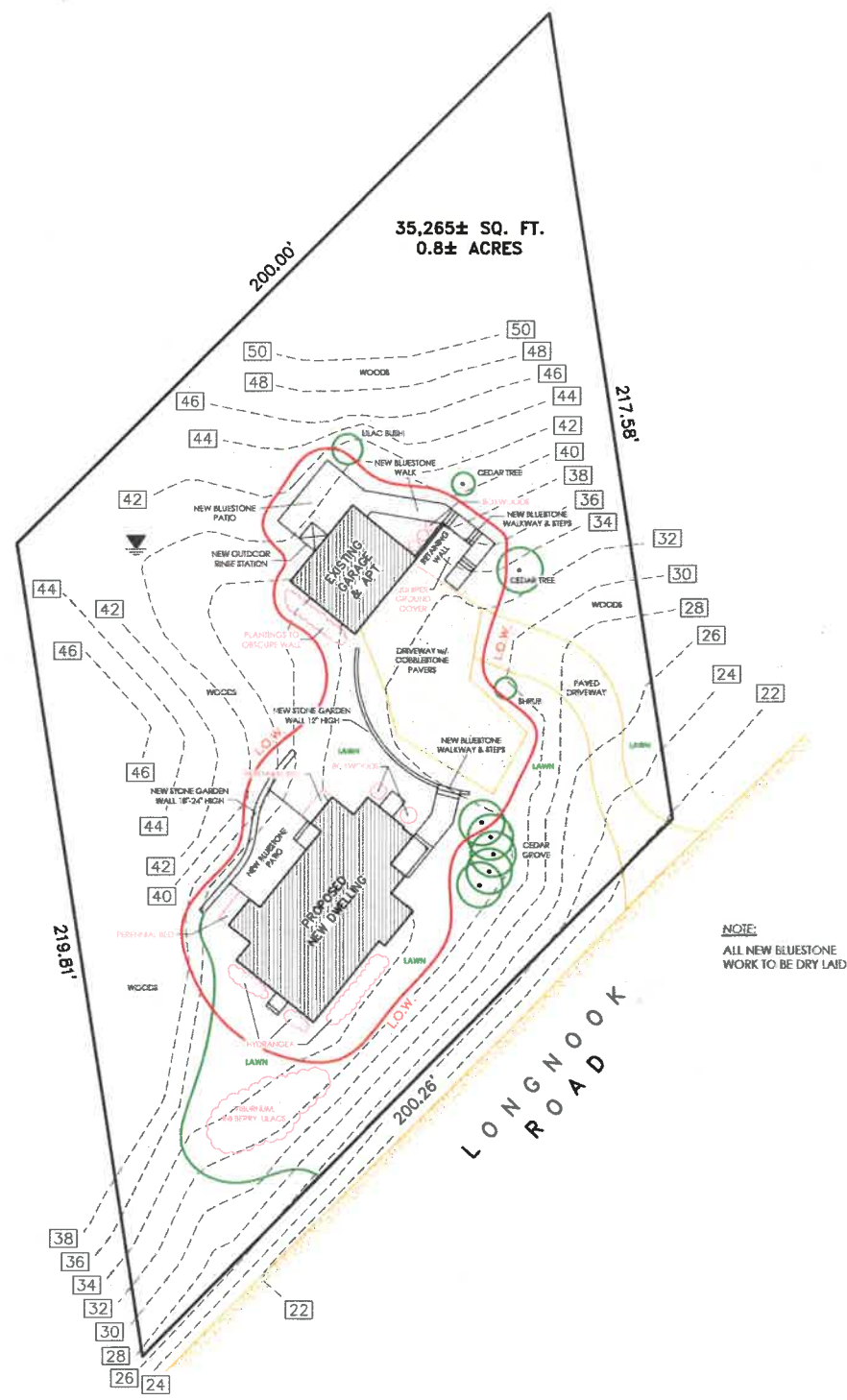
melany.cheeseman@mass.gov | www.mass.gov/nhesp



gordon peabody <gordonpeabody@gmail.com> Oct 9, 2020, 3:03 PM (3 days ago)

to Melany

Thank you so very much for the professional turn around time. Yes, you are correct that the existing lawn and not much of it, will be utilized for the limited activity here. I enjoy working with MA NHESP and hope to continue being in contact with you in the future. regards, Gordon Peabody



NOTE:
ALL NEW BLUESTONE
WORK TO BE DRY LAID

Office of Town Clerk
Treasurer - Tax Collector
2020-003/SPR
OCT - 8 2020
Supplemental
Received TOWN OF TRURO
By *umstern*

aline architecture
100 Route 6a Orleans MA 02653
Direct: 508-240-6500
Fax: 508-240-6502
www.alinearchitecture.com

Project: **MARSH**
Location: 30 LONGNOOK, TRURO, MA

notes:
PROPOSED CONDITIONS

scale 1" = 30'-0"	rev. 10/8/20
design	drawn TAP
project no.	rev. 10/6/20
	date 8/26/20

sheet no.
L1.2

TOWN OF TRURO PLANNING BOARD

FINDINGS AND CONDITIONS OF APPROVAL OF PRELIMINARY SUBDIVISION PLAN

1 AMITY LANE (SCHIRMER)

The Planning Board met on July 22, 2020 to review the preliminary plan submitted for 1 Amity Lane. The Board makes the following findings:

1. The Plan shows Lot 3, containing an existing single-family house, with frontage on the depicted Amity Lane and unnamed "Way"; Lot 4, vacant, with frontage on the unnamed "Way"; and Lot 5, which lacks frontage on any way and is not a buildable lot.
2. The Applicant represents that Lots 4 and 5 will be conveyed to the Truro Conservation Trust.
3. The Applicant represents that neither will Amity Lane be improved nor will the unnamed "Way" be constructed until such time that Lot 4 is improved by a residence.
4. The Applicant represents that the trees identified by the Truro Fire Chief for removal as shown on the plan will be removed prior to application for a Definitive Subdivision of Land.

The Planning Board voted to approves the Preliminary Subdivision Plan subject to the following modifications and conditions:

1. Lot 5 shall be labeled "not a buildable lot."
2. Further detail in conformity with the Planning Board Rules and Regulations shall be provided on any definitive plan submitted.
3. At such time that Lot 4 is improved by a residence, Amity Lane and the unnamed "Way" shall be constructed in conformance with the Planning Board Rules and Regulations Governing the Subdivision of Lane.
4. Any further subdivision of land depicted on the Plan, or division of such land pursuant to G.L. c. 41, s. 81P shall require a modification of this subdivision plan.

This record approved by the Board on August 5, 2020.

Elizabeth Sturdy

From: Tim Collins
Sent: Thursday, October 15, 2020 1:35 PM
To: Elizabeth Sturdy
Subject: RE: Schirmer Definitive Plan

Liz I had met with our planner Jeff over this I have been out to that location with our first due fire engine with him and there were some trees that needed to be removed to meet our by law those trees have since been removed allowing for better access for a fire engine. Should you have any additional questions feel free to contact me.

Respectfully,

Timothy Collins
Fire Chief/EMD
Truro Fire Department
508-487-6589
TCollins@Truro-Ma.gov

Confidentiality Notice: This fax/e-mail transmission, with accompanying records, is intended only for the use of the individual or entity to which it is addressed and may contain confidential and/or privileged information belonging to the sender, including individually identifiable health information subject to the privacy and security provisions of HIPAA. This information may be protected by pertinent privilege(s), e.g., attorney-client, doctor-patient, HIPAA etc., which will be enforced to the fullest extent of the law. If you are not the intended recipient, you are hereby notified that any examination, analysis, disclosure, copying, dissemination, distribution, sharing, or use of the information in this transmission is strictly prohibited. If you have received this message and associated documents in error, please notify the sender immediately for instructions. If this message was received by e-mail, please delete the original message and destroy any hard copies you may have created. The sender does not accept any liability for any errors or omissions in the contents of this message that arise as a result of email transmission. Thank you.

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Thursday, October 15, 2020 11:37 AM
To: Tim Collins <TCollins@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>
Subject: FW: Schirmer Definitive Plan

Chief Collins,

When reviewing the Definitive Subdivision packet (Schirmer – 1 Amity Lane) previously forwarded to you, would it be possible for you to comment as per John O'Reilly's message below? Thank you for your assistance.

Liz

From: John O'Reilly <joreilly@imoreillyassoc.com>
Sent: Wednesday, September 16, 2020 10:18 AM
To: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>

Cc: Elizabeth Sturdy <ESTurdy@truro-ma.gov>

Subject: Schirmer Definitive Plan

Barbara,

I am reaching out to hopefully facilitate the Police and Fire review of the proposed definitive plan for the Schirmer family. The family is hoping to receive approval for the plan in the month of November to facilitate the sale of the parcels to the Trust prior to the end of the year.

Specifically, I am hoping to have the fire chief, review the road, again, and provide a letter that indicates his position on the roadway relative to the bylaw that one planning board member was fixated on. The trees have been removed as required as part of the Prelim. plan process.

Can you let me know when the plans were submitted to the chief so I can contact him directly? If I am over stepping the line, please let me know.

Thank you again

John

John M. O'Reilly, P.E., P.L.S.

Principal

J.M. O'REILLY & ASSOCIATES, INC

1573 MAIN STREET

P.O. BOX 1773

BREWSTER, MA 02631

OFFICE: 508-896-6601

FAX: 508-896-6602

Elizabeth Sturdy

From: Jamie Calise
Sent: Thursday, October 15, 2020 11:55 AM
To: Elizabeth Sturdy
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane

Thanks Liz. I looked through and have no comments at this time.

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Thursday, October 15, 2020 11:47 AM
To: Jamie Calise <JCalise@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>
Subject: FW: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

Chief Calise,

Should I forward the below email message for comment to someone else in your organization or is this something you would like to handle?

John O'Reilly, the engineer, had stated in a previous email "*I am reaching out to hopefully facilitate the Police and Fire review of the proposed definitive plan for the Schirmer family. The family is hoping to receive approval for the plan in the month of November to facilitate the sale of the parcels to the Trust prior to the end of the year.*" The hearing for this case is next Wednesday, October 21, and I would like to provide the Planning Board with comments from appropriate Town Departments for this meeting.

Please let me know if you need additional information or if I could be of further service. Thank you,

Liz

From: Elizabeth Sturdy
Sent: Tuesday, October 13, 2020 4:04 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>; Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (agreenbaum@truro-ma.gov) <agreenbaum@truro-ma.gov>
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

Good afternoon,

At your earliest convenience, could you please take a look at the previous attachment and respond to me no later than this Friday, October 16 as this will be heard by the Planning Board at their meeting next week. Let me know whether you have a comment or not so I will know that it has been reviewed by your Department.

Thank you for your time – appreciate it.

Liz

From: Elizabeth Sturdy
Sent: Tuesday, September 15, 2020 1:50 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>;
Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (agreenbaum@truro-ma.gov) <agreenbaum@truro-ma.gov>
Subject: Review of Definitive Subdivision for 1 Amity Lane

Hello everyone,

A Definitive Subdivision (Form C) has come into the Planning Department and Board of Health for 1 Amity Lane. A Preliminary Subdivision was approved with conditions by the Planning Board on July 22, 2020 [see Findings and Conditions attached].

Please review the attached application packet and respond back to me with your comments/questions/concerns. Appreciate your time. Thank you,

Liz

Elizabeth Sturdy

Elizabeth Sturdy, Office Assistant
Truro Town Hall
24 Town Hall Road, P.O. Box 2030
Truro, MA 02666
Tel: (508) 214-0935
Fax: (508) 349-5505
Email: esturdy@truro-ma.gov



Elizabeth Sturdy

From: Emily Beebe
Sent: Friday, October 16, 2020 10:03 AM
To: Elizabeth Sturdy
Cc: Barbara Huggins Carboni
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane

Dear Liz and Barbara,

The Board of Health reviewed and approved this definitive subdivision at their meeting of October 5, 2020. They also required that the property owner upgrade the septic system serving the existing dwelling on the property.

The Conservation Commission reviewed the plans and conducted an on-site of the property. They accepted and signed off on the terms of the conservation restriction, which was recently approved (10/13) by the Select Board.

Thanks very much,
Emily

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Thursday, October 15, 2020 12:44 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>
Subject: FW: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

Emily,

Could you also please comment on the findings of the Board of Health meeting on October 6? Thanks,

Liz

From: Elizabeth Sturdy
Sent: Tuesday, October 13, 2020 4:04 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens (<rstevens@truro-ma.gov> <rstevens@truro-ma.gov>); Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>; Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (<agreenbaum@truro-ma.gov> <agreenbaum@truro-ma.gov>)
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

Good afternoon,

At your earliest convenience, could you please take a look at the previous attachment and respond to me no later than this Friday, October 16 as this will be heard by the Planning Board at their meeting next week. Let me know whether you have a comment or not so I will know that it has been reviewed by your Department.

Thank you for your time – appreciate it.

Liz

From: Elizabeth Sturdy

Sent: Tuesday, September 15, 2020 1:50 PM

To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>;
Distribution list - Select Board <selectboard@truro-ma.gov>

Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (agreenbaum@truro-ma.gov) <agreenbaum@truro-ma.gov>

Subject: Review of Definitive Subdivision for 1 Amity Lane

Hello everyone,

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Please review the attached application packet and respond back to me with your comments/questions/concerns. Appreciate your time. Thank you,

Liz

Elizabeth Sturdy

Elizabeth Sturdy, Office Assistant
Truro Town Hall
24 Town Hall Road, P.O. Box 2030
Truro, MA 02666
Tel: (508) 214-0935
Fax: (508) 349-5505
Email: esturdy@truro-ma.gov



Elizabeth Sturdy

From: Jarrod Cabral
Sent: Thursday, October 15, 2020 1:51 PM
To: Elizabeth Sturdy
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane

Hi Liz, I have no comment - Thanks - Jarrod

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Tuesday, October 13, 2020 4:04 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>; Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum <agreenbaum@truro-ma.gov>
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

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Thank you for your time – appreciate it.

Liz

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Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (<agreenbaum@truro-ma.gov> <agreenbaum@truro-ma.gov>)
Subject: Review of Definitive Subdivision for 1 Amity Lane

Hello everyone,

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Please review the attached application packet and respond back to me with your comments/questions/concerns. Appreciate your time. Thank you,

Liz

Elizabeth Sturdy

Elizabeth Sturdy

From: Rich Stevens
Sent: Wednesday, October 14, 2020 10:13 AM
To: Elizabeth Sturdy
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane

Good Morning Liz,
No Comments from Building Department.
Thank You,

Rich

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Tuesday, October 13, 2020 4:04 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>; Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum <agreenbaum@truro-ma.gov>
Subject: RE: Review of Definitive Subdivision for 1 Amity Lane
Importance: High

Good afternoon,

At your earliest convenience, could you please take a look at the previous attachment and respond to me no later than this Friday, October 16 as this will be heard by the Planning Board at their meeting next week. Let me know whether you have a comment or not so I will know that it has been reviewed by your Department.

Thank you for your time – appreciate it.

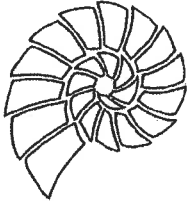
Liz

From: Elizabeth Sturdy
Sent: Tuesday, September 15, 2020 1:50 PM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>; Jarrod Cabral <jcabral@truro-ma.gov>; Tim Collins <TCollins@truro-ma.gov>; Jamie Calise <JCalise@truro-ma.gov>; Distribution list - Select Board <selectboard@truro-ma.gov>
Cc: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>; Anne Greenbaum (agreenbaum@truro-ma.gov) <agreenbaum@truro-ma.gov>
Subject: Review of Definitive Subdivision for 1 Amity Lane

Hello everyone,

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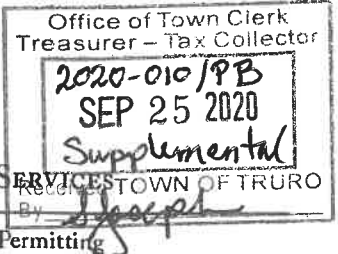
Please review the attached application packet and respond back to me with your comments/questions/concerns. Appreciate your time. Thank you,



J.M. O'REILLY & ASSOCIATES, INC.

PROFESSIONAL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL SERVICES TOWN OF TRURO

Site Development • Property Line • Subdivision • Sanitary • Land Court • Environmental Permitting



September 8, 2020

JMO-2216A

Truro Planning Board
24 Town Hall Road
Truro, MA 02666

RE: Definitive Subdivision Plan Application
1 Amity Lane, Truro

Dear Board Members,

On behalf of our clients, the Schirmer Family, J.M. O'REILLY & ASSOCIATES, INC. is submitting the attached Application for Approval of a Definitive Plan (Form C), Definitive Subdivision Plan of Land and associated paperwork for the above referenced property.

The Schirmer's having received preliminary approval from the Planning Board earlier this past summer, are now seeking the definitive approval of the division of land. The division includes the creation of three lots, Lots 3, 4 and 5, and a 40 foot Right of Way. For the Planning Board information, the following is a description of the project and lots that are to be created:

- **Amity Lane:** Amity Lane is a private way in which the Schirmer family owns the fee within the roadway. Amity Lane was created and laid out on a Plan of Land in Truro for the Schirmer family in 1966. Plan Book 200, page 51 (2 sheets). Copy of the 1966 subdivision plan is attached for your review.
 - The existing gravel/ dirt road is about 8 to 10 feet wide.
 - The existing eleven (11) trees along the roadway of Amity Lane, identified during the preliminary plan review by the Truro Fire Department for removal, have been removed.
 - There are no drainage improvements proposed within Amity Lane
 - Amity Lane currently serves three properties, 1 Amity Lane (Lot 3); 5 Amity and 7 Amity Lane. A total of three homes will continue to be served by the existing roadway.
- **Way:** The Private Way is 40 feet in width and contains 16,035 sf. The proposed Way is not to be constructed, at this time.
 - The Application is seeking not to construct the Way.
 - Lots 4 & 5 are to be conveyed to the Truro Conservation Trust.
 - There are no drainage improvements proposed within the Way.
- **Lot 3:** The Lot 3 will be retained by the Schirmer Family. Lot 3 contains an existing small old cottage, which will remain. The lot gains the required 150 feet of frontage along both Amity Lane and the proposed Private Way. The parcel will contain 73,200 sf+/- of land area. The entirety of Lot 3 is upland and contains no wetland resources or flood areas. Lot 3 will retain the address of 1 Amity Lane.

- Lot 4: The Lot 4, once created, will be transferred over to the Truro Conservation Trust. The lot contains a total area of 184,203 sf. Lot 4 does contain about 47,905 sf of an old bog and is subject to a 100 year flood boundary. The frontage for Lot 4 is gained by the Way.
- Lot 5: The Lot 5, once created, will be transferred to the Truro Conservation Trust. The lot contains 33,169 sf of land area and has no frontage along the Way or Amity Lane. As Such Lot 5 is considered unbuildable due to lack of frontage and lot area.

The Schirmer's will be looking for several waivers from the Planning Board upon the filing of the Definitive Subdivision Plan. The waivers requested include:

- Waiver from all improvements to the Way and Amity Lane. The Way provides frontage for both Lot 3 and Lot 4 of the division. The Schirmer's will retain the fee within the Way and provide access rights to Lot 4.

We look forward to meeting with the Board on October 21, 2020 to answer any questions the Board may have.

Very truly yours,



John M. O'Reilly, P.E., P.L.S.

Principal

CC: Town Clerk
Emily Beebe, Health Agent
Client



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

Office of Town Clerk
Treasurer - Tax Collector

2020-010/PB
SEP 11 2020

\$375.00 fee Paid

Received TOWN OF TRURO
By *Molly Stevens*

FORM C

APPLICATION FOR APPROVAL OF A DEFINITIVE PLAN

To the Planning Board of the Town of Truro, MA

Date 9/4/2020

The undersigned, being the applicant as defined under Chapter 41, Section 81-L, for approval of a proposed subdivision shown on a plan entitled Definitive Subdivision Plan of Land in Truro, MA
Abigail B. Schirmer, Audrey Schirmer and Joseph M. Schirmer at Route 6 and Amity Lane
 by J.M. O'Reilly & Associates, Inc. dated 9/4/2020 and described as follows:

Located: 1 Amity Lane Assessor's Map(s) and Parcel(s): 46 / 8

Number of Lots Proposed: 3 plus Way Total Acreage of Tract: 289,230 SF (6.64 ac +/-)

Said applicant hereby submits said plan as a *Definitive* subdivision plan in accordance with the Rules and Regulations of the Truro Planning Board and makes application to the Board for approval of said plan.

The undersigned's title to said land is derived under deed from Book 14422, Page 64,
 dated 8-31-2001, and recorded in the Barnstable Registry of Deeds Book and Page _____ or
 Land Court Certificate of Title No. _____ registered in Barnstable County,
 and said land is free of encumbrances except for the following:

Said plan has/has not (*circle appropriate*) evolved from a preliminary plan submitted to the Board on _____
 and approved/approved with modifications/disapproved (*circle appropriate*) on _____

Applicant:

Joseph M. Schirmer
 (Printed Name of Applicant)

Joseph M. Schirmer
 (Signature of Applicant)

Applicant's Telephone Number(s) 608-345-1002

Applicant's Legal Mailing Address 17 Raymond Circle, Peabody, MA 01960

Owner's Signature if not the applicant
 or applicant's authorization if not the owner:

Joseph M. Schirmer, et al
 (Printed Name)

Joseph M. Schirmer
 (Signature)

Owner's Legal Mailing Address Abigail B. Schirmer, Audrey Schirmer and Joseph M. Schirmer - 17 Raymond Circle, Peabody, MA 01960

Surveyor Name/Address John M. O'Reilly, J.M. O'Reilly & Associates, Inc., P.O. Box 1773 Brewster, MA 02631 (508) 896-6601
 (or person responsible for preparation of the plan)

File twelve (12) copies each of this form and applicable plan(s) with the Town Clerk; and a complete copy,
 including all plans and attachments, submitted electronically to the Town Planner at planner1@truro-ma.gov

John O'Reilly

From: AnNguyen96@comcast.net
Sent: Wednesday, September 9, 2020 12:13 PM
To: John O'Reilly; Joe Schirmer
Cc: Schirmer Nick
Subject: RE: signature

Hi John,

This is to confirm Joe Schirmer (my brother-in-law, brother of my deceased wife, Abigail Schirmer) can sign our application to the Truro Planning Board to transfer land to the conservation trust.

Regards,
Nguyen An

On 09/08/2020 4:16 PM John O'Reilly <joreilly@jmoreillyassoc.com> wrote:

Joe, are you able to overnight the signed application?

John

From: Joe Schirmer <jschirmer48@gmail.com>
Sent: Tuesday, September 8, 2020 11:50 AM
To: John O'Reilly <joreilly@jmoreillyassoc.com>
Cc: NGUYEN AN <AnNguyen96@comcast.net>; Schirmer Nick <nick.schirmer@gmail.com>
Subject: signature

John O'Reilly

From: nick schirmer <nick.schirmer@gmail.com>
Sent: Wednesday, September 9, 2020 8:52 AM
To: Joe Schirmer
Cc: NGUYEN AN; John O'Reilly
Subject: Re: Authorization for SIGNATURE NEEDED

Mark

this is to confirm Joe Schirmer (my uncle, brother of my deceased mother audrey schirmer) can sign our application to the Truro Planning Board to transfer land to the conservation trust

I will try my best to send you the act of death

kind regards

nick

On Tue, Sep 8, 2020 at 11:39 AM Joe Schirmer <jschirmer48@gmail.com> wrote:

Hi Nick and An, Our surveyor John O'Reilly, continues to work on the plan to transfer ownership of land on the marsh side of the hill between the shed and the main house to the Conservation Trust. When this is done, we will get a tax break and The Commonwealth of Massachusetts will pay us some cash as financial compensation for the transfer.

The Town of Truro Planning Board approved the preliminary plan and Mr. O'Reilly is preparing to submit the application for the final plan this week.

Will you please reply to all on this message to give your approval for me to sign the application to submit the final plan to the Town as our representative of the three branches of the family that own the land?

Thank you!

Joe Schirmer

Begin forwarded message:

From: John O'Reilly <joreilly@jmoreillyassoc.com>
Subject: SIGNATURE NEEDED
Date: September 8, 2020 at 10:08:15 AM CDT
To: Joe Schirmer <jschirmer48@gmail.com>
Cc: Alyson Konkol <akonkol@jmoreillyassoc.com>

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: <u>1 AMITY LANE, TRURO</u> Applicant Name: <u>SCHIRMER FAMILY</u> Date: <u>9-8-2020</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
2.5.2 Submission Requirements for Definitive Plans				
a.	General - The following documentation shall be submitted along with a Definitive Plan; to the Planning Board:			
a.1	A properly executed application for Definitive Subdivision Plan Review. (Form C).	✓		
a.2	A list of the names and addresses of all abutters, as defined in Section 1.6 and as certified by the Deputy Assessor.	✓		
a.3	Twelve (12) paper prints of the plan.	✓		
a.4	Twelve (12) copies of all plans, profiles and cross-sections, showing proposed design and location of streets, drainage and utilities.		✓	Waiver for Road Construction is Requested
a.5	Two (2) copies of the subdivision plan prepared at a scale of 1 inch = 100' feet. The plan shall include the lot numbers and lot areas in acres and square footage. Distances and bearing need not be shown.	✓		
a.6	Two (2) copies of drainage calculations based on a fifty (50) year storm, stamped and signed by an engineer, along with a topographic plan delineating contributing areas.		✓	Waiver for Drainage Improvements is requested
a.7	A list of requested waivers from these Rules and Regulations consistent with §1.5, if applicable, and a narrative explanation detailing the reasons for such waivers and the bases for finding that such waivers are in the public interest.	✓		Refer to Cover Letter and Definitive Plan
a.8	A digital copy of the subdivision application and accompanying plans in PDF format. This digital copy shall be sent to the Planning Department within 1 business day of the paper filing at the Town Clerk's Office. In addition, the Board and/or its consultants may require submission of the plans and other relevant documents in CAD or other formats.	✓		

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: _____ Applicant Name: _____ Date: _____				
No.	Requirement	Included	Not Included	Explanation, if needed
a.9	A traffic impact and access study shall be required, for all developments that propose to create ten (10) or more buildable lots, at the developments access to existing roadway networks. The study shall be based on standards traffic engineering guidelines developed by the Massachusetts Environmental Protection Act (MEPA). The Planning Board may also require a traffic study if in their determination one is warranted because of public safety concerns.		✓	Not Applicable
a.10	Three proposed road name(s) for each new street. The Board reserves the right to reject proposed street names.		✓	Way is not to be Constructed, 1 Amity Lane will Remain for the existign cottage
a.11	A written statement stating the time within which the applicant/subdivider agrees to complete the proposed ways and to install all utilities required by the Board. The Board may decline to approve any plan unless the applicant agrees to complete the way shown thereon and install the utilities aforesaid within an agreed upon period after the date of endorsement. In the event the work is not completed within the time set forth, or as extended, the Board may rescind its approval and require a new public hearing.		✓	Waiver is requested for road and draiange improvements.
b.	Contents of Plan - A Definitive Plan shall be prepared by a land surveyor, shall be clearly and legibly drawn in permanent ink upon a reproducible film, and shall comply with the recording requirements of the Registry of Deeds and/or Land Court, whichever is applicable. Final plans and profiles submitted for approval shall be the following sizes: 24 inches by 36 inches maximum, 11 inches by 17 inches minimum, with a ¼-inch border. If multiple sheets are used, they shall be accompanied by an index showing the entire subdivision. Cross-sections shall be provided for all streets.	✓		
The following information shall be shown:				
b.1	The subdivision name, date of the plan, scale, north arrow, assessor' s map and parcel numbers of all land shown on the plan, legend and the title "Definitive Plan".	✓		
b.2	A locus plan containing sufficient information to locate the proposed subdivision, such as streets bounding or providing access to the property.	✓		

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

No.	Requirement	Included	Not Included	Explanation, if needed
Address: _____ Applicant Name: _____ Date: _____				
b.3	The boundaries, area, frontage, and dimensions of each lot and of any contiguous lot(s) in common ownership.	✓		
b.4	The name(s) and address of the owner(s) of record and of the applicant, and the name, address, seal and signature of the land surveyor who prepared the plan.	✓		
b.5	The existing and proposed methods of providing road drainage and utilities.	✓		See Notes of Definitive Plan
b.6	The following information shall be noted on the plan:			
	• Gross area of the subdivision in square feet and acres.	✓		
	• Gross area of roads and cul-de-sacs, in square feet and acres.	✓		
	• Area(s) subject to the Wetlands Protection Act and approval and/or restriction(s) of the Conservation Commission or the Board.	✓		
	• Gross area of wetlands, in square feet and acres, for the entire subdivision.	✓		
	• Net area of wetlands within each lot or parcel, in square feet and percentage.	✓		
	• Net area of contiguous upland of each lot or parcel, in square feet and percentage.	✓		
b.7	Easements, covenants, rights-of-way, and/or restrictions applicable to the area shown on the plan.	✓		
b.8	The existing and proposed lines of streets, ways, lots, easements and any public or common areas within the subdivision.	✓		
b.9	The existing and proposed lines of any easements access or other purposes. The location, ownership and expiration date(s) of any conservation restrictions or easements.	✓		
b.10	The topography of the land, using two (2) foot contours, derived from an actual survey or photogrammetry based on USGS Datum. This may be shown on a separate plan.	✓		See Separate Topography Plan for the Schirmer Family
b.11	Zoning classification (including overlay districts) and the location of any zoning district boundaries that lie within the subdivision boundaries.	✓		
b.12	The location and setbacks of all existing buildings and other structures on the land to be subdivided.	✓		
b.13	The location of any wetlands on the land to be subdivided or within one hundred (100) feet of its boundaries.	✓		

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: _____ Applicant Name: _____ Date: _____				
No.	Requirement	Included	Not Included	Explanation, if needed
b.14	Base flood elevation data, as shown on the Flood Insurance Rate Map, as most recently revised, published by the U.S. Department of Housing and Urban Development. The Base Flood Elevation date shall be provided for all proposals where any portion of the subject property lies within the 100-year flood plain.	✓		Flood Boundary, the 12 and 13 foot contours were mapped by JM O'Reilly & ASSOC., along the bottom of the slope, refer to Def. Plan and Topo Plan
b.15	Sufficient data to determine the location, direction and length of every way, lot lines and boundary lines including lengths and radii of all curves, to establish and reproduce these lines on the ground, and to comply with the requirements of the Registry of Deeds and/or Land Court.	✓		
b.16	For all ways involved in access for the proposed subdivision, whether within, abutting or without the subdivision, the grade and width of road layout, the location of the roadway within the layout, sight distances at intersections, and the physical condition of the roadway including actual width, surface type, depth of surface materials and condition of the road surface.		✓	Construction of Way and Improvements to Amity Lane are requested to be waived
b.17	A notation on the plan indicating that permanent bounds shall be set at all points of curvature and changes in direction of street side lines and at all lot comers, as appropriate.	✓		
b.18	A notation on the plan indicating any waiver to these Rules and Regulations being requested.	✓		
b.19	Suitable space to record the action of the Board and the signatures of the Board members.	✓		
b.20	Suitable space for noting the following dates shall be provided:			
	• Date of Preliminary Application	✓		
	• Date of Preliminary Approval	✓		
	• Date of Definitive Application	✓		
	• Date of Definitive Approval	✓		
	• Date of Definitive Endorsement	✓		

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: _____ Applicant Name: _____ Date: _____				
No.	Requirement	Included	Not Included	Explanation, if needed
b.21	All plans shall have the following notation lettered adjacent to the record of Board's approval as a condition of approval: "No lots may be conveyed and no building permits shall be issued by the Town of Truro until all applicable requirements of the <i>Rules and Regulations Governing the Subdivision of Land</i> have been met."	✓	✓	Waiver of road and Drainage improvements are requested
b.22	Two benchmarks taken from U.S.G.S. datum shall be established within the subdivision. Selection of the benchmark location shall be a point that will not be disturbed during construction operations.	✓		refer to Topogrpahy Plan
b.23	Names of all direct abutters as they appear in the most recent tax list and approximate location of intersecting boundary lines of the abutting land.	✓		
b.24	All information required on a preliminary plan.	✓		
b.25	All deed references and plan references of the subdivision area and abutting properties.	✓		
b.26	A place on the plan shall be reserved for the noting of the approval and/or restrictions of the Board of Health.	✓		
b.27	Lot numbers to be noted on the plan.	✓		
b.28	Legend.	✓		
b.29	Notes indicating that all "Utilities shall be underground".	✓		
b.30	All trees with an outside bark diameter of ten (10) inches or greater measured four and one-half (4½) feet above existing grade on the uphill side of the tree and all specimen trees (including but not limited to holly trees, cedar trees, etc.), shall be shown on the plan, and the species of the tree shall be identified. This may be shown on a separate plan.		✓	Waiver of Road and Drainage Improvements are requested, no clearing at this time.
b.31	Location of ancient ways, historic walls, foundations, or other similar structures.		✓	Not Applicable
c.	Content of Plan and Profiles, and Cross-sections - The Construction Plan and Profile of proposed street(s), prepared by an engineer and with all elevations referred to the U.S.G.S. datum, shall include:		✓	Waiver requested
c.1	Horizontal scale of one (1) inch to forty (40) feet.		✓	Waiver requested
c.2	Vertical scale of one (1) inch to four (4) feet.		✓	Waiver requested
c.3	Existing centerline elevations every fifty (50) feet.		✓	Waiver requested

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: _____ Applicant Name: _____ Date: _____				
No.	Requirement	Included	Not Included	Explanation, if needed
c.4	Existing right side line.		✓	Waiver requested
c.5	Existing left side line.		✓	
c.6	Proposed centerline grades and elevations, with elevations at every fifty (50) foot station, except that in vertical curves elevations shall be shown at twenty-five (25) foot stations and at PVC and PVT (point of vertical curve and point of vertical tangent).		✓	
c.7	Proposed right and left side lines.		✓	
c.8	Gradient of traveled surface.		✓	
c.9	Spot elevations at centerline of each intersecting street or driveway.		✓	
c.10	All existing intersecting walks and driveways.		✓	
c.11	The limits of clearing to accommodate the road layout, utilities and shoulders.		✓	
c.12	Size and location of existing and proposed water mains and their appurtenances, if any, and surface drains and their appurtenances.		✓	
c.13	Profiles shall show vertical locations of water lines, drainage lines and other utilities. Sizes of all pipes shall be shown as well as inverts of all pipes at each manhole or catch basin, together with invert elevation and rim elevation of each manhole or catch basin.		✓	
c.14	Cross sections shall show cuts, fill, subgrade, finished surface, shoulders, curbs or berms, and slopes.		✓	
c.15	A detailed landscape plan, which may be included on the plan and profile or as a separate plan, showing:		✓	
	a. Location, size and species of proposed streets trees, if any and other plantings associated with all areas to be disturb.		✓	
	b. Existing trees, as described in §2.5.2.b.30, which are proposed to be removed.		✓	
	c. Method of final slope stabilization.		✓	
c.16	An erosion control plan, which may be included on the plan and profile or as a separate plan or in conjunction with the landscape plan described in item #15, shall include the following:		✓	
	a. Topographical contours at two-foot intervals.		✓	

2.5 - DEFINITIVE SUBDIVISION PLANS REVIEW CHECKLIST - Applicant

Address: _____ Applicant Name: _____ Date: _____				
No.	Requirement	Included	Not Included	Explanation, if needed
	b. Drainage patterns and watershed boundaries, if any.		✓	Waiver requested
	c. Existing vegetation.		✓	
	d. Proposed limit of clearing.		✓	
	e. The location, identification and narrative description with detailed drawings of all temporary and permanent erosion and sediment control Best management Practices.		✓	
	f. Temporary driveway apron to serve during all phases of site preparation and construction that shall consist of ¾" crushed stone 3" thick or bituminous binder 2-1/2" thick.		✓	
	g. Narrative description of the construction schedule and the concurrent sequencing and timing of erosion control measures as shown on the plan.		✓	
<u>2.5.3 Staking of Proposed Subdivision</u>				
	In order to facilitate on-site review by the various reviewing boards, the applicant shall, at the time of filing of a Definitive Plan, stake and brush cut to a minimum of three (3) feet wide the centerline of all proposed ways in the subdivision and shall stake all points where lot lines intersect rights-of-way.	✓		Centerline of Way shall be staked for Planning Board viewing.

