

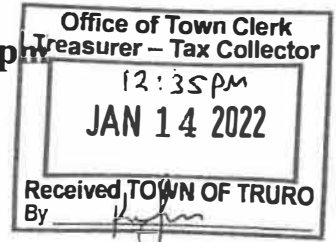


# Truro Planning Board Agenda

## Remote Meeting

Wednesday, January 19, 2022 – 5:00 pm

[www.truro-ma.gov](http://www.truro-ma.gov)



### Open Meeting

This will be a remote public meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website ([www.truro-ma.gov](http://www.truro-ma.gov)). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment by entering the meeting link; clicking on the Agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free at **1-866-899-4679** and entering the access code **805-529-477#** when prompted. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing Barbara Carboni, Town Planner and Land Use Counsel, at [bcarboni@truro-ma.gov](mailto:bcarboni@truro-ma.gov).

Meeting link: <https://global.gotomeeting.com/join/805529477>

### Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

#### 1. Planner Report

#### 2. Chair Report

### Public Hearing

**2021-003/SPR – Ivan J. and Kevin Becica** for property located at 38 Longnook Road (Atlas Map 43, Parcel 120, Registry of Deeds title reference: Book 33638, Page 171). Applicant seeks a Residential Site Plan Review under §70 of the Truro Zoning Bylaw for the demolition of an existing single-family dwelling and detached garage, and construction of a new single-family dwelling and detached garage with second floor 2-bedroom suite.

**2021-006/SPR – Victor M. Rivera and Laura W. Bergan, Trs., The Rivera Bergan Family Trust** for property located at 82 South Pamet Road (Atlas Map 51, Parcel 57, Registry of Deeds title reference: Book 34393, Page 200). Applicant seeks a Residential Site Plan Review under §70 of the Truro Zoning Bylaw for the demolition of existing structures and construction of a new house, garage, shed and site restoration/mitigation in the Seashore District.

**3. Potential Bylaws for 2022 ATM**

- ◆ Street Definition
- ◆ Potential Housing Articles
- ◆ Mean Ground Level; Fill
- ◆ Lot Coverage/Carbon Sequestration
- ◆ Other

**4. Vote on Planning Board Report for Annual Town Report (attached)**

**Minutes**

- ◆ February 3, 2021
- ◆ June 16, 2021
- ◆ December 1, 2021

**Next Meeting** – Wednesday, February 9, 2022 at 5:00 pm

**Adjourn**



## MEMORANDUM

To: Truro Planning Board

From: Barbara Carboni, Town Planner and Land Use Counsel

Date: January 17, 2022

Re: January 19, 2022 meeting – 38 Longnook Road (Residential Site Plan Review)  
82 South Pamet Road (Residential Site Plan Review)

---

**2021-003/SPR – Ivan J. and Kevin Becica, for property located at 38 Longnook Road, (Map 43, Parcel 120).** Applicants seek Residential Site Plan Approval under Section 70.4 of the Truro Zoning Bylaw for demolition of existing structures and construction of a new house, garage with living area, and other improvements.

### I. Existing Conditions and Proposed Project

38 Longnook Road is a 1.06-acre parcel in the Seashore District, nonconforming as to area (3 acres required) and conforming as to frontage. The lot has a long, triangular shape, narrowing from its 193.08 feet of frontage on Longnook to a point at the rear. Old King's Highway runs along its western boundary. The existing single-story dwelling contains 1,248 square feet, and is located 27.6 feet from Longnook Road (nonconforming, where 50 feet required), and 90 feet (conforming) from Old Kings Highway. The side yard setback is conforming at 33.8 feet from the eastern boundary. A garage is located to the north of the dwelling. There are single family houses on adjacent and other neighboring parcels; other neighboring land is owned by the National Seashore.

The Applicant proposes to build a new dwelling, and a garage with second floor living space. The dwelling will be located 38 feet from Longnook Road (nonconforming, but lawfully so due to preexisting nonconforming structure); 50 feet from Old King's Highway (conforming); and 49.4 feet from the eastern boundary (conforming). The house will contain Gross Floor area of 2,266 square feet. See Sheet A-110, lower right. A garage will be constructed behind the house, at a conforming side setback of 25.5 feet to the eastern boundary. The first floor of the garage will contain a workshop, and the second story will include two bedrooms, bath and a living room. See Floor Plan – Garage, Sheet A-111. A deck will be located on the north side of the garage. The Gross Floor Area of the garage living space is 920 square feet. See Sheet A-111, lower right. The total proposed Gross Floor Area is 3,186 square feet. See Table on Site Plan, Sheet A-100. This is compliant with the 3200 square foot limit applicable to the 1.06 acre parcel. No new zoning nonconformities are created.

A driveway, small parking area near the house, and larger parking area adjacent to the garage are proposed. See Site Plan, Sheets A-100, A-101. A Landscape Plan with intended new and reused plantings is included in the Site Plans. See Sheet A-102. A swale is proposed in the area between the garage and house, flowing in a southwesterly direction. See Site Plan, Sheets A-100 and A-101. The septic system will remain in the same or nearly the same location. See Site Plan, Sheet A-100.

### II. Other Permitting/Approvals

Historical Commission. Pursuant to Chapter VI, Section 5 of the General Bylaws, the Building Commissioner, upon receiving an application for demolition of the structures on the property, referred the application to the Historical Commission. As the buildings are over 75 years in age, they were deemed “significant” under Section 6-5- 2 of the Bylaw and subject to the Commission’s hearing process. Following a hearing held June 24, 2021, the Commission found that the buildings were not “preferably preserved” and imposed no demolition delay.

Zoning Board of Appeals. A special permit is required under G.L. c. 40A, s. 6 and Section 30.7 of the Zoning Bylaw for reconstruction of a dwelling on this nonconforming lot. **An application has been filed and will be heard by the ZBA on January 24, 2022.**

NHESP. An email dated October 8, 2021 from the Natural Heritage and Endangered Species Program, Division of Fisheries and Wildlife, states that the project will not occur within Estimated or Priority Habitat, and therefore need not be reviewed by the Division.

Other. The Building Commissioner has provided comments in an email dated January 5, 2022, noting Code requirements for egress and fire safety applicable to the garage.

### **III. Completeness of Application/Clarifications Needed**

The height of the proposed dwelling and garage should be clarified. Elevations indicate a house roof height of 45 feet 7 inches (see A-200) and garage roof height of 55 feet 1/8 inch (see A-210).

Otherwise, the Application is complete and the Review Criteria thoroughly addressed.

### **IV. Application of Review Criteria**

As the Board is aware, Section 70.4.D provides that:

“It is the intent of Residential Site Plan Review that all new construction, shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods.”

The Board’s evaluation is based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development shall relate to the existing terrain and lot, and shall provide a solar and wind orientation which encourages energy conservation.
2. Building Design and Landscaping. Proposed development shall be consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques.
3. Preservation of Landscape. The landscape shall be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil.
4. Circulation. Curb cuts and driveways shall be safe and convenient and shall be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro.

5. Lighting. Lighting shall be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There shall be protection of adjacent properties and the night sky from intrusive lighting.”

The Board may impose “reasonable conditions” in its approval of the Site Plan. See Section 70.4.E. Pursuant to Section 70.7, where a special permit is required for the project “the Planning Board shall forward its findings and recommendations to the Board of Appeals.”

**2021-006/SPR –Victor M Rivera and Laura W. Bergan, Trustees, Rivera Bergan Family Trust, for property located at 82 South Pamet Road (Map 51, Parcel 57).** Applicants seek Residential Site Plan Approval under Section 70.4 of the Truro Zoning Bylaw for demolition of existing structures and construction of a new house, garage and other improvements.

### **I. Existing Conditions and Proposed Project**

82 South Pamet Road is a 2.92 acre (nonconforming) parcel in the Seashore District with conforming frontage (263 feet) on South Pamet Road. The existing dwelling contains 1,234 square feet and has conforming front (73 feet) and side yard (70 feet) setbacks. Several outbuildings, including a garage, are located northwest of the house; a shed is located northeast (all conforming to setback requirements). The property backs up to the Pamet River. There are single family houses on adjacent and other neighboring parcels; other neighboring land is owned by the National Seashore.

The Applicant proposes to build a new dwelling, garage, and shed in roughly the center of the lot. The house will be located 219 square feet from South Pamet Road, with the closest structure to the side lot line (the shed) at 33.1 feet. The dwelling is proposed at two and half stories, with decks, porches, and a greenhouse. The height of the proposed dwelling<sup>1</sup> is identified as 29 feet 8 inches on the Site Plan; 29 feet 11 inches on elevations, Sheet A-2.1; and 30’ “Max Building Height” on the plan set cover sheet.

The garage appears on the plan set cover page and sheet A-2.1 to have a second story, but no floor plans, dimensions, or intended use of such area is indicated. The proposed Gross Floor Area is identified on the Site Plan at 3,857 square feet in total; it is not clear if this figure includes living area, if any, on the second floor of the garage. In any event, this exceeds the maximum Seashore Gross Floor Area and will require a special permit from the Zoning Board of Appeals under Section 30.3.1.A.2. No additional Zoning nonconformities are created.

A cesspool will be removed and septic system installed; a new driveway will be constructed to the east of the current one, serving the new house and garage.

### **II. Other Permitting/Approvals**

Conservation Commission. An Order of Resource Area Delineation, identifying boundaries of Bordering Vegetated Wetlands (BVW) and Coastal Bank was issued by the Conservation Commission on May 13, 2021. See pages 73-77 of application. A Notice of Intent for the project work was submitted to the Commission on May 19, 2021, due to work within buffer areas to BVW and Coastal Bank. An Order of Conditions issued on July 30, 2021, imposing standard

---

<sup>1</sup> Height of existing dwelling not indicated on in Table of Dimensional Requirements.

conditions and approving a mitigation plan, including planting of native shrubs and saplings.. See pp. 55-70 of application.

Historical Commission. Pursuant to Genera Bylaw Chapter VI, Section 5, the Building Commissioner, upon receiving an application for demolition of the structures on the property, referred the application to the Historical Commission. As the building or buildings are over 75 years in age, they were deemed “significant” under Section 6-5- 2 of the Bylaw, and subject to review by the Commission “to determine if the intended demolition or any alternative construction would be detrimental to the historical, cultural, or architectural heritage of the Town; if less than a complete demolition is proposed, whether the work will materially diminish the building or structure's significance to the Town's heritage; and to explore the alternatives to demolition.” **Public hearing by the Commission on the proposal is scheduled for January 31, 2022.** Pursuant to Section 6-5-5, the Commission will determine whether the building(s) are “preferably preserved.” The Commission has the authority to impose a demolition delay of up to 12 months.

Zoning Board of Appeals. As noted above, construction of the project as proposed will require a special permit from the ZBA for Gross Floor Area exceeding the maximum allowed in the Seashore District. **An application has been filed and will be heard by the ZBA on January 24, 2022.**

NHESP. A “no take” letter was issued with respect to the project by the Natural Heritage and Endangered Species Program, Division of Fisheries and Wildlife, by letter dated June 23, 2021. See pp. 71-72 of application.

### **III. Completeness of Application/Clarifications Needed**

- The height of the proposed dwelling (and garage) should be clarified.
- The dimensions and proposed use of the second floor of the garage should be provided. (The applicants will be required to provide this information for the ZBA hearing, as the calculation of Gross Floor Area includes living space in accessory buildings.).
- The submission Addressing the Review Criteria states that:

“The applicants do not propose any new curb cuts. They propose extending the existing driveway approximately 80’ to a new garage. The existing curb cut and existing driveway and proposed extension will provide safe and convenient access to the property . . . “

The safety of access does not appear at issue, but the Site Plan indicates that the existing drive is “to be abandoned” and a new curb cut established to the east of the existing one. This might be clarified.

Otherwise, the Application is complete and the Review Criteria sufficiently addressed.

### **IV. Application of Review Criteria [see above]**

Again, the Board may impose “reasonable conditions” in its approval of the Site Plan, and, where a special permit is required for the project as described above, “the Planning Board shall forward its findings and recommendations to the Board of Appeals.” Section 70.7.

**From:** [McKean, Lauren](#)  
**To:** [Elizabeth Sturdy](#)  
**Cc:** [Barbara Carboni](#)  
**Subject:** Wednesday Planning Board hearings - 38 Longnook and 82 South Pamet  
**Date:** Wednesday, January 19, 2022 4:06:14 PM

---

Liz,

Please share the national seashore's comments with the Planning Board.

Overall, we prefer that the pre-existing homes are renovated versus being demolished, preserving the original character of properties within the National Seashore district.

For both projects because new accessory structures are proposed with living space, it would be helpful to have a definitive statement from the Planning Board that only one single-family dwelling is authorized on the property.

We have no specific comment on the 38 Longnook Road project.

There is lack of clarity on the 82 South Pamet Road proposal concerning the garage, so we reserve comment at this time concerning the Planning Board and ZBA special permit issues.

Sincerely,  
Lauren

Lauren McKean, AICP  
Park Planner  
Cape Cod National Seashore  
508-957-0731

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.





**From:** [Rich Stevens](#)  
**To:** [Elizabeth Sturdy](#); [Emily Beebe](#); [Arozana Davis](#); [Lynne Budnick](#)  
**Cc:** [Barbara Carboni](#)  
**Subject:** RE: Review of Planning Board Applications prior to 1/19 meeting  
**Date:** Wednesday, January 5, 2022 2:01:18 PM  
**Attachments:** [image001.png](#)

---

Good Afternoon Liz,

No comment on either PB or ZBA applications for 82 South Pamet.

Comments for both PB and ZBA on 38 Long Nook Road :

1. Not sure the minimum lot size is applicable here as footnote # 2 of the area and height regulations might exempt this lot.
2. Entire 1<sup>st</sup> floor area of garage to be 5/8" fire code drywall or equivalent.
3. Rated fire door from garage area to stairs to 2<sup>nd</sup> floor.
4. Will need stairs to grade from 2<sup>nd</sup> floor deck as a 2<sup>nd</sup> means of egress.

That is it.

Thank you as always,

Rich

---

**From:** Elizabeth Sturdy <ESturdy@truro-ma.gov>  
**Sent:** Tuesday, January 4, 2022 11:31 AM  
**To:** Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens <rstevens@truro-ma.gov>; Arozana Davis <ADavis@truro-ma.gov>; Lynne Budnick <LBudnick@truro-ma.gov>  
**Cc:** Barbara Carboni <bcarboni@truro-ma.gov>  
**Subject:** Review of Planning Board Applications prior to 1/19 meeting

Emily, Rich, Zana, Lynne:

The attached applications for Planning Board Residential Site Plan Review will be on the January 19 Planning Board Agenda. Please get back to me with any comments you may have, or not. Appreciate any and all input.

Let me know if you have any questions. Thanks,

Liz

*Elizabeth Sturdy*

Elizabeth Sturdy, Office Assistant  
Truro Town Hall  
24 Town Hall Road, P.O. Box 2030  
Truro, MA 02666  
Tel: (508) 214-0935  
Fax: (508) 349-5505  
Email: [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov)

## Elizabeth Sturdy

---

**From:** Emily Beebe  
**Sent:** Tuesday, January 18, 2022 4:52 PM  
**To:** Elizabeth Sturdy  
**Cc:** Arozana Davis  
**Subject:** RE: Review of Planning Board Applications prior to 1/19 meeting

Good afternoon Liz,

This property is just shy of a full acre and is developed with a 3 bedroom dwelling and garage-both are slated to be removed and replaced with a main house (1 BR = office = 2 bedroom) and a garage with an apartment above at 2BR.

Truro Board of Health regulations require a 1978 code septic system to be upgraded to current title 5 standards upon tear-down of a structure.

We are waiting for upgrade design plans to address the proposed use. Health signoff on the building permit will be pending approval of those design plans, and completion of the upgrade is required prior to occupancy of the new structures.

There are no wetlands associated with this site.