QUITCLAIM DEED

We Abigail B. Schirmer of Cambridge, Massachusetts and Joseph M. Schirmer of Madison, Wisconsin, Trustees of the Schirmer Realty Trust of December 28, 1990, recorded with Barnstable County Registry of Deeds, Book 7413, Page 122, in consideration paid of One (\$1.00) Dollar grant to Abigail B. Schirmer of 26 Jay Street, Cambridge, Massachusetts 02139, Audrey Schirmer of 4618 Jeanne Mance, Montreal, Canada H2V4J4 and Joseph M. Schirmer of 607 Clemons Avenue, Madison, Wisconsin 53704, as tenants in common

with QUITCLAIM COVENANTS

a certain parcel of real estate with the buildings thereon situated in Truro, Massachusetts, located off Castle Road and Massachusetts State Highway-Route 6, shown as Lot 1; and a 40' wide Private Way all shown on a plan of land entitled "Plan of Division of Land in Truro, Mass. as surveyed and prepared for Daniel B. Schirmer and Margaret F. Schirmer Scale 1 in. = 60 FT. March 16, 1990 Schofield Brothers, Inc. Engineering Surveying Planning 161 Cranberry Highway P.O. Box 101 Orleans, Mass. 02653 (508)-255-2098" recorded with the Barnstable Registry of Deeds on August 29, 1990, in Plan Book 475, Page 3; and land of Daniel B. Schirmer located at the North east corner of Lot 1 on said plan.

Said land containing an area of approximately 10.63 acres.

For our title see deed from Daniel B. Schirmer and Margaret F. Schirmer dated December 28, 1990 and recorded with the Barnstable Registry of Deeds in Book 7413, Page 134.

Witness my hand and seal this 31st day of AUGUST, 2001.

Abigail B. Schirmer
Abigail B. Schirmer, Trustee


COMMONWEALTH OF MASSACHUSETTS

SUFFOLK, SS.

AUGUST 31, 2001

Then personally appeared the above-named Abigail B. Schirmer, individually and Trustees as aforesaid and acknowledged the foregoing instrument to be her free act and deed, before me,

Walter J. Kelly
Notary Public: Walter J. Kelly
My Comm. Expires: 06/18/05



Locus: Land located off Castle Road & Mass State Highway, Route 6, Truro, MA

Witness my hand and seal this 21 day of September, 2001.

Joseph M. Schirmer
Joseph M. Schirmer, Trustee

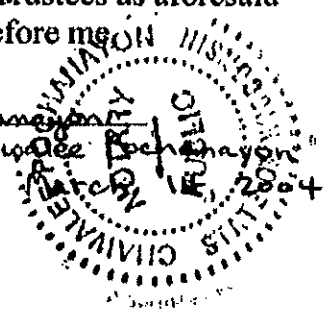
STATE OF WISCONSIN

DANE, SS.

September 21, 2001

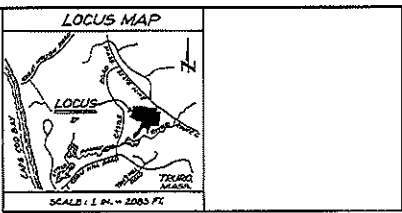
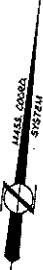
Then personally appeared the above-named Joseph M. Schirmer, Trustees as aforesaid and acknowledged the foregoing instrument to be his free act and deed, before me

Chauvlee Pochanony
Notary Public: Chauvlee Pochanony
My Comm. Expires: March 18, 2004



475-3

RECORDED
 1990 MAR 23 3:41 PM
 MASS. DEPT. OF REVENUE
 REGISTRY OF DEEDS
 JOHN F. HEGAN



- NOTES:
- ASSESSORS' SHEET NO. 4C, PARCEL NO. 1C.
 - ZONING CLASSIFICATION: RESIDENTIAL
 - FOR LOCUS REFERENCE SEE: PLAN BOOK 200, PAGE 51; DEED BOOK 1257, PAGE 507.
 - UNLESS OTHERWISE NOTED THE LOCATION OF MONUMENTS SHOWN ON THE PLAN RECORDED IN PLAN BOOK 200, PAGE 51 WERE NOT VERIFIED ON THE GROUND.

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON, THE OWNERS OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

SURVEYORS CERTIFICATION:
 I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, EFFECTIVE JAN. 1, 1978, AND AS REVISED THROUGH JANUARY, 1980.
 DATE: MARCH 16, 1990
 Daniel B. Schirmer
 PROFESSIONAL LAND SURVEYOR 5054



APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED. FOR CHAP 41, SEC. 81-F, M.G.L.
TRURO PLANNING BOARD
 DATE: March 21, 1990
 [Signatures]

PLAN OF
 DIVISION OF LAND
 IN
 TRURO, MASS.

AS SURVEYED AND PREPARED FOR
DANIEL B. & MARGARET F. SCHIRMER

SCALE: 1 IN. = 60 FT. MARCH 9, 1990
 SCHIFFIELD BROTHERS, INC.
 ENGINEERING - SURVEYING - PLANNING
 101 GRANDVIEW AVENUE
 P.O. BOX 101
 ORLEANS, MASS. 01950
 (508) 253-1550

REVISION 5-11-90 TO SHOW CORRECT LENGTH OF DWELLING AND C&S SET ON LOT 2

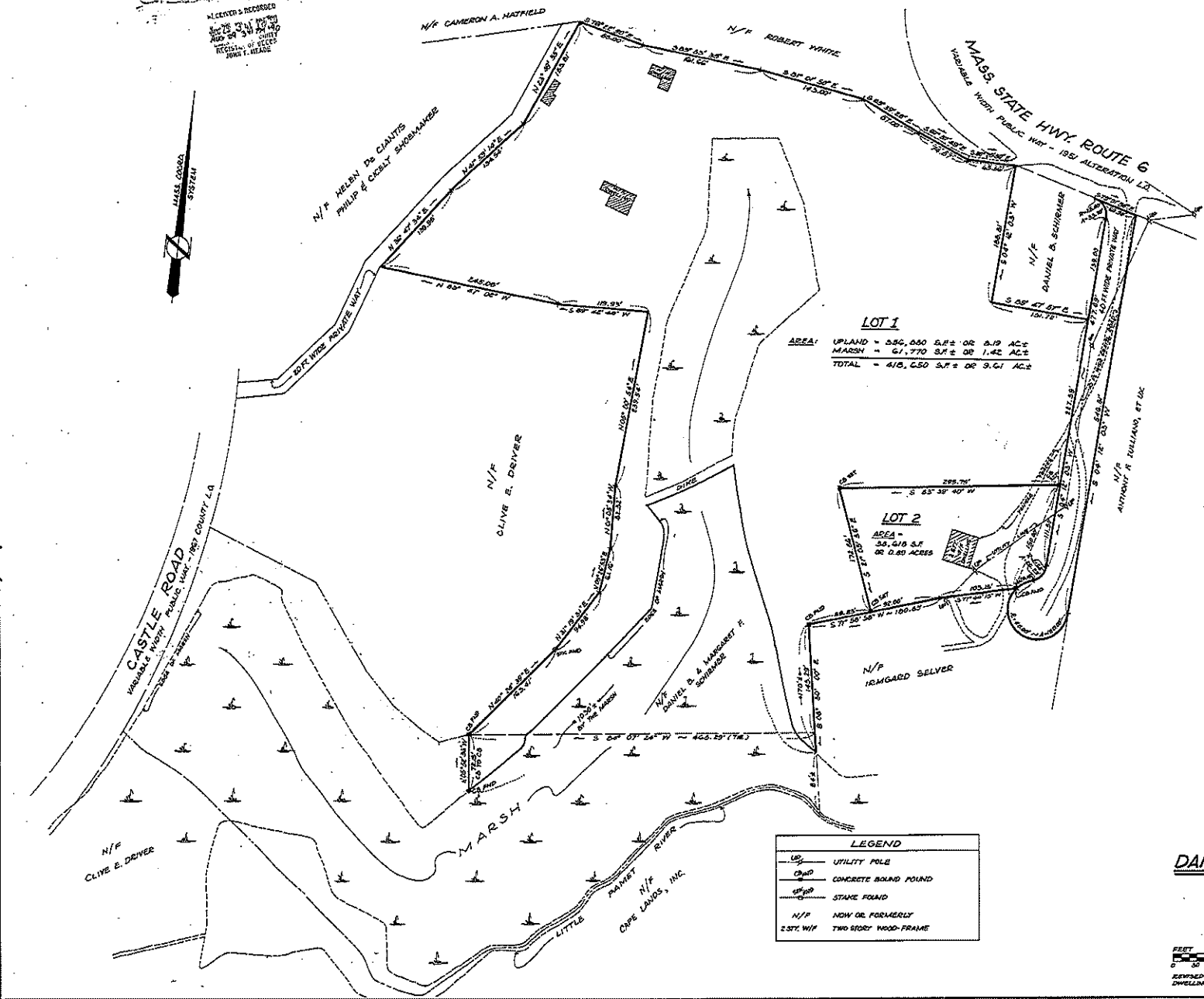
SEARCHED BY JAC	DRAWN BY KSH
FIELD CHECK JMS	CHECKED BY JMS
COMPUTED BY JAC	APPROVED BY JES

LEGEND

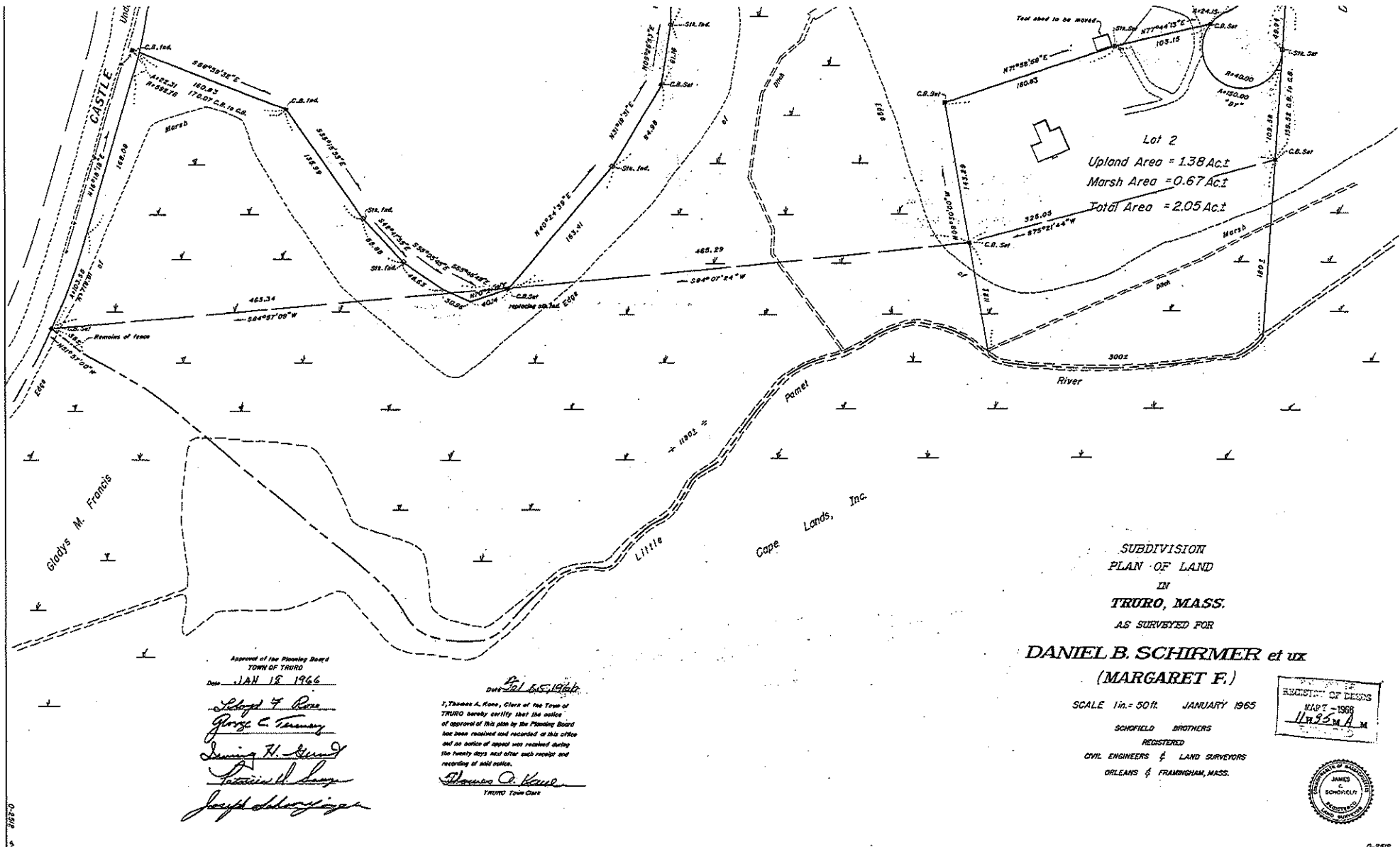
—○—	UTILITY POLE
—□—	CONCRETE BOUND POINT
—●—	STAKE FOUND
N/F	NOW OR FORMERLY
2 STY W/F	TWO STORY WOOD-FRAME

LOT 1
 AREA: UPLAND = 536,000 S.F. ± OR 9.19 AC ±
 MARSH = 61,770 S.F. ± OR 1.42 AC ±
 TOTAL = 418,250 S.F. ± OR 9.61 AC ±

LOT 2
 AREA = 30,610 S.F. OR 0.80 ACRES



475-3



Approved of the Planning Board
TOWN OF TRURO
Date JAN 18 1966

Joseph F. Rose
George C. Tammery
James H. Steward
Thomas H. Long
Joseph Delaney

Jan 18 1966
I, Thomas A. Kane, Clerk of the Town of
TRURO hereby certify that the notice
of approval of this plan by the Planning Board
has been received and recorded in this office
and no notice of appeal was received during
the twenty days next after such receipt and
recording of said notice.
Thomas A. Kane
TRURO Town Clerk

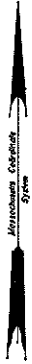
SUBDIVISION
PLAN OF LAND
IN
TRURO, MASS.
AS SURVEYED FOR
DANIEL B. SCHIRMER et ux
(MARGARET F.)

SCALE 1 in. = 50 ft. JANUARY 1965
SCHOFIELD BROTHERS
REGISTERED
CIVIL ENGINEERS & LAND SURVEYORS
ORLEANS & FRAMINGHAM, MASS.

REGISTRY OF DEEDS
MASS - 1966
1/18/66



10-005 200-51 F2



Lily S. Marks
L.G. No. 17658A

Gladys M. Francis

MASS. STATE HIGHWAY ROUTE 6
1700 - 1951 Alteration
Dismantled Surface

Estate of B. Lillian Link
c/o David L. Conger and
Helen C. Conger

20 Ft. Private Right of Way

ROAD

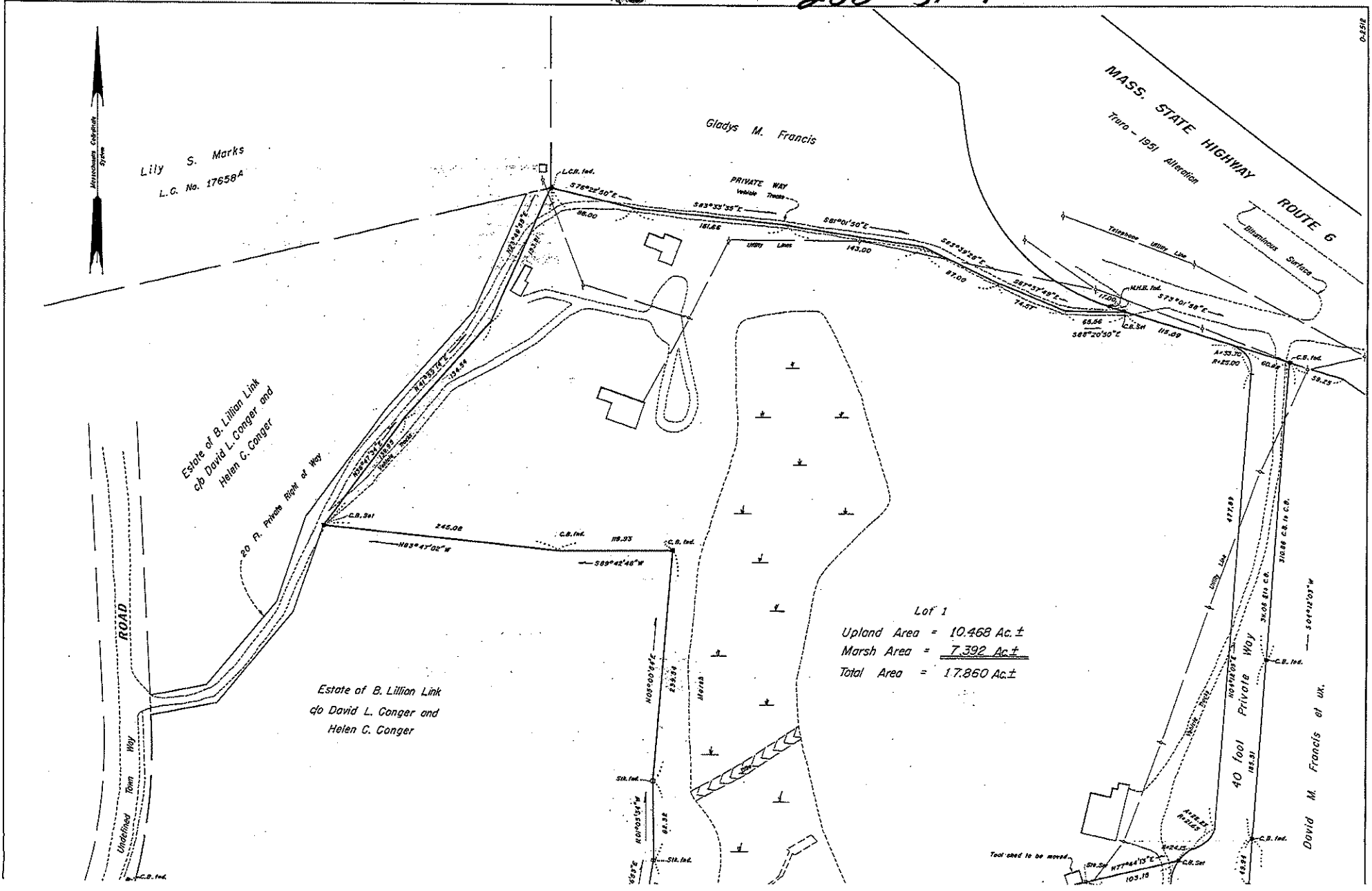
Unimproved Town Way

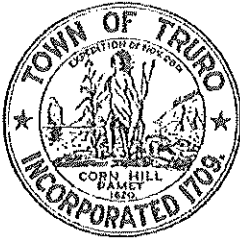
Estate of B. Lillian Link
c/o David L. Conger and
Helen C. Conger

Lot 1
Upland Area = 10.468 Ac. ±
Marsh Area = 7.392 Ac. ±
Total Area = 17.860 Ac. ±

40 foot Private Way

David M. Francis of UK.





TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: September 3, 2020

To: JM O'Reilly & Associates, Inc. (on behalf of Joseph Schirmer)

From: Assessors Department

Certified Abutters List: 1 Amity Lane, Map 46 Parcel 8

Planning Board – Definitive Subdivision

Attached is a combined list of abutters for the property located at 1 Amity Lane. The current owners are Audrey & Joseph M. Schirmer and Huu An Hguyen.

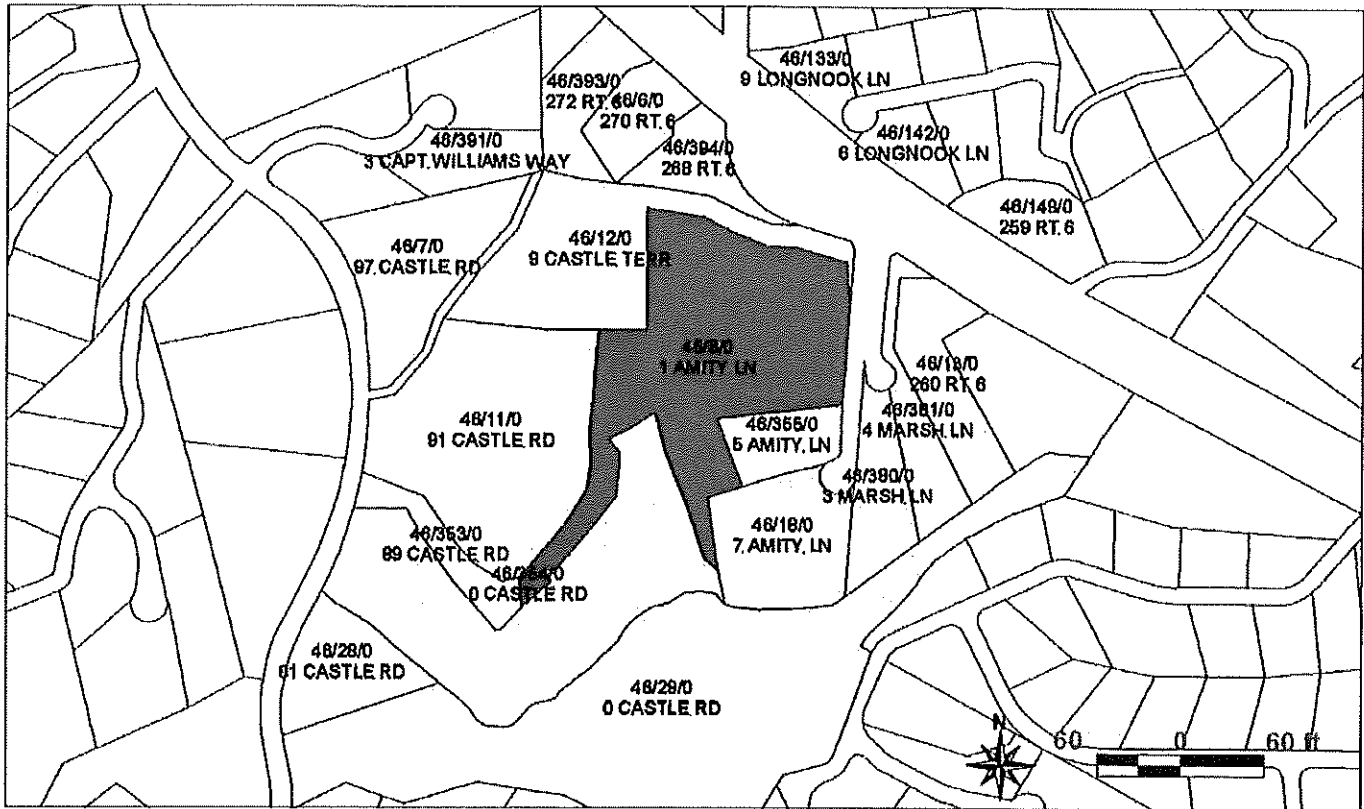
The names and addresses of the abutters are as of August 28, 2020 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: _____

Laura Geiges
Assistant Assessor

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
2234	46-6-0-R	KING WILLIS L & HANNAH S	270 RT 6	PO BOX 189	TRURO	MA	02666
2235	46-7-0-R	DECIANTIS JONATHAN C ET AL	97 CASTLE RD	C/O SHOEMAKER CICELY 825 ASCOT LANE	RALEIGH	NC	27616
2239	46-11-0-R	TABAKIN STEWART & FIUMARA SALVATORE	91 CASTLE RD	PO BOX 874	TRURO	MA	02666
2240	46-12-0-R	SCHIRMER AUDREY & JOSEPH M & AN NGUYEN HUU	9 CASTLE TERR	17 RAYMOND CIRCLE	PEABODY	MA	01960
2241	46-13-0-R	GUARNOTTA BRIAN & HEATHER	260 RT 6	62 DUNSTER RD #2	JAMAICA PLAIN	MA	02130
2246	46-18-0-R	SELVER IRENE B -LE & SELVER VERONICA E	7 AMITY LN	390 RIVERSIDE DR APT 2F	NEW YORK	NY	10025
2256	46-28-0-R	TABAKIN STEWART & FIUMARA SALVATORE	81 CASTLE RD	PO BOX 874	TRURO	MA	02666
2257	46-29-0-E	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL	0 CASTLE RD	PO BOX 327	NO TRURO	MA	02652-0327
2365	46-133-0-R	ESTATE OF ELEANOR M NUNES PERS REP: OLIVER F NUNES JR	9 LONGNOOK LN	29 HARRIMAN RD	HUDSON	MA	01749
2364	46-142-0-R	WALLACE THOMAS J & ANNE F	6 LONGNOOK LN	10 KNOLLWOOD ROAD	WHIPPANY	NJ	07961
2371	46-149-0-R	EDWARDS NANCY R	259 RT 6	PO BOX 27	TRURO	MA	02666-0027
2558	46-353-0-R	TABAKIN STEWART & FIUMARA SALVATORE	89 CASTLE RD	PO BOX 874	TRURO	MA	02666
2559	46-354-0-E	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL	0 CASTLE RD	PO BOX 327	NO TRURO	MA	02652-0327
2560	46-355-0-R	SELVER IRENE B -LE RMNDR: SELVER-KASSELL ANNA&EVE	6 AMITY LN	390 RIVERSIDE DR APT 2F	NEW YORK	NY	10025
5778	46-380-0-R	KILLAM JONATHAN L & BERNA GIOIAMARIA B	3 MARSH LN	66 INDIGO TRAIL	MADISON	CT	06443

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip/Cd/Country
5779	46-381-0-R	LORD MICHAEL A & AMBER B	4 MARSH LN	PO BOX 624	TRURO	MA	02666
6792	46-391-0-R	BERGER WILLIAM R & PATRICIA	3 CAPT WILLIAMS WAY	14 HADDEN RD	SCARSDALE	NY	10583-3328
6859	46-393-0-R	CHRISTOPHER KING REVOC. TRUST TRUSTEE: CHRISTOPHER KING	272 RT 6	PO BOX 259	PROVINCETOWN	MA	02657
6861	46-394-0-R	CHRISTOPHER KING REVOC. TRUST TRUSTEE: CHRISTOPHER KING	268 RT 6	PO BOX 259	PROVINCETOWN	MA	02657

LG 9/3/2020

46-6-0-R	46-7-0-R	46-11-0-R
KING WILLIS L & HANNAH S PO BOX 189 TRURO, MA 02666	DECIANTIS JONATHAN C ET AL C/O SHOEMAKER CICELY 825 ASCOT LANE RALEIGH, NC 27615	TABAKIN STEWART & FIUMARA SALVATORE PO BOX 874 TRURO, MA 02666
46-12-0-R	46-13-0-R	46-18-0-R
SCHIRMER AUDREY & JOSEPH M & AN NGUYEN HUU 17 RAYMOND CIRCLE PEABODY, MA 01960	GUARNOTTA BRIAN & HEATHER 62 DUNSTER RD #2 JAMAICA PLAIN, MA 02130	SELVER IRENE B -LE & SELVER VERONICA E 390 RIVERSIDE DR APT 2F NEW YORK, NY 10025
46-28-0-R	46-29-0-E	46-133-0-R
TABAKIN STEWART & FIUMARA SALVATORE PO BOX 874 TRURO, MA 02666	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL PO BOX 327 NO TRURO, MA 02652-0327	ESTATE OF ELEANOR M NUNES PERS REP: OLIVER F NUNES JR 29 HARRIMAN RD HUDSON, MA 01749
46-142-0-R	46-149-0-R	46-353-0-R
WALLACE THOMAS J & ANNE F 10 KNOLLWOOD ROAD WHIPPANY, NJ 07981	EDWARDS NANCY R PO BOX 27 TRURO, MA 02666-0027	TABAKIN STEWART & FIUMARA SALVATORE PO BOX 874 TRURO, MA 02666
46-354-0-E	46-355-0-R	46-380-0-R
TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL PO BOX 327 NO TRURO, MA 02652-0327	SELVER IRENE B -LE RMNDR: SELVER-KASSELL ANNA&EVE 390 RIVERSIDE DR APT 2F NEW YORK, NY 10025	KILLAM JONATHAN L & BERNA GIOIAMARIA B 56 INDIGO TRAIL MADISON, CT 06443
46-381-0-R	46-391-0-R	46-393-0-R
LORD MICHAEL A & AMBER B PO BOX 624 TRURO, MA 02666	BERGER WILLIAM R & PATRICIA 14 HADDEN RD SCARSDALE, NY 10583-3328	CHRISTOPHER KING REVOC. TRUST TRUSTEE: CHRISTOPHER KING PO BOX 259 PROVINCETOWN, MA 02657
46-394-0-R		
CHRISTOPHER KING REVOC. TRUST TRUSTEE: CHRISTOPHER KING PO BOX 259 PROVINCETOWN, MA 02657		

LG 9/3/2020

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-12-0-R

SCHIRMER AUDREY & JOSEPH M &
AN NGUYEN HUU
17 RAYMOND CIRCLE
PEABODY, MA 01960

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1268

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-13-0-R

GUARNOTTA BRIAN & HEATHER
62 DUNSTER RD #2
JAMAICA PLAIN, MA 02130

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1275

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-6-0-R

KING WILLIS L & HANNAH S
PO BOX 189
TRURO, MA 02666

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1237

U.S. Postal Service™
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Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-7-0-R

DECIANTIS JONATHAN C ET AL
C/O SHOEMAKER CICELY
825 ASCOT LANE
RALEIGH, NC 27615

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1244

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-18-0-R

SELVER IRENE B -LE &
SELVER VERONICA E
390 RIVERSIDE DR APT 2F
NEW YORK, NY 10025

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1262

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

SEP 16 2020 46-18-0-R

CHRISTOPHER KING REVOC. TRUST
TRUSTEE: CHRISTOPHER KING
PO BOX 259
PROVINCETOWN, MA 02657

Postmark
Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1374

7019 2970 0000 0192 1299

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OFFICIAL USE

Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-28-0-R

TABAKIN STEWART &
 FIUMARA SALVATORE
 PO BOX 874
 TRURO, MA 02666

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1251

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-11-0-R
 02631

TABAKIN STEWART &
 FIUMARA SALVATORE
 PO BOX 874
 TRURO, MA 02666

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1336

U.S. Postal Service™
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Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-355-0-R

EDWARDS NANCY R
 PO BOX 27
 TRURO, MA 02666-0027

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1312

U.S. Postal Service™
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OFFICIAL USE

Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-133-0-R

ESTATE OF ELEANOR M NUNES
 PERS REP: OLIVER F NUNES JR
 29 HARRIMAN RD
 HUDSON, MA 01749

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1367

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 \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-2631

BERGER WILLIAM R & PATRICIA
 14 HADDEN RD
 SCARSDALE, NY 10583-3328

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1343

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Certified Mail Fee
 \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage
 46-393-0-R

KILLAM JONATHAN L &
 BERNA GIOIAMARIA B
 56 INDIGO TRAIL
 MADISON, CT 06443

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2970 0000 0192 1305

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage 46-29-0-E

TRURO CONSERVATION TRUST
TRS: BETSEY BROWN ET AL
PO BOX 327
NO TRURO, MA 02652-0327

46-149-0-R

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

BREWSTER, MA
SEP 16 2020

Postmark Here

2216A

7019 2970 0000 0192 1329

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

WALLACE THOMAS J & ANNE F
10 KNOLLWOOD ROAD
WHIPPANY, NJ 07981

46-354-0-E

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

BREWSTER, MA
SEP 16 2020

Postmark Here

2216A

7019 2970 0000 0192 1350

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Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee \$ _____

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage

LORD MICHAEL A & AMBER B
PO BOX 624
TRURO, MA 02666

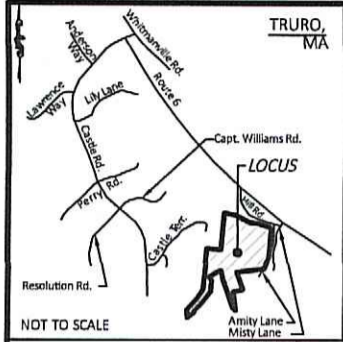
46-394-0-R

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

BREWSTER, MA
SEP 16 2020

Postmark Here

2216A



REFERENCES:
 LOT 2: PLAN BOOK 670, PAGE 36
 DEED BOOK 1422, PAGE 64
 PLAN BOOK 200, PAGE 51

OWNERS:
 ABIGAIL B. SCHIRMER
 24 WY STREET
 CAMBRIDGE, MA 02139

ALDREY SCHIRMER
 4628 JANE MANICE
 MONTREAL, CANADA H4V4H4

JOSEPH M. SCHIRMER
 807 GLENDON AVENUE
 MADISON, WI 53701

ZONING:
 ZONE: RESIDENTIAL
 AREA: 33,750 SF (MINIMUM)
 FRONTAGE: 150 FEET (MINIMUM)
 FRONT SETBACK: 25 FEET (MINIMUM)
 SIDE SETBACK: 25 FEET (MINIMUM)
 REAR SETBACK: 25 FEET (MINIMUM)
 HEIGHT: 2 STORY-30 FEET (MAXIMUM)

LOCUS:
 LOT 2 AS SHOWN ON PLAN BOOK 670, PAGE 36
 TOTAL LOT AREA = 290,309 SF (6.66 AC)
 TOTAL WETLAND AREA = 47,905 SF (1.10 AC)

PROPOSED PARCELS:
 LOT 3: TOTAL AREA = 73,201 SF (1.68 AC) - NO WETLANDS
 LOT 4: TOTAL AREA = 167,904 SF (3.85 AC)
 UPLAND AREA = 119,999 SF (2.75 AC) (71.4% OF TOTAL AREA)
 WETLAND AREA = 47,905 SF (1.10 AC) (28.6% OF TOTAL AREA)
 LOT 5: TOTAL AREA = 33,109 SF (0.76 AC) - NO WETLANDS

NOTES:
 1.) A PORTION OF THE PROPERTY FALLS WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FLOOD INSURANCE MAP #25001C1391
 2.) THE 100 YEAR FLOOD BOUNDARY RANGES FROM ELEVATION 12 TO ELEVATION 13 AND IS SHOWN ON THE PLAN VIEW
 3.) THE EDGE OF WETLAND, BOTTOM AND TOP OF SLOPE AND THE COASTAL BANKS WERE LOCATED BY FIELD SURVEY COMPLETED BY J.M. O'REILLY & ASSOCIATES, INC ON 10-16-2019, 10-23-2019 AND 11-19-2019.
 TREE NOTE:
 4.) THE PROPOSAL DOES NOT INCLUDE ANY DRAINAGE IMPROVEMENTS, AT THIS TIME. AT THIS TIME THERE IS NO ADDITIONAL DRAINAGE FACILITIES PROPOSED ALONG AMITY LANE OR THE PROPOSED WAY.
 5.) THE EXISTING WIDTH OF THE ROADWAY WITHIN AMITY LANE IS 8'.
 6.) ALL NEW UTILITIES SHALL BE UNDERGROUND.

WAIVERS:
 A.) ROAD CONSTRUCTION: WAIVER IS REQUESTED TO NOT CONSTRUCT OR IMPROVE WITHIN THE WAY OR AMITY LANE.
 B.) DRAINAGE CONSTRUCTION: WAIVER IS REQUESTED TO NOT CONSTRUCT OR INSTALL ANY DRAINAGE FACILITIES WITHIN THE WAY OR AMITY LANE.
 C.) ROAD NAME: WAIVER IS REQUESTED TO NOT NAME THE WAY.
 D.) EXISTING TREES: WAIVER IS SOUGHT TO NOT LOCATE ALL TREES GREATER THAN 10" IN DIAMETER.

TRURO BOARD OF HEALTH:
 1.) ALL LOTS SHALL BE LIMITED TO 1 BEDROOM PER 10,000 SF OF LAND AREA.

DATE _____

CLERK OF THE TOWN OF TRURO, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TRURO TOWN CLERK _____

APPROVED BY THE PLANNING BOARD
 TOWN OF TRURO

DATE OF PRELIMINARY APPLICATION: 9-6-2019
 DATE OF PRELIMINARY APPROVAL: 8-5-2020
 DATE OF DEFINITIVE APPLICATION: _____
 DATE OF DEFINITIVE APPROVAL: _____
 DATE OF DEFINITIVE ENDORSEMENT: _____

PLANNING BOARD CONDITIONS:
 1.) AT SUCH TIME THAT LOT 4 IS IMPROVED BY A RESIDENCE, AMITY LANE AND THE UNNAMED "WAY" SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE PLANNING BOARD RULES AND REGULATIONS GOVERNING SUBDIVISION OF LAND.
 2.) ANY FURTHER SUBDIVISION OF LAND DEPICTED ON THIS PLAN, OR DIVISION OF SUCH LAND PURSUANT TO G.L. c.41A, s. 81B SHALL REQUIRE A MODIFICATION OF THIS SUBDIVISION PLAN.

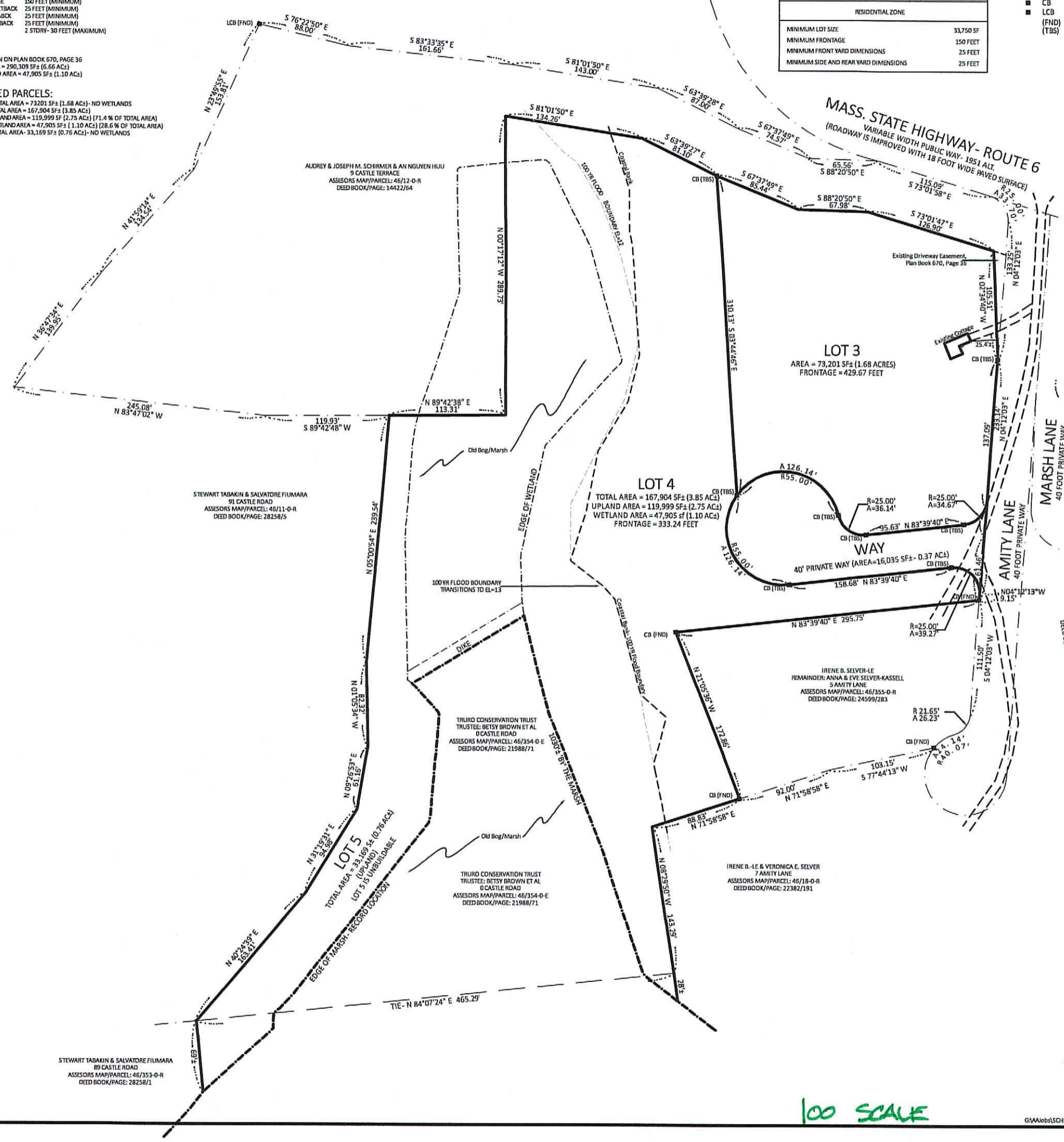
ZONING REQUIREMENTS	
RESIDENTIAL ZONE	
MINIMUM LOT SIZE	33,750 SF
MINIMUM FRONTAGE	150 FEET
MINIMUM FRONT YARD DIMENSIONS	25 FEET
MINIMUM SIDE AND REAR YARD DIMENSIONS	25 FEET

LEGEND

- CB CONCRETE BOUND
- LCB LAND COURT BOUND
- (FND) SURVEYORS BOUND FOUND
- (TIS) SURVEYORS BOUND TO BE SET

FOR REGISTRY USE
 I CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRARS OF DEEDS EFFECTIVE JANUARY 1, 1976 AND AMENDED JANUARY 7, 1988.

DATE _____

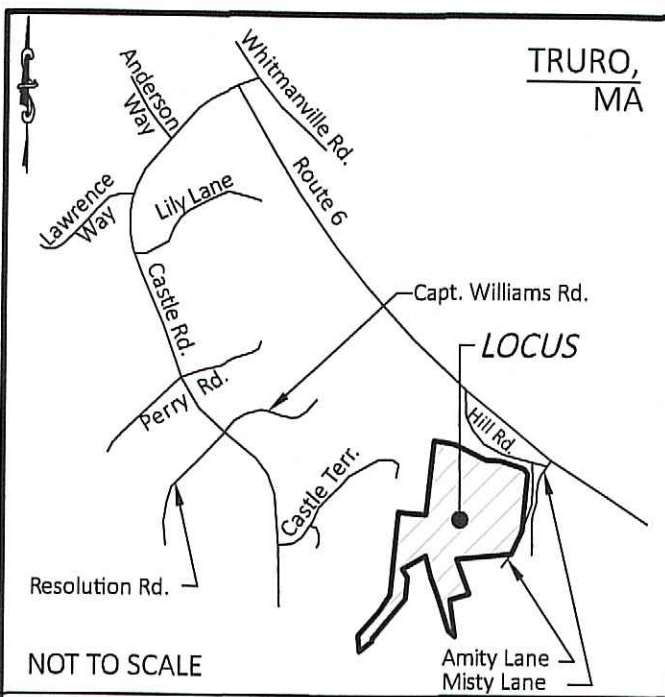


DEFINITIVE SUBDIVISION PLAN
 OF LAND IN
 TRURO, MASSACHUSETTS
 SEPTEMBER 4, 2020
 FOR
 ABIGAIL B. SCHIRMER
 AUDREY SCHIRMER
 JOSEPH M. SCHIRMER
 AT
 1 AMITY LANE, TRURO, MA

0 50 100 150
 SCALE 1"=50'
 0 10 20 30 40
 METRIC SCALE: 1"=15.24 METERS

MADE BY
J.M. O'REILLY & ASSOCIATES, INC.
 1573 MAIN STREET, P.O. BOX 1773
 BREWSTER, MASSACHUSETTS 02611
 PHONE: 508-896-6601 FAX: 508-896-6602

100 SCALE



REFERENCES:
 LOT 2: PLAN BOOK 670, PAGE 36
 DEED BOOK 14422, PAGE 64
 PLAN BOOK 200, PAGE 51

OWNERS:
 ABIGAIL B. SCHIRMER
 26 JAY STREET
 CAMBRIDGE, MA 02139

AUDREY SCHIRMER
 4618 JEANNE MANICE
 MONTREAL, CANADA HCV414

JOSEPH M. SCHIRMER
 607 CLEMONS AVENUE
 MADISON, WI 53701

ZONING:
 ZONE: RESIDENTIAL
 AREA: 33,750 SF (MINIMUM)
 FRONTAGE: 150 FEET (MINIMUM)
 FRONT SETBACK: 25 FEET (MINIMUM)
 SIDE SETBACK: 25 FEET (MINIMUM)
 REAR SETBACK: 25 FEET (MINIMUM)
 HEIGHT: 2 STORY-30 FEET (MAXIMUM)

LOCUS:
 LOT 2 AS SHOWN ON PLAN BOOK 670, PAGE 36
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PROPOSED PARCELS:
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 UPLAND AREA = 119,999 SF (2.75 AC±) (71.4 % OF TOTAL AREA)
 WETLAND AREA = 47,905 SF (1.10 AC±) (28.6 % OF TOTAL AREA)

LOT 5: TOTAL AREA = 33,169 SF (0.76 AC±)- NO WETLANDS

ZONING REQUIREMENTS	
RESIDENTIAL ZONE	
MINIMUM LOT SIZE	33,750 SF
MINIMUM FRONTAGE	150 FEET
MINIMUM FRONT YARD DIMENSIONS	25 FEET
MINIMUM SIDE AND REAR YARD DIMENSIONS	25 FEET

LEGEND

- CB CONCRETE BOUND
- LCB LAND COURT BOUND
- (FND) SURVEYORS BOUND FOUND
- (TBS) SURVEYORS BOUND TO BE SET

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRARS OF DEEDS EFFECTIVE JANUARY 1, 1976 AND AMENDED JANUARY 7, 1988.

DATE 9-9-2020

J.M. O'REILLY & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYOR

NOTES:

- A PORTION OF THE PROPERTY FALLS WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FLOOD INSURANCE MAP #25001C139.
- THE 100 YEAR FLOOD BOUNDARY RANGES FROM ELEVATION 12 TO ELEVATION 13 AND IS SHOWN ON THE PLAN VIEW.
- THE EDGE OF WETLAND, BOTTOM AND TOP OF SLOPE AND THE COASTAL BANK WERE LOCATED BY FIELD SURVEY, COMPLETED BY J.M. O'REILLY & ASSOCIATES, INC ON 10-16-2019, 10-25-2019 AND 11-18-2019.
- THE PROPOSAL DOES NOT INCLUDE ANY DRAINAGE IMPROVEMENTS, AT THIS TIME. AT THIS TIME THERE IS NO ADDITIONAL DRAINAGE FACILITIES PROPOSED ALONG AMITY LANE OR THE PROPOSED WAY.
- THE EXISTING WIDTH OF THE ROADWAY WITHIN AMITY LANE IS 8'±.
- ALL NEW UTILITIES SHALL BE UNDERGROUND.

WAIVERS:

A.) ROAD CONSTRUCTION: WAIVER IS REQUESTED TO NOT CONSTRUCT OR IMPROVE WITHIN THE WAY OR AMITY LANE.

B.) DRAINAGE CONSTRUCTION: WAIVER IS REQUESTED TO NOT CONSTRUCT OR INSTALL ANY DRAINAGE FACILITIES WITHIN THE WAY OR AMITY LANE.

C.) ROAD NAME: WAIVER IS REQUESTED TO NOT NAME THE WAY.

D.) EXISTING TREES: WAIVER IS SOUGHT TO NOT LOCATE ALL TREES GREATER THAN 10" IN DIAMETER.

TRURO BOARD OF HEALTH:

1.) ALL LOTS SHALL BE LIMITED TO 1 BEDROOM PER 10,000 SF OF LAND AREA.

DATE _____

I, _____
 CLERK OF THE TOWN OF TRURO, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

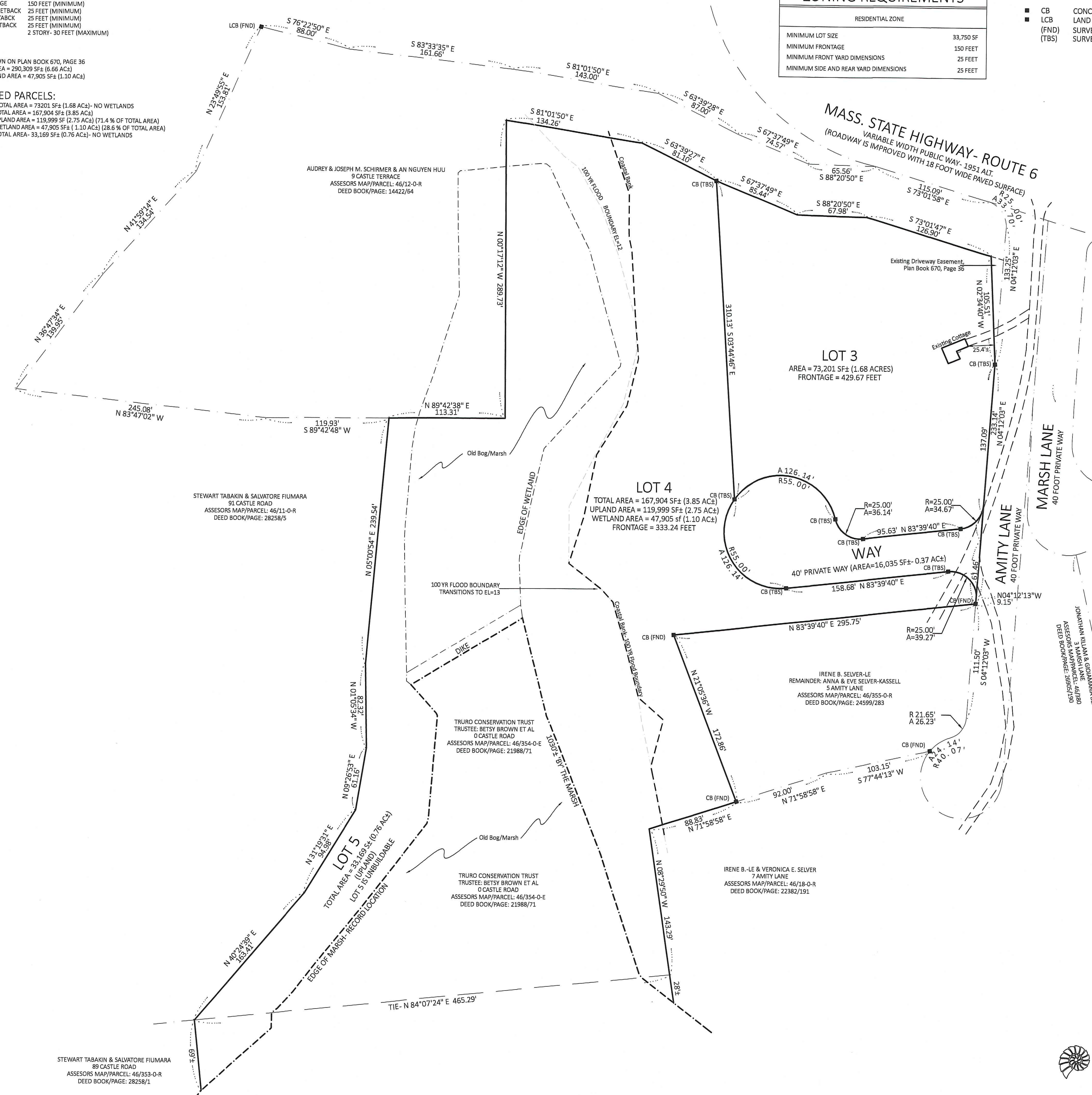
TRURO TOWN CLERK _____

APPROVED BY THE PLANNING BOARD
 TOWN OF TRURO

DATE OF PRELIMINARY APPLICATION: 9-6-2019
 DATE OF PRELIMINARY APPROVAL: 8-5-2020
 DATE OF DEFINITIVE APPLICATION: _____
 DATE OF DEFINITIVE APPROVAL: _____
 DATE OF DEFINITIVE ENDORSEMENT: _____

PLANNING BOARD CONDITIONS:

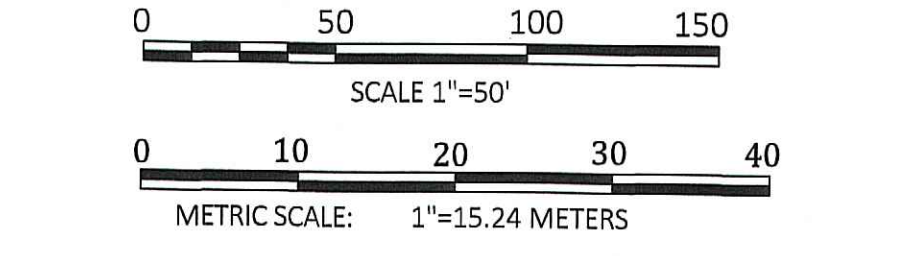
- AT SUCH TIME THAT LOT 4 IS IMPROVED BY A RESIDENCE, AMITY LANE AND THE UNNAMED "WAY" SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE PLANNING BOARD RULES AND REGULATIONS GOVERNING SUBDIVISION OF LAND.
- ANY FURTHER SUBDIVISION OF LAND DEPICTED ON THIS PLAN, OR DIVISION OF SUCH LAND PURSUANT TO G.L. C.41, S. 81p SHALL REQUIRE A MODIFICATION OF THIS SUBDIVISION PLAN.



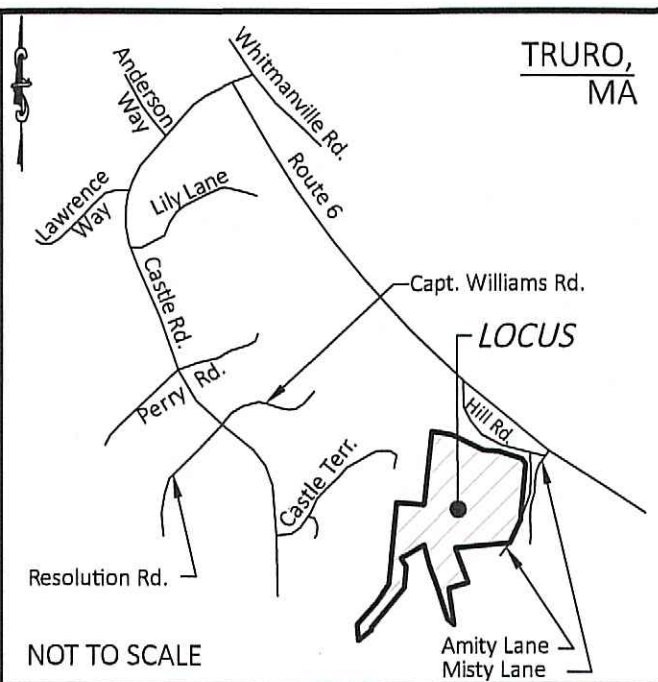
DEFINITIVE SUBDIVISION PLAN

OF LAND IN
 TRURO, MASSACHUSETTS
 SEPTEMBER 4, 2020

FOR
 ABIGAIL B. SCHIRMER
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 JOSEPH M. SCHIRMER
 AT
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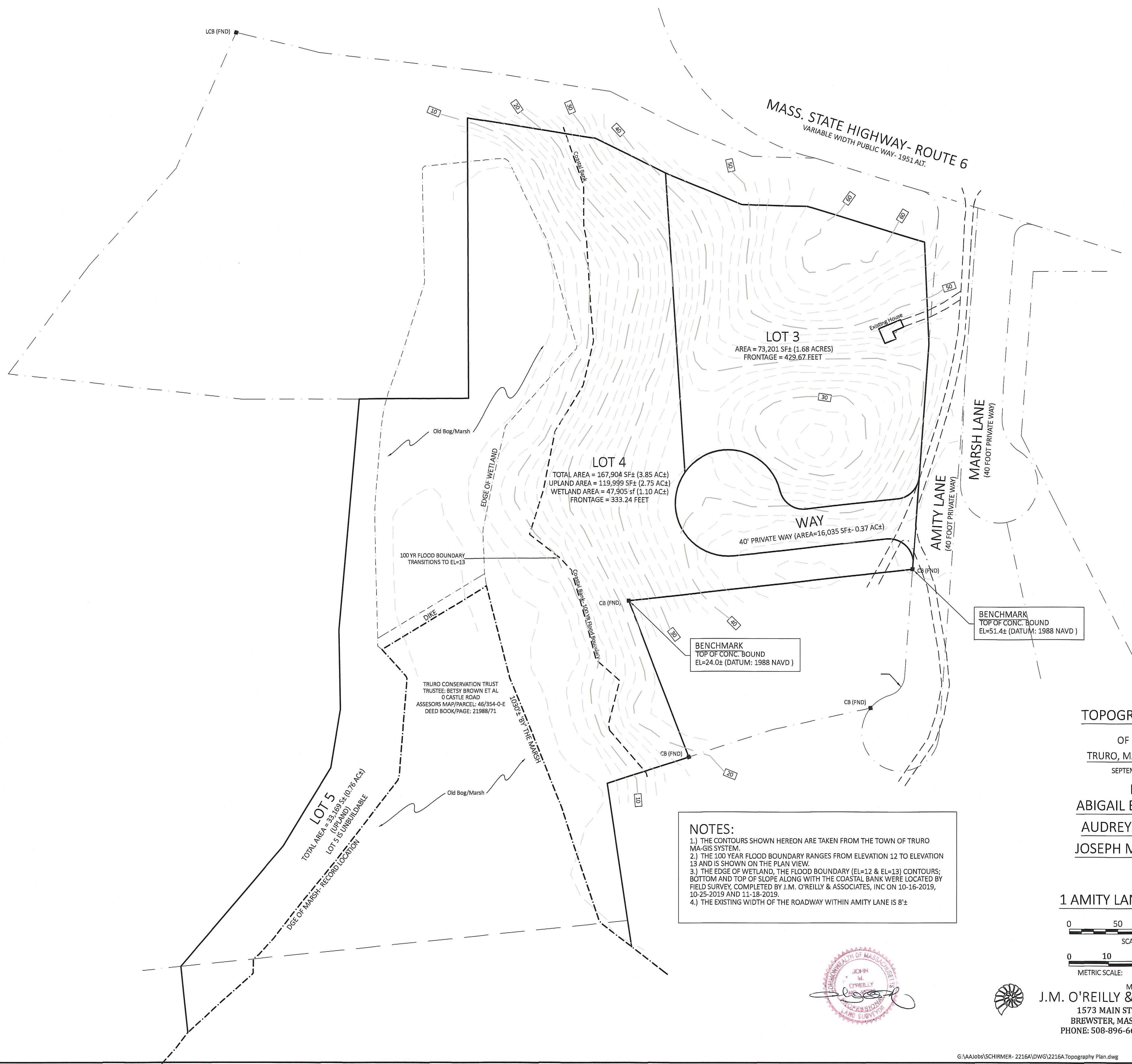
MADE BY
J.M. O'REILLY & ASSOCIATES, INC.
 1573 MAIN STREET, P.O. BOX 1773
 BREWSTER, MASSACHUSETTS 02631
 PHONE: 508-896-6601 FAX: 508-896-6602



Plan Book 670, Page 36

LEGEND

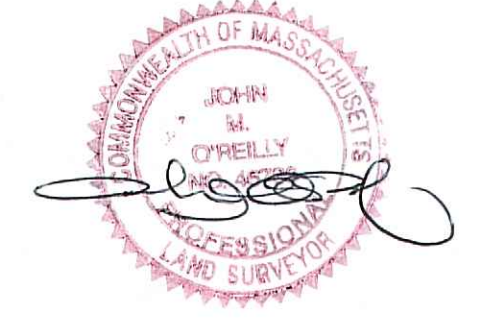
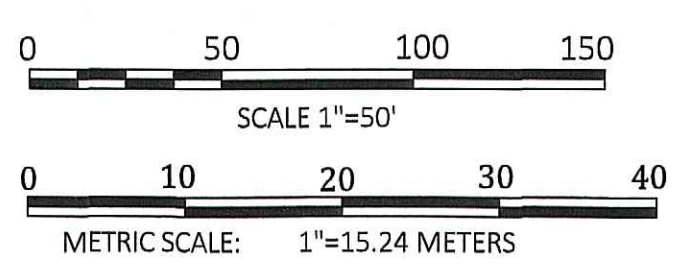
■ CB	CONCRETE BOUND
■ LCB	LAND COURT BOUND
--- FND	FOUND
--- (TO BE SET)	SURVEYORS BOUND TO BE SET



NOTES:

- 1.) THE CONTOURS SHOWN HEREON ARE TAKEN FROM THE TOWN OF TRURO MA-GIS SYSTEM.
- 2.) THE 100 YEAR FLOOD BOUNDARY RANGES FROM ELEVATION 12 TO ELEVATION 13 AND IS SHOWN ON THE PLAN VIEW.
- 3.) THE EDGE OF WETLAND, THE FLOOD BOUNDARY (EL=12 & EL=13) CONTOURS; BOTTOM AND TOP OF SLOPE ALONG WITH THE COASTAL BANK WERE LOCATED BY FIELD SURVEY, COMPLETED BY J.M. O'REILLY & ASSOCIATES, INC ON 10-16-2019, 10-25-2019 AND 11-18-2019.
- 4.) THE EXISTING WIDTH OF THE ROADWAY WITHIN AMITY LANE IS 8'±

TOPOGRAPHY PLAN
 OF LAND IN
 TRURO, MASSACHUSETTS
 SEPTEMBER 4, 2020
 FOR
 ABIGAIL B. SCHIRMER
 AUDREY. SCHIRMER
 JOSEPH M. SCHIRMER
 AT
 1 AMITY LANE, TRURO, MA



MADE BY
J.M. O'REILLY & ASSOCIATES, INC.
 1573 MAIN STREET, P.O. BOX 1773
 BREWSTER, MASSACHUSETTS 02631
 PHONE: 508-896-6601 FAX: 508-896-6602



Town of Truro Planning Board
P.O. Box 2030, Truro, MA 02666

Office of Town Clerk
Treasurer - Tax Collector
2020-004/SPR
SEP 14 2020
\$250.00 fee paid
Received TOWN OF TRURO
By *Susan P. Joseph*

**APPLICATION FOR RESIDENTIAL
SITE PLAN REVIEW**

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 12 Sept 2020

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw
(Note: *Site Plan Review shall not be waived in the Seashore District*)

1. General Information

Description of Property and Proposed Project
residential 2-story addition 744sf footprint to an existing 3018 net sf home
adds family room 1st fl & bedroom with bath above. Site is 3 acres

Property Address 7 Coast Guard Rd Map(s) and Parcel(s) 34-5-0

Registry of Deeds title reference: Book 13174, Page 177, or Certificate of Title
Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Daniel F Roche

Applicant's Legal Mailing Address 287 Dedham St Dover MA 02030

Applicant's Phone(s), Fax and Email #212 203-8565 c dfr5000@yahoo.com

Applicant is one of the following: (please check appropriate box)

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address _____ above

Representative's Name and Address Patrick Coffey, Pratt Construction, PO Box 731 MM MA 02648

Representative's Phone(s), Fax and Email 508 280-4688 c patrick@pratt.construction

2. Waiver(s) Request – The Planning Board may, upon the request of the applicant, pursuant to §70.4.F, waive requirements of §70.4.C, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)

Patrick Coffey

Daniel Roche

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Patrick Coffey
Applicant(s)/Representative Signature(s)

see attached

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

PRATT

CONSTRUCTION CO.

BUILDING & REMODELING CONTRACTORS

PO Box 731 ♦ Marstons Mills MA 02648

Tel (508) 420-9333 ♦ Fax (508)420-9733

5 Aug 2020

To: Rich Stevens, Truro Building Commissioner

From: Patrick Coffey, Pratt Construction

Re: ADDITION BLDG PERMIT APPLICATION, 7 COAST GUARD RD

24X31 2-STORY ADDITION PROPOSED

[PARDON ALL CAPS!!! LUNCH STUCK IN THE KEYBOARD?!]

- PAPER SUBMISSION TOMORROW TO INCLUDE OWNER AUTH SIGNATURE & SMOKES/CO
- STRUCTURALS PER ARCHITECT S1 & S2 AND PRESCRIPTIVE
- NOTE FOUNDATION CLADDING CHANGED TO VENEER – STONE SHELF AND FAT FNDTN ELIM, WALLS TO BE POURED 10"
- ENERGY COMPLIANCE: VALUES ON PLAN: WALLS R20 FG, FLOORS R30 FG, ROOF R50 CLOSED CELL. WINDOWS & DOORS MARVIN LO E
- BEDROOM WINDOW EGRESS IN SCHEDULE
- PROPOSED ADDITION IS IN PRESENT GRAVEL PARKING, NORTH OF EXISTING HOME

- WE HOPE TO BREAK GROUND DAY AFTER LABOR DAY, 8 SEPT, 5 WEEKS HENCE

- ANYTHING I DON'T KNOW ABOUT SEASHORE NOTIFICATION? IT'S NEW TO ME

GLAD TO BE BACK IN GOD'S COUNTRY, NORTH TRURO. SEE YOU SOON

PATRICK COFFEY

PATRICK@PRATT.CONSTRUCTION

5082804688 C

PRATT

CONSTRUCTION CO.

BUILDING & REMODELING CONTRACTORS

MICHAEL BROOKE

c 617.721.1369

o 508.420.9333

f 508.420.9733

mikeondarkstar@aol.com

153 Lovell's Lane/Box 731

Marstons Mills MA 02648

PRATT

CONSTRUCTION CO.

BUILDING & REMODELING CONTRACTORS

PATRICK COFFEY

c 508.280.4688

o 508.420.9333

f 508.420.9733

patrick@pratt.construction

153 Lovell's Lane/Box 731

Marstons Mills, MA 02648

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.

PO Box 2030

Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

Fee:

SITE INFORMATION

Project Site: 7 COAST GUARD RD

Assessors Map & Parcel: 34-5-0 Zoning District: SEASHORE

Outside Flood Zone

Inside Flood Zone - Specify:

Setbacks: Front: 165 Left Side: 700 Right Side: 46 Rear: 80

Lot Area (sq. ft.) 3 ACRES ± Frontage:

Water Supply: Private Public

Subject to Policy 28: Curb Cut? Y N
If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: DANIEL F. ROCHE

Mailing Address: 287 DEDHAM ST. DAVENPORT MA 02030

Phone: 781 749 0060 E-mail: DFR5000@YAHOO.COM

Property Owner Authorization

Signature: PNDG

Date:

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than 1 & 2 Family Home*

Change of Use

DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work:

ADDITION 24X31 2-STORY ON CRAWL SPACE; FAMILY ROOM 1ST, NEW BEDROOM, NEW BATH & ALTERED BATH 2ND

Estimated Construction Cost: \$ 507,000		Debris Disposal: (Landfill or Company Name) NAUSET	
Floor Area: (Proposed Work Only)		Basement: <input checked="" type="checkbox"/> unfinished CRAWL <input type="checkbox"/> finished 1758	
1 st flr: 744	2 nd flr: 700	Porch/Deck: 50	Other:
#fireplaces: N/A	#chimneys: N/A	#bathrooms: existing 3.5	proposed 1
#bedrooms: existing 3		proposed 1	
Type of Heating System: WARM AIR		Type of Cooling System: COOL AIR	

CONTRACTOR INFORMATION*
 *HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)

Contractor Name: PRATT CONSTRUCTION COMPANY INC	
Address: 153 LAKES LN/PO BOX 731 MM 02648	
Phone: 508 327 6137 721 1369	Email: MICHAEL@PRATT.CONSTRUCTION
CSL#: CS-089455	HIC #: 170619

OFFICE USE

HEALTH/CONSERVATION AGENT Review _____

Signature: _____ Date: _____

Other Comments: _____

BUILDING COMMISSIONER Review & Approval: _____

Signature: _____ Issuance Date: _____

[Faint handwritten notes and signatures at the bottom of the page]

PRATT

CONSTRUCTION CO. BUILDING & REMODELING CONTRACTORS

PO Box 731 ♦ Marstons Mills MA 02648
Tel (508) 420-9333 ♦ Fax (508)420-9733

TRANSMITTAL

13 Sept 2020

To: Town Clerk, Town of Truro
Town Planner, Town of Truro

Re: APPLICATION FOR RESIDENTIAL SITE PLAN REVIEW
7 Coast Guard Rd, Daniel Roche residence, addition

Attached please find docs for residential site plan review: forms, checklist, criteria addressed, existing site plan, architectural plans, Town map, google earth shots, assessors card, fee check scan.

We are submitting by Monday 14 Sept noon for 21 Oct hearing date

Not included w/ this E-transmittal are new site plan, calcs, abutter certified list

All to be submitted on paper, 15 copies, a.m. tomorrow

Thank you for your attention to this matter

Patrick Coffey

patrick@pratt.construction

5082804688 c



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR RESIDENTIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 12 Sept 2020

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw
(Note: *Site Plan Review shall not be waived in the Seashore District*)

1. General Information

Description of Property and Proposed Project _____
 residential 2-story addition 744sf footprint to an existing 3018 net sf home

 adds family room 1st fl & bedroom with bath above. Site is 3 acres

Property Address 7 Coast Guard Rd Map(s) and Parcel(s) 34-5-0

Registry of Deeds title reference: Book 13174, Page 177, or Certificate of Title
Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Daniel F Roche

Applicant's Legal Mailing Address 287 Dedham St Dover MA 02030

Applicant's Phone(s), Fax and Email #212 203-8565 c dfr5000@yahoo.com

Applicant is one of the following: (please check appropriate box)

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address _____ above

Representative's Name and Address Patrick Coffey, Pratt Construction, PO Box 731 MM MA 02648

Representative's Phone(s), Fax and Email 508 280-4688 c patrick@pratt.construction

2. Waiver(s) Request – The Planning Board may, upon the request of the applicant, pursuant to §70.4.F, waive requirements of §70.4.C, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)

Patrick Coffey

Daniel Roche

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature(s)

see attached
Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

Owner : Daniel Roche

Mailing Address : 287 Dedham St
Dover MA 02030

Phone : 712-203-8565

Email DTZ5000@yahoo.com

August 6, 2020

Building Permit Sub :

7 Coast Guard Rd Truro

Pratt Construction is authorized
to proceed as general contractor

Daniel Roche



PLAN

70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: <u>7 Coast Guard Rd</u> Applicant Name: <u>DF Roche</u> Date: <u>12 Sept 20.</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
<u>C. Procedures and Plan Requirements</u>				
1a.	An original and 14 copies of the Application for Site Plan Review	X		
1b.	15 copies of the required plans and other required information including this Checklist	X		
1c.	Completed Criteria Review	X		
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	X		
1e.	Applicable filing fee	X		
<u>Site Plans</u>				
2a.	Site Plans shall be prepared, stamped and signed by a Registered Land Surveyor and Professional Engineer	X		
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	X		3 ac does not fit page
3	Site Plan shall include the following:			
3a. 1	North Arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	X		
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed conditions. This information shall be placed in a table format which must list all setbacks; percent of lot coverage, broken out between building, pavement, landscape coverage, etc.; number of buildings; total amount of square feet; and any other applicable zoning information necessary for the proper review of the site plan.	X		
<u>Existing:</u>				
	All setbacks	X		
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	X		
	Number of buildings	X		
	Total number of square feet	X		
	Any other applicable zoning information necessary for the proper review of the site plan	X		

70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: <u>7 Coast Guard Rd</u>		Applicant Name: <u>DF Roche</u>		Date: <u>12 Sept 20</u>	
No.	Requirement	Included	Not Included	Explanation, if needed	
	Proposed:				
	All setbacks	✓			
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	✓			
	Number of buildings	✓			
	Total number of square feet	✓			
	Any other applicable zoning information necessary for the proper review of the site plan	✓			
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	✓			
3a. 4	Graphic Scale				
3a. 5	Title Block - Including:	✓			
	name and description of the project;	✓			
	address of the property;	✓			
	names of the record owner(s) and the applicant(s); and	✓			
	date of the preparation of the plan(s) and subsequent revision dates	✓			
3a. 6	Legend of All Symbols	✓			
3a. 7	Property boundaries, dimensions and lot area	✓			
3a. 8	Topography and grading plan	✓			
3a. 9	Location, including setbacks of all existing and proposed buildings and additions	✓			
3a. 10	Septic system location	✓			
3a. 11	Location of (as applicable):	✓			
	wetlands	✓			
	the National Flood Insurance Program flood hazard elevation, and			NA	
	Massachusetts Natural Heritage Endangered Species Act jurisdiction			NA	
3a. 12	Driveway(s) and driveway opening(s)	✓		existing	
3a. 13	Existing and proposed lighting	✓			
3a. 14	Existing landscape features both vegetative and structural	✓		level parking area	
3a. 15	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s)	✓		parking gravel & meadow	

70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: <u>7 Coast Guard Rd</u> Applicant Name: <u>DF Roche</u> Date: <u>12 Sept 20.</u>				
No.	Requirement	Included	Not Included	Explanation, if needed
	Architectural Plans			
3b.	Architectural plans with all dimensions at a scale of no less than 1/8" = 1'-0", including:	✓		
	elevations	✓		
	floor plans	✓		
3c.	Lighting specification, including style and wattage(s)	✓		100w equiv door sconce
	Neighborhood Context:			
3d.	Photographs or other readily available data concerning the location and size of buildings on lots adjacent to or visible from the lot under consideration in order to provide a neighborhood context for the property under consideration	X		google earth & town
3e.	Re-vegetation/Landscaping plan, including both vegetative and structural features		X	present parking area, level

ADDRESSING THE REVIEW CRITERIA

§ 70.1 PURPOSE

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

Instructions: Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.4D of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

§70.4D – REVIEW CRITERIA

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods. Such an evaluation shall be based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development relates to the existing terrain and lot and provides for solar and wind orientation which encourages energy conservation because:

proposed 744sf addition footprint on north of existing home is on level existing gravel parking area. No topo change. East & west sides body of addition max solar gain and wind orientation.

New construction to be code + foam insulation & lo-E Marvin fenestration for energy conservation

2. Building Design and Landscaping. Proposed development is consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques because:

3 acre site is in sparse neighborhood of large lots with few, separated homes.

design & material of addition work is a match for existing and is consistent with,

complimentary to, neighboring distant structures; shingle style New England

gambrel. This home & addition is invisible to the public way, masked by 500'

setback/top/vegetation. new lighting is nil: 1/100w equivalent door sconce.