Thanks very much,  
Emily

**From:** Elizabeth Sturdy  
**Sent:** Tuesday, January 4, 2022 11:31 AM  
**To:** Emily Beebe <[EBeeBe@truro-ma.gov](mailto:EBeeBe@truro-ma.gov)>; Rich Stevens <[rstevens@truro-ma.gov](mailto:rstevens@truro-ma.gov)>; Arozana Davis <[ADavis@truro-ma.gov](mailto:ADavis@truro-ma.gov)>; Lynne Budnick <[LBudnick@truro-ma.gov](mailto:LBudnick@truro-ma.gov)>  
**Cc:** Barbara Carboni <[bcarboni@truro-ma.gov](mailto:bcarboni@truro-ma.gov)>  
**Subject:** Review of Planning Board Applications prior to 1/19 meeting

Emily, Rich, Zana, Lynne:

The attached applications for Planning Board Residential Site Plan Review will be on the January 19 Planning Board Agenda. Please get back to me with any comments you may have, or not. Appreciate any and all input.

Let me know if you have any questions. Thanks,

Liz

*Elizabeth Sturdy*

Elizabeth Sturdy, Office Assistant  
Truro Town Hall  
24 Town Hall Road, P.O. Box 2030  
Truro, MA 02666  
Tel: (508) 214-0935  
Fax: (508) 349-5505  
Email: [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov)



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR RESIDENTIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date December 5, 2021

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw **completeness review**
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw  
(Note: *Site Plan Review shall not be waived in the Seashore District*)

### 1. General Information

Description of Property and Proposed Project Demolition of an existing single family dwelling and detached garage and construction of a new SFD and detached garage w/second floor 2 bedroom suite

Property Address 38 Long Nook Road Map(s) and Parcel(s) 43-120

Registry of Deeds title reference: Book 33638, Page 171, or Certificate of Title Number \_\_\_\_\_ and Land Ct. Lot # \_\_\_\_\_ and Plan # \_\_\_\_\_

Applicant's Name Ivan J Becica and Kevin Becica

Applicant's Legal Mailing Address 12 Coles Ave., Cherry Hill NJ 08002

Applicant's Phone(s), Fax and Email 609-315-5040, ijbpe82@gmail.com

Applicant is one of the following: (please check appropriate box)

\*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer\*
- Other\*

Owner's Name and Address Applicant

Representative's Name and Address NA

Representative's Phone(s), Fax and Email NA

**2. Waiver(s) Request** – The Planning Board may, upon the request of the applicant, pursuant to §70.4.F, waive requirements of §70.4.C, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

### Signature(s)

Ivan J Becica and Kevin Becica

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Ivan J Becica Kevin Becica  
Applicant(s)/Representative Signature(s)

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.



**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

<b>Address:</b> 38 Long Nook Road		<b>Applicant Name:</b> Ivan J Becica and Kevin Becica		<b>Date:</b> 12-05-2021	
<b>No.</b>	<b>Requirement</b>	<b>Included</b>	<b>Not Included</b>	<b>Explanation, if needed</b>	
<b><u>C. Procedures and Plan Requirements</u></b>					
1a.	An original and 14 copies of the Application for Site Plan Review	X			
1b.	15 copies of the required plans and other required information including this Checklist	X			
1c.	Completed Criteria Review	X			
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	X			
1e.	Applicable filing fee	X			
2a.	Site Plans shall be prepared, stamped and signed by a Registered Land Surveyor and Professional Engineer	X			
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	X			
3	Site Plan shall include the following:	X			
3a. 1	North Arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	X			
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed conditions. This information shall be placed in a table format which must list all setbacks; percent of lot coverage, broken out between building, pavement, landscape coverage, etc.; number of buildings; total amount of square feet; and any other applicable zoning information necessary for the proper review of the site plan.	X			
	<u>Existing:</u>	X			
	All setbacks	X			
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	X			
	Number of buildings	X			
	Total number of square feet	X			
	Any other applicable zoning information necessary for the proper review of the site plan	X			

## 70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant

<b>Address:</b> <u>38 Long Nook Road</u>		<b>Applicant Name:</b> <u>Ivan J Becica and Kevin Becica</u>		<b>Date:</b> <u>12-05-2021</u>	
No.	Requirement	Included	Not Included	Explanation, if needed	
	Proposed:	X			
	All setbacks	X			
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	X			
	Number of buildings	X			
	Total number of square feet	X			
	Any other applicable zoning information necessary for the proper review of the site plan	X			
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	X			
3a. 4	Graphic Scale	X			
3a. 5	Title Block - Including:	X			
	name and description of the project;	X			
	address of the property;	X			
	names of the record owner(s) and the applicant(s); and	X			
	date of the preparation of the plan(s) and subsequent revision dates	X			
3a. 6	Legend of All Symbols	X			
3a. 7	Property boundaries, dimensions and lot area	X			
3a. 8	Topography and grading plan	X			
3a. 9	Location, including setbacks of all existing and proposed buildings and additions	X			
3a. 10	Septic system location	X			
3a. 11	Location of (as applicable):	X			
	wetlands	NA			
	the National Flood Insurance Program flood hazard elevation, and	X			
	Massachusetts Natural Heritage Endangered Species Act jurisdiction	X			
3a. 12	Driveway(s) and driveway opening(s)	X			
3a. 13	Existing and proposed lighting	X			
3a. 14	Existing landscape features both vegetative and structural	X			
3a. 15	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s)	X			

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

<b>Address:</b> <u>38 Long Nook Road</u>		<b>Applicant Name:</b> <u>Ivan J Becica and Kevn Becica</u>		<b>Date:</b> <u>12-05-2021</u>	
No.	Requirement	Included	Not Included	Explanation, if needed	
<b>Architectural Plans</b>					
3b.	Architectural plans with all dimensions at a scale of no less than 1/8" = 1'-0", including: elevations floor plans	X X X			
3c.	<b>Lighting</b> specification, including style and wattage(s)	X			
<b>Neighborhood Context:</b>					
3d.	Photographs or other readily available data concerning the location and size of buildings on lots adjacent to or visible from the lot under consideration in order to provide a neighborhood context for the property under consideration	X			
3e.	<b>Re-vegetation/Landscaping plan</b> , including both vegetative and structural features	X			

**TRURO ASSESSOR'S INFORMATION**

PARCEL ID: 43-120-0  
 MAP 43, PARCEL 120  
 DEED BOOK 33638, PAGE 171, PLAN BOOK 467, PAGE 25  
 ADDRESS: 38 LONG NOOK RD  
 NEIGHBORHOOD: NATIONAL SEASHORE

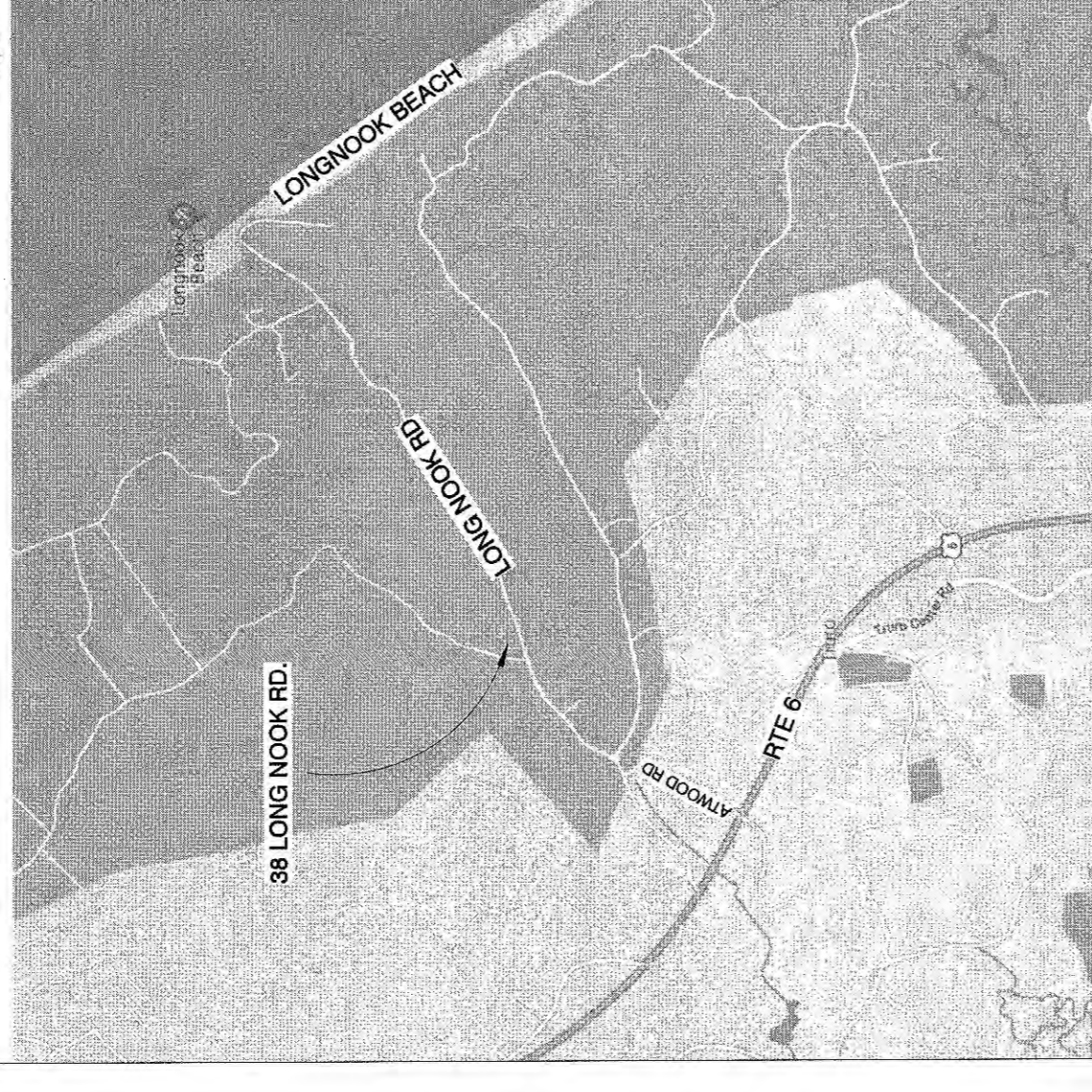
**FIRM INFORMATION**

NATIONAL FIRM FLOOD HAZARD ELEVATION: 11 FT  
 PROPERTY AREA OF DISTURBANCE ELEVATION: 18 FT - 32 FT  
 FIRMETTE PRINTED 9/25/21 SUBMITTED W/ PLANNING APPLICATION.

**MESA JURISDICTION**

EXEMPT

**LOCATION PLAN**



STUDIO OXEYE  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2567  
 hello@studiooxeye.com

Project Architect:  
**GENIFER E MIRONZ**  
 CA Licensed Architect # C-95807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.



TEMPORARY PERMIT MASSACHUSETTS 800  
 JUAN J BEGICA, P.E. DATE 12/1/21

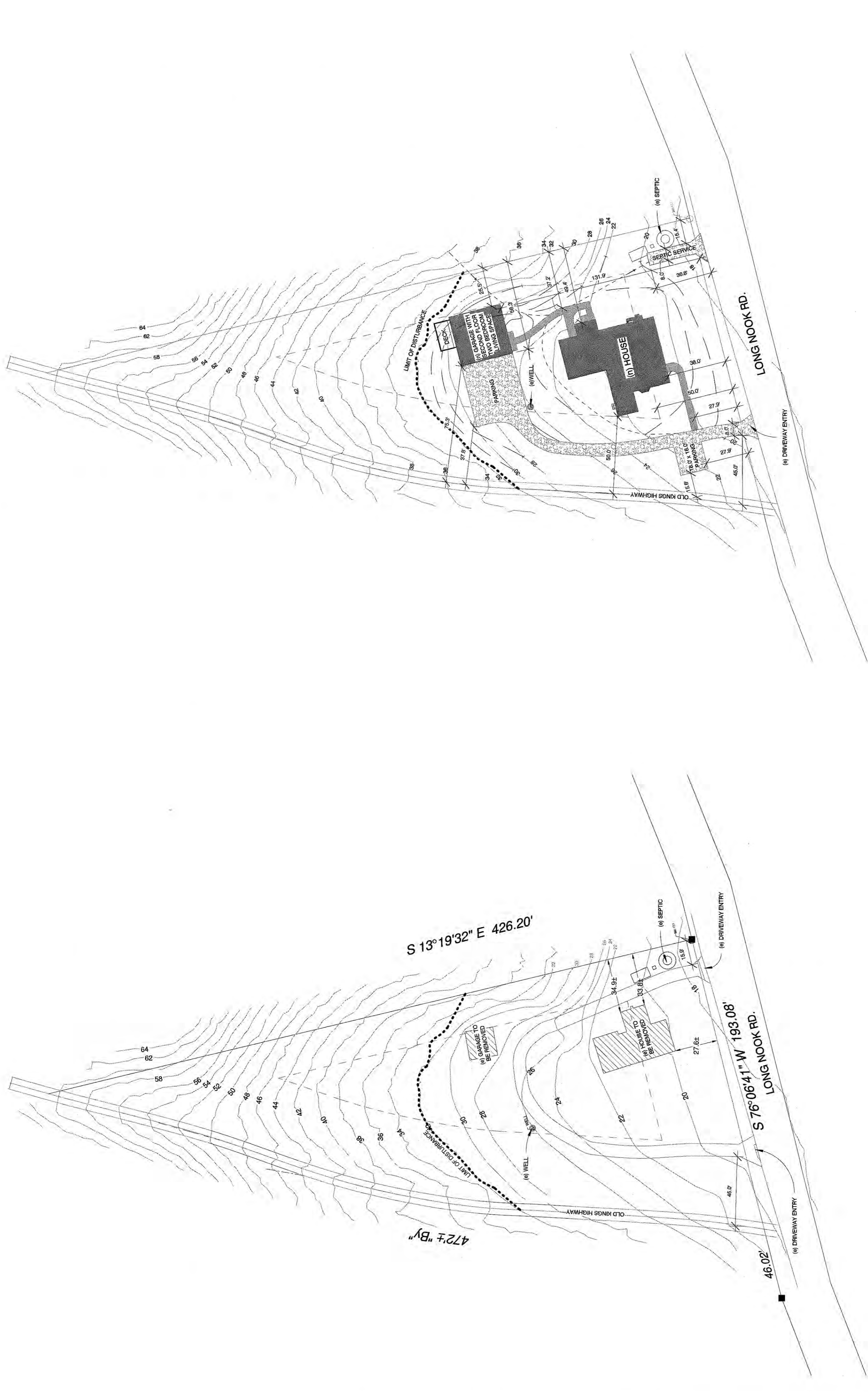
DATE: 12/1/21 7:58:41 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

PROJECT: BEGICA RESIDENCE  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**SITE PLAN**

A-100



1 PROPOSED SITE PLAN  
 1" = 40'-0"

2 EXISTING SITE PLAN  
 1" = 40'-0"

**SITE PLAN LEGEND**

- 24'-0" NEW SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SWALE WITH DIRECTION OF FLOW
- LIMIT OF DISTURBANCE
- PERVIOUS DRIVEWAY
- IMPERVIOUS HARDSCAPING
- PROPOSED BUILDING
- NORTH ARROW

**ZONING**

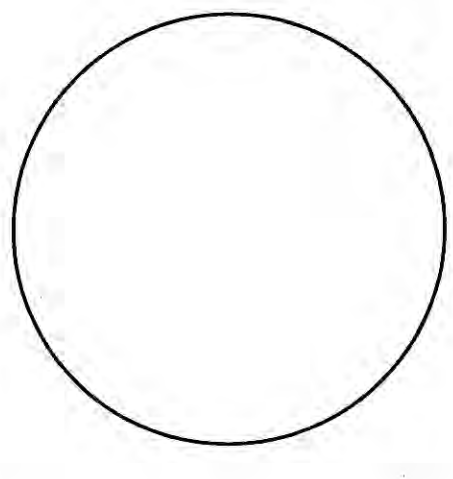
Dimensional Requirement	Zoning Bylaws, Section 30		Zoning Bylaws, Section 30		Notes
	Existing	Proposed	Existing	Proposed	
Minimum Lot Area	1,200 SF	1,248 SF	1,200 SF	1,248 SF	Section 30.3, page 13
Minimum Frontyard Setback	25 ft	25 ft	25 ft	25 ft	Section 30.4, page 14
Minimum Sideyard Setback	5 ft	5 ft	5 ft	5 ft	Section 30.4, page 14
Minimum Rearyard Setback	5 ft	5 ft	5 ft	5 ft	Section 30.4, page 14
Minimum Building Height	1 story	2 story	1 story	2 story	Section 30.4, page 14
Minimum Backyard Setback	N/A	N/A	N/A	N/A	Section 30.4, page 14
Lot Shape	N/A	N/A	N/A	N/A	Section 30.4, page 14

PLAN OF LAND, DATED DECEMBER 31, 2020. PREPARED BY OUTERMOST CAPE LAND SURVEY, INC. SIGNED AND SEALED BY DONALD POOLE, PLS.