3. Preservation of Landscape. The landscape will be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil because:

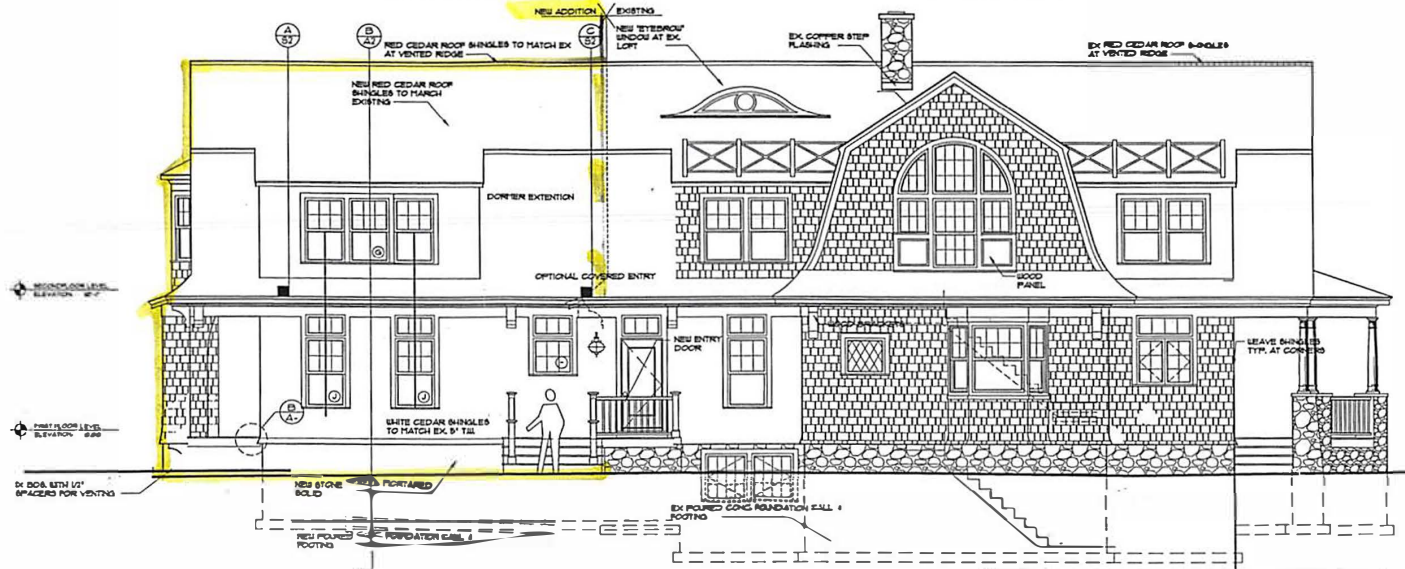
proposed addition is to be in area of adjacent level gravel parking lot. new parking, gravel, to be to north in near level meadow area - 2' contour in 200'
site disruption is limited to crawl space foundation, no contour grading,
vegetation removal limited to meadow grasses

4. Circulation. Curb cuts and driveways will be safe and convenient and will be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro because:

existing 1959 curb cut onto traveled way serves well with no modification necessary

5. Lighting. Lighting will be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There will be protection of adjacent properties and the night sky from intrusive lighting because:

lighting proposed is limited to code required new addition main entrance door sconce:
1/100w equivalent door sconce



SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

DEA	FIG.	MODEL	DIMENSION (L x H)	REMARKS
A	MARKV	SL240218	176 3/8"x48 1/2"	
B	MARKV	SL240218	26 3/8"x48 1/2"	
C	MARKV	SL240218-3	45 1/8"x48 1/2" 7/8"	2ND STY' FIBR ROCKET
D	MARKV	3	69 3/8"x48 1/2" 3/8"	2ND STY' FIBR ROCKET
E	MARKV	20000000000000000000	49012004	
F	MARKV		30H	48 DIA. BAY
G	MARKV	SL240214-3	61 1/8"x48 1/2"	2ND STY' FIBR ROCKET
H	MARKV	SL240214	34 3/8"x48 1/2" 1/8"	6 00THG LITES
J	MARKV	SL240214	34 3/8"x48 1/2" 1/8"	
K	MARKV			DIAMOND LITES
L	MARKV		30H	48 DIA. BAY
M	MARKV	SL240214	38 3/8"x48 1/2"	
N	MARKV	SL240214	26 3/8"x48 1/2"	
O	MARKV	SL240214	38 3/8"x48 1/2"	
P	MARKV	SL240214	26 3/8"x48 1/2"	
Q	MARKV	SL240214	26 3/8"x48 1/2"	
R	MARKV	SL240218	38 3/8"x48 1/2"	
S	MARKV	20000000000000000000		10\"/>

NOTES

PROVIDE ALL WINDOW SILL FILLION PATTERNS AS SHOWN ON ELEVATIONS. CUSTOMIZE AS REQUIRED. 1/2" SPACELATED DIVIDED LITES WITH SPACER GLAZ.

ALL FIRST FLOOR WINDOW SILLION TO HAVE A HEADER HEIGHT OF 4'-0" UNLESS OTHERWISE NOTED.

ALL SECOND FLOOR WINDOW SILLION TO HAVE A HEADER HEIGHT OF 6'-0" UNLESS OTHERWISE NOTED.

IF WINDOW ARE TO BE GLAZ. COORDINATE PANEL COLOR SELECTION WITH CLIENT AND HOUSE COLOR SCHEME PRIOR TO ORDERING.

MANUFACTURER TO PROVIDE EXTERIOR TRIM 3/4"x4" PINE (CEDAR OPTIONAL) 2" SILL. NO PROTRUDING TRIM.

GLAZING TO BE LOW E ARGON.

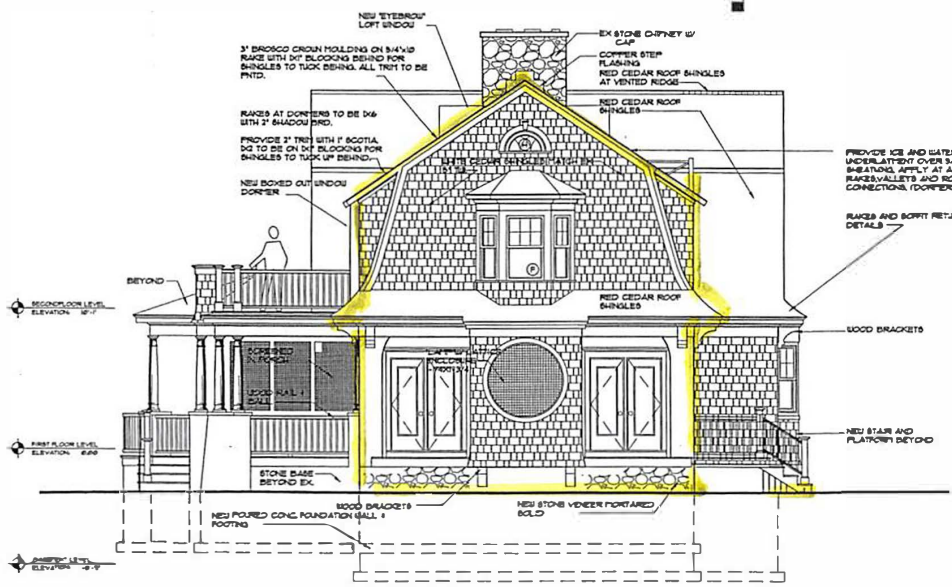
MANUFACTURER TO PROVIDE 1/2" SCREENS AT ALL DOUBLE HUNG WINDOW FULL AT CORNERS.

MANUFACTURER TO PROVIDE BRACED HANGERS.

PROVIDE SMOOT DRAINS.

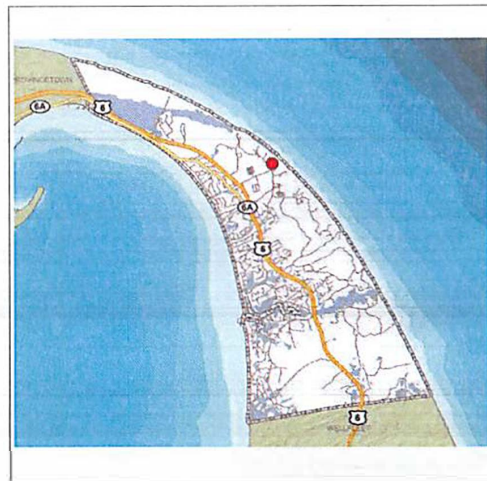
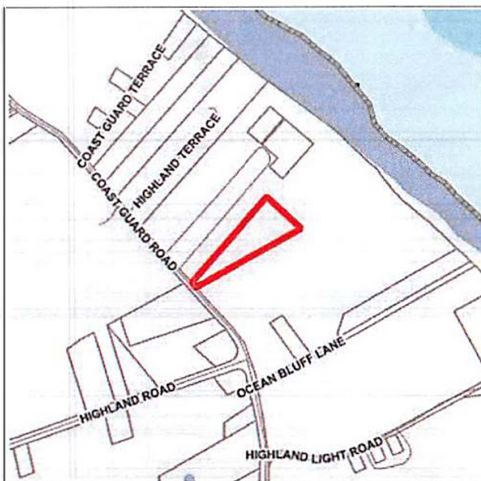
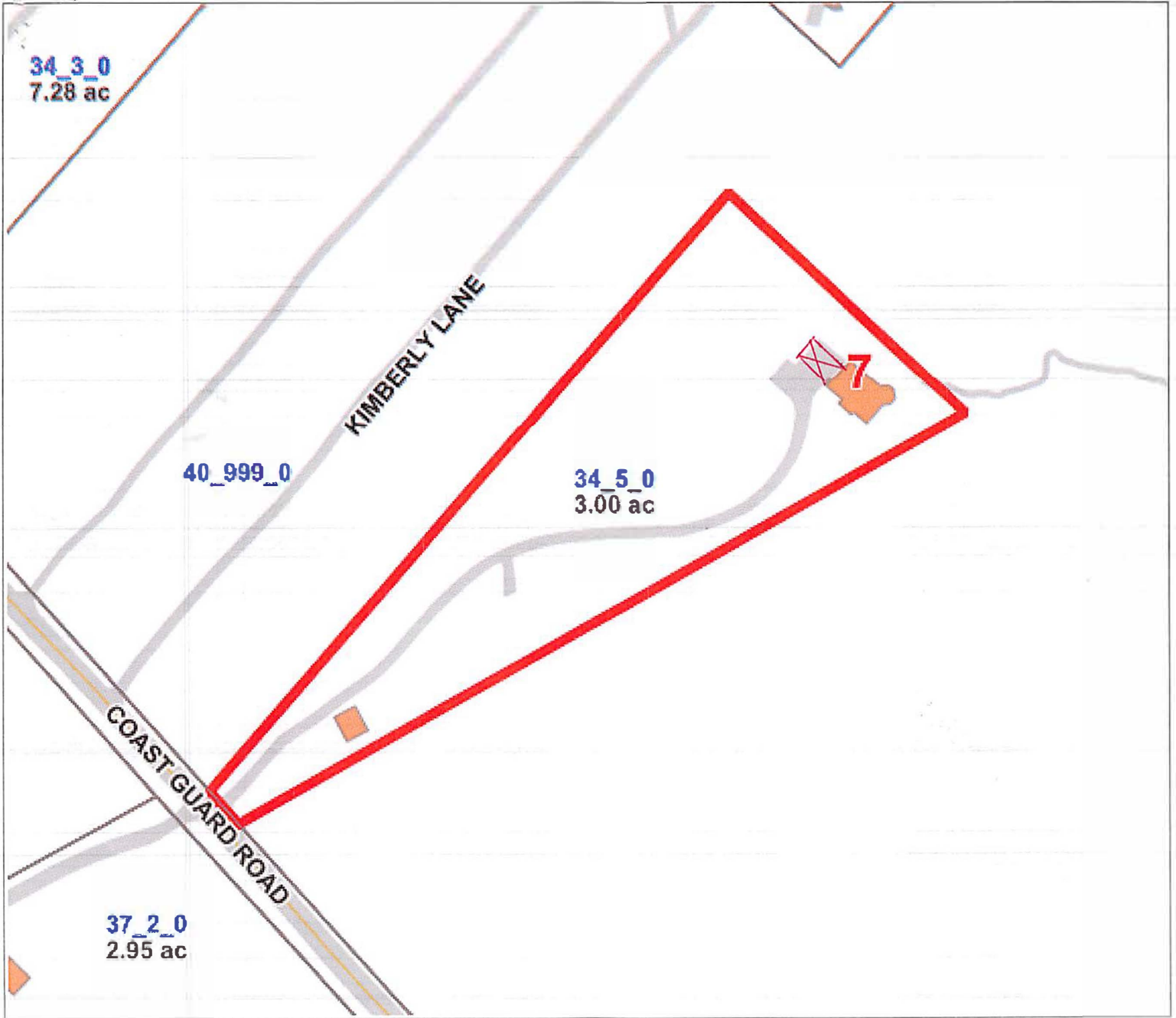
PER MASS CODE: BEDROOM WINDOW WHEN FULLY OPEN TO BE 20"x24" IN EITHER DIRECTION. SILL HT. NOT MORE THAN 4" ABOVE WINDOW UNDR BORNIE CEDAR'S DESIGN.

PER CODE WINDOW UNDR BORNIE CEDAR'S DESIGN.



NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"





NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROOPE JR. 1 EAST QUAD ROAD N. TRURO, MASSACHUSETTS		ROBERT S. ROSE ARCHITECT P.O. BOX 76, KINGHAM, MA 01043 (781) 749-0260 FAX (781) 723-5263	A-5
EXTERIOR ELEVATIONS & DETAILS SCALE: 1/4" = 1'-0" DATE: AUG. 23, 2019			



Untitled Map

Write a description for your map.

Legend

-  Feature 1
-  Feature 2
-  Historic District
-  MONOMOY NATIONAL WILDLIFE REFUGE

Coast Guard Terrace

Kimberly

Historic District

Coast Guard Rd

Ocean Bluff Ln

Google Earth

Highland Rd

S Highland Rd

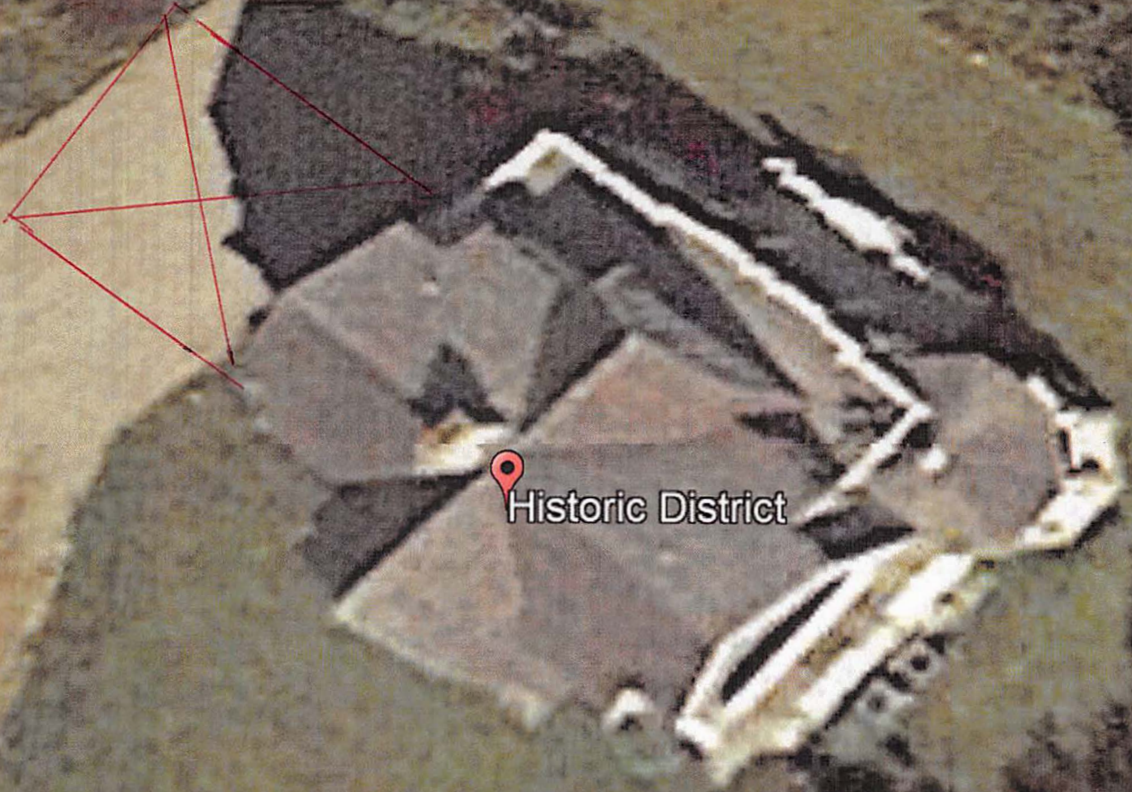
Highland Light Rd

1000 ft



Untitled Map



Write a description for your map.



Historic District

MONOMOY NATIONAL WILDLIFE REFUGE

Historic District

- Feature 2 
- Feature 1 

Legend

Google Earth

2020 Google Technologies



40 ft

TOWN OF TRURO - PROPERTY SUMMARY REPORT

PARCEL	34-5-0	KEY:	742	LOCATION:	7 COAST GUARD RD
CURRENT OWNER			FY 2020 PARCEL VALUE		
ROCHE DANIEL F JR,			LAND VAL:	\$1,767,300.00	
287 DEDHAM STREET			BUILDING VAL:	\$776,700.00	
			DETACH VAL:	\$1,400.00	
DOVER, MA 02030			APPR VAL:	\$2,545,400.00	
			TAX VAL:	\$2,545,400.00	

STATE CLASS:	1090	ZONING:	NAT'L SEASHORE
DESCRIPTION:	MULTIPLE HSES	BILL SQ FT:	130680



SALES HISTORY				
OWNER	SALE TYPE	BOOK / PAGE	SALE DATE	SALE PRICE
ROCHE DANIEL F JR	QS	13174 / 177	10-Aug-2000	\$ 430,000
NEWBOLD HOPE M ESTATE OF	99	CTF UNRECRD	01-Oct-1999	\$ 0
NEWBOLD HOPE M ESTATE OF	99	6834 / 188	07-Aug-1989	\$ 0

BUILDING	1	KEY:	742	LOCATION:	7 COAST GUARD RD
YEAR BUILT	2003				
STYLE	COLONIAL				
QUALITY	V				
NET SF	3018				

DATE MEASURED	17-Oct-2012
DATE LISTED	17-Oct-2012



ELEMENT	DESCRIPTION	CD	CAPACITY	UNIT
FOUNDATION	BSMT WALL	4	STORIES(FAR)	2
EXT. COVER	WOOD SHINGLES	1	ROOMS	6
ROOF SHAPE	GAMBRELL	3	BEDROOMS	3
ROOF COVER	WOOD SHINGLES	2	BATHROOMS	3.5
FLOOR COVER	SOFTWOOD	2	FIXTURES	13
INT. FINISH	PLASTER	1	UNITS	0
HEATING/COOL	WARM/COOL AIR	9		
FUEL SOURCE	N/A	99		



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

Owner information is required for every page.

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

City/Town

MA

State

02666

Zip Code

8/20/2020

Date of Inspection

Inspection results must be submitted on this form. Inspection forms may not be altered in any way. Please see completeness checklist at the end of the form.

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Inspector Information

Nathan Brintnall

Name of Inspector

John F. Noons, Inc.

Company Name

PO Box 23

Company Address

North Truro

City/Town

MA

State

02652

Zip Code

508-487-1199

Telephone Number

SI13981

License Number

B. Certification

I certify that: I am a DEP approved system inspector in full compliance with Section 15.340 of Title 5 (310 CMR 15.000); I have personally inspected the sewage disposal system at the property address listed above; the information reported below is true, accurate and complete as of the time of my inspection; and the inspection was performed based on my training and experience in the proper function and maintenance of on-site sewage disposal systems. After conducting this inspection I have determined that the system:

- 1. Passes
- 2. Conditionally Passes
- 3. Needs Further Evaluation by the Local Approving Authority
- 4. Fails

Inspector's Signature

8/20/2020

Date

The system inspector shall submit a copy of this inspection report to the Approving Authority (Board of Health or DEP) within 30 days of completing this inspection. If the system has a design flow of 10,000 gpd or greater, the inspector and the system owner shall submit the report to the appropriate regional office of the DEP. The original form should be sent to the system owner and copies sent to the buyer, if applicable, and the approving authority.

Please note: This report only describes conditions at the time of inspection and under the conditions of use at that time. This inspection does not address how the system will perform in the future under the same or different conditions of use.



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

City/Town

MA

State

02666

Zip Code

8/20/2020

Date of Inspection

Owner information is required for every page.

C. Inspection Summary

Inspection Summary: Complete 1, 2, 3, or 5 and all of 4 and 6.

1) System Passes:

I have not found any information which indicates that any of the failure criteria described in 310 CMR 15.303 or in 310 CMR 15.304 exist. Any failure criteria not evaluated are indicated below.

Comments:

2) System Conditionally Passes:

One or more system components as described in the "Conditional Pass" section need to be replaced or repaired. The system, upon completion of the replacement or repair, as approved by the Board of Health, will pass.

Check the box for "yes", "no" or "not determined" (Y, N, ND) for the following statements. If "not determined," please explain.

The septic tank is metal and over 20 years old* **or** the septic tank (whether metal or not) is structurally unsound, exhibits substantial infiltration or exfiltration or tank failure is imminent. System will pass inspection if the existing tank is replaced with a complying septic tank as approved by the Board of Health.

* A metal septic tank will pass inspection if it is structurally sound, not leaking and if a Certificate of Compliance indicating that the tank is less than 20 years old is available.

Y N ND (Explain below):



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

MA

02666

8/20/2020

City/Town

State

Zip Code

Date of Inspection

Owner information is required for every page.

C. Inspection Summary (cont.)

2) System Conditionally Passes (cont.):

[] Pump Chamber pumps/alarms not operational. System will pass with Board of Health approval if pumps/alarms are repaired.

[] Observation of sewage backup or break out or high static water level in the distribution box due to broken or obstructed pipe(s) or due to a broken, settled or uneven distribution box. System will pass inspection if (with approval of Board of Health):

[] broken pipe(s) are replaced [] Y [] N [] ND (Explain below):

[] obstruction is removed [] Y [] N [] ND (Explain below):

[] distribution box is leveled or replaced [] Y [] N [] ND (Explain below):

[] The system required pumping more than 4 times a year due to broken or obstructed pipe(s). The system will pass inspection if (with approval of the Board of Health):

[] broken pipe(s) are replaced [] Y [] N [] ND (Explain below):

[] obstruction is removed [] Y [] N [] ND (Explain below):

3) Further Evaluation is Required by the Board of Health:

[] Conditions exist which require further evaluation by the Board of Health in order to determine if the system is failing to protect public health, safety or the environment.

a. System will pass unless Board of Health determines in accordance with 310 CMR 15.303(1)(b) that the system is not functioning in a manner which will protect public health, safety and the environment:



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

City/Town

MA

State

02666

Zip Code

8/20/2020

Date of Inspection

Owner information is required for every page.

C. Inspection Summary (cont.)

- Cesspool or privy is within 50 feet of a surface water
Cesspool or privy is within 50 feet of a bordering vegetated wetland or a salt marsh

b. System will fail unless the Board of Health (and Public Water Supplier, if any) determines that the system is functioning in a manner that protects the public health, safety and environment:

- The system has a septic tank and soil absorption system (SAS) and the SAS is within 100 feet of a surface water supply or tributary to a surface water supply.
The system has a septic tank and SAS and the SAS is within a Zone 1 of a public water supply.
The system has a septic tank and SAS and the SAS is within 50 feet of a private water supply well.
The system has a septic tank and SAS and the SAS is less than 100 feet but 50 feet or more from a private water supply well**.

Method used to determine distance:

** This system passes if the well water analysis, performed at a DEP certified laboratory, for fecal coliform bacteria indicates absent and the presence of ammonia nitrogen and nitrate nitrogen is equal to or less than 5 ppm, provided that no other failure criteria are triggered. A copy of the analysis must be attached to this form.

c. Other:

Four horizontal lines for additional notes.

4) System Failure Criteria Applicable to All Systems:

You must indicate "Yes" or "No" to each of the following for all inspections:

- Yes No Backup of sewage into facility or system component due to overloaded or clogged SAS or cesspool
Yes No Discharge or ponding of effluent to the surface of the ground or surface waters due to an overloaded or clogged SAS or cesspool



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

MA

02666

8/20/2020

City/Town

State

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Date of Inspection

Owner information is required for every page.

C. Inspection Summary (cont.)

4) System Failure Criteria Applicable to All Systems: (cont.)

- Yes No
Static liquid level in the distribution box above outlet invert due to an overloaded or clogged SAS or cesspool
Liquid depth in cesspool is less than 6" below invert or available volume is less than 1/2 day flow
Required pumping more than 4 times in the last year NOT due to clogged or obstructed pipe(s). Number of times pumped: _____.
Any portion of the SAS, cesspool or privy is below high ground water elevation.
Any portion of cesspool or privy is within 100 feet of a surface water supply or tributary to a surface water supply.
Any portion of a cesspool or privy is within a Zone 1 of a public water supply well.
Any portion of a cesspool or privy is within 50 feet of a private water supply well.
Any portion of a cesspool or privy is less than 100 feet but greater than 50 feet from a private water supply well with no acceptable water quality analysis. [This system passes if the well water analysis, performed at a DEP certified laboratory, for fecal coliform bacteria indicates absent and the presence of ammonia nitrogen and nitrate nitrogen is equal to or less than 5 ppm, provided that no other failure criteria are triggered. A copy of the analysis and chain of custody must be attached to this form.]
The system is a cesspool serving a facility with a design flow of 2000 gpd-10,000 gpd.
The system fails. I have determined that one or more of the above failure criteria exist as described in 310 CMR 15.303, therefore the system fails. The system owner should contact the Board of Health to determine what will be necessary to correct the failure.

5) Large Systems: To be considered a large system the system must serve a facility with a design flow of 10,000 gpd to 15,000 gpd.

For large systems, you must indicate either "yes" or "no" to each of the following, in addition to the questions in Section C.4.

- Yes No
the system is within 400 feet of a surface drinking water supply
the system is within 200 feet of a tributary to a surface drinking water supply
the system is located in a nitrogen sensitive area (Interim Wellhead Protection Area - IWPA) or a mapped Zone II of a public water supply well



Commonwealth of Massachusetts

Title 5 Official Inspection Form

Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road

Property Address

Daniel Roche

Owner's Name

Truro

City/Town

MA

State

02666

Zip Code

8/20/2020

Date of Inspection

Owner information is required for every page.

C. Inspection Summary (cont.)

If you have answered "yes" to any question in Section C.5 the system is considered a significant threat, or answered "yes" to any question in Section C.4 above the large system has failed. The owner or operator of any large system considered a significant threat under Section C.5 or failed under Section C.4 shall upgrade the system in accordance with 310 CMR 15.304. The system owner should contact the appropriate regional office of the Department.

6. You must indicate "yes" or "no" for each of the following for all inspections:

- Yes No Pumping information was provided by the owner, occupant, or Board of Health
Were any of the system components pumped out in the previous two weeks?
Has the system received normal flows in the previous two week period?
Have large volumes of water been introduced to the system recently or as part of this inspection?
Were as built plans of the system obtained and examined? (If they were not available note as N/A)
Was the facility or dwelling inspected for signs of sewage back up?
Was the site inspected for signs of break out?
Were all system components, excluding the SAS, located on site?
Were the septic tank manholes uncovered, opened, and the interior of the tank inspected for the condition of the baffles or tees, material of construction, dimensions, depth of liquid, depth of sludge and depth of scum?
Was the facility owner (and occupants if different from owner) provided with information on the proper maintenance of subsurface sewage disposal systems? The size and location of the Soil Absorption System (SAS) on the site has been determined based on:
Existing information. For example, a plan at the Board of Health.
Determined in the field (if any of the failure criteria related to Part C is at issue approximation of distance is unacceptable) [310 CMR 15.302(5)]



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D. System Information

1. Residential Flow Conditions:

Number of bedrooms (design): 6 Number of bedrooms (actual): 4

DESIGN flow based on 310 CMR 15.203 (for example: 110 gpd x # of bedrooms): 660

Description:

Number of current residents: 2

Does residence have a garbage grinder? [] Yes [x] No

Does residence have a water treatment unit? [] Yes [x] No

If yes, discharges to: _____

Is laundry on a separate sewage system? (Include laundry system inspection information in this report.) [] Yes [x] No

Laundry system inspected? [] Yes [] No

Seasonal use? [x] Yes [] No

Water meter readings, if available (last 2 years usage (gpd)): _____

Detail:
well water

Sump pump? [] Yes [x] No

Last date of occupancy: current Date



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D. System Information (cont.)

2. Commercial/Industrial Flow Conditions:

Type of Establishment:

Design flow (based on 310 CMR 15.203):

Gallons per day (gpd)

Basis of design flow (seats/persons/sq.ft., etc.):

Grease trap present?

Yes No

Water treatment unit present?

Yes No

If yes, discharges to:

Industrial waste holding tank present?

Yes No

Non-sanitary waste discharged to the Title 5 system?

Yes No

Water meter readings, if available:

Last date of occupancy/use:

Date

Other (describe below):

3. Pumping Records:

Source of information:

7/21/2016 Health Department

Was system pumped as part of the inspection?

Yes No

If yes, volume pumped:

1500 gallons

gallons

How was quantity pumped determined?

gauge on truck

Reason for pumping:

maintenance / inspection



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D. System Information (cont.)

4. Type of System:

- Septic tank, distribution box, soil absorption system
- Single cesspool
- Overflow cesspool
- Privy
- Shared system (yes or no) (if yes, attach previous inspection records, if any)
- Innovative/Alternative technology. Attach a copy of the current operation and maintenance contract (to be obtained from system owner) and a copy of latest inspection of the I/A system by system operator under contract
- Tight tank. Attach a copy of the DEP approval.
- Other (describe):

Approximate age of all components, date installed (if known) and source of information:

October 2002 as-built card on file

Were sewage odors detected when arriving at the site?

Yes No

5. Building Sewer (locate on site plan):

Depth below grade:

4 ft
feet

Material of construction:

cast iron 40 PVC other (explain):

Distance from private water supply well or suction line:

feet

Comments (on condition of joints, venting, evidence of leakage, etc.):



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 Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road
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Daniel Roche
 Owner's Name

Truro MA 02666 8/20/2020
 City/Town State Zip Code Date of Inspection

Owner information is required for every page.

D. System Information (cont.)

6. **Septic Tank** (locate on site plan):

Depth below grade: 3 ft 6 in
 feet

Material of construction:

concrete metal fiberglass polyethylene other (explain)

If tank is metal, list age: _____ years

Is age confirmed by a Certificate of Compliance? (attach a copy of certificate) Yes No

Dimensions: 1500 gallon H 10

Sludge depth: 3 in

Distance from top of sludge to bottom of outlet tee or baffle 23 in

Scum thickness 3 in

Distance from top of scum to top of outlet tee or baffle 6 in

Distance from bottom of scum to bottom of outlet tee or baffle 9 in

How were dimensions determined? tape measure

Comments (on pumping recommendations, inlet and outlet tee or baffle condition, structural integrity, liquid levels as related to outlet invert, evidence of leakage, etc.):

There are no signs of leaking. The concrete is in good condition, both tees are present with gas baffle. I built up the outlet cover to grade to match the inlet.



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D. System Information (cont.)

7. Grease Trap (locate on site plan):

Depth below grade:

_____ feet

Material of construction:

concrete

metal

fiberglass

polyethylene

other (explain):

Dimensions: _____

Scum thickness _____

Distance from top of scum to top of outlet tee or baffle _____

Distance from bottom of scum to bottom of outlet tee or baffle _____

Date of last pumping:

_____ Date

Comments (on pumping recommendations, inlet and outlet tee or baffle condition, structural integrity, liquid levels as related to outlet invert, evidence of leakage, etc.):

8. Tight or Holding Tank (tank must be pumped at time of inspection) (locate on site plan):

Depth below grade: _____

Material of construction:

concrete

metal

fiberglass

polyethylene

other (explain):

Dimensions: _____

Capacity: _____

gallons

Design Flow: _____

gallons per day



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D. System Information (cont.)

8. Tight or Holding Tank (cont.)

Alarm present:

Yes No

Alarm level: _____

Alarm in working order: Yes No

Date of last pumping: _____

Date

Comments (condition of alarm and float switches, etc.):

* Attach copy of current pumping contract (required). Is copy attached?

Yes No

9. Distribution Box (if present must be opened) (locate on site plan):

Depth of liquid level above outlet invert

0

Comments (note if box is level and distribution to outlets equal, any evidence of solids carryover, any evidence of leakage into or out of box, etc.):

The D-box is 3 feet deep with the cover built to grade. The D-b 5 had some root infiltration but it is not impeding waster flow at this time. Roots may cause a problem in the future due to the natural vegetation. Attached is a new as-built drawing.



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D. System Information (cont.)

10. Pump Chamber (locate on site plan):

Pumps in working order:

Yes No*

Alarms in working order:

Yes No*

Comments (note condition of pump chamber, condition of pumps and appurtenances, etc.):

* If pumps or alarms are not in working order, system is a conditional pass.

11. Soil Absorption System (SAS) (locate on site plan, excavation not required):

If SAS not located, explain why:

Type:

- leaching pits number: _____
- leaching chambers number: _____
- leaching galleries number: _____
- leaching trenches number, length: 5 trenches
- leaching fields number, dimensions: _____
- overflow cesspool number: _____
- innovative/alternative system

Type/name of technology: _____



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City/Town	State	Zip Code	Date of Inspection

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D. System Information (cont.)

11. Soil Absorption System (SAS) (cont.)

Comments (note condition of soil, signs of hydraulic failure, level of ponding, damp soil, condition of vegetation, etc.):

The leach field consists of 5 trenches 15 feet x 50 feet long. I did not excavate the trenches but there are no signs of any failure; no ponding or break-out and no back-up to the D-box.

12. Cesspools (cesspool must be pumped as part of inspection) (locate on site plan):

Number and configuration _____

Depth – top of liquid to inlet invert _____

Depth of solids layer _____

Depth of scum layer _____

Dimensions of cesspool _____

Materials of construction _____

Indication of groundwater inflow Yes No

Comments (note condition of soil, signs of hydraulic failure, level of ponding, condition of vegetation, etc.):



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D. System Information (cont.)

13. Privy (locate on site plan):

Materials of construction: _____

Dimensions _____

Depth of solids _____

Comments (note condition of soil, signs of hydraulic failure, level of ponding, condition of vegetation, etc.):



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D. System Information (cont.)

14. Sketch Of Sewage Disposal System:

Provide a view of the sewage disposal system, including ties to at least two permanent reference landmarks or benchmarks. Locate all wells within 100 feet. Locate where public water supply enters the building. Check one of the boxes below:

- hand-sketch in the area below
- drawing attached separately



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D. System Information (cont.)

15. Site Exam:

- Check Slope
- Surface water
- Check cellar
- Shallow wells

Estimated depth to high ground water:

bottom of SAS +/- 65 feet
feet

Please indicate all methods used to determine the high ground water elevation:

- Obtained from system design plans on record

If checked, date of design plan reviewed: Felco plan dated Dec 2001
Date

- Observed site (abutting property/observation hole within 150 feet of SAS)

- Checked with local Board of Health - explain:

- Checked with local excavators, installers - (attach documentation)

- Accessed USGS database - explain:

You **must** describe how you established the high ground water elevation:

Elevation taken from the Felco plan dated 2001 which cites USGS Quad map. No water was encountered while excavating the test holes at that time.

Before filing this Inspection Report, please see Report Completeness Checklist on next page.



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 Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

7 Coast Guard Road
 Property Address

Daniel Roche
 Owner's Name

Truro	MA	02666	8/20/2020
City/Town	State	Zip Code	Date of Inspection

Owner information is required for every page.

E. Report Completeness Checklist

Complete all applicable sections of this form inclusive of:

- A. Inspector Information: Complete all fields in this section.
- B. Certification: Signed & Dated and 1, 2, 3, or 4 checked
- C. Inspection Summary:
 - 1, 2, 3, or 5 completed as appropriate
 - 4 (Failure Criteria) and 6 (Checklist) completed
- D. System Information:
 - For 8: Tight/Holding Tank – Pumping contract attached
 - For 14: Sketch of Sewage Disposal System drawn on pg. 16 or attached
 - For 15: Explanation of estimated depth to high groundwater included



Commonwealth of Massachusetts
Title 5 Official Inspection Form
 Subsurface Sewage Disposal System Form - Not for Voluntary Assessments

Owner information is required for every page.

7 Coast Guard Road
 Property Address
 Daniel Roche
 Owner's Name
 Truro MA 02666 8/20/2020
 City/Town State Zip Code Date of Inspection

Inspection results must be submitted on this form. Inspection forms may not be altered in any way. Please see completeness checklist at the end of the form.

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Inspector Information

Nathan Brinball
 Name of Inspector
 John F. Noons, Inc.
 Company Name
 PO Box 23
 Company Address
 North Truro MA 02652
 City/Town State Zip Code
 508-487-1189
 Telephone Number SH13881
 License Number

B. Certification

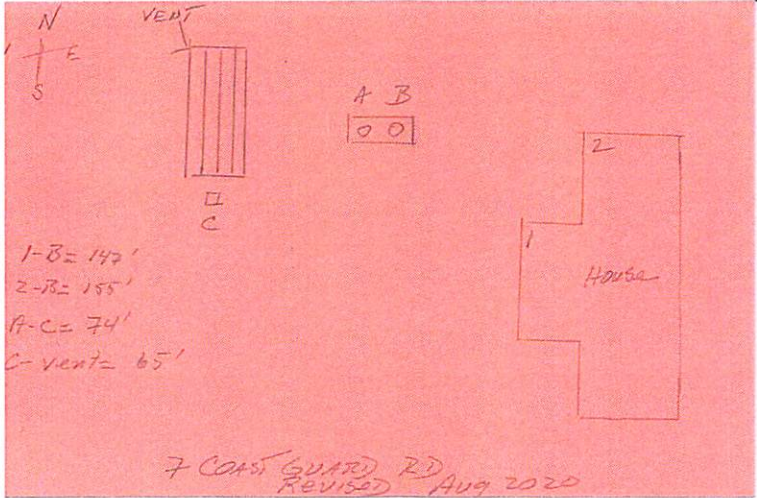
I certify that: I am a DEP approved system inspector in full compliance with Section 15.340 of Title 5 (310 CMR 15.000); I have personally inspected the sewage disposal system at the property address listed above; the information reported below is true, accurate and complete as of the time of my inspection; and the inspection was performed based on my training and experience in the proper function and maintenance of on-site sewage disposal systems. After conducting this inspection I have determined that the system:

1. Passes
2. Conditionally Passes
3. Needs Further Evaluation by the Local Approving Authority
4. Fails

Nathan Brinball
 Inspector's Signature 8/20/2020
 Date

The system inspector shall submit a copy of this inspection report to the Approving Authority (Board of Health or DEP) within 30 days of completing this inspection. If the system has a design flow of 10,000 gpd or greater, the inspector and the system owner shall submit the report to the appropriate regional office of the DEP. The original form should be sent to the system owner and copies sent to the buyer, if applicable, and the approving authority.

Please note: This report only describes conditions at the time of inspection and under the conditions of use at that time. This inspection does not address how the system will perform in the future under the same or different conditions of use.





TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form

DATE: 4 SEPT 20

NAME OF APPLICANT: DANIEL ROCHE
 NAME OF AGENT (if any): PATRICK COFFEY FRATT CONSTRUCTION
 MAILING ADDRESS: PO BOX 731 MARETANS MILLS 02648
 CONTACT: HOME/CELL 508 280 4688 EMAIL COFFEY74@MSN.COM
 PROPERTY LOCATION: 7 COASTGUARD RD
(street address)
 PROPERTY IDENTIFICATION NUMBER: MAP 34 PARCEL 5 EXT. 0
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item

(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input checked="" type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | <small>(Fee: Inquire with Assessors)</small> |
- (Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 9/4/2020 Date completed: 9/4/2020
 List completed by: JZ Date paid: 9/4/2020 Cash Check 8959

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: September 9, 2020

To: Daniel Roche
c/o Patrick Coffey-Pratt Construction
PO Box 761
Marston Mills, MA 02648

From: Assessors Department

Certified abutters list application for: 7 Coast Guard Rd Map 34 Parcel 5.

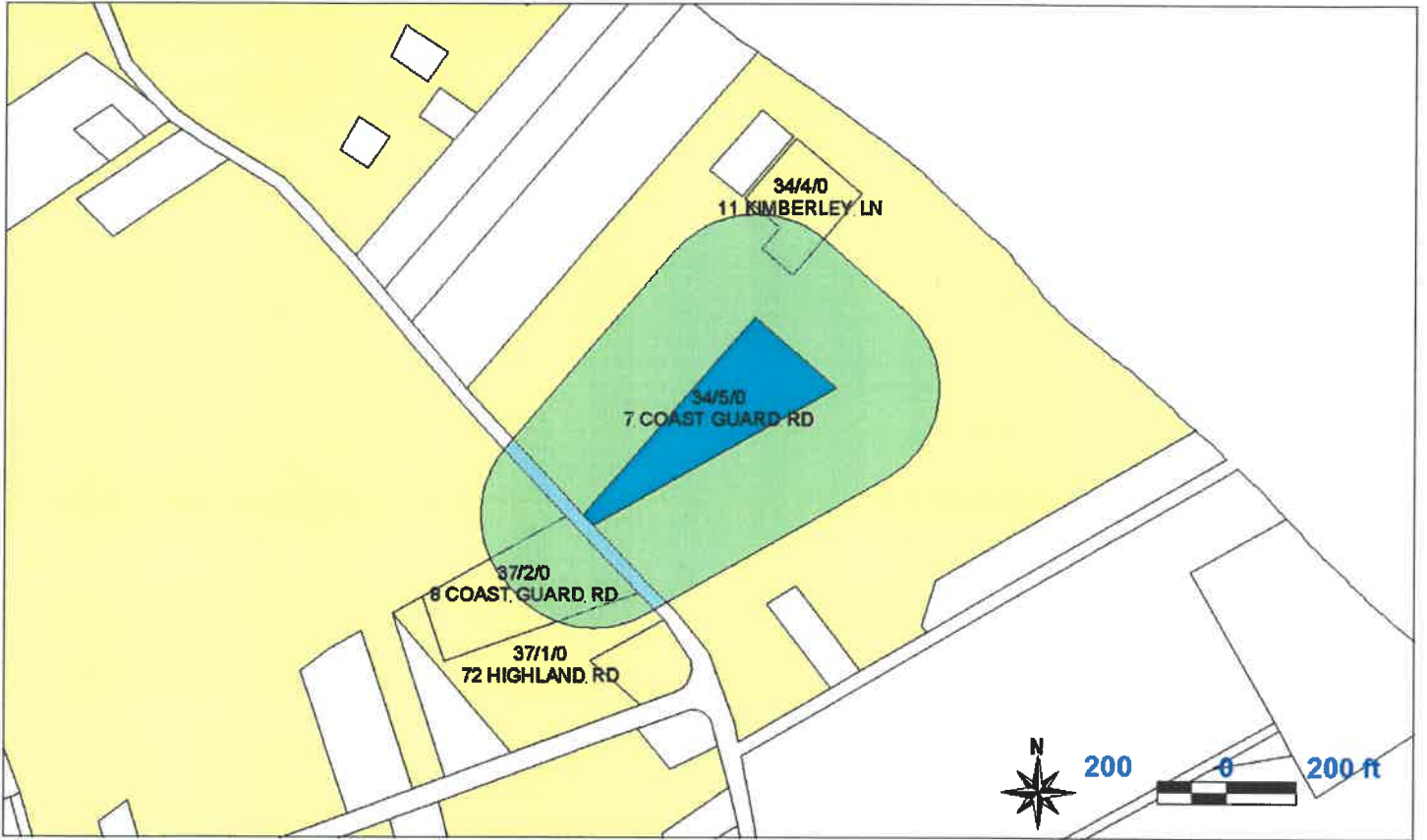
Planning Board:

Attached is a list of Truro abutters for the property located at 7 Coast Guard Rd. This includes-abutters to the subject parcel, land owners across the streets and ways, and land owners within 300feet-a reasonable distance of abutters within the National Seashore.The current owner is the Daniel Roche The names and addresses of the abutters are as of August 28, 2020 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:  _____

Jon Nahas
Principal Assessor
Town of Truro
24 Town Hall Rd
PO Box 2012
Truro, MA 02666
508.214.0917
jnahas@truro-ma.gov

Abutters List Within 300 feet of Parcel 34/5/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip/Cd/Country
741	34-4-0-R	REZNIKOFF JOHN M	11 KIMBERLEY LN	83 BELDEN HILL RD	WILTON	CT	06897
742	34-5-0-R	ROCHE DANIEL F JR	7 COAST GUARD RD	287 DEDHAM STREET	DOVER	MA	02030
1107	37-1-0-R	HIGHLAND REAL ESTATE NOM TR TRS: FRANCIS EDGAR W III	72 HIGHLAND RD	PO BOX 826	NO TRURO	MA	02652-0826
1108	37-2-0-R	ANDREWS JANE A	8 COAST GUARD RD	PO BOX 761	NO TRURO	MA	02652-0761
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667

34-4-0-R

REZNIKOFF JOHN M
83 BELDEN HILL RD
WILTON, CT 06897

34-5-0-R

ROCHE DANIEL F JR
287 DEDHAM STREET
DOVER, MA 02030

37-1-0-R

HIGHLAND REAL ESTATE NOM TR
TRS: FRANCIS EDGAR W III
PO BOX 826
NO TRURO, MA 02652-0826

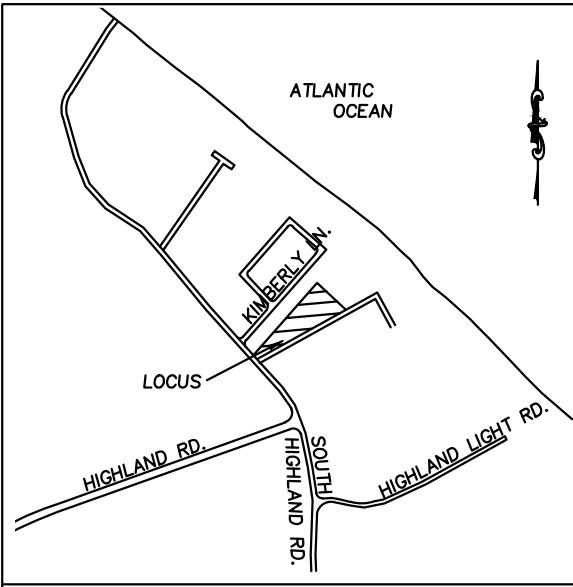
37-2-0-R

ANDREWS JANE A
PO BOX 761
NO TRURO, MA 02652-0761

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

9/14/2020 jr



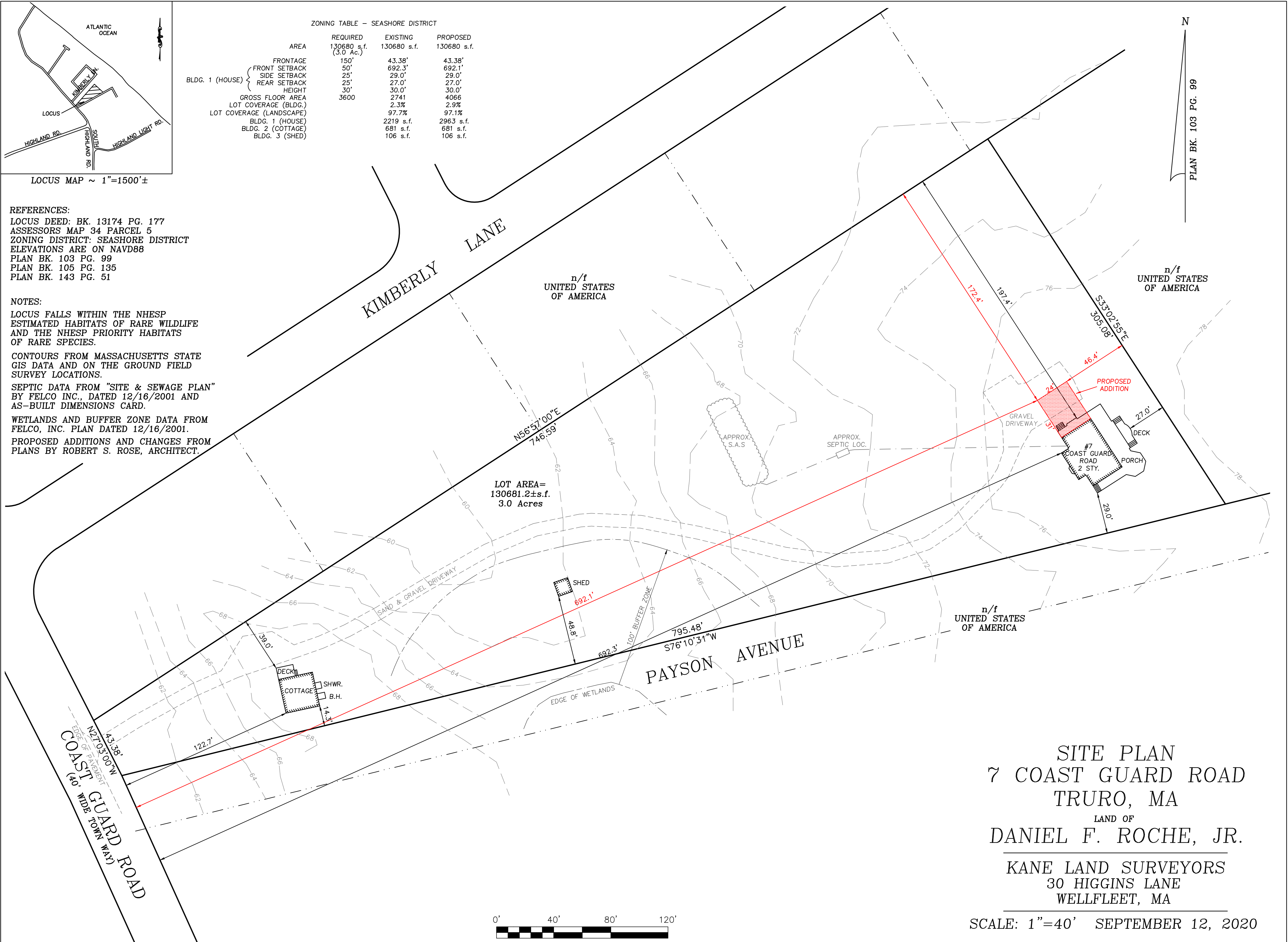
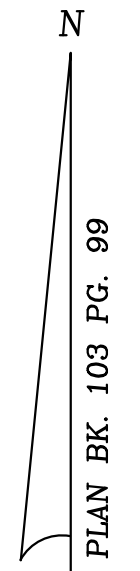
LOCUS MAP ~ 1"=1500'±

ZONING TABLE - SEASHORE DISTRICT

AREA	REQUIRED 130680 s.f. (3.0 Ac.)	EXISTING 130680 s.f.	PROPOSED 130680 s.f.
FRONTAGE	150'	43.38'	43.38'
FRONT SETBACK	50'	692.3'	692.1'
SIDE SETBACK	25'	29.0'	29.0'
REAR SETBACK	25'	27.0'	27.0'
HEIGHT	30'	30.0'	30.0'
GROSS FLOOR AREA	3600	2741	4066
LOT COVERAGE (BLDG.)		2.3%	2.9%
LOT COVERAGE (LANDSCAPE)		97.7%	97.1%
BLDG. 1 (HOUSE)		2219 s.f.	2963 s.f.
BLDG. 2 (COTTAGE)		681 s.f.	681 s.f.
BLDG. 3 (SHED)		106 s.f.	106 s.f.

REFERENCES:
 LOCUS DEED: BK. 13174 PG. 177
 ASSESSORS MAP 34 PARCEL 5
 ZONING DISTRICT: SEASHORE DISTRICT
 ELEVATIONS ARE ON NAVD88
 PLAN BK. 103 PG. 99
 PLAN BK. 105 PG. 135
 PLAN BK. 143 PG. 51

NOTES:
 LOCUS FALLS WITHIN THE NHESP ESTIMATED HABITATS OF RARE WILDLIFE AND THE NHESP PRIORITY HABITATS OF RARE SPECIES.
 CONTOURS FROM MASSACHUSETTS STATE GIS DATA AND ON THE GROUND FIELD SURVEY LOCATIONS.
 SEPTIC DATA FROM "SITE & SEWAGE PLAN" BY FELCO INC., DATED 12/16/2001 AND AS-BUILT DIMENSIONS CARD.
 WETLANDS AND BUFFER ZONE DATA FROM FELCO, INC. PLAN DATED 12/16/2001.
 PROPOSED ADDITIONS AND CHANGES FROM PLANS BY ROBERT S. ROSE, ARCHITECT.



SITE PLAN
 7 COAST GUARD ROAD
 TRURO, MA
 LAND OF
 DANIEL F. ROCHE, JR.
 KANE LAND SURVEYORS
 30 HIGGINS LANE
 WELLFLEET, MA



SCALE: 1"=40' SEPTEMBER 12, 2020

CONCRETE

1. THE BOTTOM SURFACE OF EACH FOOTING SHALL REST ON UNDISTURBED MATERIAL, WITH 2 T/SF BEARING CAPACITY.
2. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH UNLESS WALLS ARE SUFFICIENTLY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
3. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS.
4. MAXIMUM SLUMP SHALL BE 4"
5. CONCRETE SHALL HAVE A 4% AIR ENTRAINED AND SHALL CONFORM TO ASTM C394.
6. CONCRETE SHALL CONFORM TO THE LATEST ACI.
7. REBAR SHALL CONFORM TO ASTM 615 & 305 F5+24,000 PSI.
8. WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
9. SLABS SHALL HAVE A SMOOTH STEEL TROUCEL FINISH.

NOTES:

ALL CONCRETE WORK SHALL REST ON SOLID BEARING (MIN. CAPACITY=2T/SF) WHERE RESTING ON FILL. SUCH FILL SHALL BE COMPACTED GRANULAR FILL CONFORMING TO SECTION 110.3.1, COMPACTED GRANULAR FILL, OF THE MASSACHUSETTS BUILDING CODE. NOTIFY ARCHITECT IF LESSER CAPACITY MATERIAL IS ENCOUNTERED BEFORE PROCEEDING WITH WORK.

COOPERATE WITH ALL OTHER TRADES TO COORDINATE THE INSTALLATION OF SLEEVES, INSERTS, CHASES ETC.

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST ACI STANDARDS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS. REBARS SHALL CONFORM TO ASTM 615 & 305, F5+24,000 P.S.I. WELDED WIRE MESH SHALL CONFORM TO ASTM 185. SLABS SHALL HAVE A STEEL TROUCEL FINISH.

NOTES:

PROVIDE SAW CUTS IN SLAB FOR CONTROL JOINTS

STRUCTURAL NOTES:

GENERAL NOTES:

1. THESE NOTES SHALL GOVERN ON ALL STRUCTURAL ELEMENTS UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE PROCEEDING WITH THE AFFECTED PORTION OF WORK. THIS IS TO INCLUDE, BUT NOT LIMITED TO, CONFLICTS BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS & SPECIFICATIONS.
3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
4. FOUNDATIONS SHALL REST ON SOLID BEARING WITH A MINIMUM CAPACITY EQUAL TO 2 T/SF. NOTIFY ARCHITECT IF A LESSER CAPACITY IS ENCOUNTERED BEFORE PROCEEDING.
5. ALL INDUSTRY SPECIFICATIONS TO BE OF THE LATEST EDITION.

WOOD

1. STRUCTURAL LUMBER SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS (FB) OF 1800 PSI, A HORIZONTAL SHEAR STRESS OF 75 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1,800,000 PSI.
2. ANY BEAM AND JOIST CONNECTION WHICH IS FLUSH FRAMED SHALL INCORPORATE THE USE OF JOIST HANGERS, FRAME JOISTS TO BE A MINIMUM OF 1/4" ABOVE L.V. OR STEEL BEAMS. PROVIDE OTHER SIMPSON STRONG TIE CONNECTIONS AS RECOMMENDED BY MANUFACTURER WITH A MINIMUM OF HURRICANE TIES ON RAFTERS.
3. SILL AND WOOD TRAYS WITHIN 12" OF FINISHED GRADE OR EXPOSED WEATHER SHALL BE PRESSURE TREATED.
4. PROVIDE DOUBLE JOISTS UNDER ALL WALLS.
5. THERE WILL BE NO MANIPULATIONS TO THE STRUCTURAL SYSTEM WITH OUT PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

PRE-ENGINEERED LUMBER

1. LAMINATED TIMBER BEAMS (MICRO-LAM OR EQUIVALENT) SHALL BE NAILED WITH TWO ROWS OF 16d NAILS AT 12 INCHES ON CENTER.
2. PROVIDE HEAVY DUTY CONNECTORS FOR ANY LAMINATED TIMBER BEAMS THAT ARE FLUSH FRAMED. SUBMIT PROPOSED CONNECTIONS FOR APPROVAL.
3. PROVIDE 3-1/2 INCHES MINIMUM BEARING UNDER LAMINATED TIMBER BEAMS, UNLESS FLUSH FRAMED.
4. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS (FB) OF 2800 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 2,800,000 PSI.
5. PRE-ENGINEERED LUMBER SHALL BE PROTECTED FROM MOISTURE DURING CONSTRUCTION.
6. PROVIDE NECESSARY BRACING DURING ERECTION TO KEEP MEMBERS PLUMB AND SECURE.

STEEL

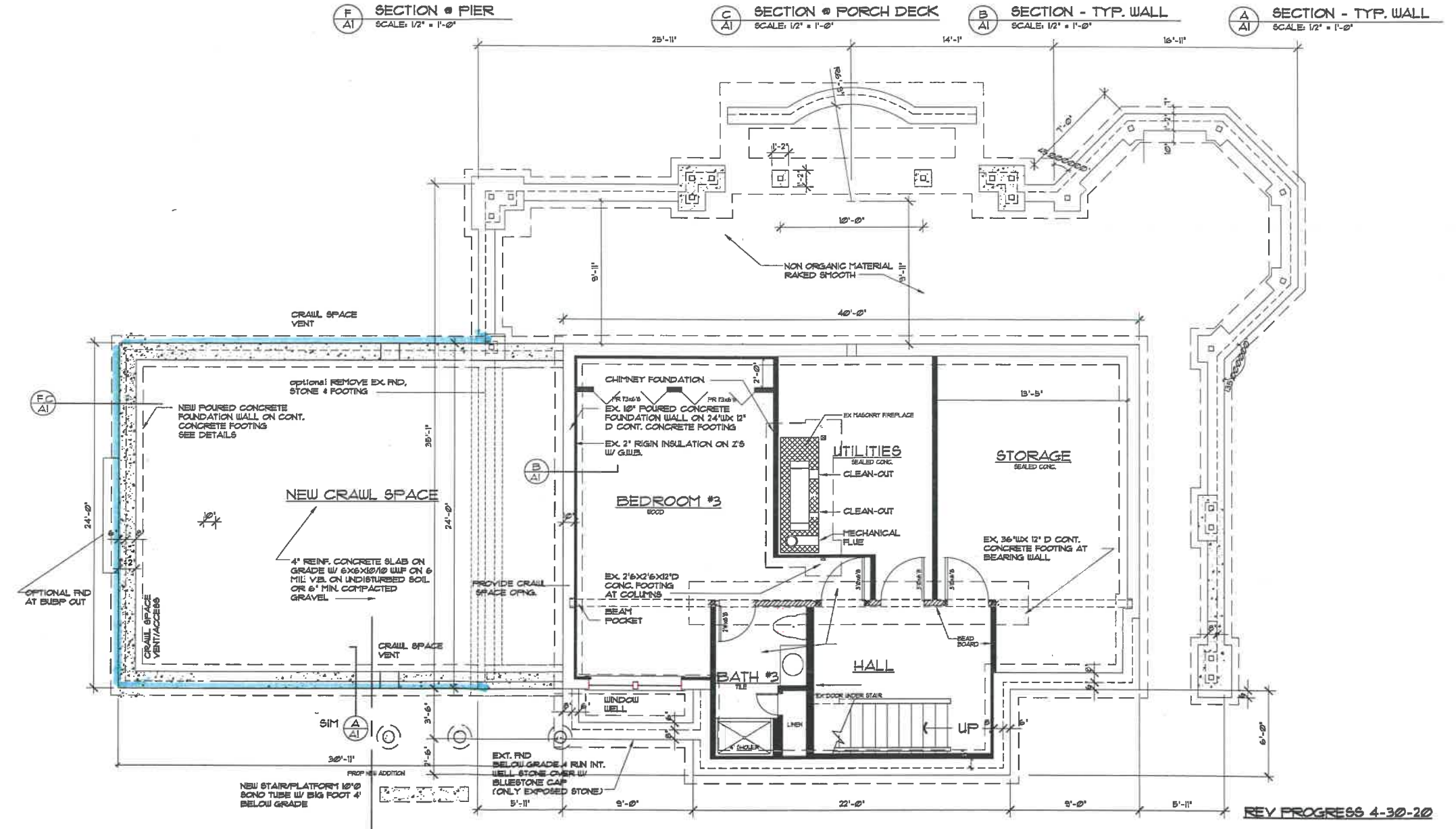
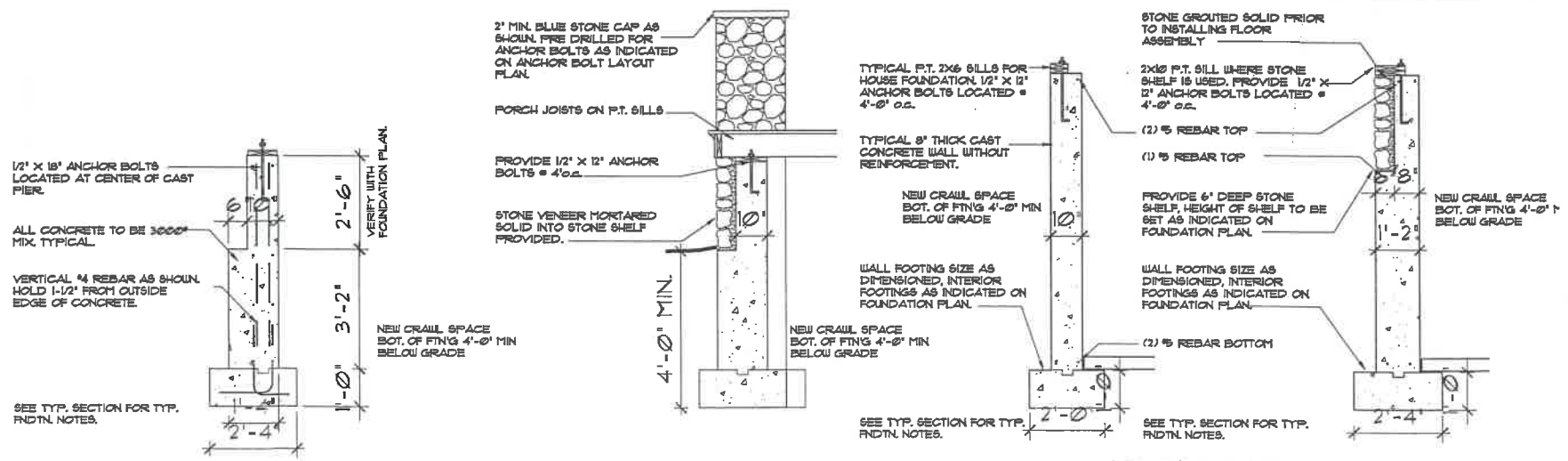
1. STEEL SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - AISC SPECIFICATIONS
 - AIA SPECIFICATIONS
2. ROLLED SHAPES SHALL BE ASTM A 36 AND SHOP PRIMED WITH TWP-EC OR RED METAL PRIMER OR APPROVED EQUAL.
3. WELDS ARE TO BE EXECUTED BY A CERTIFIED WELDER.

CONCRETE

1. THE BOTTOM SURFACE OF EACH FOOTING SHALL REST ON UNDISTURBED MATERIAL, WITH 2 T/SF BEARING CAPACITY.
2. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH UNLESS WALLS ARE SUFFICIENTLY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
3. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS.
4. MAXIMUM SLUMP SHALL BE 4"
5. CONCRETE SHALL HAVE A 4% AIR ENTRAINED AND SHALL CONFORM TO ASTM C394.
6. CONCRETE SHALL CONFORM TO THE LATEST ACI.
7. REBAR SHALL CONFORM TO ASTM 615 & 305 F5+24,000 PSI.
8. WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
9. SLABS SHALL HAVE A SMOOTH STEEL TROUCEL FINISH.

FOUNDATION

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN A SAFE BEARING OF 2 TONS PER SQUARE FOOT.
2. ALL EXCAVATIONS AND FOUNDATION CONSTRUCTION IS TO BE IN THE DRY AND NO CONCRETE SHALL BE PLACED IN WATER.
3. NO FOOTING SHALL BE PLACED ON FROZEN SOIL.
4. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB, FILL SHALL BE PLACED IN 8" LAYERS COMPACTED TO 95% OF ASTM D1557, METHOD D, PROCTOR TEST.
5. PROVIDE OPENINGS FOR WATER, ELECTRIC AND OTHER SERVICES AS REQUIRED.
6. POUR CONCRETE IN LEVEL COURSES FULL HEIGHT, OR FLOOR TO FLOOR WITH CONSTRUCTION JOINTS VERTICAL.
7. WIRE MESH IN SLABS ON GROUND SHALL BE LAPPED 6" ON ENDS AND EDGES.
8. PROVIDE A MINIMUM OF 8" WELL COMPACTED, CLEAN, COARSE SAND AND GRAVEL UNDER ALL SLABS AFTER TOP SOIL HAS BEEN REMOVED.



NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 7 COAST GUARD ROAD N. TRURO, MASSACHUSETTS		ROBERT S. ROSE ARCHITECT P.O. BOX 76, HINGHAM, MA 02043 (781) 748-0060 FAX: (508) 228-5081	A-1
FOUNDATION PLAN & NOTES SCALE: 1/4" = 1'-0" DATE: JUL 25 2019			

SEE DIAG. 8-3 FOR GAMBREL ROOF TRUSS LAYOUT.

SEE ELEVATIONS FOR ROOF SLOPE

PROVIDE METAL DRIPEDGE AT ALL EAVES.

PROVIDE CONTINUOUS SOFFIT VENT, AND SECTIONS OF PROPER VENT TO ASSURE CONTINUOUS VENTILATION FROM SOFFIT TO RIDGE VENT. VENTS NOT REQUIRED W/ CLOSED CELL ICYNENE INSULATION.

EXTERIOR OF WALL SYSTEM TO BE WRAPPED WITH TYVEK AIR INFILTRATION BARRIER OVER 1/2" PLY. FINISH TO BE WHT. CEDAR SHINGLES AT 6" EXPOSURE. ALL EXTERIOR TRIM AND CASINGS AS SHOWN IN DETAILS AND ELEVATIONS TO BE PAINTED.

SECOND FLOOR LEVEL ELEVATION: 10'-7"

VENTED SOFFIT TYPICAL

EXTERIOR OF WALL SYSTEM TO BE WRAPPED WITH TYVEK AIR INFILTRATION BARRIER OVER 1/2" PLY. FINISH TO BE WHT. CEDAR SHINGLES AT 5" EXPOSURE. ALL EXTERIOR TRIM AND CASINGS AS SHOWN IN DETAILS AND ELEVATIONS TO BE PAINTED.

3/4" T. and G. PLY. SUBFLOOR

PROVIDE ALL FIRE BLOCKING AS LOCAL CODES REQUIRE.

FIRST FLOOR LEVEL ELEVATION: 0'-0"

PROVIDE P.T. 2x6 SILL PLATE HELD WITH 1/2" ANCHOR BOLTS SPACED @ 4'-0" O.C. WITH SILL SEALER.

EXTERIOR OF FOUNDATION TO BE DAMP-PROOFED WITH MEMBRANE SYSTEM.

BASEMENT LEVEL ELEVATION:

ALL LUMBER IN DIRECT CONTACT WITH CONCRETE TO BE P.T.

RED CEDAR SHINGLES @ 6" TILL OVER CEDAR BREATHER VENTILATION BLANKET.

PROVIDE R49 ICYNENE CLOSED CELL INSULATION AT ROOF

2X4 KNEE WALLS AS INDICATED ON PLANS.

1X6 FINTD. POPLAR WITH BROSCO 1" #61 SHOE.

3/4" T&G SUBFLOOR FLOOR FINISHES AS INDICATED ON PLANS.

PROVIDE R-30 INSULATION IN ALL FLOOR SYSTEMS FOR SOUND DEADENING. FLOOR STRUCTURE AS PER STRUCTURAL PLANS.

2X6 WALL SYSTEM WITH SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE. PROVIDE 1/2" BLUE BOARD WITH SMOOTH SKIN PLASTER AT ALL CEILINGS AND WALLS.

2X6 STUD WALL CONSTRUCTION WITH 1/2" PLYWOOD SHEATHING AND R-20 FIBERGLASS BATT INSULATION. PROVIDE TYVEK AIR INFILTRATION BARRIER WITH WHITE CEDAR SHINGLES 5" EXP.

12" BY 12" ANCHOR BOLTS @ 4'-0" O.C.

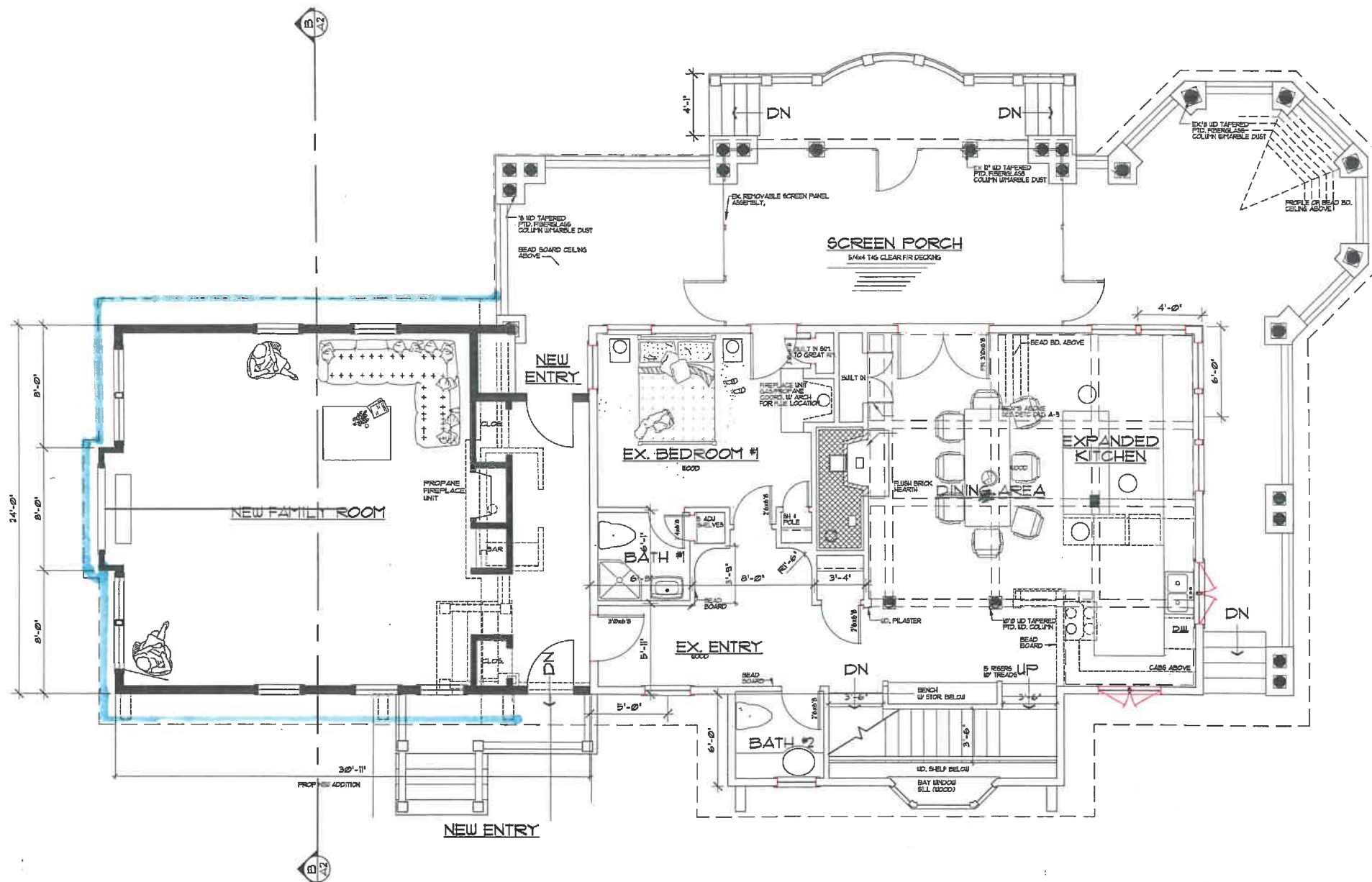
2X6 P.T. SILLS WITH SILL SEAL

STONE VENEER AT EXTERIOR. SEE FOUNDATION DETAILS DIAG A-1 & 8-4

4" CONCRETE SLAB ON GRADE WITH 6" CRUSHED STONE

NEW CRAWL SPACE PROVIDE 6 MIL P.C.T. VAPOR BARRIER BENEATH SLAB AND ABOVE STONE TAPE AND SEAL ALL JOINTS.