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on the specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.

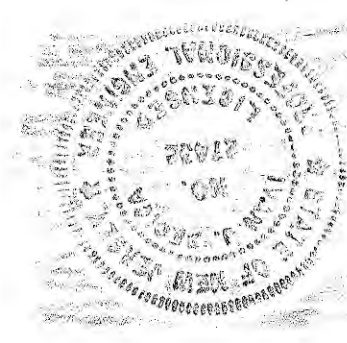




**STUDIO OXEYE**  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2567  
 hello@studiooxeye.com

Project Architect:  
**JENNIFER E MUÑOZ**  
 CA Licensed Architect # C-35687

Changes are preliminary and not intended for construction unless stamped and signed by the Architect.



TEMPORARY PERMIT MASSACHUSETTS 600  
 IAN J. BECKA P.E. DATE: 12/12/21

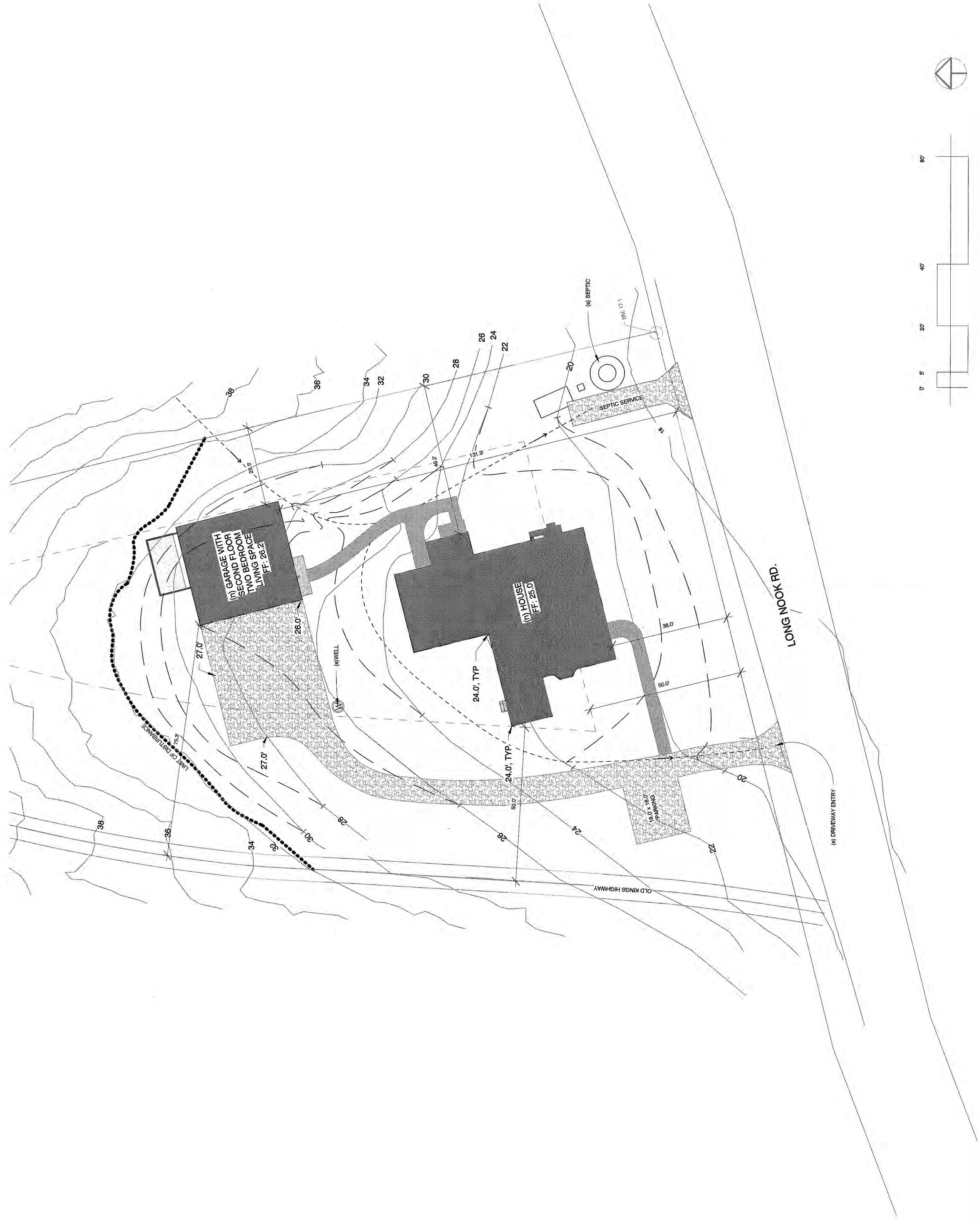
DATE: 12/12/21 7:59:42 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

PROJECT: **BECICA RESIDENCE**  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**SITE PLAN - PARTIAL**

A-101



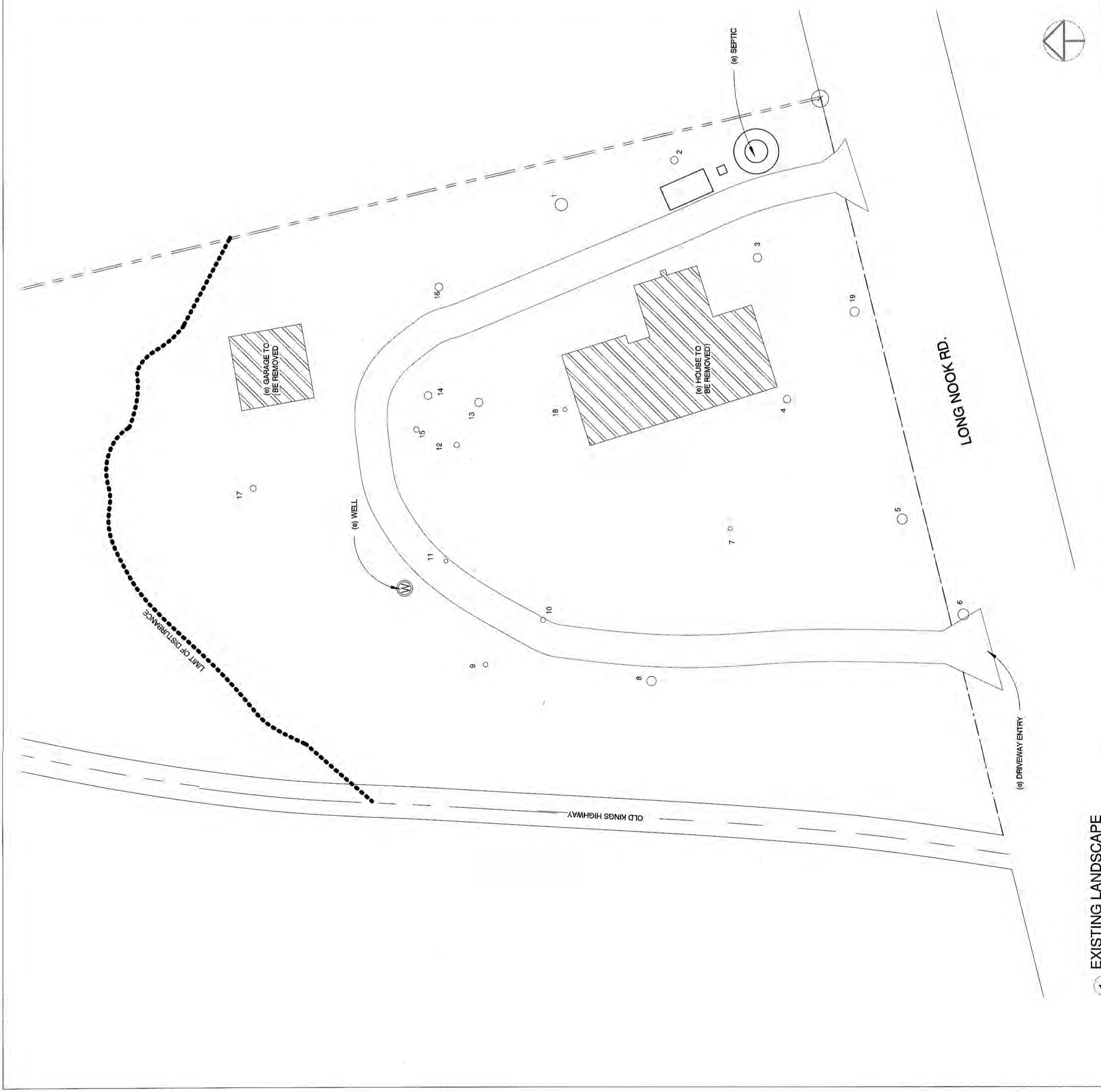
PROPOSED SITE PLAN - PARTIAL  
 1" = 20'-0"

**SITE PLAN LEGEND**

- NEW SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SWALE WITH DIRECTION OF FLOW
- LIMIT OF DISTURBANCE
- PERVIOUS DRIVEWAY
- IMPERVIOUS HARDSCAPING
- PROPOSED BUILDING
- NORTH ARROW

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on the specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



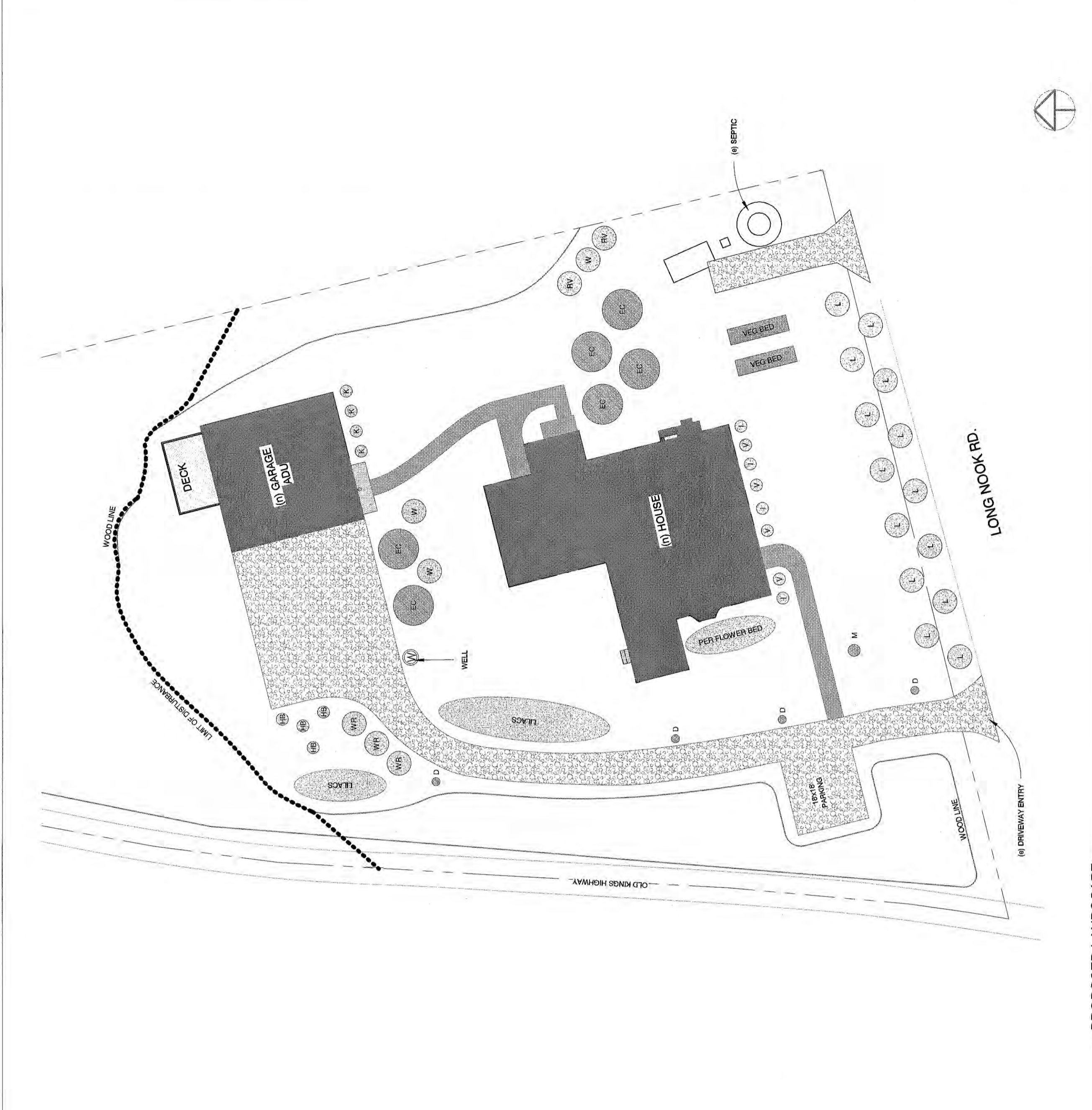
1 EXISTING LANDSCAPE  
1" = 20'-0"

TREE NO.	TREE TYPE	CIRCUMFERENCE	DIAMETER	CONDITION	ACTION
1	OAK	7'-3"	20"	-	KEEP, PRUNE / TRIM
2	LOCUST	3'-7"	17"	-	REMOVE
3	LOCUST	4'-6"	20"	-	REMOVE
4	CEDAR	3'-2"	12"	-	KEEP
5	LOCUST	6'-0"	23"	STUMP	REMOVE
6	CEDAR	5'-6"	21"	-	KEEP
7	MIMOSA	3'-0"	11"	-	REMOVE
8	PINE	5'-6"	21"	-	REMOVE
9	CEDAR	3'-3"	12"	-	REMOVE
10	LOCUST	3'-8"	14"	DEAD	REMOVE
11	LOCUST	3'-8"	14"	DEAD	REMOVE
12	PINE	0'-10"	3"	SMALL	REMOVE
13	LOCUST	6'-6"	22"	DEAD	REMOVE
14	LOCUST	5'-8"	21"	DEAD	REMOVE
15	CHERRY	2'-10"	11"	DEAD	REMOVE
16	OAK	3'-8"	14"	-	REMOVE
17	PINE	4'-2"	16"	-	REMOVE
18	APPLE	1'-3"	5"	-	REMOVE
19	LOCUST	-	-	SMALL	REMOVE
20	-	-	-	-	REMOVE

NOTE: TREES ARE BEING REMOVED BECAUSE THEY ARE DEAD OR ARE IMPACTED BY GRADING. ALL TREES WITHIN AREA OF EXISTING DISTURBANCE.