PARTIAL BUILDING SECTION B
SCALE: 1/2" = 1'-0"



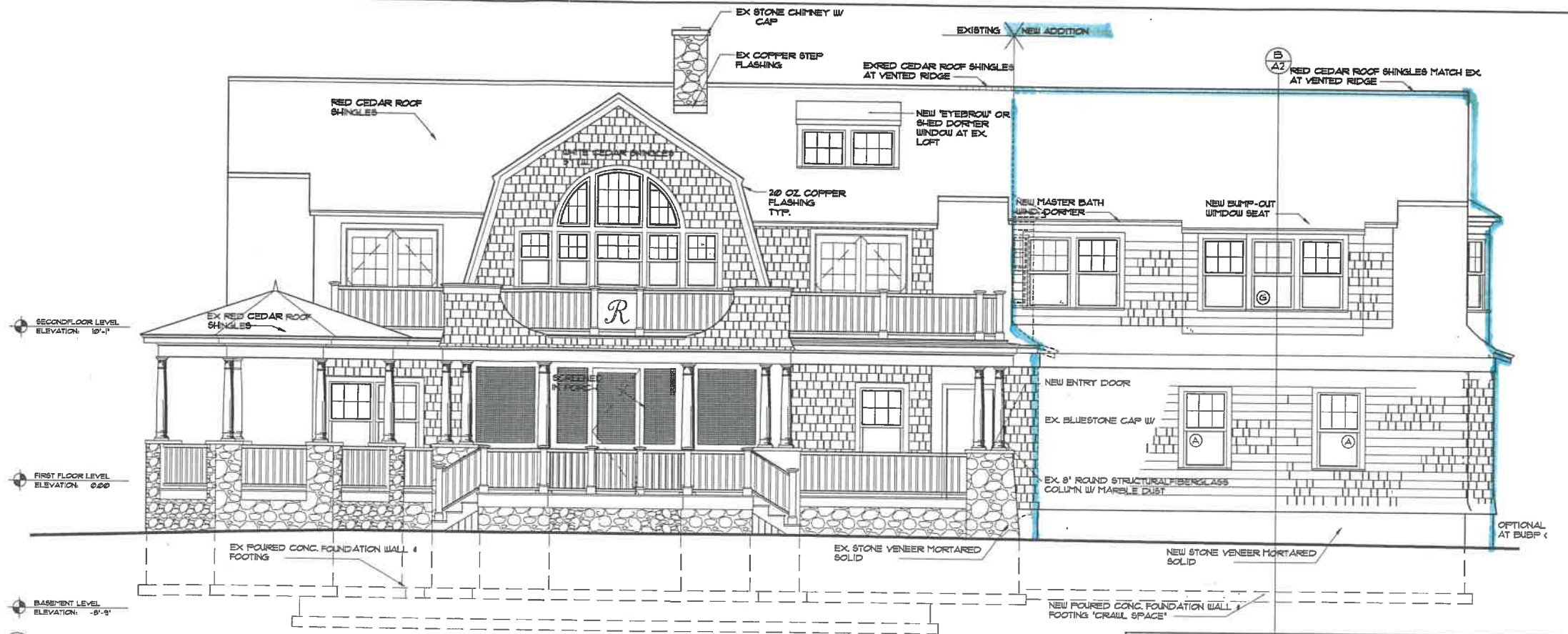
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV PROGRESS 4-30-20

NEW ADD. SUMMER RESIDENCE FOR
DANIEL F. ROCHE JR.
7 COAST GUARD ROAD
N. TRURO, MASSACHUSETTS
FIRST FLOOR PLANS
SCALE: 1/4" = 1'-0" DATE: AUG. 23 2019

ROBERT S. ROSE ARCHITECT
P.O. BOX 76, HINGHAM, MA 02043
(781) 749-0060 FAX: (508) 228-5081

A-2



A
A-4
NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

DES.	MFG	MODEL	DIMENSION R.O.	REMARKS
A	MARVIN	WUDH2828	2'10"-3'8"x5'-1/2"	
B	MARVIN	WUDH2828	26 3/8"x45 1/2"	
C	MARVIN	WUDH2828-2	6'8 1/8"x65 1/2" 2UWH	WITH 2-1/2" STUD POCKET
D	MARVIN	WUDH2828-3	105 3/8"x65 1/2" 3UWH	WITH 2-1/2" STUD POCKET
E	MARVIN	WOPFASH-LINER-FBI CN 3448	48"x51"2L2H	
F	MARVIN	3UWH		45 DEG. BAY
G	MARVIN	WUDH2824-2	6'8 1/8"x51 1/2"	WITH 2-1/2" STUD POCKET
H	MARVIN	WRTI-1 3/4" SASH	34 3/8"x17 3/8" 1 LITE	6 GOTHIC LITES
J	MARVIN	WUHT 2828UWH 2828	34 3/8"x82 1/8" 1U2H	
K	MARVIN			DIAMOND LITES
L	MARVIN		3UWH	45 DEG. BAY
M	MARVIN	WUDH3224	38 3/8"x51 1/2"	
N	MARVIN	WRTI1	26 3/8"x40"	ROUND TOP MATCH PROFILE BELOW WITH 2-1/2" STUD POCKET
O	MARVIN	WRT6	38 3/8"x46"	WITH 2-1/2" STUD POCKET
P	MARVIN	WRT18	26 3/8"x40"	ROUND TOP MATCH PROFILE BELOW WITH 2-1/2" STUD POCKET
Q	MARVIN	WUDHP	26 3/8"x32 3/8"	
R	MARVIN	WUDH3218	38 3/8"x45 1/2"	
S	MARVIN	WOPFASH-LINER-FBI		TO MEET MASS. CODE BASEMENT BURESS

NOTE

PROVIDE ALL WINDOWS WITH MULLION PATTERNS AS SHOWN ON ELEVATIONS. CUSTOMIZE AS REQUIRED, 1/8" SIMULATED DIVIDED LITES WITH SPACER BARS

ALL FIRST FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-8" UNLESS OTHERWISE NOTED.

ALL SECOND FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-8" UNLESS OTHERWISE NOTED.

IF WINDOWS ARE TO BE CLAD, COORDINATE FINAL COLOR SELECTION WITH CLIENT AND HOUSE COLOR SCHEME PRIOR TO ORDERING.

MANUFACTURER TO PROVIDE: EXTERIOR TRIM 5/4"x4" PINE (CEDAR OPTIONAL), 2" SILL, NO FINGERJOINT TRIM

GLAZING TO BE LOW E ARSON

MANUFACTURE TO PROVIDE 1/2 SCREENS AT ALL DOUBLE HUNG WINDOWS, FULL AT CASEMENTS.

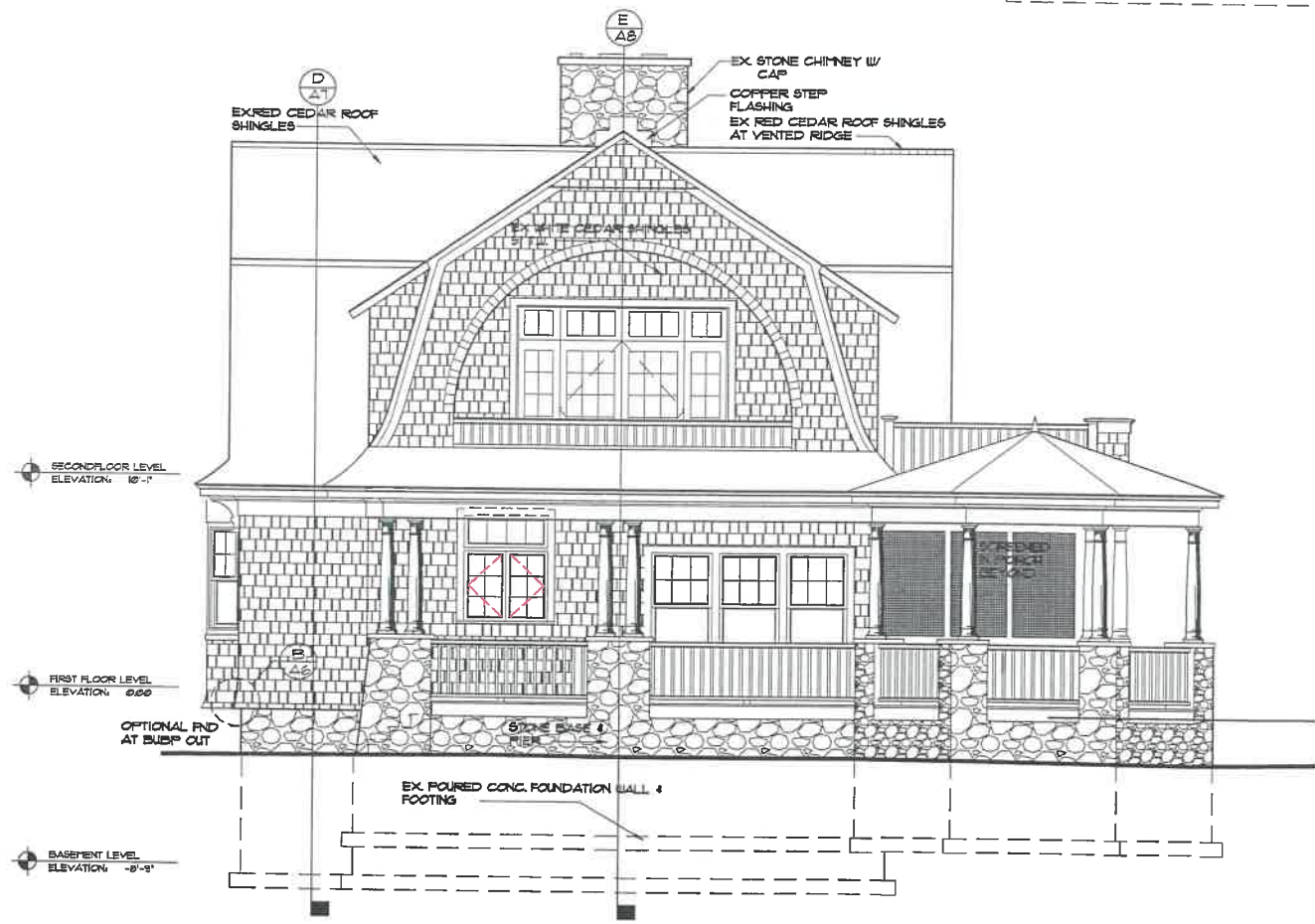
MANUFACTURE TO PROVIDE BEACON HARDWARE

PROVIDE SHOP DRAWINGS

PER MASS CODE-BEDROOM EGRESS WINDOW WHEN FULLY OPEN TO BE 20"x24" IN EITHER DIRECTION. SILL HT. NOT MORE THAN 44"

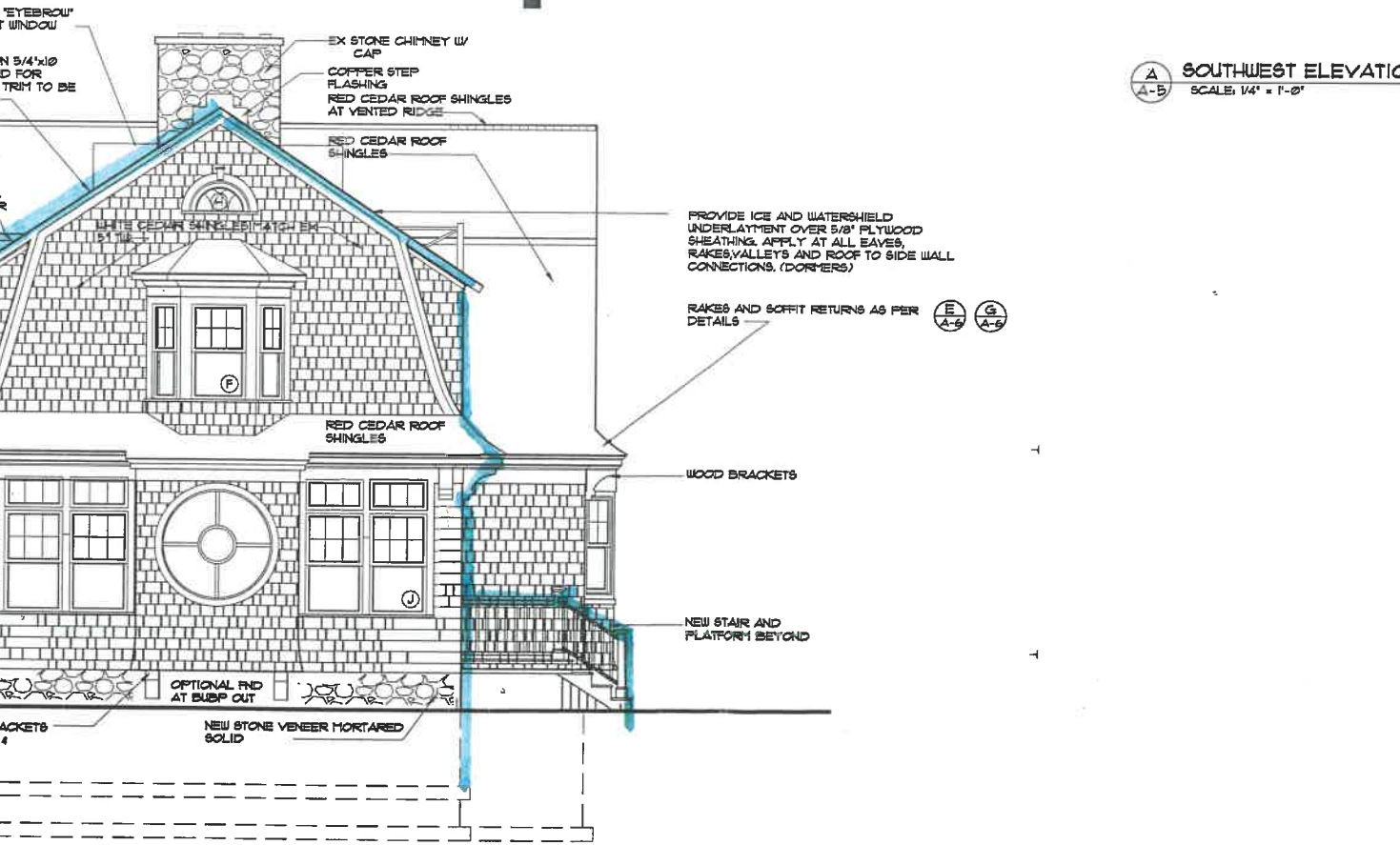
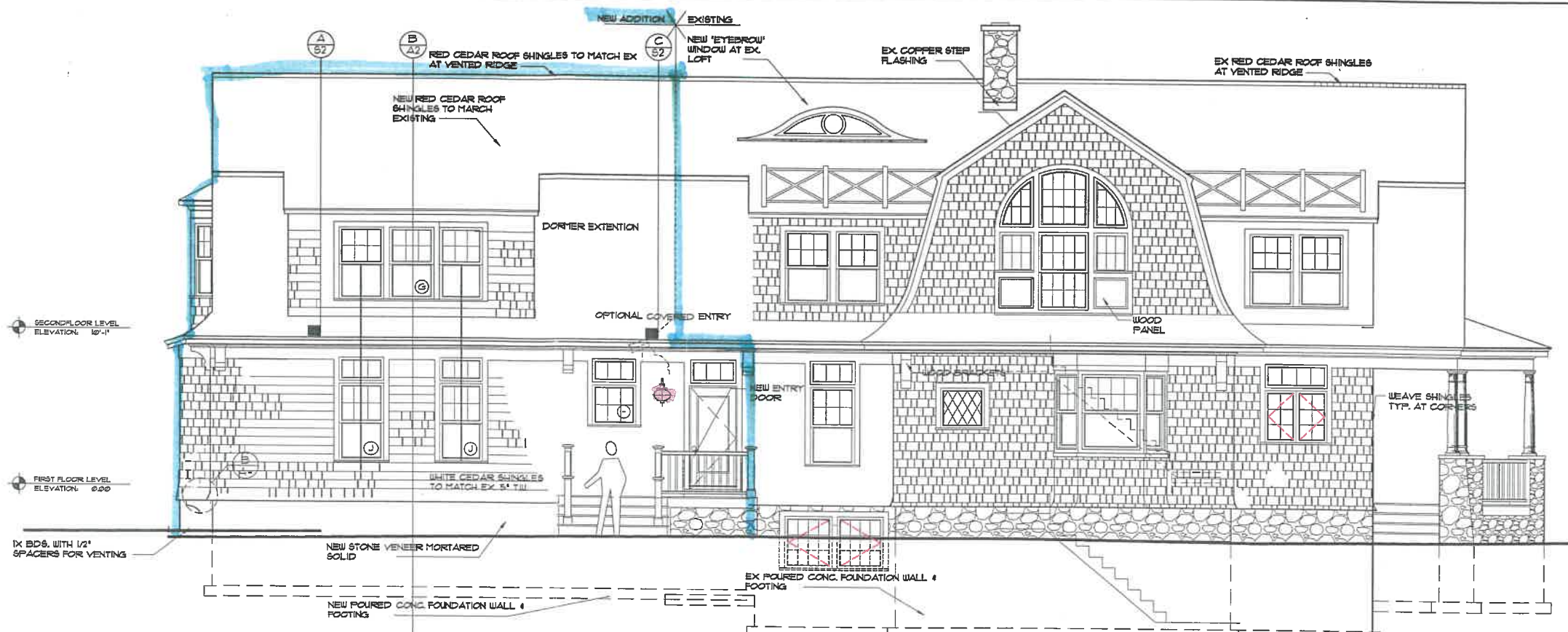
PER CODE-WINDOW WIND BORNE DEBRIS RESISTANT

REV. PROGRESS 4-30-20



B
A-4
SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

<p>NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 7 COAST GUARD ROAD N. TRURO, MASSACHUSETTS</p>	<p>ROBERT S. ROSE ARCHITECT P.O. BOX 76, HINGHAM, MA 02043 (781) 749-0050 FAX. (508) 228-5081</p>	<p>A-4</p>
<p>EXTERIOR ELEVATIONS & DETAILS</p>		
<p>SCALE: 1/4" = 1'-0" DATE: AUG. 23 2019</p>		



WINDOW SCHEDULE

DES.	MFG.	MODEL	DIMENSION R.O.	REMARKS
A	MARVIN	WUDH2828	2'10"-3'8"X5'5-1/2"	
B	MARVIN	WUDH2818	26 3/8"X45 1/2"	
C	MARVIN	WUDH2818-2	6'3 1/8"X6'5 1/2" 2LH	WITH 2-1/2" STUD POCKET
D	MARVIN	WUDH2828-5	10'5 3/8"X6'5 1/2" 3LH	WITH 2-1/2" STUD POCKET
E	MARVIN	WUDH2828-5	4'9"X5'12" 2LH	WITH 2-1/2" STUD POCKET
F	MARVIN		3LH	45 DEG. BAT
G	MARVIN	WUDH2824-2	6'3 1/8"X5'1 1/2"	WITH 2-1/2" STUD POCKET
H	MARVIN	WRT1-1 3/4" SASH	34 3/8"X11 3/16" 1 LITE	6 GOTHIC LITES
J	MARVIN	WUDH2818-2	34 3/8"X6'2 1/8" 1LH	
K	MARVIN			DIAMOND LITES
L	MARVIN		3LH	45 DEG. BAT
M	MARVIN	WUDH3224	38 3/8"X5'1 1/2"	
N	MARVIN	WRT1	26 3/8"X46"	ROUND TOP MATCH PROFILE BELOW WITH 2-1/2" STUD POCKET
O	MARVIN	WRT6	38 3/8"X46"	WITH 2-1/2" STUD POCKET
P	MARVIN	WRT8	26 3/8"X46"	ROUND TOP MATCH PROFILE BELOW WITH 2-1/2" STUD POCKET
Q	MARVIN	WUDHP	26 3/8"X32 3/16"	
R	MARVIN	WUDH218	38 3/8"X45 1/2"	
S	MARVIN	WUDH2828-5		TO MEET MASS. CODE BARRETT SYSTEM

NOTE
 PROVIDE ALL WINDOWS WITH MULLION PATTERNS AS SHOWN ON ELEVATIONS. CUSTOMIZE AS REQUIRED, 1/8" SIMULATED DIVIDED LITES WITH SPACER BARS
 ALL FIRST FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-8" UNLESS OTHERWISE NOTED.
 ALL SECOND FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-8" UNLESS OTHERWISE NOTED.
 IF WINDOWS ARE TO BE CLAD, COORDINATE FINAL COLOR SELECTION WITH CLIENT AND HOUSE COLOR SCHEME PRIOR TO ORDERING.
 MANUFACTURER TO PROVIDE: EXTERIOR TRIM 5/4"X4 FINE (CEDAR OPTIONAL), 2" SILL, NO FINGERJOINT TRIM
 GLAZING TO BE LOW E ARGON
 MANUFACTURE TO PROVIDE 1/2 SCREENS AT ALL DOUBLE HING WINDOWS, FULL AT CASEMENTS.
 MANUFACTURE TO PROVIDE SEACOAST HARDWARE
 PROVIDE SHOP DRAWINGS
 PER MASS CODE-BEDROOM EGRESS WINDOW WHEN FULLY OPEN TO BE 20"X24" IN EITHER DIRECTION. SILL HT. NOT MORE THAN 44"
 PER CODE-WINDOW WIND BORNE DEBRIS REGION.

B NORTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"

A SOUTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"

<p>NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 7 COAST GUARD ROAD N. TRURO, MASSACHUSETTS</p>	<p>ROBERT S. ROSE ARCHITECT P.O. BOX 76, HINGHAM, MA 02043 (781) 749-0060 FAX: (508) 228-5081</p>	<p>A-5</p>
<p>EXTERIOR ELEVATIONS & DETAILS</p>		
<p>SCALE: 1/4" = 1'-0" DATE: AUG. 23, 2019</p>		
		<p>REV. PROGRESS 4-30-20</p>



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

FORM A

APPLICATION FOR DETERMINATION THAT PLAN DOES NOT REQUIRE APPROVAL (ANR)

To the Planning Board of the Town of Truro, MA

Date September 10, 2020

The undersigned owners of all the land described herein submitted the accompanying plan entitled:
Plan of Land 23 Perry Road Truro MA and dated August 10, 2020, requests a
determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required.

Property Location: 23 Perry Road Map(s) and Parcel(s): Map 45 Parcel 131

Number of Lots Created: 3 Total Land Area: 9.7 +/- acres

The owner's title to said land is derived under deed from The Claire A. Perry Living Trust Agreement,
dated 5/6/19, and recorded in the Barnstable Registry of Deeds Book and Page 31999/350 or
Land Court Certificate of Title No. _____ registered in Barnstable County.

The undersigned believes that such approval is not required for the following reasons: *(check as appropriate)*

- The accompanying plan is not a subdivision because the plan does not show a division of land.
- The division of the tract of land shown on the accompanying plan is not a subdivision because every lot shown on the plan has frontage of at least such distance as is presently required by the Truro Zoning Bylaw under Section 50.1(A) which requires 150 feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:
- a public way or way which the Town Clerk certifies is maintained and used as a public way, namely _____, or
- a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely Harding's Road on PB 630 Page 58 and subject to the following conditions _____; or
- a private way in existence on December 8, 1955, the date when the subdivision control law became effective in the Town of Truro having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
- The division of the tract of land shown on the accompanying plan is not a "subdivision" because it shows a proposed conveyance/other instrument, namely _____ which adds to/takes away from/changes the size and shape of, lots in such a manner that no lot affected is left without frontage as required by the Truro Zoning Bylaw under Section 50.1(A), which requires 150 feet.

The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically _____ buildings were standing on the property prior to December 8, 1955, the date when the subdivision control law went into effect in the Town of Truro and one of such buildings remains standing on each of the lots/said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the subdivision control law as follows:

Other reasons or comments: (See M.G. L., c.41, §81-L)

All other information as required in the Rules and Regulations Governing Subdivisions of Land shall be submitted as part of the application.

RICHARD B. PERRY
(Printed Name of Owner)

Richard B Perry
(Signature)

Cynthia J Perry
(Printed Name of Owner)

Cynthia J Perry
(Signature)

15 Perry Rd PO Box 127 Truro MA 02666
(Address of Owner(s))

15 Perry Rd PO Box 127 Truro MA 02666
(Address of Owner(s))

Hillside Farm LLC
(Printed Name of Agent)

Samantha Perry
(Signature)
P.O. Box 228, TRURO MA 02666

(Address of Agent)

File twelve (12) copies each of this form and applicable plan(s) with the Town Clerk; and a complete copy, including all plans and attachments, submitted electronically to the Town Planner at planner1@truro-ma.gov

MEMORANDUM

Title History for Properties off of Perry Road, Truro

I. Overview:

The hillside lands off of Perry Road have been used for farming since the 1880s, when John B. Perry and his wife, Mary J. Perry, began farming the lands to the north and west of the Little Pamet River. John had purchased the lands from his wife's stepfather, Manuel Silva, who also left interests in the lands to Mary.

John B. and Mary had a son, Manuel J. Perry, who ran the family farm with his second wife Barbara. Manuel and his first wife, Adeline, had previously had two sons, John S. Perry and Mason E. Perry, and a daughter, Pulsenia J. Rowell.

Although John B. and Mary's son Manuel Perry, and their grandson John S. Perry, each worked the family farm, neither of them inherited it after John B. and Mary died. Instead, Mary left the farmland to her great-grandchildren, Stephen R. Perry and Richard B. Perry (who were the sons of Mary's grandson, John S. Perry), with only life estates to use the land in Manuel J. Perry and John S. Perry. As a later confirmation plan endorsed by the Massachusetts Land Court shows, the historic farmland which Stephen and Richard inherited contained a total of 27.84 acres of land area, including both upland and wetlands.

Because they did not own any farmland of their own, in the 1950s John S. Perry and his wife Lucy J. Perry purchased a contiguous area of land to the *south* of Perry Road and the *east* of the Little Pamet River. This land came out of a completely separate chain of title from the land which Stephen R. Perry and Richard B. Perry inherited from their great-grandmother Mary, and had instead been owned by Frances Joseph and then his son, Frank R. Joseph. Likewise, Stephen and Richard never owned the land which John and Lucy owned.

Because Manuel J. Perry and his son John S. Perry both worked the farmland to the north, and John S. Perry and Lucy J. Perry owned the farmland to the south, the area has often been referred to as a single entity, "Perry Farm." However, the two different land areas have not been held in common ownership, either before or after the September 30, 1994 cutoff date for Cape Cod Commission mandatory referrals for parcels containing thirty or more acres of land area.

The 27.84 acre northerly parcel which Stephen and Richard owned has been subdivided and there is now a contiguous 9.70 acre parcel owned in equal parts by Hillside Farm, LLC and The Perry Family Limited Partnership. Those two owners have filed an ANR plan to subdivide that parcel into three lots, so that the next generation may live in Truro and continue to farm the land.

1. Record title to Stephen R. Perry and Richard B. Perry's land prior to and as of September 30, 1994:

John B. Perry died intestate in 1938 and Mary J. Perry died testate in 1949. Under her will, Mary left life estates for the use of land she and John owned to their son, Manuel J. Perry, and their grandson, John S. Perry. See BCP 31696. Mary left the fee ownership to her great-grandsons, Stephen R. Perry and Richard B. Perry.

Manuel J. Perry died in 1965. To clear Stephen and Richard's title and John S. Perry's life estate, in the 1970s the surviving members of Manuel's family gave a series of deeds to them, releasing any claim to the farmland they may have had:

from Pulsenia J. Rowell	2362-171	1976
from Elizabeth Keehlwetter	2392-345	1976
from Donald S. Perry	2579-270	1977
from Mason E. Perry	2579-271	1977
from Daisy Houghton	2836-308	1978
from Manuel J. Perry et al.	2850-347	1979
from John S. Perry	2850-348	1979
from Manuel J. Perry et al.	2850-349	1979

Stephen and Richard subsequently sought confirmation without registration of their title to the land they inherited, as shown on January 8, 1997 Petitioner's Plan 43230-A. Per plan, the parcel the brothers sought to confirm contains 25.02 acres of upland and 2.82 acres of lowland, for a total land area of 27.84 acres. The plan also shows that the farmland to the south and east was not owned or claimed by Stephen and Richard, but was owned by their parents, John S. Perry and Lucy J. Perry.

On August 31, 2007 the Court confirmed Stephen and Richard's title, as shown on their Petitioner's Plan, as of January 15, 1997 (the date of filing). See also Plan Book 619, Pages 97 and 98. However, the brothers' title was unchanged since they inherited it in 1949 and they received release deeds in the 1970s, and Stephen R. Perry and Richard B. Perry therefore were the only fee owners of the former John B. Perry and Mary J. Perry land as of September 30, 1994. The area they owned is depicted as Parcel 2 on the sketch showing record title as of September 30, 1994 filed herewith.

2. Record title to John S. Perry and Lucy J. Perry's land prior to and as of September 30, 1994:

Between January 22 and February 14, 1955, John S. Perry and Lucy J. Perry took title to an assemblage of lands to the south of Perry Road and the east of the Little Pamet River. See deeds recorded in Book 900, Page 159; Book 915, Page 212; Book 915, Page 214. Their title was given by Gertrude F. Joseph, widow of former owner Frank R. Joseph, as well as the descendants of Manuel Joseph and Frances Joseph. It was originally subject to a life estate in Gertrude, however, that life estate was released by her in 1967 (see Book 1381, Page 47).

The land that John and Lucy took title to in the 1950s was adjacent to the land John's sons owned, but its title history was distinct, having been owned by the Joseph family since the 1870s and having coming out of that chain.

As of September 30, 1994, title to the southerly lands was in John S. Perry and Lucy J. Perry, as tenants by the entirety. The land they owned contained approximately 13.69 acres of area, including a large area of lowlands abutting the Little Pamet River. The area they owned is depicted as Parcel 1 on the sketch showing record title as of September 30, 1994 filed herewith.

3. **Record title conveyances from September 30, 1994 to present:**

Beginning in 1997, the owners of the northerly farmlands and the owners of the southerly farmlands have made a number of conveyances of their respective properties. These include subdivisions of the two parcels, subsequent conveyances of subdivided lots out to third parties, and conveyances of retained lands into trusts and other entities, and conveyances out to family members. However, none of these conveyances increased the area of ownership in Stephen R. Perry and Richard B. Perry above the 27.84 acres they originally owned or increased the area of ownership in John S. Perry and Lucy J. Perry above the 13.69 acres they originally owned. Instead, the conveyances decreased the respective northerly and southerly areas of ownership.

In chronological order, the post September 30, 1994 title conveyances are as follows below. The recorded plans showing the listed lots are included herewith for reference.

1. 1997: John S. Perry releases his life estate interest in Stephen R. Perry and Richard B. Perry's land (Book 10569, Page 200).
2. 1998: Lucy J. Perry releases her interests in Stephen R. Perry and Richard B. Perry's land (Book 11187, Page 164).
3. 2000: John S. Perry and Lucy J. Perry their land to Lucy J. Perry, individually (Book 13395, Page 108).
4. 2006: Lucy J. Perry deeds Lot 2 606/100 to Thomas J. Nadeau (Book 20969, Page 297).
5. 2007: Stephen R. Perry and Richard B. Perry deed Lot 6 596/91 to Thomas J. Nadeau (Book 21771, Page 276).
6. 2009: Stephen R. Perry and Richard B. Perry deed Lot 5B 630/57 to Kristin A. Perry (Book 23885, Page 152).

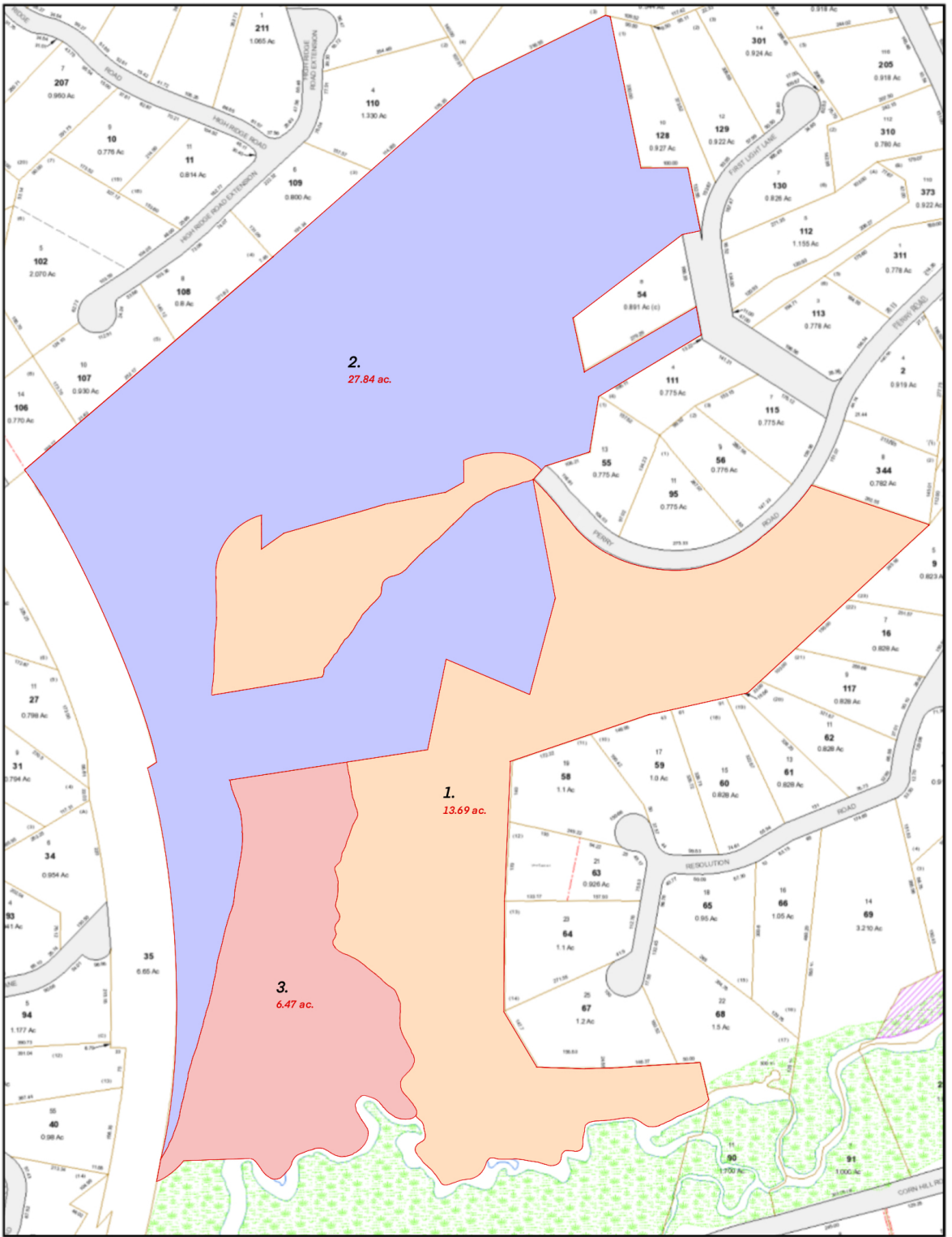
7. 2009: Stephen R. Perry and Richard B. Perry deed Lot 14 632/56 to Richard B. Perry and Cynthia J. Perry, husband and wife as tenants by the entirety (Book 24169, Page 112).
8. 2009: Stephen R. Perry and Richard B. Perry deed Lot 9, Lot 10 630/58 to Stephen R. Perry, individually (Book 24169, Page 114).
9. 2011: Stephen R. Perry deeds Lot 9, Lot 10 630/58 to Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011 (Book 25441, Page 147).
10. 2011: Stephen R. Perry deeds ½ interest in Lot 7 596/91, Lot 5A 630/57, Lot 3A, Lot 7, Lot 11, Lot 12 630/58, Lot 13 632/56 to Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011. The other ½ interest in those lots remains in Richard B. Perry (Book 25441, Page 151).
11. 2011: Lucy J. Perry deeds P.1 – P.6 to Claire A. Perry as Trustee of The Lucy J. Perry Living Trust Agreement Dated June 14, 2011 (Book 25515, Page 20).
12. 2012: Richard B. Perry and Cynthia J. Perry deed Lot 14 632/56 to The Perry Family Limited Partnership (Book 26582, Page 28).
13. 2013: Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011 deeds Lot 10 630/58 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 (Book 27251, Page 265).
14. 2013: Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011 deeds ½ interest in Lot 11, Lot 12 630/58, Lot 13 632/56 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011. The other ½ interest in those lots remains in Richard B. Perry (Book 27251, Page 265).
15. 2013: Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011 deeds ½ interest in Lot 7 596/91 (section of road) to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011. The other ½ interest in that section of road remains in Richard B. Perry (Book 27277, Page 343).
16. 2014: Richard B. Perry, individually, and Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011, deed Lot 5A 630/57 to David W. Shapiro and Lee A. Shapiro (Book 28525, Page 64).
17. 2016: Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011 deeds Lot 9 630/58 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 (Book 30141, Page 60).