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on the specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



2 PROPOSED LANDSCAPE  
1" = 20'-0"

SYMBOL	COMMON NAME	PLANT NAME	TYPE	SUNLIGHT	NO.	SPREAD (FT)	HEIGHT (FT)	COMMENTS	LOCATION	TYPE
I	INBERRY	ELEX GLABRA	SHRUB	SUN, PART SHADE	4	3-5 FT	4-5 FT	CAPECODNATIVEPLANTS.ORG	FRONT OF HOUSE	PERENNIAL
V	WAXE LEAF YEW	VIBURNUM	SHRUB	BEST IN FULL SUN	4	4 FT	6 FT	COMFORT PLANT OF EASTERN CANADA	FRONT OF HOUSE	PERENNIAL
WR	PASTURE ROSE	ROSA CAROLINA	SHRUB	SUN, PART SHADE	4	3-4 FT	2-4 FT	CAPECODNATIVEPLANTS.ORG	EDGE OF BACK DRIVEWAY AND PARKING LOT	PERENNIAL
WB	HORSERADISH	VACCINIUM CAROLINA	SHRUB	SUN SHADE	4	3-7 FT	3-12 FT	CAPECODNATIVEPLANTS.ORG	EDGE OF BACK DRIVEWAY AND PARKING LOT	PERENNIAL
K	MOUNTAIN LABEL	HALIMA	SHRUB	PARTIAL SHADE	4	2-3 FT	8 FT	WILD IN AMERICA	FRONT OF GARAGE	PERENNIAL
W	WITCH HAZEL	HAMAMELIS	SHRUB	SUN, LIGHT SHADE	2	6-15 FT	6-15 FT	CAPECODNATIVEPLANTS.ORG	FRONT BACK PARKING LOT TO HOUSE	PERENNIAL
RV	SWAMP AZALEA	RHOODODENDRON VINCOSUM	SHRUB	SUN, PART SHADE	8	3-5 FT	3-5 FT	CAPECODNATIVEPLANTS.ORG	EAST SIDE OF HOUSE	PERENNIAL
TOTAL SHRUBS 28										
SYMBOL	COMMON NAME	PLANT NAME	TYPE	SUNLIGHT	NO.	SPREAD (FT)	HEIGHT (FT)	COMMENTS	LOCATION	TYPE
EC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	TREE	SUN, PART SHADE	2	3-10 FT	15-20 FT	CAPECODNATIVEPLANTS.ORG	BUFFER BACK PARKING LOT TO HOUSE	PERENNIAL
ED	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	TREE	SUN, PART SHADE	4	3-10 FT	15-20 FT	CAPECODNATIVEPLANTS.ORG	BUFFER WEST SIDE OF HOUSE	PERENNIAL
D	WHITE DOGWOOD	CORNUS FLORIDA	TREE	PARTIAL SHADE	4	2-2 FT	2-2 FT	NATIVE FROM SOUTHERN MAINE	SPACED ALONG DRIVEWAY	PERENNIAL
M	MIMOSA	ALBIZIA JULIBRISSIN 'E. H. WESSLEY'	TREE	FULL SUN AND PARTIAL SHADE	1	2-2 FT	30 FT	MIMOSA TREE IN FRONT YARD. NOT NATIVE AT TRACT'S HUMMINGBIRDS AND BUTTERFLIES	FRONT OF HOUSE	PERENNIAL
TOTAL TREES 11										

EXISTING LANDSCAPE PLANTS TO BE REUSED

SYMBOL	COMMON NAME	PLANT NAME	TYPE	SUNLIGHT	NO.	SPREAD (FT)	HEIGHT (FT)	COMMENTS	LOCATION
L	LLACS	SYRINGA	SHRUB	SUN, PART SHADE	EXISTING	3-5 FT	12 FT	CURRENTLY ON PROPERTY, TO BE REUSED	BUFFER LONG NOOK ROAD TO HOUSE BUFFER
V	PERIWINKLE	VIOLA	GROUND COVER	SUN OR SHADE	EXISTING	6 IN	2-4 IN	CURRENTLY ON PROPERTY, TO BE REUSED	FRONT OF HOUSE ADJACENT TO KING'S HIGHWAY

COMMON NAME	PLANT NAME	TYPE
BUTTERFLY MILKWEED	ASCLEPIAS TUBEROSA	PERENNIAL
SALVA	SALVA SSP / HYBRIDS	PERENNIAL
DAISES	LEUCANTHEMUM HYBRIDS	PERENNIAL
HOSTAS	HOSTA SSP / HYBRIDS	PERENNIAL
DAYLILIES	HEMANTHUS SSP / HYBRIDS	PERENNIAL
SUMMER PHLOX	PHLOX PANICULATA	PERENNIAL
RUSSIAN SAGE	PEROVSKIA ATROPURPUREA	PERENNIAL
SHI SEDUM	SEDUM SSP / HYBRIDS	PERENNIAL
FOUNTAIN GRASS	FENISTETUM SSP / HYBRIDS	PERENNIAL
PURPLE CONE FLOWER	ECHINACEA PURPUREA & CULTIVARS	PERENNIAL

SITE PLAN - LANDSCAPE

A-102

PROJECT: BEGICA RESIDENCE  
ADDRESS: 38 LONG NOOK RD TRURO, MA 02666  
PROJECT CODE: 20BEC

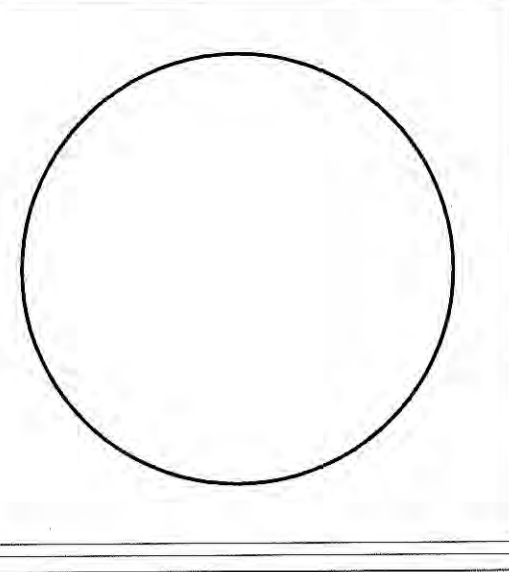
DATE: 12/1/21 7:58:43 PM  
PHASE: SD  
PREPARED BY: GEM

IVAN J BEGICA, P.E.  
DATE: 12/15/21

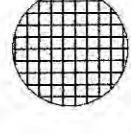


Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

STUDIO OXEYE  
2765 Santa Cruz Way | Sacramento, CA 95817  
T (916) 259-2567  
hello@studiooxeye.com  
Project Architect:  
GENIFER E MUNKZ  
CA Licensed Architect # C-56807



**LIGHTING PLAN LEGEND**



VOLT CAST BRASS DECK LIGHT (BRONZE) MOUNTED TO POST,  
LIGHT POINTS DOWN - DARK SKY COMPLIANT.

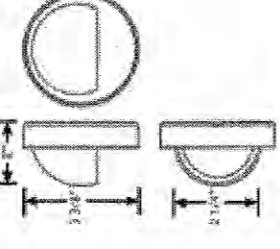
**PRODUCT SPECIFICATIONS** Project Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Type or Model: \_\_\_\_\_ City: \_\_\_\_\_



**VOLT® Low Voltage Landscape Lighting  
Deck Light - 600 Series**

The Deck Light is a high-quality, low voltage outdoor lighting fixture from VOLT®. Featuring an easy access knockout, just rotate the knockout into the deck portion into an existing hole. It's a simple installation that allows for quick and easy installation. Professional quality exterior lighting that will last a long time, even in harsh outdoor environments.

**Product Description**



- Specifications:**
- Construction: Brass
  - Finish: Bronze or White Powder Coat
  - Lead Wire: 4' (standard) or 25' (optional) 18AWG
  - Mounting: Two Deck Screws
  - Light Source (sold separately): 600 Series LED or Halogen
  - Operating Voltage: 12VAC
  - Powered by: VOLT Low Voltage Transformer

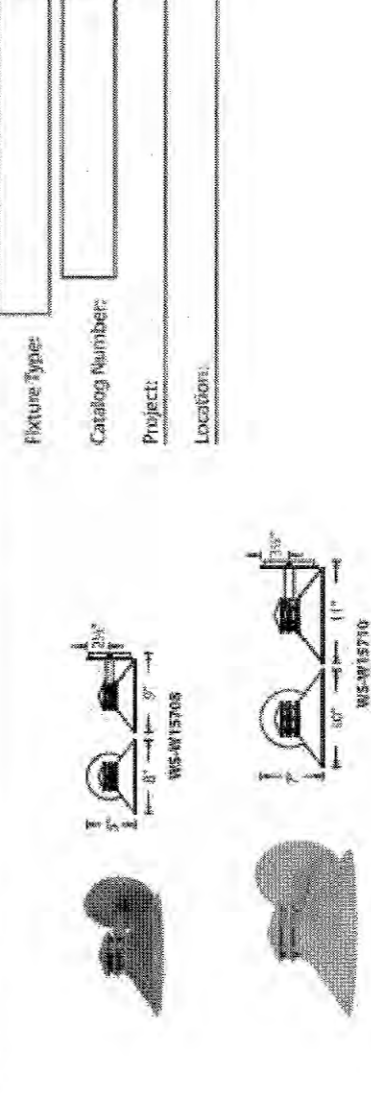
- Warranty:**
- Lifetime Warranty**
- Certifications:**
- RoHS Compliant
  - UL Listed
  - ETL Listed
  - UL Listed
  - ETL Listed
  - UL Listed
  - ETL Listed

- Features & Benefits:**
- Solid Brass Construction
  - Pre-applied finish with a natural patina that does not corrode, or the option for a white powder coating
  - Weather resistant reflector light to maximize output and beam spread
  - Beryllium copper socket - more corrosion resistant than copper
  - Lighting hole is pre-drilled, spaced precisely and machined from rotating luminaire through the socket
  - Machined stainless body screws light onto an O-ring for a moisture tight design

© Copyright 2021, VOLT Lighting, LLC, FL, USA. All rights reserved. 4 874 974 3759  
www.voltlighting.com

WALL MOUNT DOWN LIGHT, SHIFLIGHTS SMALL-HOODED WALL MOUNT, OIL RUBBED BRONZE (SOLID BRASS CONSTRUCTION)

**SODOR - model WS-W157  
dwellLED™ LED Outdoor**



**PRODUCT DESCRIPTION**

The Sodor is a high-quality, low voltage outdoor lighting fixture from VOLT®. Featuring an easy access knockout, just rotate the knockout into the wall portion into an existing hole. It's a simple installation that allows for quick and easy installation. Professional quality exterior lighting that will last a long time, even in harsh outdoor environments.

**Specifications:**

- Construction: Aluminum or 100% Recycled Lead
- Light Source: High Voltage LED
- Finish: Bronze, Oil Rubbed Bronze, Satin Nickel
- Standards: ETL, UL, CE, FCC, and RoHS Compliant

**Warranty:**

**Lifetime Warranty**

**Certifications:**

- RoHS Compliant
- UL Listed
- ETL Listed
- UL Listed
- ETL Listed
- UL Listed
- ETL Listed

© Copyright 2021, VOLT Lighting, LLC, FL, USA. All rights reserved. 4 874 974 3759  
www.voltlighting.com

**REVISIONS**

#	REVISION	ISSUE	DATE
1	DATE	12/1/21	7:58:44 PM
2	PHASE	SD	
3	PREPARED BY:	GEM	

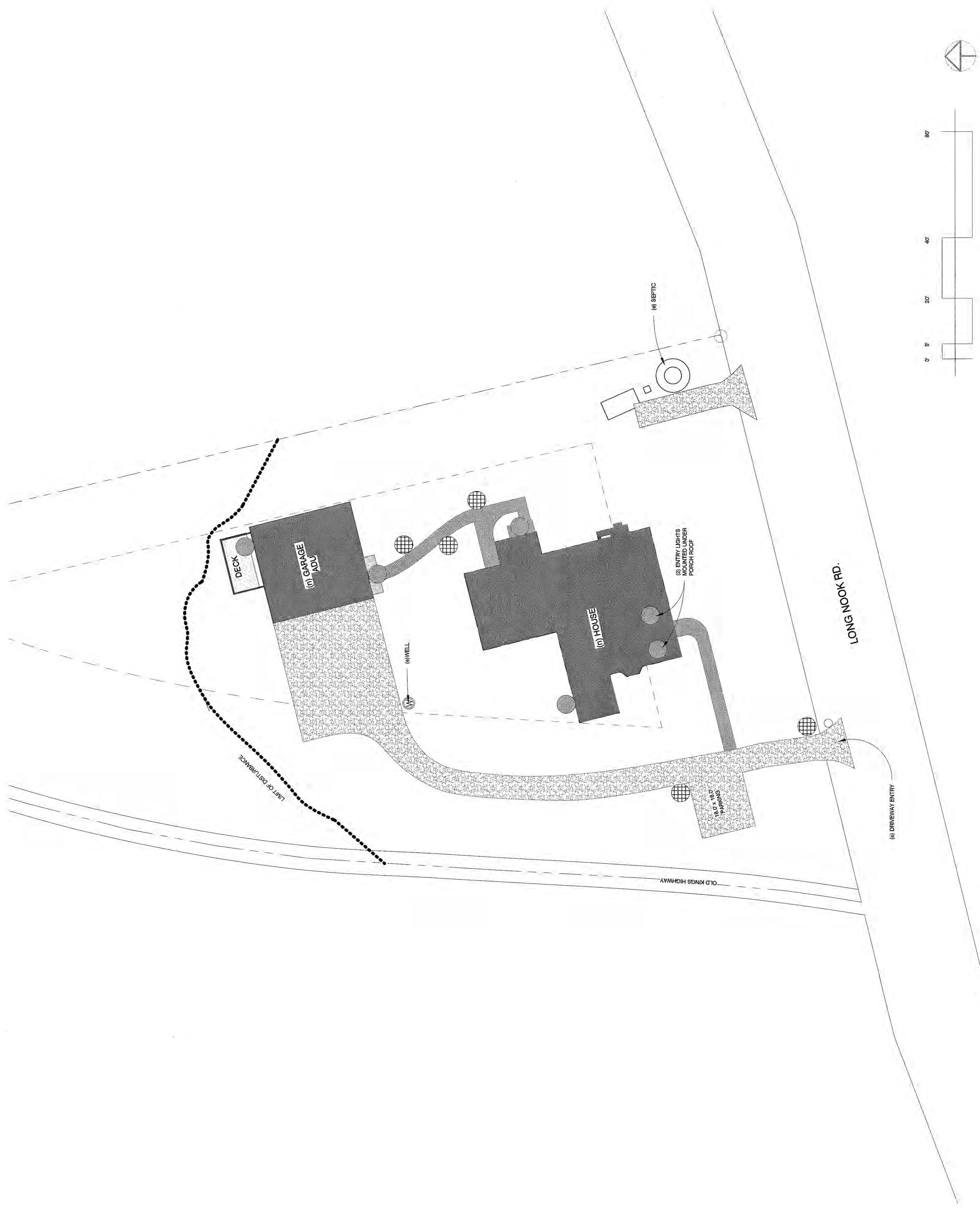
**PROJECT:** BECCA RESIDENCE  
**PROJECT CODE:** 20BEC  
**ADDRESS:** 38 LONG NOOK RD  
TRURO, MA 02666

**STUDIO OXEYE**  
2765 Santa Cruz Way | Sacramento, CA 95817  
T 916 250-2587  
hello@studiooxeye.com  
Project Architect:  
**GENIFER E NUÑOZ**  
CA Licensed Architect # C-35687

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**SITE PLAN -  
LIGHTING**

A-103



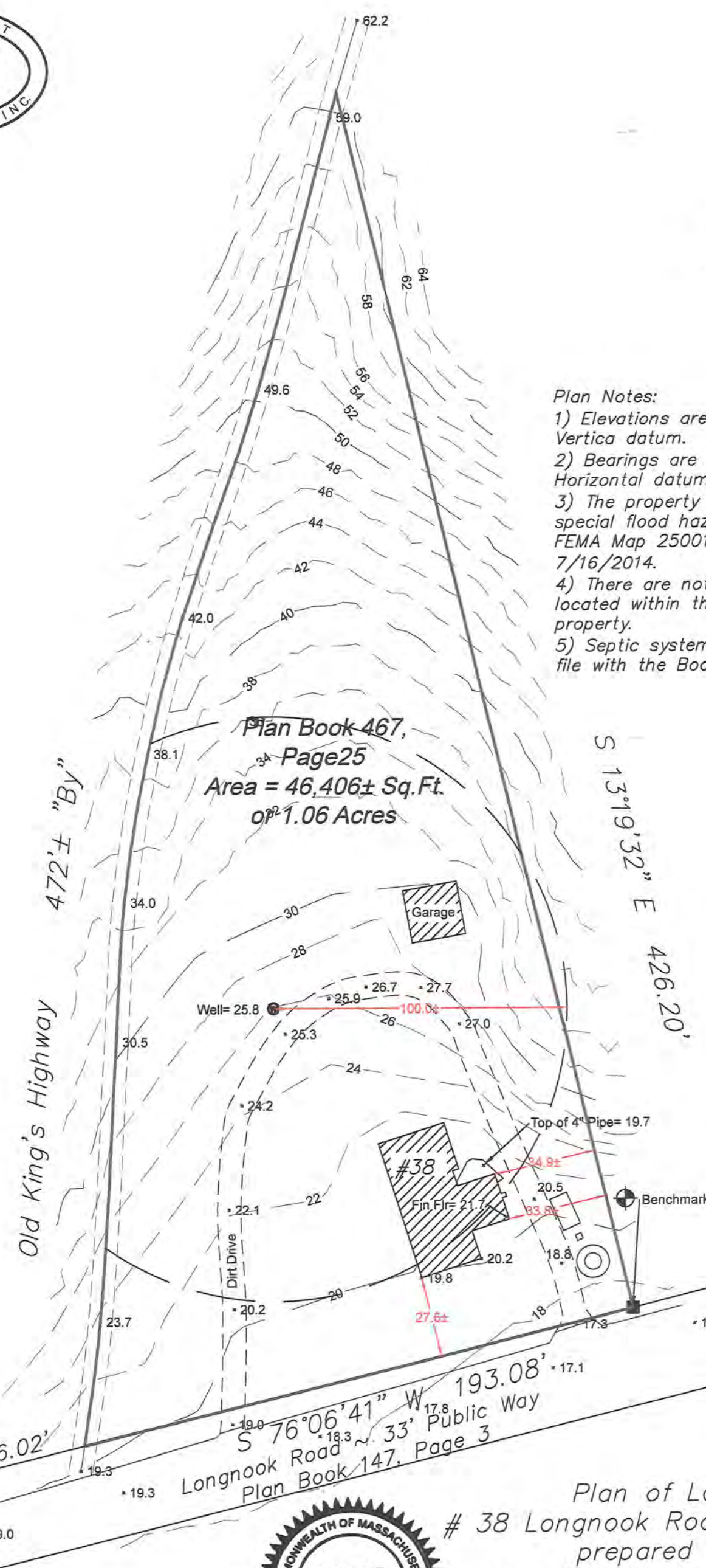
1 PROPOSED SITE PLAN - LIGHTING  
1" = 20'-0"

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on the specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



- Plan Notes:
- 1) Elevations are based on NAVD88 Vertical datum.
  - 2) Bearings are based on NAD83 Horizontal datum.
  - 3) The property does not fall in a special flood hazard area as shown on FEMA Map 25001C0143J, Effective date 7/16/2014.
  - 4) There are not any visible wetland located within the boundaries of the property.
  - 5) Septic system location from Plans on file with the Board of Health.



Plan Book 467,  
 Page 25  
 Area = 46,406± Sq. Ft.  
 or 1.06 Acres

S 13°19'32" E 426.20'

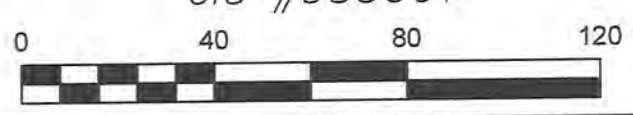
46.02' S 76°06'41" W 193.08' 17.8  
 Longnook Road ~ 33' Public Way  
 Plan Book 147, Page 3

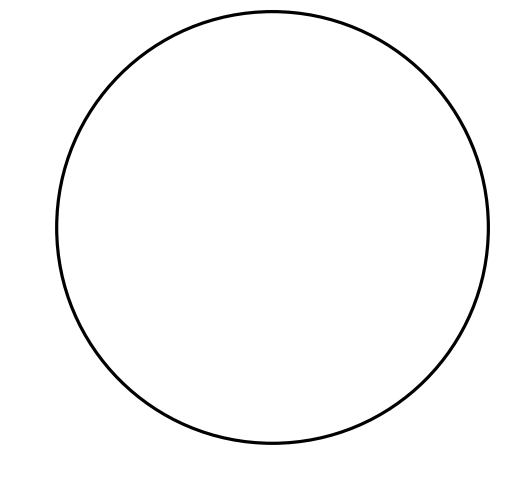


Plan of Land  
 # 38 Longnook Road, Truro MA  
 prepared for  
 Ivan J. & Kevin M. Becica  
 Deed Book 33638, Page 171  
 Plan Book 467, Page 25  
 Scale 1" = 40' Dec. 31, 2020  
 ols #955001

I hereby certify that the structures shown hereon are located as they exist on the ground.

Donald T. Poole PLS #32662 Date Dec 31, 2020





**STUDIO OXEYE**  
 2766 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2667  
 hello@studiooxeye.com

Project Architect:  
**GENIFER E MUÑOZ**  
 CA Licensed Architect # C-39807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**NOT FOR CONSTRUCTION**

DATE: 1/7/22 1:50:47 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

PROJECT: BECICA RESIDENCE  
 PROJECT CODE: 20BCB  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**FLOOR PLAN - HOUSE**

A-110

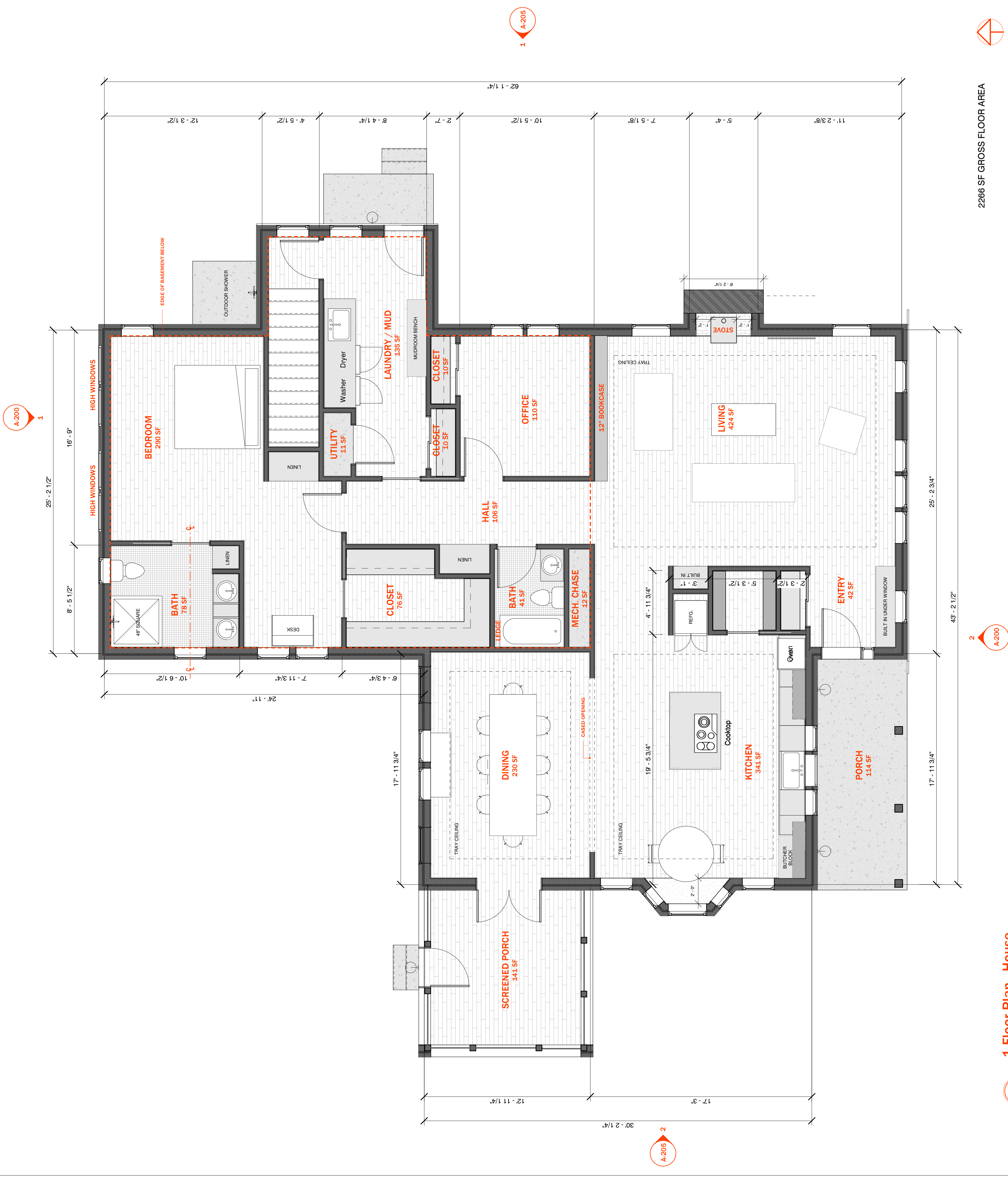
**FLOOR PLAN NOTES**

- CONTRACTOR IS TO NOTIFY ARCHITECT BEFORE INSTALLING THE WORK OF ANY DISCREPANCIES WITHIN THE DRAWING SET OR BETWEEN ARCHITECT AND CONSULTANT DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY READING THE ARCHITECTURAL AND CONSULTANT DRAWINGS PRIOR TO BIDDING AND CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY ADDITIONAL COSTS DUE TO DISCREPANCIES IN THE CONSULTANT AND ARCHITECT DRAWINGS NOT FOR ANY ITEMS MISSED BY THE CONTRACTOR IN THEIR BID OF THE PROJECT.
- ALL EXTERIOR WALLS TO BE 2x8 STUDS PER STRUCTURAL DRAWINGS.
- ALL INTERIOR WALLS TO BE 2x4 STUDS W/ 1/2" GYPSUM EACH SIDE UNO OR AT INTERIOR CORNERS TO BE 2x6 STUDS PER STRUCTURAL DRAWINGS. ALL CEILING TO BE 1/2" GYP OVER TRIMMING. REFER UNO OR AT FIRE RESISTIVE RATED CONSTRUCTION. SEE PLANS AND SECTIONS FOR CEILING HEIGHTS.
- PROVIDE PRE-HUNG DOORS AND NAIL FIN WINDOWS PER OWNER.
- ALL WOOD WITHIN 12" OF SOIL OR IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED LUMBER.
- ALL GIRDDERS, BEAMS OR JOISTS TO BE NO. 2 GRADE OR BETTER. EXPOSED GIRDDERS, BEAMS OR JOISTS TO BE UNFINISHED AND SHALL BE FREE OF CRACKS AND DEFECTS.
- USE NON ABSORBENT SURFACE ON FLOOR AND WALLS ABOVE BATHTUBS AND SHOWERS EXTENDED NOT LESS THAN 6" A.F.F.
- USE EXTERIOR GRADE SHEATHING AT EXTERIOR LOCATIONS.
- ESCAPE AND RESCUE OPENINGS REQ. FOR ALL SLEEPING ROOMS, BASEMENTS, UNFINISHED ATTICS AND GARAGES TO BE MIN. 20 IN WIDE BY 24 IN HIGH, 57 SQ. FT. CEILING CLEARANCE AND 20 IN MIN. NET CLEARANCE.
- STAIRWAYS, RAILS AND DECKS TO COMPLY WITH 311.
- EXTERIOR DOORS TO HAVE MINIMUM 36" LANDING IN DIRECTION OF TRAVEL AND BELOW NOT INCLUDED. MIN. 6" R FOR BATHROOMS AND LAUNDRY.
- HABITABLE ROOMS MIN. 70 SF (EXCEPT KITCHENS); CEILING MIN. 7'-0" EXCEPT ROOMS WITH SLOPED CEILING 50% OR MORE MUST BE GREATER THAN 7'-0". 5'-0" AND BELOW NOT INCLUDED. MIN. 6" R FOR BATHROOMS AND LAUNDRY.
- SWINGING, Bifold OR SLIDING DOORS, AND SIDELIGHTS PER WALKTHROUGH A. HAZARD: BOTTOM EDGE < 18 IN O.O.F., TOP EDGE > 36 IN O.O.F.
- GUARD RAILS AND RAILINGS.
- WET AREAS W/ LOWER EDGE GLASS < 60 IN O.O.F. (WITHIN 60 IN HORIZONTAL).
- < 3" ABOVE STAIR, LANDING OR RAMP WALKING SURFACE.
- RAILINGS TO BE HORIZONTAL FROM BOTTOM STAIR LANDING.
- FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES (102 MM) WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES (152 MM) ELSEWHERE.

**FIRE PROTECTION NOTES**

- SMOKE AND CO2 PER 314.11
- SLEEPING ROOMS AND ADJOINING AREA.
- MIN. 1/2" LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS.
- MIN. 20" FROM PERMANENTLY INSTALLED COOKING DEVICE.
- HARDWIRED PLUS BATTERY BACKUP EXCEPT REMODELS AND ADDITIONS.

ROOM NAME	WIDTH	LENGTH	NET AREA
HOUSE UNCONDITIONED			
HOUSE F.F.			
LAUNDRY / MUD	6'-10"	19'-9"	135 SF
UTILITY	2'-2"	5'-0"	11 SF
CLOSET	1'-11"	5'-3"	10 SF
CLOSET	1'-11"	5'-3"	10 SF
ENTRY	6'-4"	6'-8"	42 SF
LIVING	14'-2"	29'-11"	424 SF
KITCHEN	10'-1"	33'-10"	341 SF
DINING	12'-7"	18'-4"	230 SF
OFFICE	10'-1"	10'-11"	110 SF
HALL	4'-10"	22'-0"	106 SF
BEREADOM	7'-11"	36'-7"	290 SF
BATH	5'-4"	14'-8"	78 SF
PANTRY	4'-7"	4'-11"	23 SF
CLOSET	1'-11"	4'-7"	9 SF
BATH	5'-5"	7'-8"	41 SF
CLOSET	5'-10"	13'-0"	76 SF
OUTDOOR COVERED			1926 SF
HOUSE F.F.			
SCREENED PORCH	11'-9"	12'-1"	141 SF
PORCH	6'-6"	17'-6"	114 SF
			256 SF
			2192 SF
GARAGE / ADU UNCONDITIONED			
GARAGE F.F.			
MUD	3'-6"	16'-4"	56 SF
CL	2'-0"	3'-6"	7 SF
GARAGE WL 2			
BEDROOM	8'-11"	9'-10"	87 SF
LIVING	9'-10"	40'-10"	401 SF
BEREADOM	10'-6"	11'-5"	120 SF
BATH	5'-0"	14'-4"	71 SF
CLOSET	1'-9"	5'-6"	10 SF
CLOSET	2'-4"	3'-4"	8 SF
UNCONDITIONED			760 SF
GARAGE F.F.			
GARAGE	14'-8"	43'-5"	635 SF
WORKSHOP	8'-0"	28'-1"	223 SF
MECH	3'-6"	5'-7"	20 SF
			878 SF
			1638 SF
HOUSE F.F.			
MECH. CHASE	1'-8"	7'-8"	12 SF
			12 SF
			12 SF