18. 2016: Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 deeds Lot 9 630/58 to Scott W. Perry (Book 30141, Page 64).
19. 2017: Richard B. Perry (as to ½ interest) and Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 (as to other ½ interest) deed Parcel A 672/35 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 (Book 30798, Page 235).
20. 2017: Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 deeds Lot 10B 672/35 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 and Samantha E. Perry as joint tenants with rights of survivorship (Book 30798, Page 238).
21. 2017: Claire A. Perry as Trustee of The Lucy J. Perry Living Trust Agreement Dated June 14, 2011 deeds ½ interest in Parcel B 672/35 to Richard B. Perry, and ½ interest in Parcel B 672/35 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011, all as tenants in common (Book 30798, Page 240).
22. 2018: Claire A. Perry as Trustee of The Lucy J. Perry Living Trust Agreement Dated June 14, 2011 deeds ½ interest in Parcel D 672/35 to Richard B. Perry, and ½ interest in Parcel D 672/35 to Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011, all as tenants in common (Book 31174, Page 72).
23. 2018: Claire A. Perry as Trustee of The Lucy J. Perry Living Trust Agreement Dated June 14, 2011 deeds Lot 2 674/90 to Thomas J. Nadeau (Book 31204, Page 59).
24. 2018: Richard B. Perry deeds a ½ interest in each of the following parcels to The Perry Family Limited Partnership: Lot 3A 630/58 (Parcel 3 672/35), Lot 12 630/58 (Parcel D 672/35), Lot 11 630/58 (Parcel D 672/35), Lot 13 632/56 (same on 672/35), Parcel B 672/35, 17 Harding's Way (Lot 7 630/58?). Note that other halves remain with respective owners (Book 31699, Page 134).
25. 2019: Claire A. Perry as Trustee of The Claire A. Perry Living Trust Agreement Dated March 23, 2011 deeds a ½ interest in each of the following parcels to Hillside Farm, LLC: Parcel C 672/35, Parcel D 672/35, Lot 11 630/58, Lot 13 632/56 (note that deed incorrectly states Lot 13 630/58; corrective affidavit recorded at 33001-176). Note that other halves remain with respective owners (Book 31999, Page 350).

26. 2019: Claire A. Perry as Trustee of The Lucy J. Perry Living Trust Agreement Dated June 14, 2011 deeds Lot 1 606/100, fresh meadow 512-277, triangle 395-20, garden and upland to the following persons: ½ interest to Richard B. Perry; 1/12 to Cheryl A. Costa; 1/12 to Debra Perry Locke; 1/12 to Scott W. Perry; 1/12 to Samantha E. Perry; 1/12 to Stephen O. Perry; 1/12 to Brandon Perry (Book 32407, Page 180, and corrective affidavit and deed recorded at Book 32944, Page 265 and Book 32944, Page 267).
27. 2020: Claire A. Perry as Trustee of The Stephen R. Perry Living Trust Agreement Dated March 23, 2011, Richard B. Perry and Cynthia J. Perry, and The Perry Family Limited Partnership deed LOT 7 630/58 to David W. Shapiro and Lee A. Shapiro.

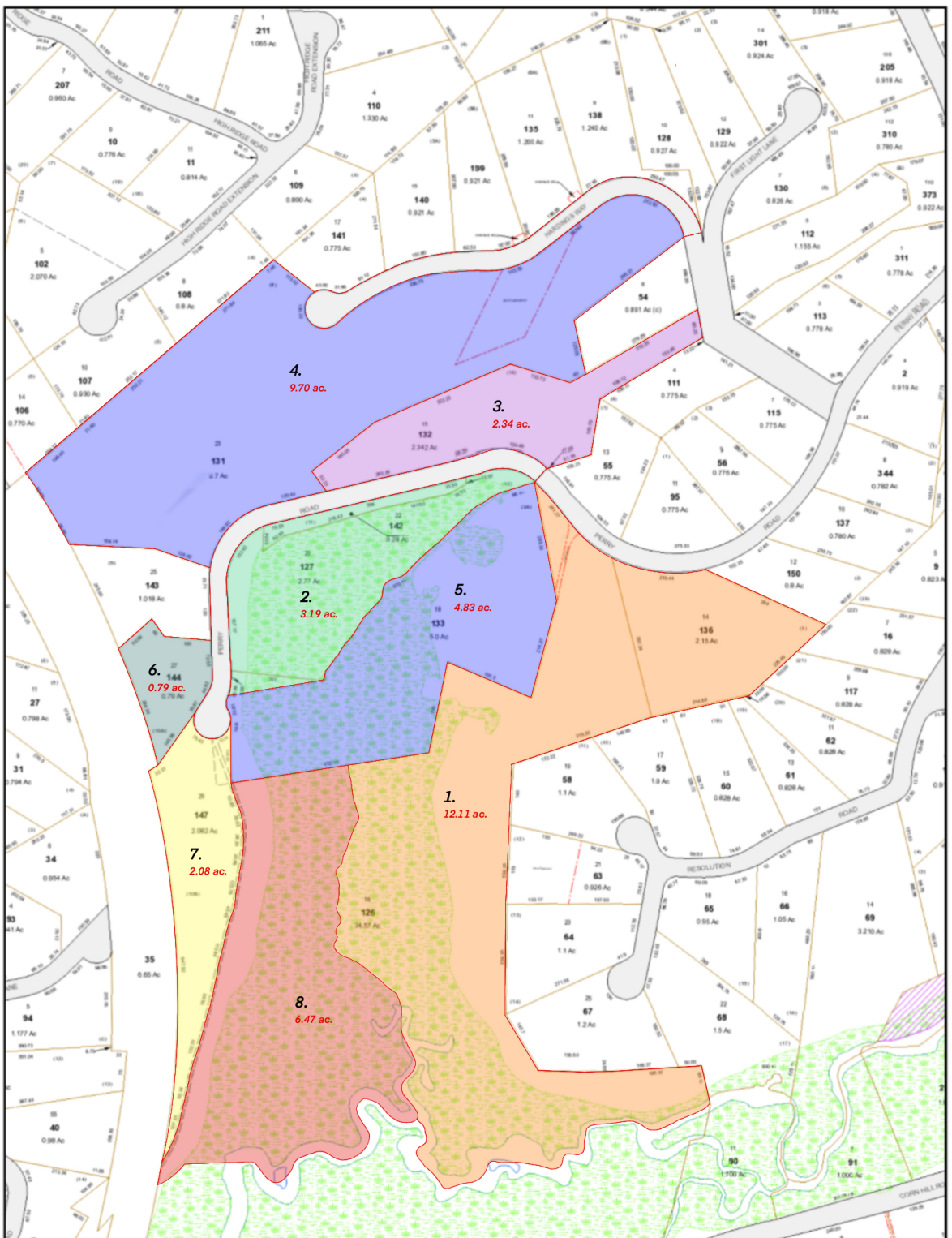
As a result of these conveyances, current record title to the remaining land in the northerly and southerly parcels originally owned by Stephen R. Perry and Richard B. Perry, and by John S. Perry and Lucy J. Perry, respectively, is as depicted and listed in chart form on the sketch of total lot areas and record title as of September 28, 2020 filed herewith. As the title history and sketches show, at no time from September 30, 1994 to the present date has there been common title ownership of the former John B. Perry and Mary J. Perry farmlands north of Perry Road and the former Joseph farmlands south of Perry Road, nor has there been common title ownership of an area of land equal to or more than 30.00 acres.

- END -



Total Lot Areas and Record Title as of September 30, 1994:

- 1. 13.69 ac.** *John S. Perry & Lucy J. Perry*
- 2. 27.84 ac.** *Stephen R. Perry & Richard B. Perry*
- 3. 6.47 ac.** *owners unknown*



Total Lot Areas and Record Title as of September 28, 2020:

- 1. 12.11 ac.** (1/2) Richard B. Perry
 (1/12) Cheryl A. Costa
 (1/12) Debra Perry Locke
 (1/12) Scott W. Perry
 (1/12) Samantha E. Perry
 (1/12) Stephen O. Perry
 (1/12) Brandon Perry

- 2. 3.19 ac.** (1/2) Hillside Farm, LLC
 (1/2) Richard B. Perry

- 3. 2.34 ac.** The Perry Family Limited Partnership

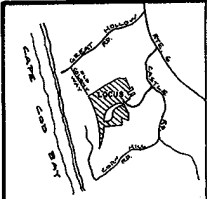
- 4. 9.70 ac.** (1/2) Hillside Farm, LLC
 (1/2) The Perry Family Limited Partnership

- 5. 4.83 ac.** (1/2) Hillside Farm, LLC
 (1/2) The Perry Family Limited Partnership

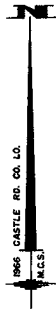
- 6. 0.79 ac.** Claire A. Perry as Trustee of The Claire A. Perry Living Trust

- 7. 2.08 ac.** Claire A. Perry as Trustee of The Claire A. Perry Living Trust & Samantha E. Perry

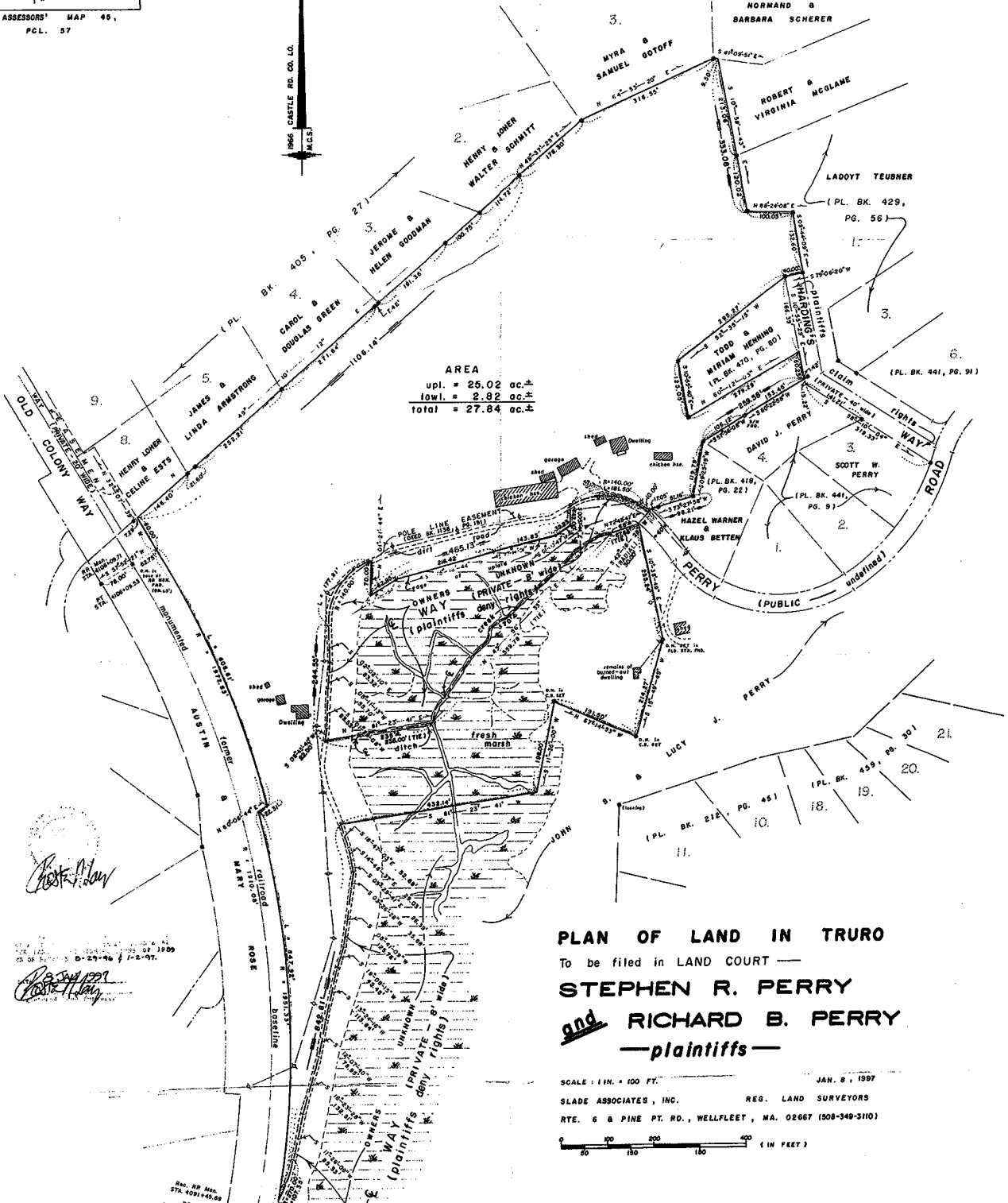
- 8. 6.47 ac.** owners unknown



ASSESSORS' MAP 46,
PCL. 57



(PL. BK. 213, PG. 115)



AREA
 upl. = 25.02 ac.±
 lowl. = 2.82 ac.±
 total = 27.84 ac.±

Best May
 0-29-96 / 1-2-97
Best May

PLAN OF LAND IN TRURO

To be filed in LAND COURT —
STEPHEN R. PERRY
and **RICHARD B. PERRY**
 —plaintiffs—

SCALE: 1 IN. = 100 FT.
 SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
 RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667 (508-340-3110)
 JAN. 8, 1997

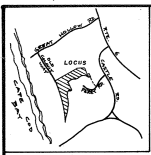


NOTE: ■ = D.H. IN C.B. AND, IN GOOD CONDITION, UNLESS OTHERWISE NOTED.
 ALL COURSES RUN WITH E.O.M. (ACCURACY ± 5 MM ± 3PPM)
 UNADJ. FIELD TRAVERSE: PRECISION = 1:114,770;
 L.E.C. = 0.056" D.E.C. = N 56°13'35"E

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW
Paul [Signature]
William [Signature]
Sam [Signature]
Richard [Signature]

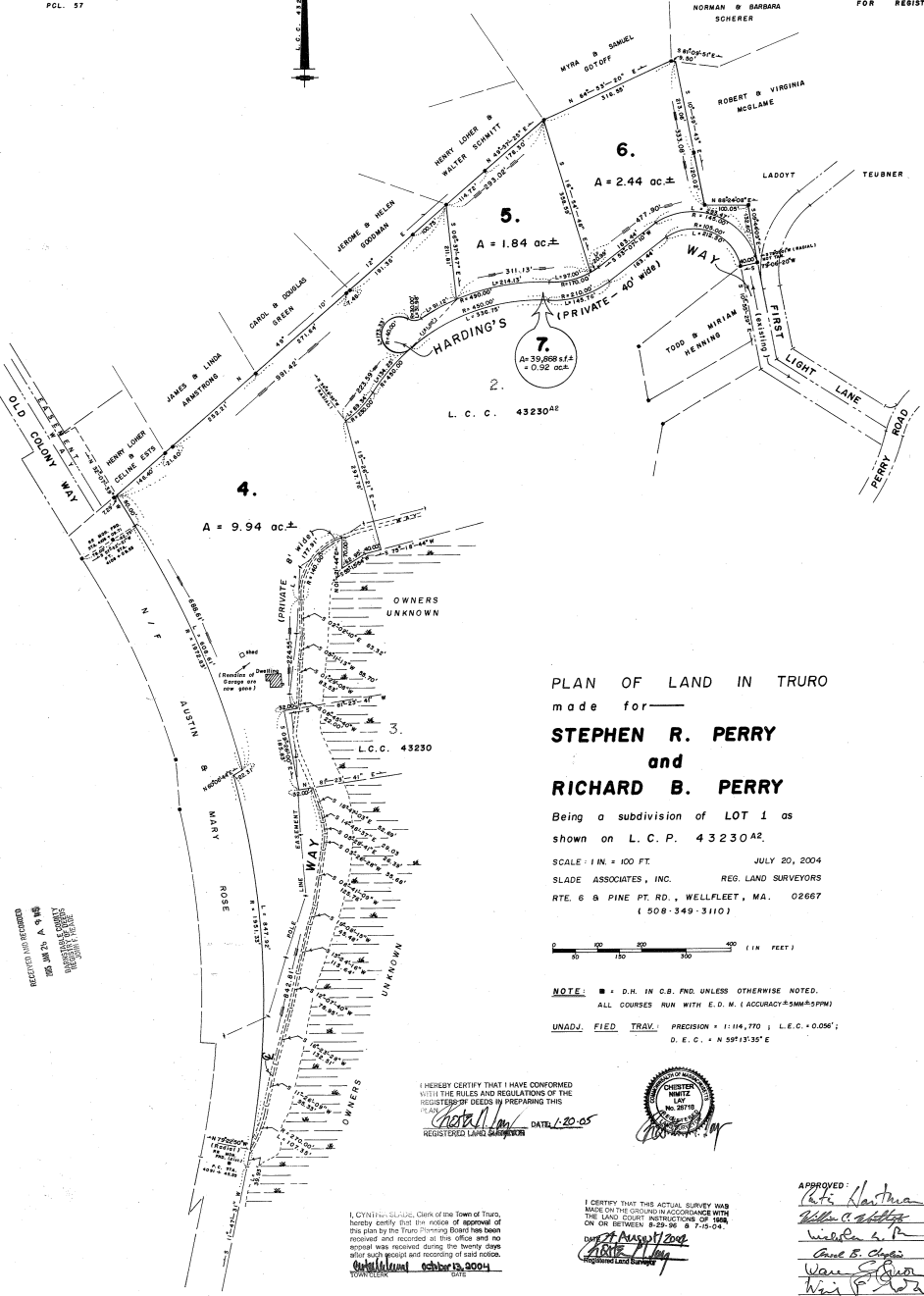
PETITIONER PLAN
 NOT SCANNED TO SCALE

TRURO PLANNING BOARD
 DATE: Jan. 22, 1997
 NO DETERMINATION OF COMPLIANCE WITH ZONING IS MADE OR IS INTENDED.



ASSESSORS' MAP 45,
PCL. 37

FOR REGISTRY USE

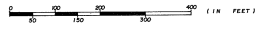


PLAN OF LAND IN TRURO
made for

STEPHEN R. PERRY
and
RICHARD B. PERRY

Being a subdivision of LOT 1 as
shown on L. C. P. 43230AR.

SCALE: 1 IN. = 100 FT. JULY 20, 2004
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667
(508-349-3110)



NOTE: ■ = D.I. IN C.B. FND. UNLESS OTHERWISE NOTED.
ALL COURSES RUN WITH E.D. N. (ACCURACY = 5MM ± 3PPM)
UNADJ. FIELD TRAV. PRECISION = 1:114,770 | L.C.C. ± 0.05% |
D. E. C. ± N 55°13'35" E

I HEREBY CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS OF THE
REGISTER OF DEEDS IN PREPARING THIS
PLAN.
Christina Law DATE: 1-20-05
REGISTERED LAND SURVEYOR



I, CYNTHIA CLARKE, Clerk of the Town of Truro,
hereby certify that the notice of approval of
this plan by the Truro Planning Board has been
received and recorded at this office and no
appeal was received during the twenty days
after such receipt and recording of said notice.
Cynthia Clarke October 13, 2004

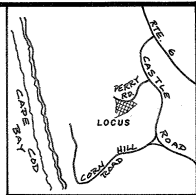
I CERTIFY THAT THIS ACTUAL SURVEY WAS
MADE ON THE GROUND IN ACCORDANCE WITH
THE LAND COURT INSTRUCTIONS OF 1984,
ON OR BETWEEN 8-29-96 & 7-15-04.
DATE: August 11, 2004
Richard Perry
REGISTERED LAND SURVEYOR

APPROVED:
Patricia Hartman
William C. Collins
Victoria L. P.
Gene E. Clough
Walter J. Ryan
Walter J. Ryan

TOWN PLANNING BOARD
DATE: 10/13/04
(SEE COVENANT TO BE RECORDED HEREWITH)

BOOK 596 PAGE 91

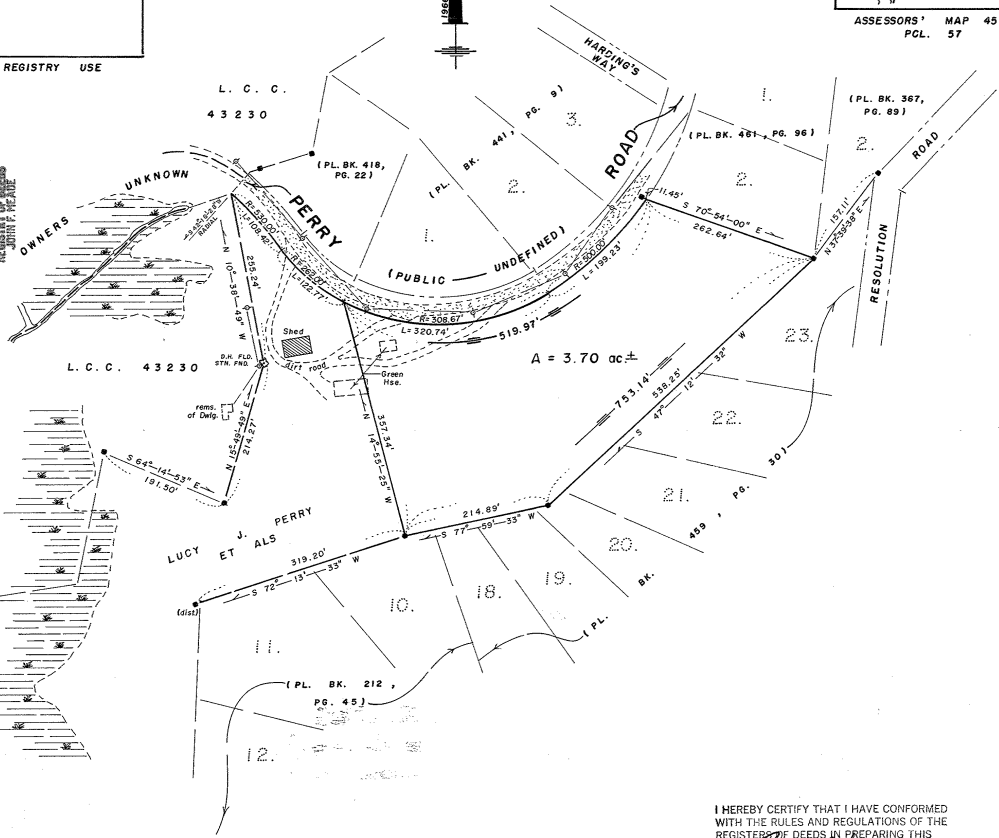
185



FOR REGISTRY USE

RECEIVED AND RECORDED
 1 205 APR 25 A 10 57
 DEPARTMENT OF CONVEYANCE
 REGISTER OF DEEDS
 JOHN F. HENNE

BOOK 598 PAGE 93



I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS IN PREPARING THIS PLAN
Robert A. Law DATE: 2/10/05
 REGISTERED LAND SURVEYOR

PLAN OF LAND IN TRURO
 made for _____
LUCY J. PERRY

SCALE : 1 IN. = 100 FT. FEB. 10, 2005
 SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
 RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667

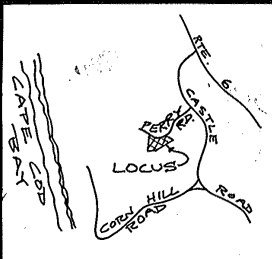


NOTE: ■ = D.H. IN C.B. FND.



I hereby certify that the property lines shown on this plan are the lines dividing existing ownerships and the lines of streets and ways shown are those of Public or Private street or ways already established and that no new lines for the division of existing ownership or for new ways are shown.
 DATE: 10 FEB 2005
Robert A. Law
 Registered Land Surveyor

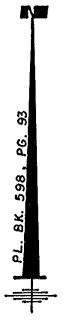
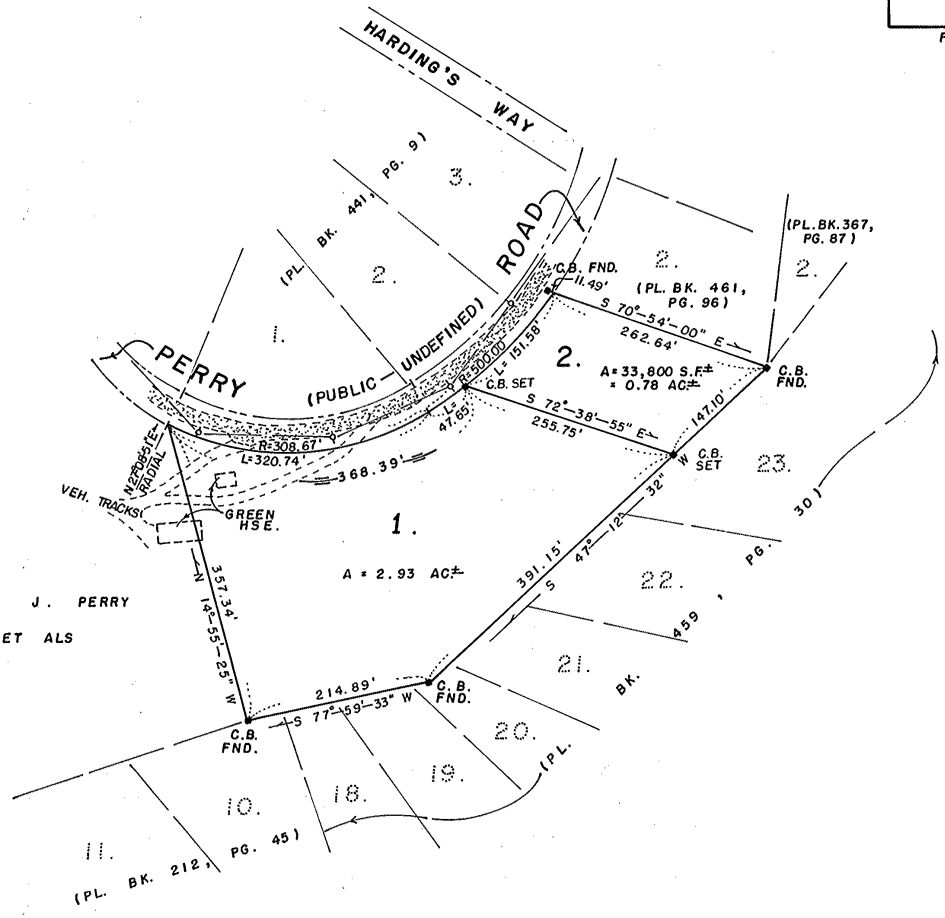
598-93



ASSRS! MAP 45,
PCL. 57

FOR REGISTRY USE

RECEIVED AND RECORDED
2005 MAR -7 P 12:13
BRANFORD COUNTY
REGISTRY OF DEEDS
JOHN F. REASE



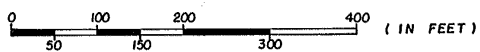
LUCY J. PERRY
ET ALS

PLAN OF LAND IN TRURO

Being a division of land as shown
in PLAN BK. 598, PG. 93.

made for _____
LUCY J. PERRY

SCALE: 1 IN. = 100 FT. JULY 28, 2005
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667



Planning Board Approval Under
Subdivision Control Law Not Required.
No Determination Of Compliance With
Zoning Requirements Has Been Made
Or Is Intended.

Waverly Snow
Amelia C. Miller
William C. Whitcomb
John F. Rease
Carl A. ...



I HEREBY CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS OF THE
REGISTRY OF DEEDS IN PREPARING THIS
PLAN.
Chester Nimitz Lay DATE: 7-28-05
REGISTERED LAND SURVEYOR

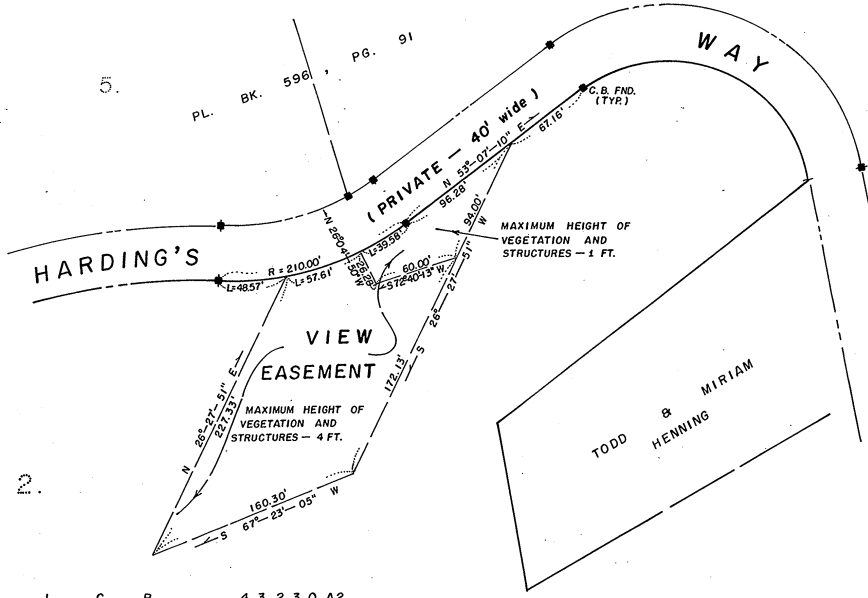
DATE: 09 August 2005

BOOK 606 PAGE 100

RECEIVED AND RECORDED
1 2001 FEB 21 P 12:47
DARNSTABLE COUNTY
REGISTRY OF DEEDS
JOHN T. HEADE



FOR REGISTRY USE



615-92

PLAN OF LAND IN TRURO
Showing a VIEW EASEMENT over
LOT 2, L.C.P. 43230 A2 (Confirmation).
made for _____

**STEPHEN R. PERRY
& RICHARD B. PERRY**

SCALE : 1 IN. = 50 FT. JAN. 17, 2007
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667



I HEREBY CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS OF THE
REGISTRY OF DEEDS IN PREPARING THIS
PLAN.
Richard B. Perry DATE: 1-17-07
REGISTERED LAND SURVEYOR

I hereby certify that the property lines
shown on this plan are the lines dividing
existing ownerships and the lines of alleys
and ways shown are those of Public or Private
street or ways already established and that no
new lines for the division of existing ownership
or for new ways are shown.
DATE: 1-17-07
Richard B. Perry
Registered Land Surveyor

43230A

SHEET 1 of 3

CONFIRMATION

PLAN OF LAND IN TRURO

Slade Associates, Inc., Surveyors

January 8, 1997

Carl Green et al.
Trustees of Indenture
of Trust 2/20/92

James Armstrong
and
Linda Armstrong

John M. Strand
and
Susan R. Strand

John S. Perry and Lucy J. Perry

RECEIVED AND RECORDED

2007 SEP -4 P 2 27

BARNSTABLE COUNTY
REGISTRY OF DEEDS
JOHN F. MEADE

Denotes d.h.C.B. unless otherwise noted

Abutters are not adjudicated.

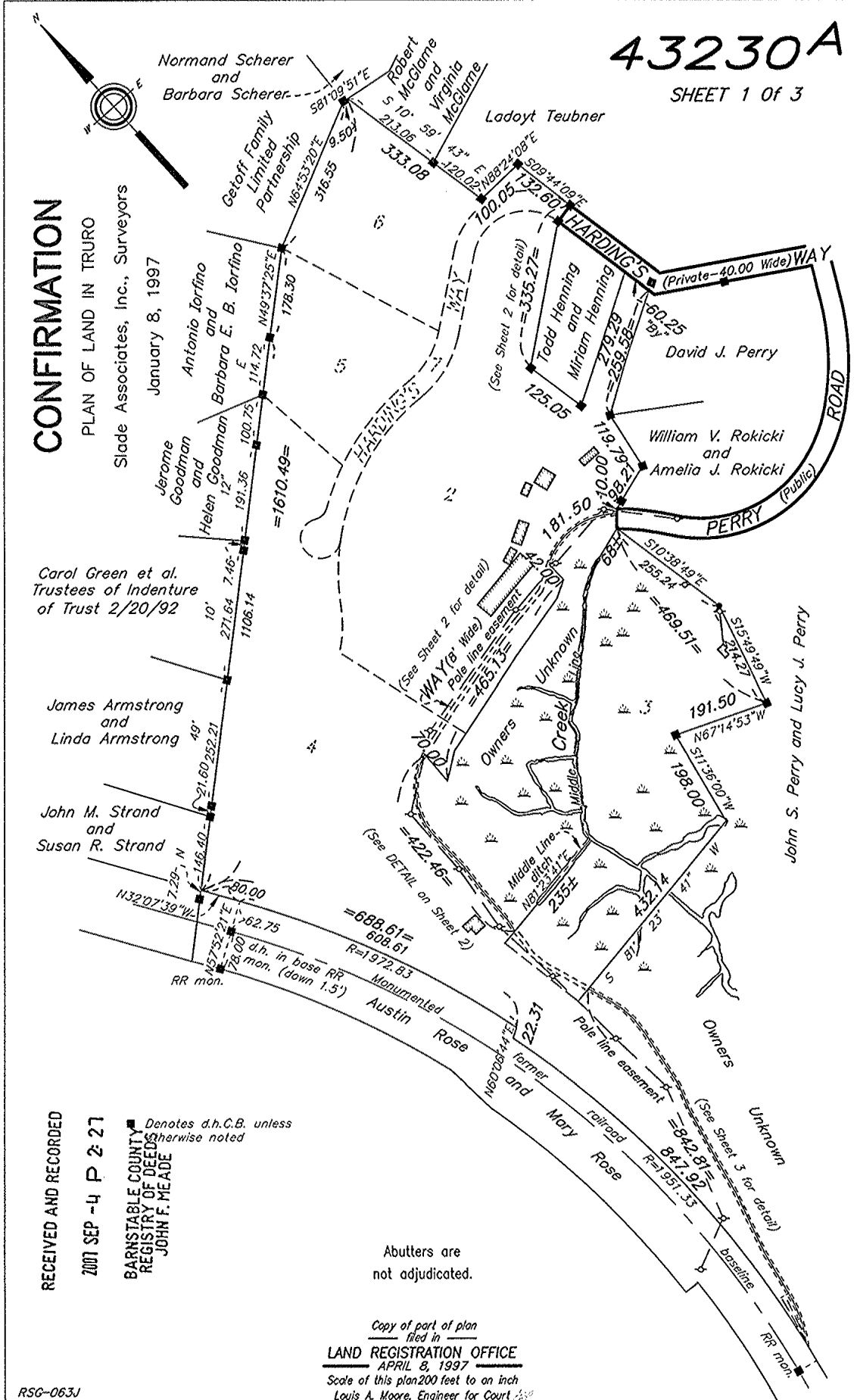
Copy of part of plan
filed in
LAND REGISTRATION OFFICE
APRIL 8, 1997

Scale of this plan 200 feet to an inch
Louis A. Moore, Engineer for Court

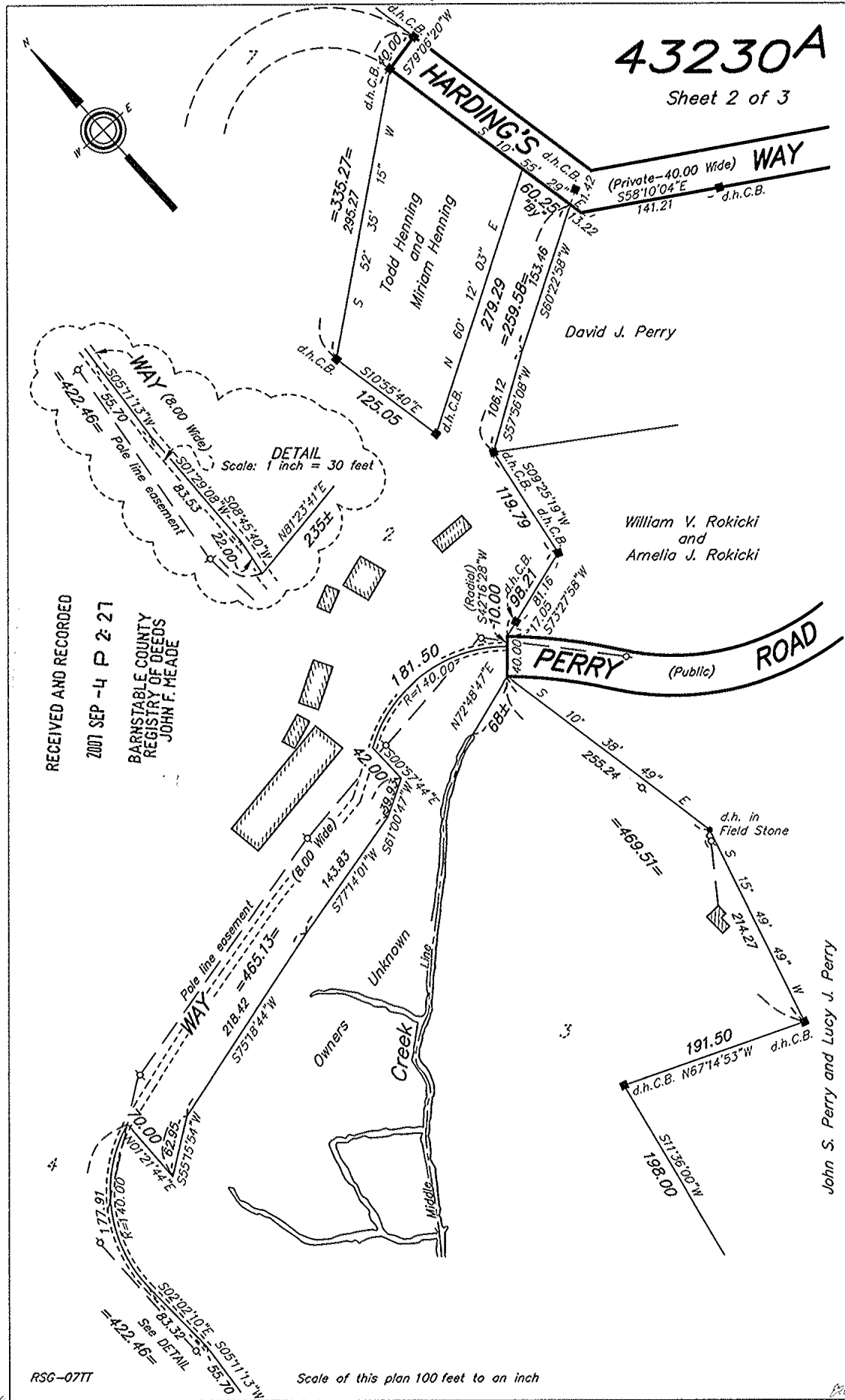
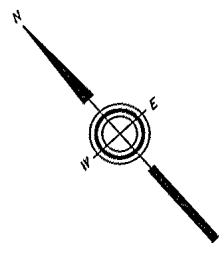
RS6-063J