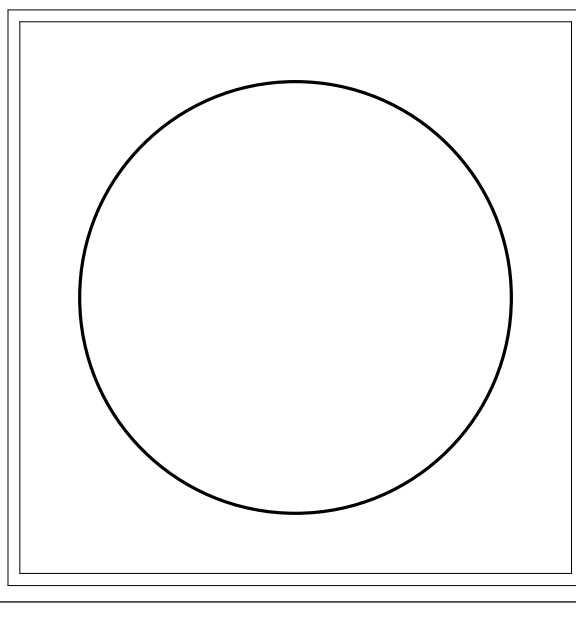
2266 SF GROSS FLOOR AREA

**1 Floor Plan - House**

SCALE: 1/4" = 1'-0"

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on this specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



**STUDIO OXEYE**  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2607  
 hello@studiooxeye.com

Project Architect:  
**GENNIFER E MUÑOZ**  
 CA Licensed Architect # C-36807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**NOT FOR CONSTRUCTION**

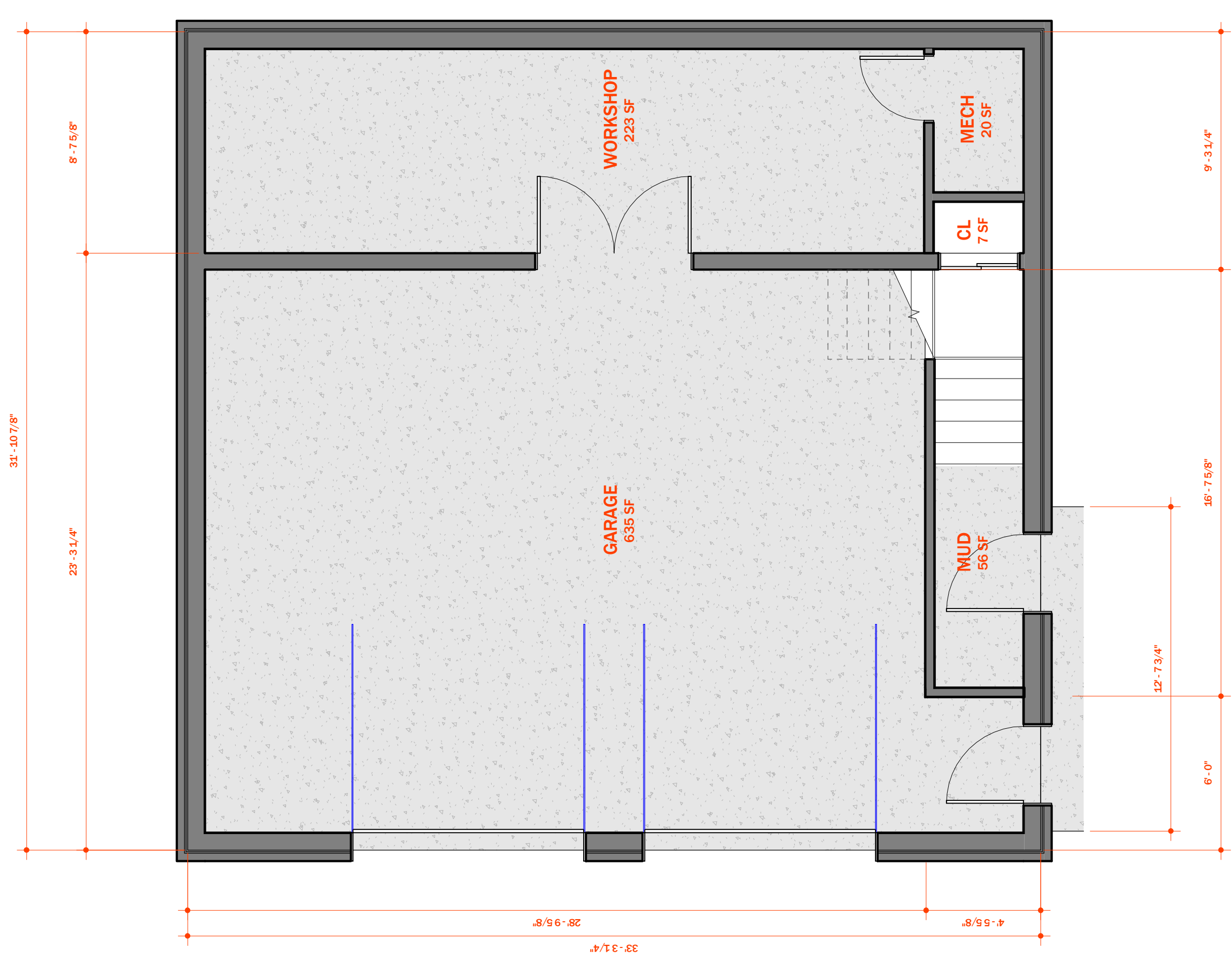
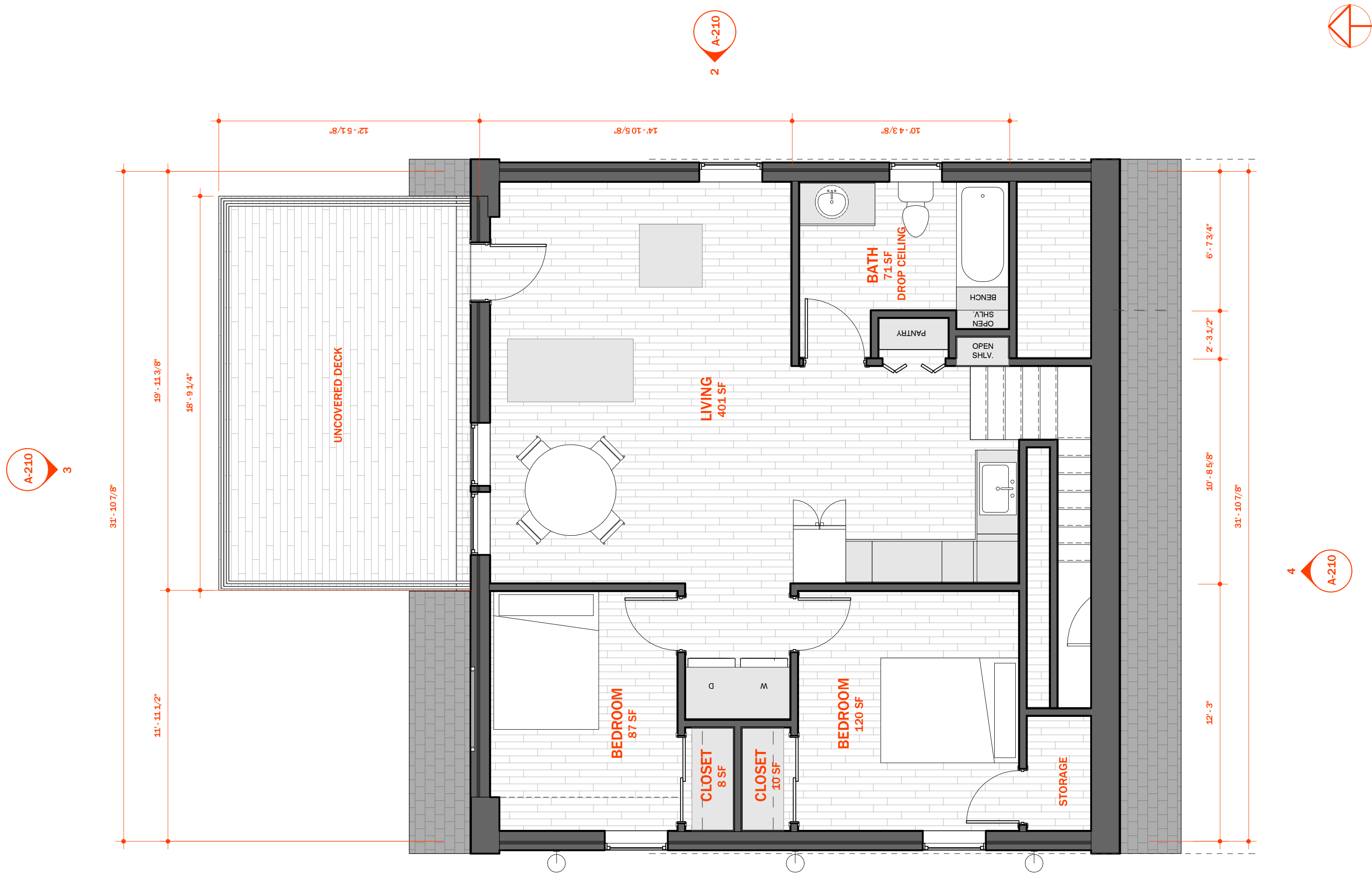
DATE: 12/12/17 5:58:46 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

PROJECT: **BECICA RESIDENCE**  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

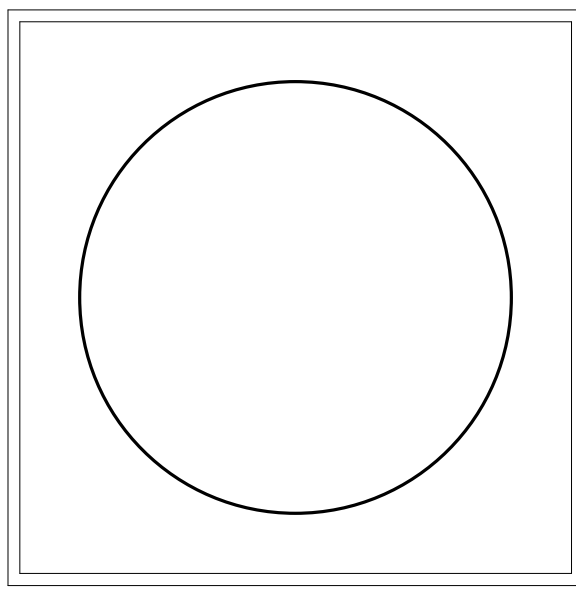
**FLOOR PLAN - GARAGE**

**A-111**



\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on this specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



**STUDIO OXEYE**  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2667  
 hello@studiooxeye.com

Project Architect:  
**GENNIFER E MUÑOZ**  
 CA Licensed Architect # C-36807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**NOT FOR CONSTRUCTION**

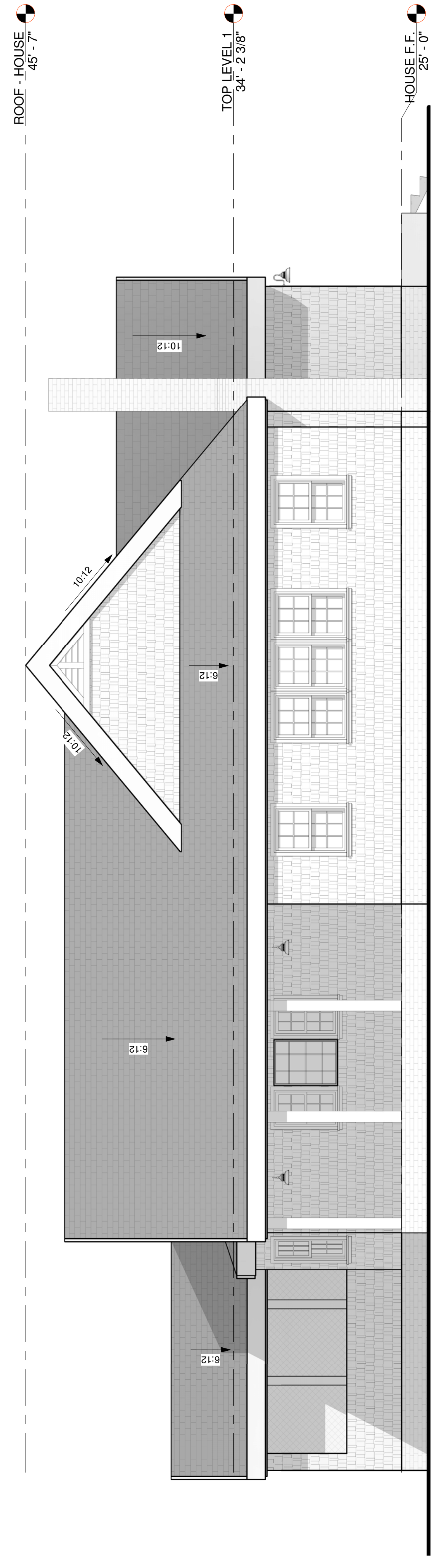
DATE: 12/12/17 5:58:56 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

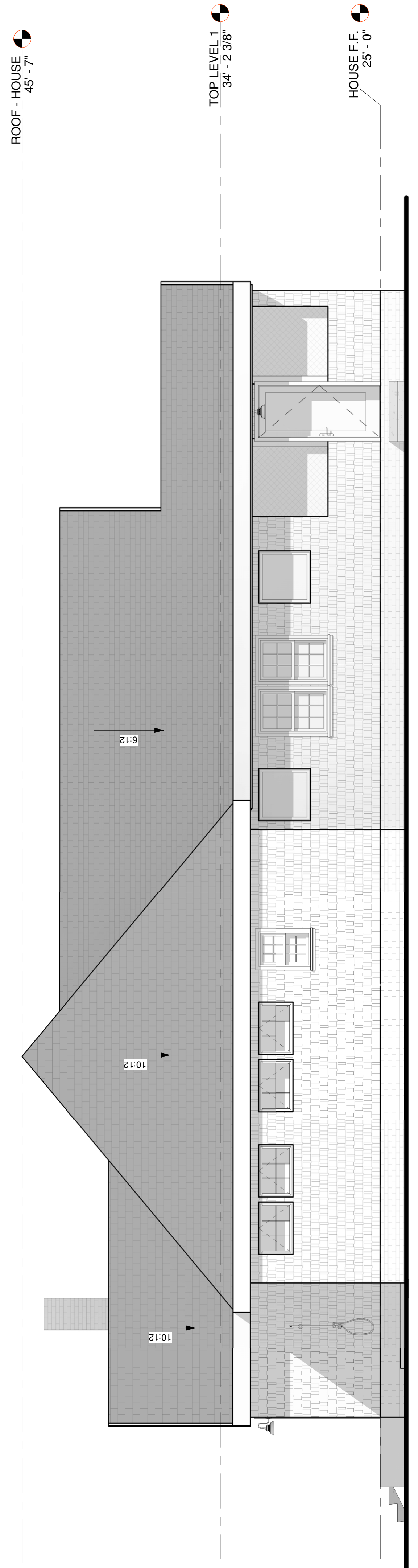
PROJECT: **BECICA RESIDENCE**  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**ELEVATIONS - HOUSE**

A-200



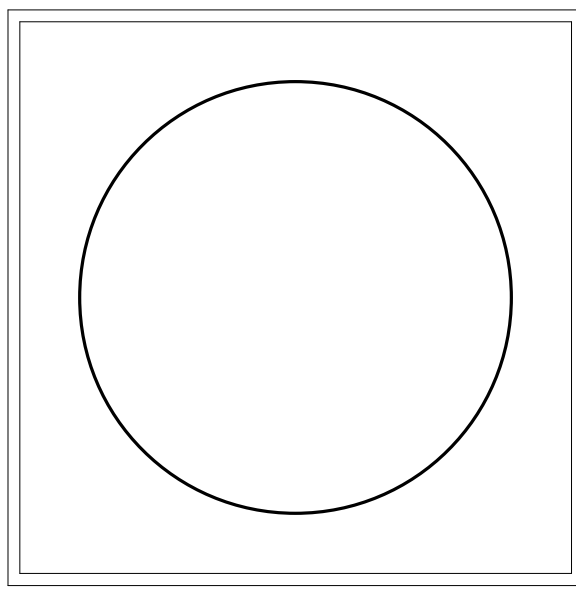
**2** Elevation - House - South  
 SCALE: 1/4" = 1'-0"



**1** Elevation - House - North  
 SCALE: 1/4" = 1'-0"

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on this specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



**STUDIO OXEYE**  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2667  
 hello@studiooxeye.com

Project Architect:  
**GENNIFER E MUÑOZ**  
 CA Licensed Architect # C-35807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**NOT FOR CONSTRUCTION**

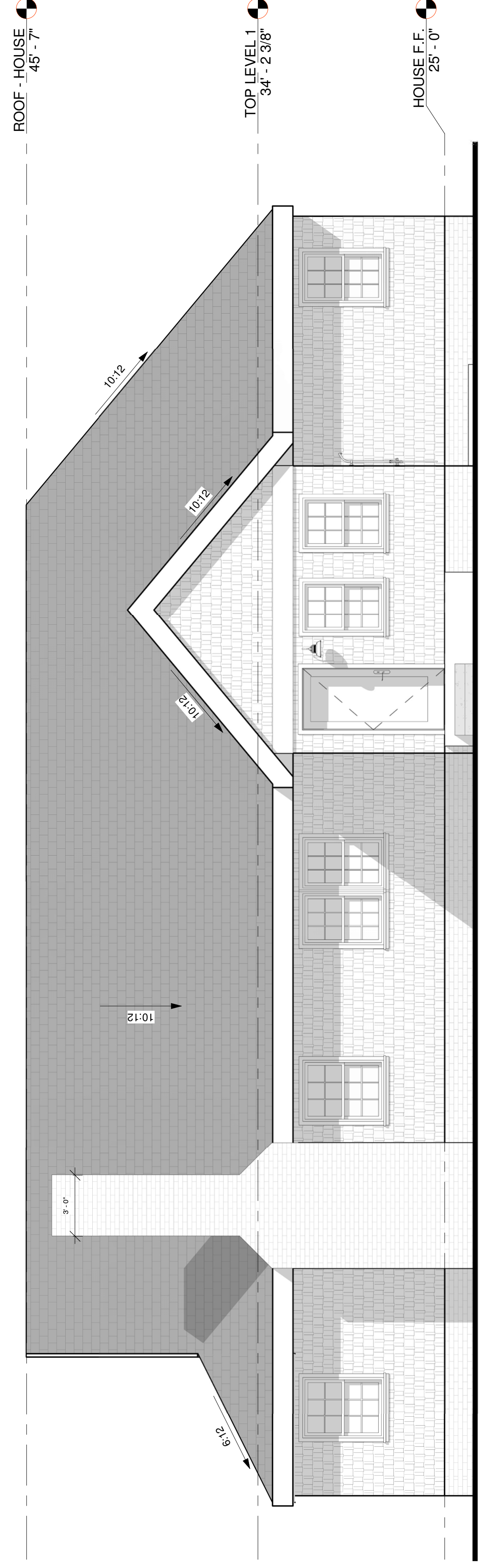
DATE: 12/1/21 7:59:05 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

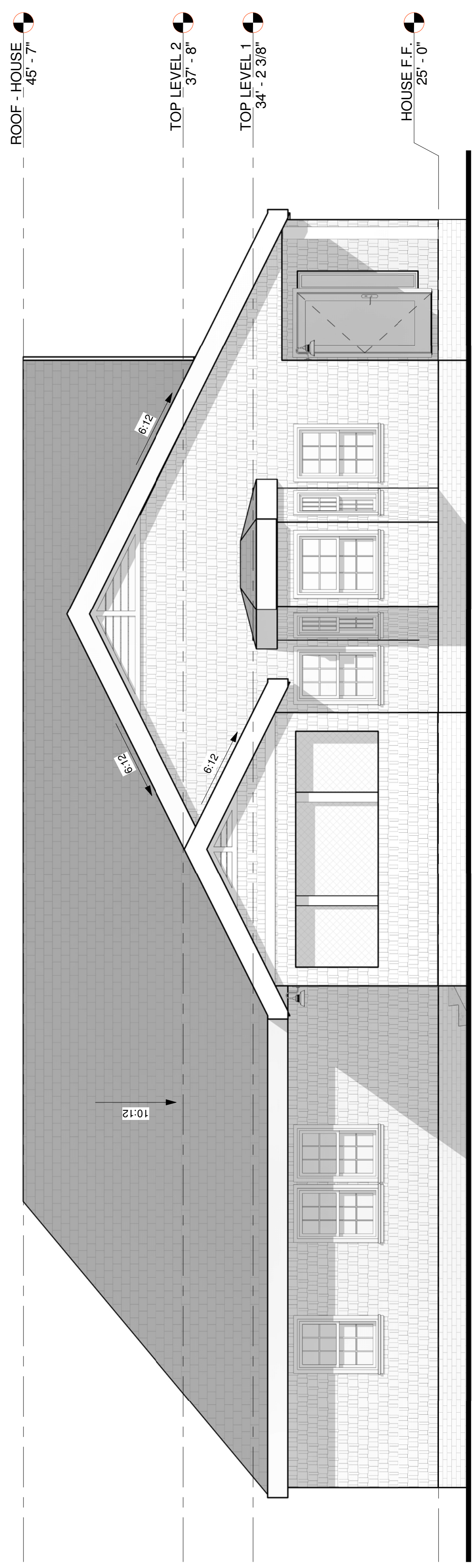
PROJECT: **BECICA RESIDENCE**  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**ELEVATIONS - HOUSE**

A-205



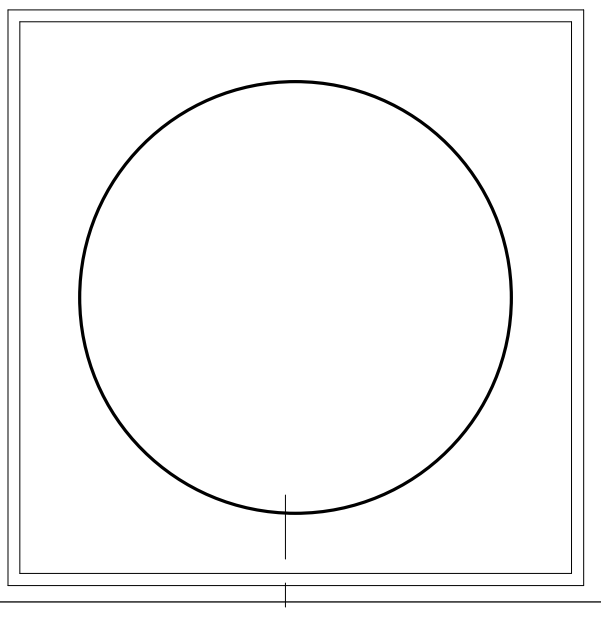
**1** Elevation - House - East  
 SCALE: 1/4" = 1'-0"



**2** Elevation - House - West  
 SCALE: 1/4" = 1'-0"

\*Drawings are 50% of indicated scale if printed on 11" x 17".  
 These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on this specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.





**STUDIO OXEYE**  
 2765 Santa Cruz Way | Sacramento, CA 95817  
 T (916) 250-2567  
 hello@studiooxeye.com

Project Architect:  
**GENNIFER E MUÑOZ**  
 CA Licensed Architect # C-35807

Drawings are preliminary and not intended for construction unless stamped and signed by the Architect.

**NOT FOR CONSTRUCTION**

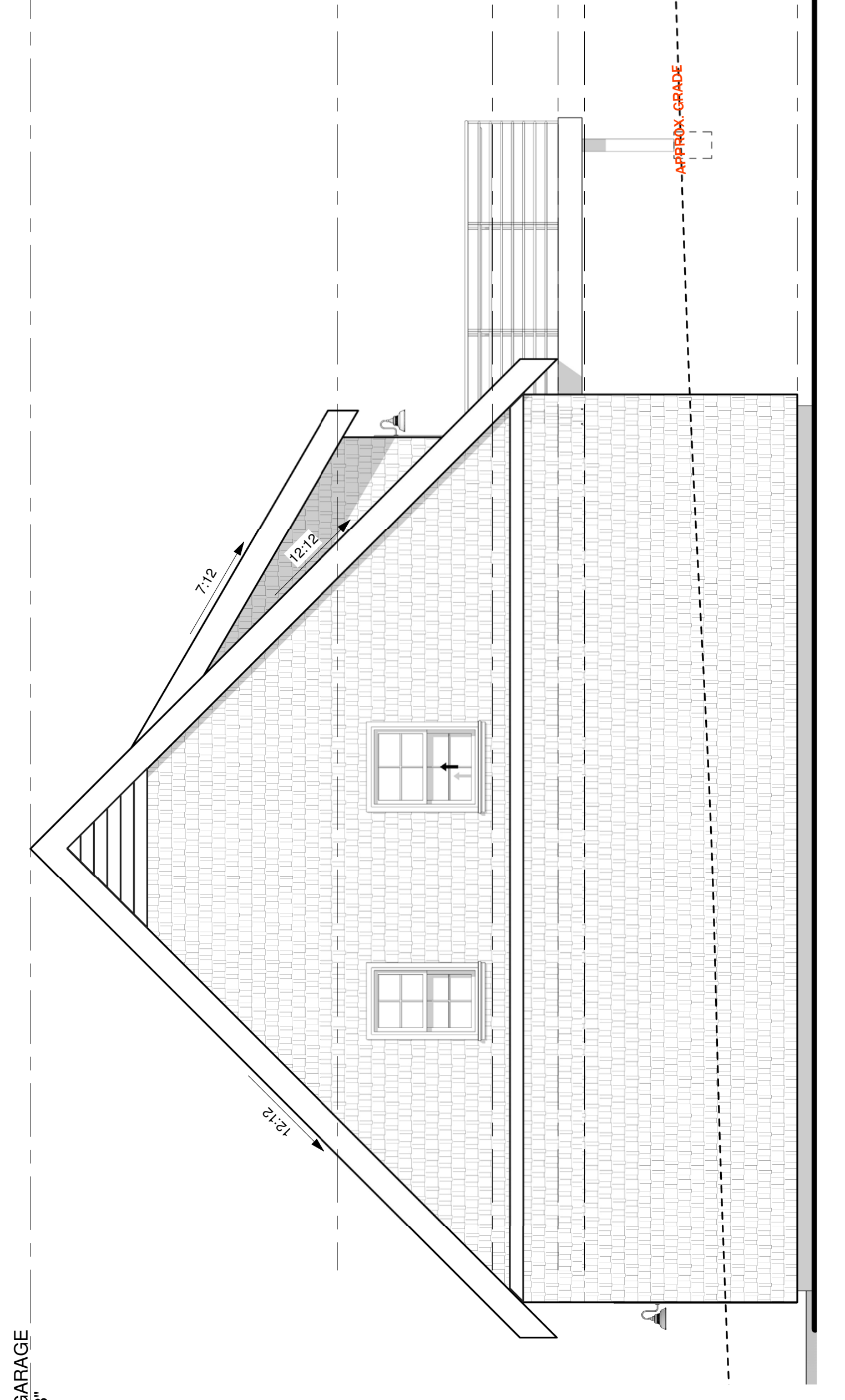
DATE: 12/1/21 7:59:13 PM  
 PHASE: SD  
 PREPARED BY: GEM

# REVISION ISSUE DATE

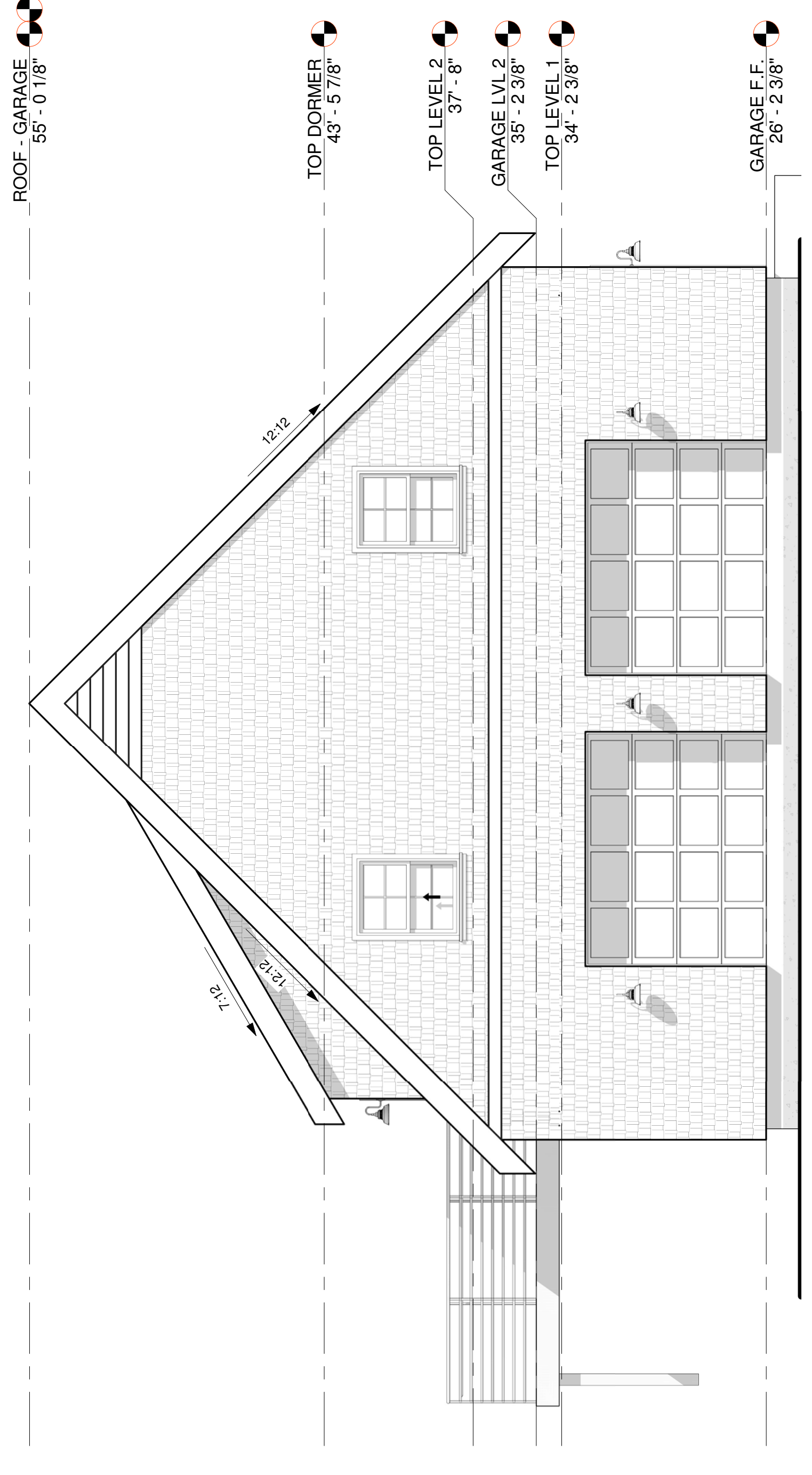
PROJECT: **BECICA RESIDENCE**  
 PROJECT CODE: 20BEC  
 ADDRESS: 38 LONG NOOK RD  
 TRURO, MA 02666