CH 380 A'66

619-97



43230A
Sheet 2 of 3



619-98

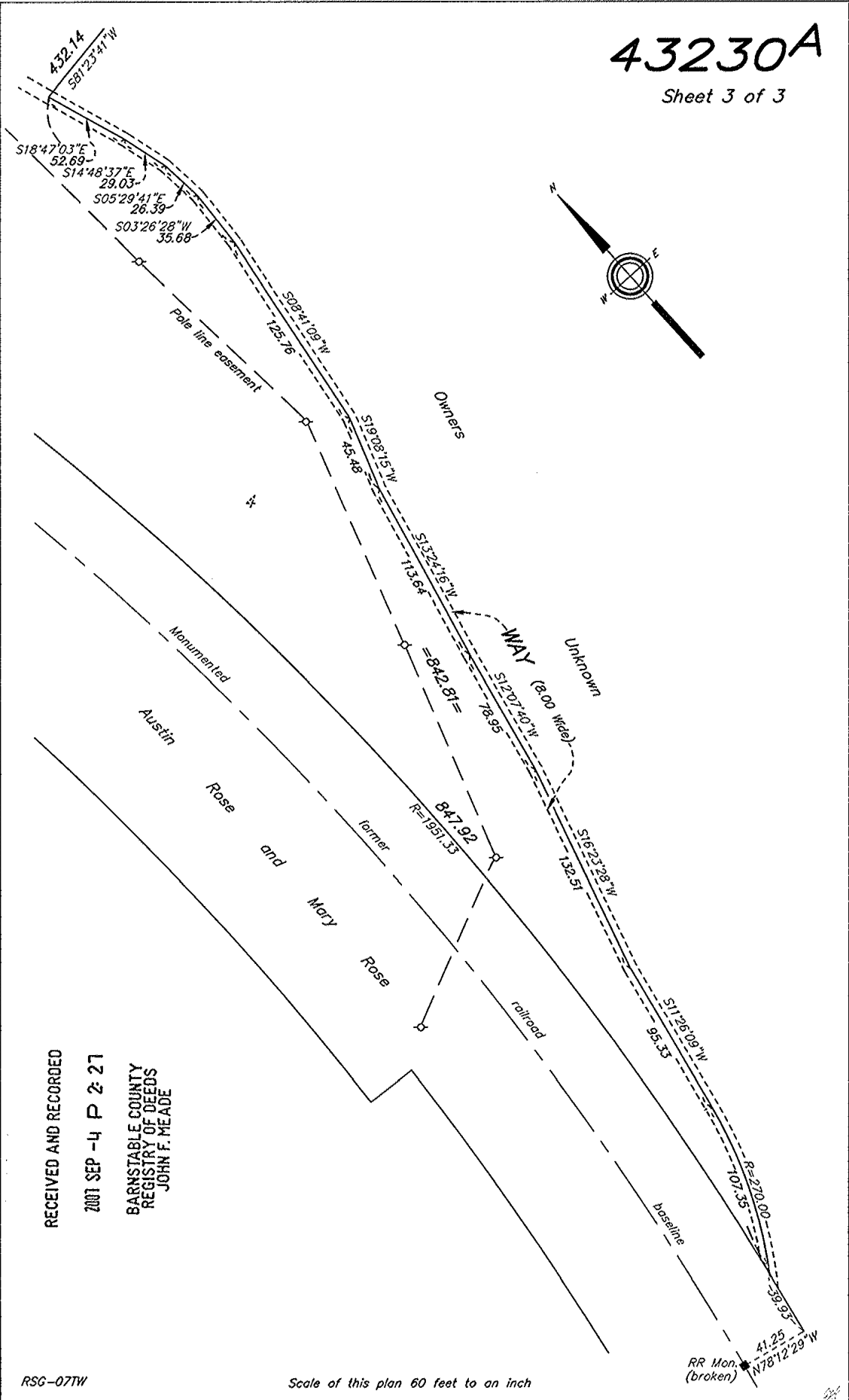
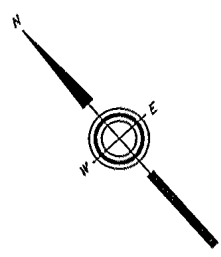
RECEIVED AND RECORDED
2007 SEP -4 P 2 27
BARNSTABLE COUNTY
REGISTRY OF DEEDS
JOHN F. MEADE

RSG-07TT

Scale of this plan 100 feet to an inch

John S. Perry and Lucy J. Perry

43230A
Sheet 3 of 3



619-99

619-99

RECEIVED AND RECORDED
2001 SEP -4 P 2: 21
BARNSTABLE COUNTY
REGISTRY OF DEEDS
JOHN F. MEADE

RSG-07TW

Scale of this plan 60 feet to an inch

L4 320 A'66

RR Mon.
(broken)
41.25
N78°12'29\"/>

PLAN OF LAND IN TRURO

Being a division of LOT 5 as shown in PLAN BK. 596 , PG. 91.

made for _____

STEPHEN R. PERRY & RICHARD B. PERRY

SCALE : 1 IN. = 50 FT.

DEC. 14, 2007

SLADE ASSOCIATES, INC. REG. LAND SURVEYORS

RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667



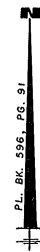
NOTE: ■ = D.H. C.B. FND. UNLESS OTHERWISE NOTED.

RECEIVED AND RECORDED

2007 JUL 14 A 8 27

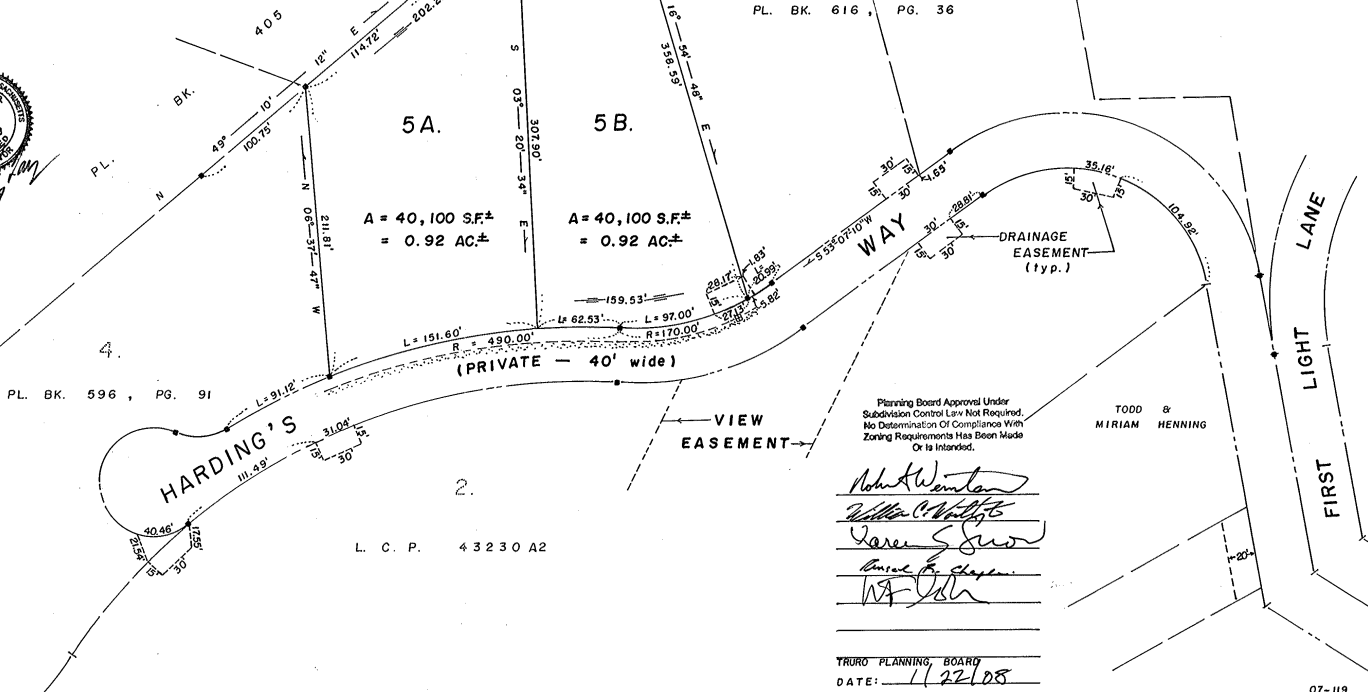
REGISTRY OF DEEDS
JOHN F. MEADE

PL. BK. 213 , PG. 115



FOR REGISTRY USE

I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS IN PREPARING THIS PLAN.
Richard B. Perry
REGISTERED LAND SURVEYOR DATE: 12-11-07



A = 40,100 S.F. ±
= 0.92 AC. ±

A = 40,100 S.F. ±
= 0.92 AC. ±

(PRIVATE - 40' wide)

VIEW EASEMENT

DRAINAGE EASEMENT (typ.)

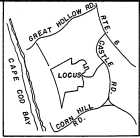
Planning Board Approved Under Subdivision Control Law Not Required. No Determination Of Compliance With Zoning Requirements Has Been Made Or Is Intended.

TODD & MIRIAM HENNING

Robert W. ...
William C. ...
Doreen S. ...
Amel B. ...
W. J. ...

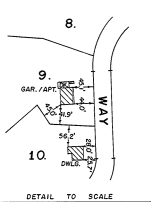
L. C. P. 43230 A2

TRURO PLANNING BOARD
DATE: 11/27/08



ASSESS' MAP 45,
P.L.S. 127 & 131-133
ZONE: RESIDENTIAL

FOR REGISTRY USE



RECEIVED AND RECORDED
MAR 14 11 A 21
REGISTERED DEEDS
OFFICE OF REGISTRY

OWNERS OF RECORD:
STEPHEN R. PERRY
P.O. BOX 1016
TRURO, MA. 02666
RICHARD B. PERRY
76 R BAYBERRY AVE.
PROVINCETOWN, MA. 02657
LUCY J. PERRY
P. O. BOX 127
TRURO, MA. 02666

APPROVED:
[Signature]
TRURO BOARD OF HEALTH
DATE: 12.14.02

APPROVED:
[Signature]
STEPHEN WILLIAMS
DATE: 12.14.02

TRURO PLANNING BOARD
DATE: March 10, 2009
(SEE CONSENT TO BE RECORDED
HEREWITH)

PRELIMINARY APPLICATION: MAR. 11, 2008
" APPROVAL: JUNE 18, 2008
DEFINITIVE APPLICATION: NOV. 4, 2008
" APPROVAL: JAN. 13, 2009

NOTE: NO LOTS MAY BE CONVEYED AND NO BUILDING PERMITS SHALL BE ISSUED BY THE TOWN OF TRURO UNTIL ALL APPLICABLE REQUIREMENTS OF THE RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND HAVE BEEN MET.

THE TRAVELED HDG WITHIN THE EXTENSION OF PERRY ROAD SHOWN HEREON IS A FLAT, WELL GRADED DIRT ROAD BETWEEN 8 AND 10 FT. IN WIDTH. ANY FURTHER DIVISIONS OF LAND OFF PERRY ROAD EXT. SHALL REQUIRE FURTHER UPDATES OF SAID ROAD THIS REQUIRING FURTHER REVIEW AND APPROVALS FROM THE TRURO PLANNING BOARD.

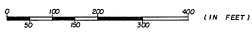
ONCE LOT 9 OR 10, SEPARATE OWNERSHIP, THE APPLICANT MUST APPLY FOR A SHARED SYSTEM APPLICATION WITH 3/4" S.D. TRURO 2.0, OR INSTALL A SEPTIC SYSTEM TO SERVE EACH LOT INDEPENDENTLY.

I, CYNTHIA SUZUKI, Clerk of the Town of Truro, hereby certify that the copies of approval of proposed and recorded at this office and no appeal was received during the twenty day period after each project and recording of said notice.
CYNTHIA SUZUKI, Clerk of the Town of Truro
DATE: 12/23/2009

I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERED DEEDS IN PREPARING THIS PLAN.
STEPHEN R. PERRY
DATE: 6/23/08
REGISTERED LAND SURVEYOR

"DEFINITIVE PLAN"
SUBDIVISION PLAN OF LAND
IN TRURO
made for
STEPHEN R. PERRY,
RICHARD B. PERRY
& LUCY J. PERRY

SCALE: 1 IN. = 100 FT. JUNE 23, 2008*
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02687



LEGEND: ■ = D.J. IN C.B. F.D. UNLESS OTHERWISE NOTED.
-o- = UTILITY POLE
▲ = WETLAND

FLOOD ELEV. DATA: F.I.R.M. ZONE 2A, SH. 7B, JULY 3, 1985.
PERMANENT BOUNDS SHALL BE SET AT ALL ROAD POINTS AND LOT CORNERS, AS APPROPRIATE.

*REVISED: NOV. 10, 2008
DEC. 3, 2008
JAN. 15, 2009

GROSS AREAS
TOT. SUBDIVISION: 1,121,494 S.F.# = 25.75 AC.#
PERRY ROAD (EXT.): 47,762 S.F.# = 1.10 AC.#
TOT. WETLANDS: 228,260 S.F.# = 5.24 AC.#
WITHIN FLOOD PLAIN: 451,600 S.F.# = 10.09 AC.#

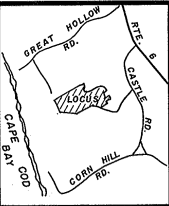
WAIVERS

1. SEC. 3.6.6.0 (DEAD END STREETS) ; to allow the extension of PERRY ROAD approximately 1,120 ft. from the westerly end of the TOWN layout.
2. SEC. 3.7 (RURAL ROAD ALTERNATIVE); to allow the traveled way within the extension of PERRY ROAD to remain as is.



6.23.08

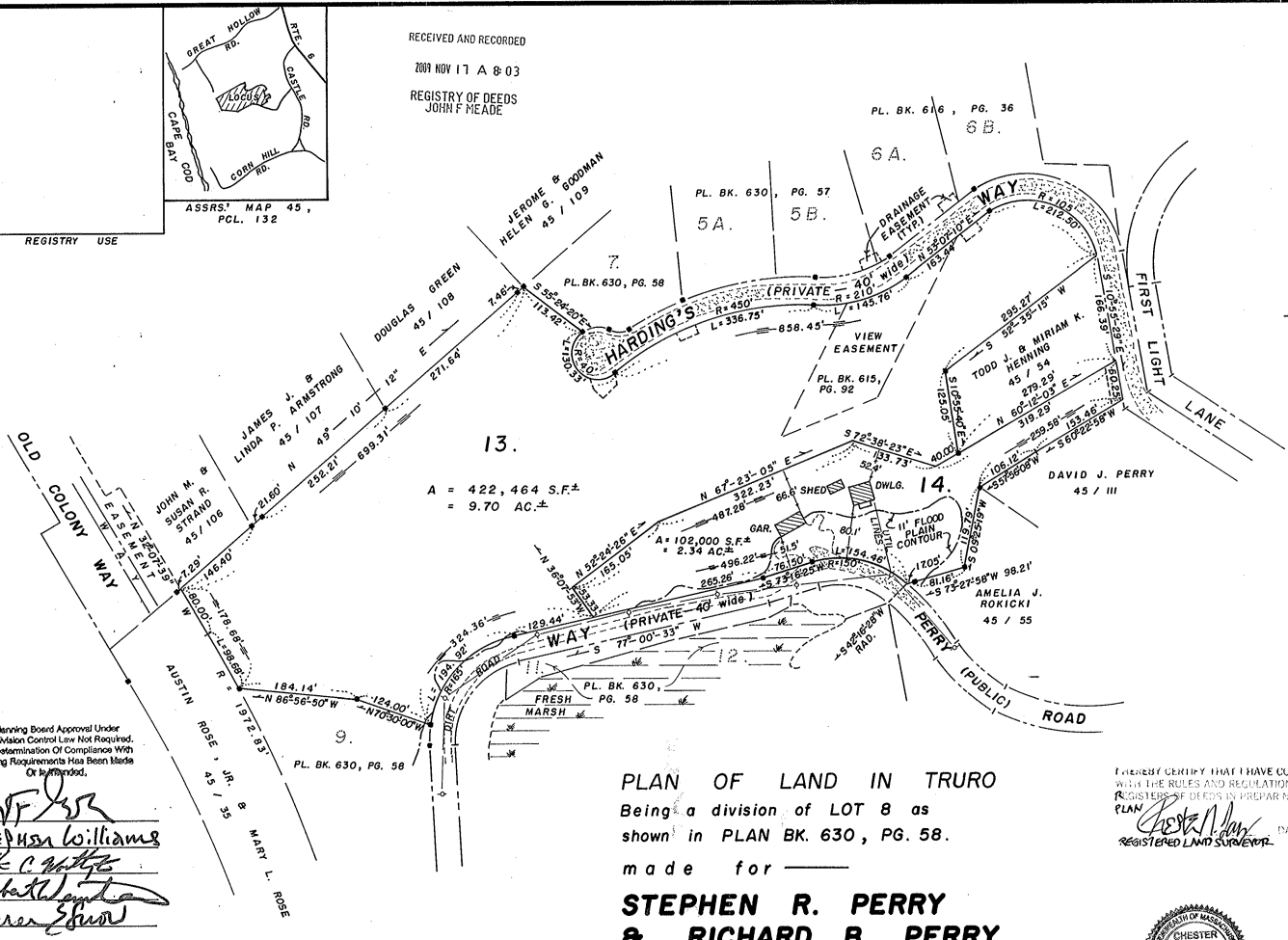
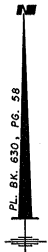
AG



ASSRS. MAP 45, PCL. 132

RECEIVED AND RECORDED
2009 NOV 17 A 8:03
REGISTRY OF DEEDS
JOHN F MEADE

FOR REGISTRY USE



Planning Board Approval Under Subdivision Control Law Not Required. No Determination Of Compliance With Zoning Requirements Has Been Made Or Intended.

W.F. Williams
W.C. Williams
W.C. Williams
W.C. Williams

NOTE: ■ = D.H. IN C.B. FND.

TRURO PLANNING BOARD
DATE: OCT. 13, 2009

PLAN OF LAND IN TRURO

Being a division of Lot 8 as shown in PLAN BK. 630, PG. 58.

made for _____

STEPHEN R. PERRY & RICHARD B. PERRY

SCALE: 1 IN. = 100 FT. SEPT. 2, 2009
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667



I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS IN PREPARING THIS PLAN.
Richard B. Perry DATE: 9/18/09
 REGISTERED LAND SURVEYOR



Richard B. Perry
 9/18/09



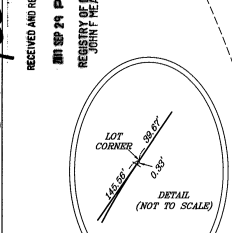
DATE OF PRELIMINARY APPLICATION JUNE 6, 2016
DATE OF PRELIMINARY APPROVAL JUNE 30, 2016
DATE OF DEFINITIVE APPLICATION MAY 22, 2017
DATE OF DEFINITIVE APPROVAL:
DATE OF DEFINITIVE ENDORSEMENT:

I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE BOARD OF SURVEYORS IN PREPARING THIS PLAN.
DATE 8-31-17
REGISTERED LAND SURVEYOR
BK 616 PG 38
LOT 6B

LOCUS IS SHOWN AS PARCEL 144 ON SHEET 46 OF THE TRURO ASSESSORS' ATLAS.

GROSS AREA OF SUBDIVISION = 507,190 SQ. FT. ± = 11.64 AC. ±
AREA OF ROAD = 47,791 SQ. FT. ± = 1.10 AC. ±
PERMANENT MONUMENTS SHALL BE SET AT ALL POINTS OF CURVATURE AND CHANGES IN DIRECTION OF STREET SIDE LINES AND AT ALL LOT CORNERS, AS APPROPRIATE.

RECEIVED AND RECORDED:
SEP 11 10:01
REGISTRY OF DEEDS
JOHN W. HEALE



PLAN NOTES:
PCL. A IS TO BECOME AND REMAIN PART OF LOT 10 AS SHOWN ON A PLAN RECORDED IN BOOK 630, PAGE 58. TO BECOME LOT 10B. TOTAL AREA = 90,720 SQ. FT. ± = 2.085 AC. ±.
PCL. B IS TO BECOME AND REMAIN PART OF PCL. C. TOTAL AREA = 217,800 SQ. FT. ± = 5.00 AC. ±.

ZONING: RESIDENTIAL

CONDITIONAL APPROVAL:

APPROVED WITH THE CONDITION THAT PERRY ROAD IS ADEQUATE ACCESS FOR LOTS 9, 10A, 10B & PCL. 45-132 ONLY. NO NEW LOTS MAY BE CREATED UTILIZING THIS WAY FOR FRONTAGE WITHOUT FURTHER APPLICATION TO THE PLANNING BOARD.

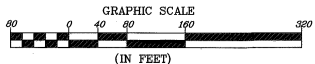
Signatures of town officials: Jason Sallong, John Heenan, Paul Kerwin, Michael W. Rooten, Peter Hurley, [Signature].

NO LOTS MAY BE CONVEYED AND NO BUILDING PERMITS SHALL BE ISSUED BY THE TOWN OF TRURO UNTIL ALL APPLICABLE REQUIREMENTS OF THE RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND HAVE BEEN MET.
I, CYNTHIA SLADE, CLERK OF THE TOWN OF TRURO, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE TRURO PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SUCH NOTICE.

APPROVED:
[Signature]
FOR THE TRURO BOARD OF HEALTH
DATE 9/15/2017

OWNER & APPLICANT:
CLAIRE A. PERRY, TRUSTEE OF THE CLARE A. PERRY LIVING TRUST

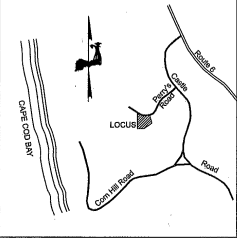
LEGEND:
■ DENOTES BELL HOLE IN CONCRETE MONUMENT FOUND UNLESS OTHERWISE INDICATED.
○ DENOTES UTILITY POLE
----- DENOTES CREEK



- 2.5.2a.6 DRAINAGE CALCULATIONS
2.5.2a.9 TRAFFIC IMPACT STUDY
2.5.2a.10 THREE PROPOSED ROAD NAMES
2.5.5b.1 SUBDIVISION NAME
2.5.2b5 EXISTING & PROPOSED METHODS OF PROVIDING ROAD DRAINAGE & UTILITIES
2.5.2b.10 TOPOGRAPHIC CONTOURS
2.5.2b.16 GRADES, WIDTHS, LOCATIONS, SIGHT DISTANCES, PHYSICAL CONDITION OF EXISTING ROADWAYS
2.5.2b.22 TWO ON-SITE U.S.G.S. BENCHMARKS
2.5.2b.24 ALL INFORMATION REQUIRED ON A PRELIMINARY PLAN
2.5.2b.30 LOCATION OF ALL TREES OF 10" DIA.
2.5.2c. PLAN, PROFILE AND CROSS SECTION
2.5.2.c11 LIMITS OF CLEARING
2.5.2.c15 LANDSCAPE PLAN
2.5.2.c16 EROSION CONTROL PLAN
2.5.9 HOMEOWNERS' ASSOCIATION
3.4 THE SETTING OF THE MONUMENT AT THE EAST SIDE OF THE CURVE-SAC AS THIS IS IN AN AREA CURRENTLY UNDER CULTIVATION AND IS CONSTANTLY FLOWED. ALSO THE SETTING OF MONUMENTS AT THE ANGLE POINTS IN THE EASTERLY PROPERTY LINE (WITH THE EXCEPTION OF THE MOST SOUTHERLY CORNER OF LOT 9) AS THIS LINE IS DEFINED BY THE CENTER LINE OF THE ROAD.
4.1 CONSTRUCTION OF CIRCULAR TURNAROUND
4.1.1 4' SHOULDER
4.2 DRAINAGE

DEFINITIVE SUBDIVISION PLAN OF LAND IN TRURO
SHOWING A SUBDIVISION OF LOTS 3A, 10 & 12 AS SHOWN ON A PLAN RECORDED IN PLAN BOOK 630, PAGE 58.
CLAIRE A. PERRY
SCALE 1"=80'
SLADE ASSOCIATES, INC., REGISTERED LAND SURVEYORS
10 PINE POINT ROAD, WELLSFLEET, MA 02667
"REVISED 06/12/17
REVISED 08/31/17
508-349-9110 PLAN #2016-45





I hereby certify that this plan was prepared in accordance with the Rules and Regulations of the Registers of Deeds.

Donald T. Poole PLS #32862

Date Dec 13, 2017



APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

Date: Dec 20, 2017

Pete Hernandez
John Deane
John Deane

Note: Planning Board endorsement of this plan indicates only that the plan is not a subdivision under MGL Chp. 41, Sec 81-L, and does not indicate that a lot is buildable or that it meets Zoning, Health, or General Bylaw requirements.

For Registry Use

LOCUS MAP (not to scale)
 ASSESSORS MAP #45, PARCEL 136

PERRY'S ROAD - Undefined Public Way 50' Wide

$R = 308.67'$
 $A = 320.79'$

$R = 500.00'$
 $A = 47.65'$

$R = 308.67'$
 $A = 218.44'$

$A = 102.35'$

$N 65^{\circ}03'20'' W$
 284.00'

$N 41^{\circ}42'22'' E$
 393.145'

$N 77^{\circ}59'33'' E$
 214.89'

$N 72^{\circ}38'55'' W$
 255.75'

$N 41^{\circ}42'22'' E$
 220.88'

$N 65^{\circ}03'20'' W$
 192.67'

$N 41^{\circ}42'22'' E$
 393.145'

$N 77^{\circ}59'33'' E$
 214.89'

$N 72^{\circ}38'55'' W$
 255.75'

Alfred W. Fehiau
 17 Resolution Road
 Deed Book 30171, Page 314
 Lot 10, Plan Book 212, Page 45

Alfred W. Fehiau
 17 Resolution Road
 Deed Book 30171, Page 314
 Lot 10, Plan Book 212, Page 45

Lot 1
 93,675± Sq.Ft.
 2.15± Acres

Victor Degruittola & Robert Litwick
 15 Resolution Road
 Deed Book 11864, Page 335
 Lot 16, Plan Book 459, Page 30

Samuel Kaffrisen & Jeanne Berkman
 13 Resolution Road
 Deed Book 11813, Page 54
 Lot 19, Plan Book 459, Page 30

John J. Criticos & Molly Ward
 8 Resolution Road
 Deed Book 12689, Page 148
 Lot 21, Plan Book 459, Page 30

Allyson T. McCabe, Trustee
 11 Resolution Road
 Deed Book 23595, Page 67
 Lot 20, Plan Book 459, Page 30

Howard Karen & Edward G. Christie
 7 Resolution Road
 Deed Book 8409, Page 64
 Lot 22, Plan Book 459, Page 80

Jeffery B. Segal & Bonnie J. Lipeles
 10 Perry's Road
 Deed Book 22238, Page 156
 Lot 2, Plan Book 606, Page 100

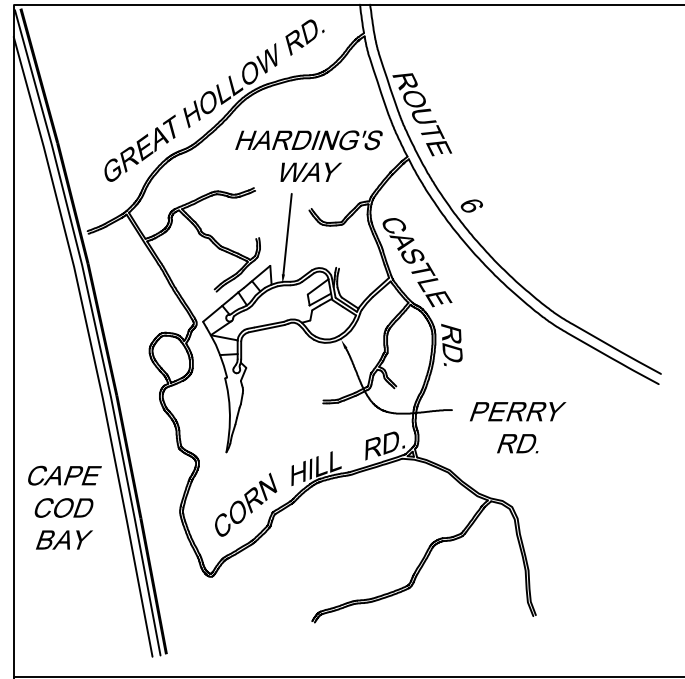
Joe F. Pryse & Beth A. Worell
 5 Resolution Road
 Deed Book 28862, Page 39
 Lot 23, Page 459, page 30

RECEIVED AND RECORDED
 2018 APR 14 A 9 04
 REGISTRY OF DEEDS
 JOHN F. HEALD

Plan of Land
 Perry's Road, Truro MA
 Being a Division of Lot 1 Plan Book 606,
 Page 100
 Prepared for
 Claire A. Perry,
 Deed Book 25515, Page 20
 Scale 1"=50' Dec. 11, 2017
 o/s#664001



674.90



LOCUS MAP (not to scale)
ASSESSORS MAP 45, PARCEL 131

For Registry Use

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
Date: _____

Note: Planning Board endorsement of this plan indicates only that the plan is not a Subdivision under MGL Chap. 41, Sec 81-L, and does not indicate that a lot is buildable or that it meets Zoning, Health, or General Bylaw requirements.

I hereby certify that this plan was prepared in accordance with the Rules and Regulations of the Registers of Deeds.

Donald T. Poole PLS #32662

Date _____

James J Armstrong tr 12-23-05
trs. James & Linda Armstrong
Assessor's Pcl 045-107

Raj & Meena Rajgopal
Assessor's Pcl 045-106

Rose Investment Trust
trs. Austin L Jr & Mary L Rose
Assessor's Pcl 045-35

Scott W Perry
Assessor's Pcl 045-143

Douglas Green
Assessor's Pcl 045-108

Goodman Family Nominee trust
trs. Helen G & Ethan M Goodman
Assessor's Pcl 045-109

Stephen R Perry living trust &
Perry Family LTD Partnership
Assessor's Pcl 045-141

Perry Family LTD Partnership
Richard B Perry et al gen part
Assessor's Pcl 045-132

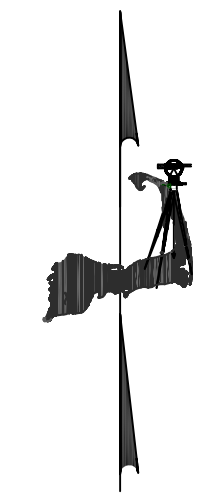
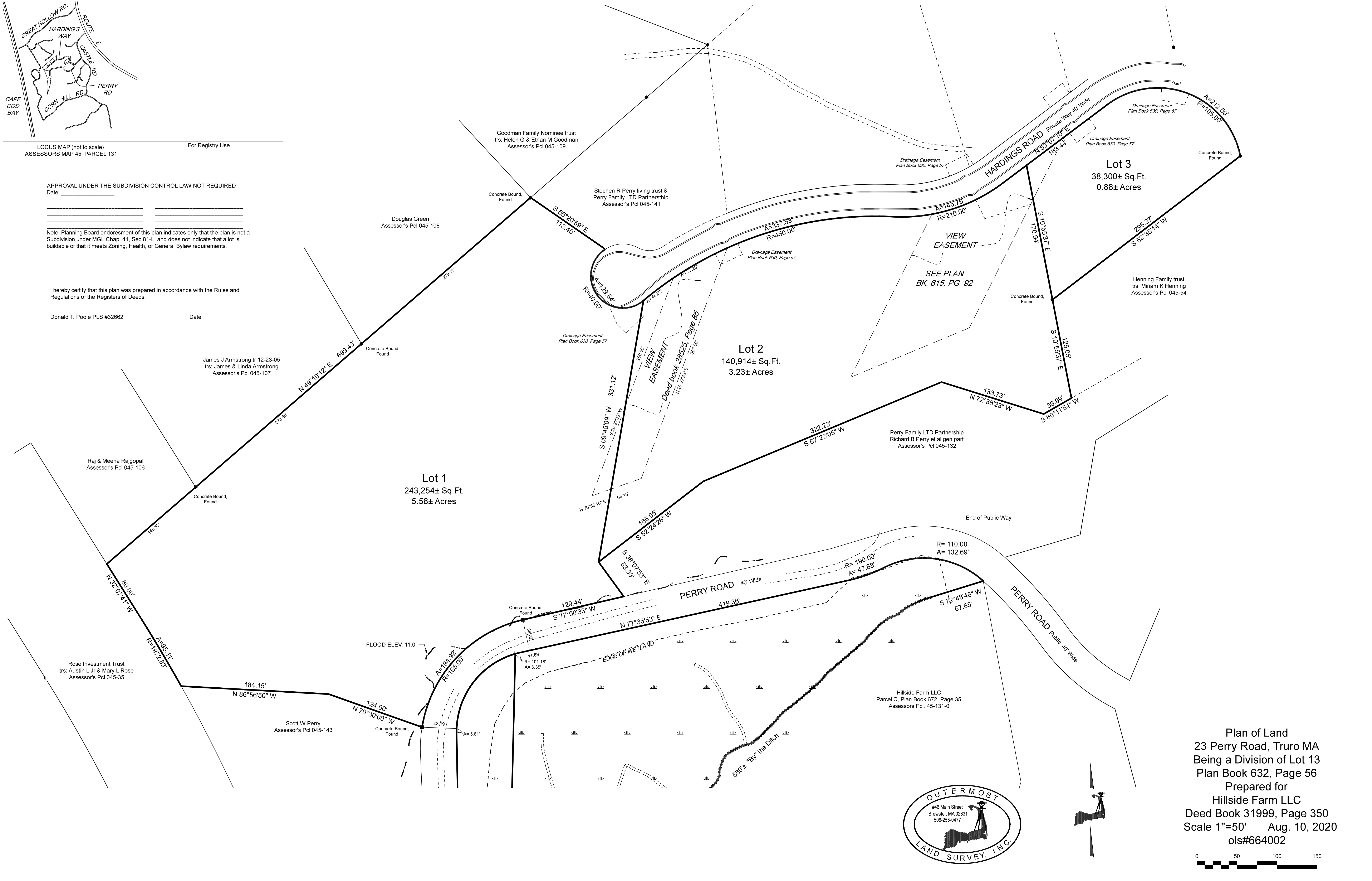
Hillside Farm LLC
Parcel C, Plan Book 672, Page 35
Assessor's Pcl. 45-131-0

Henning Family trust
trs. Miriam K Henning
Assessor's Pcl 045-54

Lot 1
243,254± Sq.Ft.
5.58± Acres

Lot 2
140,914± Sq.Ft.
3.23± Acres

Lot 3
38,300± Sq.Ft.
0.88± Acres



Plan of Land
23 Perry Road, Truro MA
Being a Division of Lot 13
Plan Book 632, Page 56
Prepared for
Hillside Farm LLC
Deed Book 31999, Page 350
Scale 1"=50' Aug. 10, 2020
ols#664002





TOWN OF TRURO

Assessors Office Certified Abutters List Request Form

DATE: _____

NAME OF APPLICANT: _____

NAME OF AGENT (if any): _____

MAILING ADDRESS: _____

CONTACT: HOME/CELL _____ EMAIL _____

PROPERTY LOCATION: _____
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP _____ PARCEL _____ EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | Planning Board (PB) | Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | (Fee: Inquire with Assessors) | |
- (Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: _____ Date completed: _____

List completed by: _____ Date paid: _____ Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.