**ELEVATIONS - GARAGE**

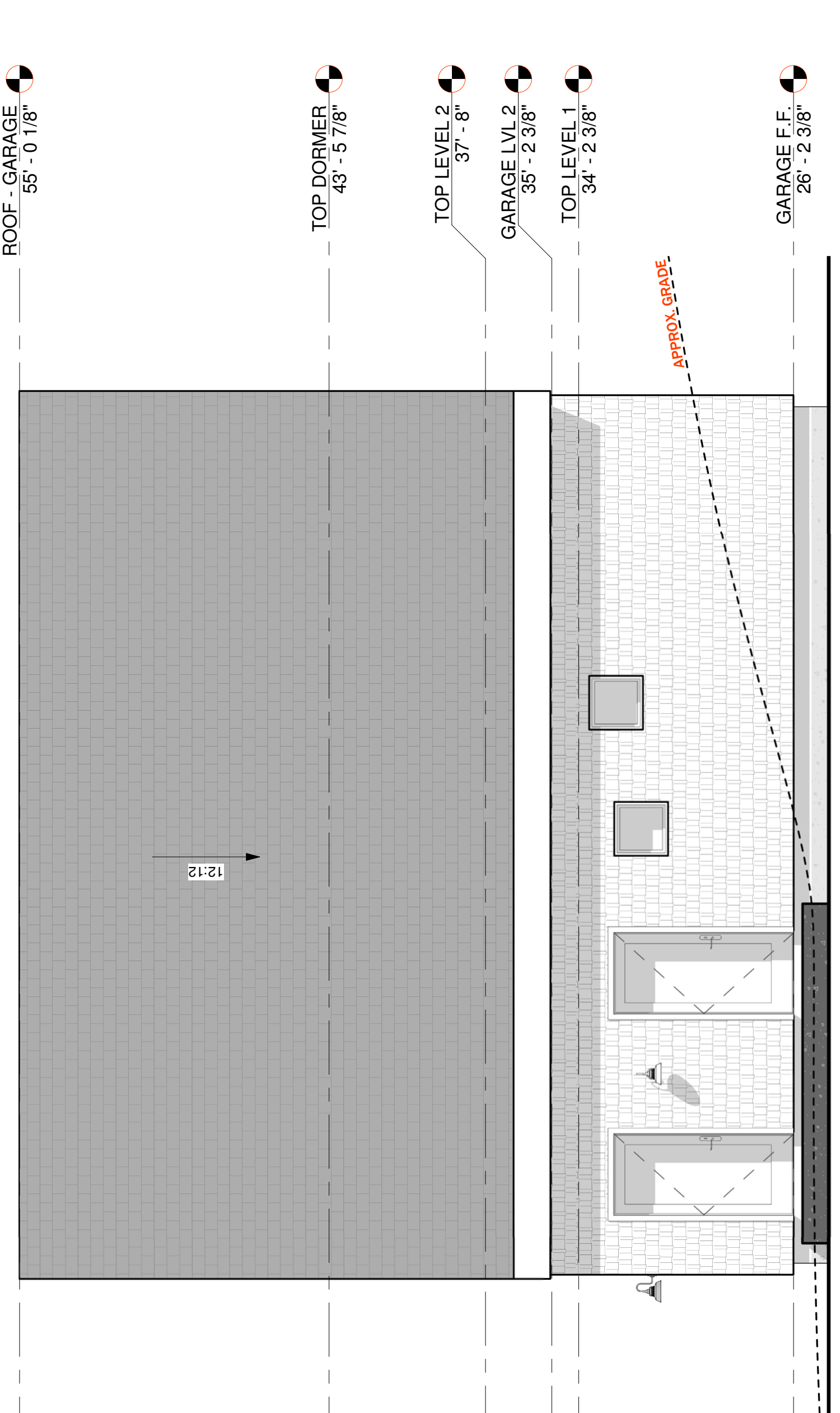
A-210



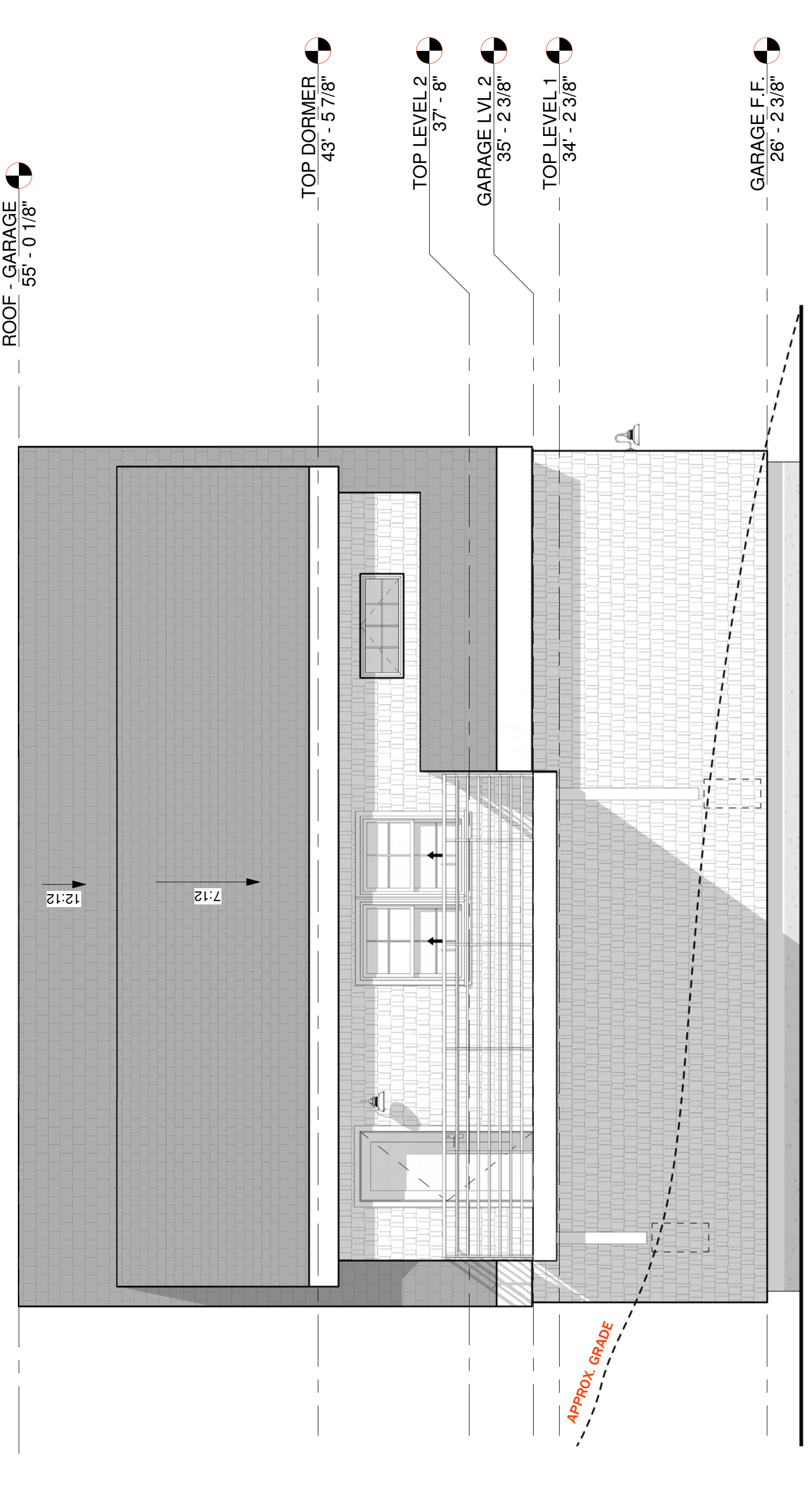
**1** Elevation - Garage - West  
 SCALE: 1/4" = 1'-0"



**2** Elevation - Garage - East  
 SCALE: 1/4" = 1'-0"



**3** Elevation - Garage - North  
 SCALE: 1/4" = 1'-0"



**4** Elevation - Garage - South  
 SCALE: 1/4" = 1'-0"

\*Drawings are 50% of indicated scale if printed on 11" x 17".

These drawings are instruments of service and property of GEN M Architecture Inc. Information contained in these drawings is for use only on this specific project and shall not be transferred without the expressed written permission of GEN M Architecture Inc.



---

**RE: 38 Longnook Road, Truro 02666**

1 message

**Holt, Emily (FWE)** <emily.holt@state.ma.us>  
To: Ivan J becica <ijbpe82@gmail.com>

Fri, Oct 8, 2021 at 10:45 AM

Ivan,

Thank you for submitting the site plan (dated 9/21/21). The Division has determined that this project, as currently proposed, does not occur within Estimated Habitat of Rare Wildlife or Priority Habitat as indicated in the *Massachusetts Natural Heritage Atlas* (15<sup>th</sup> Edition). Therefore, the project is not required to be reviewed for compliance with the rare wildlife species section of the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.37, 10.59 & 10.58(4)(b)) or the MA Endangered Species Act Regulations (321 CMR 10.18).

Best,

**Emily Holt**

Endangered Species Review Assistant

Natural Heritage & Endangered Species Program  
Massachusetts Division of Fisheries & Wildlife  
[1 Rabbit Hill Road, Westborough, MA 01581](#)  
p: (508) 389-6385 | f: (508) 389-7890

[mass.gov/nhesp](http://mass.gov/nhesp)

**Important:** All non-essential state employees, including Environmental Review staff, are working remotely. Please visit our website ([www.mass.gov/nhesp](http://www.mass.gov/nhesp)) for updates.

---

**From:** Ivan J becica <ijbpe82@gmail.com>  
**Sent:** Monday, October 4, 2021 2:14 PM  
**To:** Holt, Emily (FWE) <emily.holt@mass.gov>  
**Subject:** 38 Longnook Road, Truro 02666

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Emily

Last we spoke on Aug. 16 regarding our upcoming Truro planning board submission for the referenced project, you indicated that I should simply point the board to the MESA map site to determine our exclusion from the priority habitat. The town planner has informed me that the board will only accept as a minimum an email from MESA stating that our project is not in a priority habitat and does not require a MESA review. Can you provide that email or direct me otherwise? I've attached a current drawing A100 site plan with existing and proposed improvements.

Thank You

Ivan J Becica



38 Long Nook Road

PH 892

# National Flood Hazard Layer FIRMette

70°3'33"W 42°0'57"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**



0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*



**OTHER AREAS OF FLOOD HAZARD**

**OTHER AREAS**



**GENERAL STRUCTURES**



**OTHER FEATURES**



**MAP PANELS**



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/25/2021 at 12:44 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Basemap: USGS National Map; Orthoimagery: Data refreshed October, 2020

**ADDRESSING THE REVIEW CRITERIA**

**§ 70.1 PURPOSE**

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

**Instructions:** Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.4D of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

**§70.4D – REVIEW CRITERIA**

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods. Such an evaluation shall be based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development relates to the existing terrain and lot and provides for solar and wind orientation which encourages energy conservation because:

---

Refer to the attached

---

---

---

---

---

---

---

2. Building Design and Landscaping. Proposed development is consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques because:

---

Refer to the attached

---

---

---

---

---

---

---

- 3. Preservation of Landscape. The landscape will be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil because:

Refer to the attached

---

---

---

---

---

---

---

- 4. Circulation. Curb cuts and driveways will be safe and convenient and will be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro because:

Refer to the attached

---

---

---

---

---

---

---

- 5. Lighting. Lighting will be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There will be protection of adjacent properties and the night sky from intrusive lighting because:

Refer to the attached

---

---

---

---

---

---

---

Section 70.4D – Review Criteria

1. Relation of Buildings and Structures to the Environment. The proposed development relates to the existing terrain and lot and provides for solar and wind orientation which encourages energy conservation because the proposed residential home and garage are as similarly located and spatially oriented as the existing house and garage. The southern facing façade of the proposed home will have interior solar gain in the living areas similar to the southern facing porch and kitchen of the original home. Solar panels on the proposed home and garage roofs facing east, west and north will conserve energy. The orientation and location of the buildings in the valley below the higher elevations to the north, west (Kings Highway) and east (Blueberry Hill) will shield the residential buildings from heavy winds, reducing energy loss. The net zero building design and geothermal heating system will reduce energy usage from the traditional energy grid.
2. Building Design and Landscaping. Proposed development is consistent with the prevailing character and scale of buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques because the proposed residential home and garage are in the same general location as the existing home and garage on the property. In order to maintain the character of the existing property, a deliberate choice has been made to build a one story home close to Longnook Road similar to the existing cottage and not propose a two- story home set back farther from Longnook Road.

The proposed one- story residential home facing Longnook Road is the same scale as the existing one- story home. The proposed front yard setback of 37 feet is similar to the existing setback of 27 feet to Longnook Road. The proposed home will have a west side front porch in the same location as the sunroom on the existing house. The scale of the proposed one- story home is consistent with the scale of the one- story home to the west, 40 Longnook Road (Blueberry Hill) and the one- story home to the east at 30 Longnook Road. The architectural style of the proposed home will maintain the character of the existing cottage through the mix of low sloping shed and gable roofs and a gross floor area less than 1900 square feet with two bedrooms. The proposed building materials will be of current energy efficient materials that look like traditional cedar shingles, cedar clapboard, and cedar roof shingles. Double hung windows with wide trim will be used on the building exterior along with wide eaves overhanging the building walls. Brick will be used on the exterior of the building foundation.

In maintaining the character of the neighborhood while providing four bedrooms on the property, the proposed garage will be two stories. The proposed garage will be located on the eastern setback line behind the proposed house in the same location as the current garage is located behind the existing home. The proposed garage will have two car bays on the ground level with an interior staircase to a second floor with a living area, two bedrooms, and a bath. The garage is designed with a shed roof facing Longnook Road so that it appears as a



one- story building from the road. Evergreen landscape materials will be placed on the south side of the garage to further shield the garage from the road. A second story dormer will face the wooded area to the north and will not be visible from the roadway. The garage building is set back 130 feet from the Longnook property line, well behind the residential home to the east at 40 Longnook Road. The building materials used for the garage building will be the same as the residential home.

3. Preservation of Landscape. The landscape will be preserved in its natural state insofar as practicable by minimizing and grade changes and removal of vegetation and soil because the proposed house and garage will be similarly located on the property. All disturbance will be within areas of the property that were previously disturbed as documented in the plan showing disturbance limits under the Massachusetts Endangered Species Act (MESA) Project review. The grading of the property has been designed to minimize the changes to existing property grades and to minimize cut and fill during construction of the new residential house and garage. A certified arborist will be hired to remove trees that need to be trimmed, must be removed for construction, or are in poor condition. Because of the size and shape of the property, a significant portion of the property will remain undisturbed. The natural vegetation along the western property line adjacent to Kings Highway will remain undisturbed, the sloped area along the eastern property line adjacent to 40 Kings Highway will remain undisturbed, and the northern triangular wooded portion of the property will remain undisturbed.

The landscape design includes 28 shrubs and 10 trees native to Cape Cod or native to North America. One tree, a non-native Mimosa in the front yard will be replaced in kind to maintain the character of the property. Several neighbors commented on the unusual blossoms of the Mimosa tree. Existing lilac bushes will be cut back and transplanted out of way of construction and then replanted after construction as shown on the landscape plan. Bulbs and perennials currently on the property will also be saved for re-planting after construction. A perennial garden is planned on the west side of the house outside the kitchen bay window to echo Laura Johnson's perennial garden at 1 Higgins Hollow Road.

4. Circulation. Curb cuts and driveways will be safe and convenient and will be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro because the proposed driveway openings will be in the same location on Longnook Road as the current driveway locations. The current property has a circular driveway with an eastern and western unpaved driveway opening. The proposed property access and circulation will no longer be circular. Due to the poor line of sight caused by a curve in Longnook Road to the east of the driveway and also from a hedge at the adjacent residence to the east, the easternmost driveway will remain only for maintenance access to the septic system and will be vegetated with grass. The westernmost driveway closest to Kings Highway will extend to the garage, similar to the existing drive, but a turnaround area will be provided in order to ensure that no vehicles will back out onto Longnook Road. The traveled way of the proposed driveway will be eight (8) feet wide meeting the minimum 8 feet width set forth in Section I-9-13-1. The driveway

shall provide a traveled width clearance of 14 feet and height clearance of 14 feet in accordance with Section I-9-13-2 and I-9-13-3.

5. Lighting. Lighting will be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There will be protection of adjacent properties and the night sky from intrusive lighting because all light fixtures shall be equipped with shielding to eliminate light trespassing onto Longnook Road, Kings Highway or the adjacent residential home at 40 Longnook Road. All light fixtures, regardless of their intended use or mounting configuration, shall be fully shielded, and directed downward and will be positioned to direct light into the property and away from adjacent property lines. Outside light fixtures proposed for the parking areas will not exceed 15 feet from the ground to the top of the light fixture. Outside light fixtures proposed for the walkways to the residential buildings or residential building walls will not exceed 12 feet from the ground to the top of the light fixture.

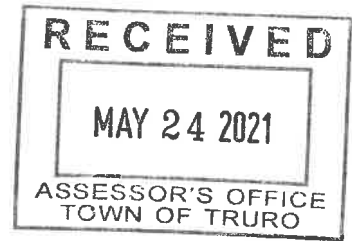


# TOWN OF TRURO

## Assessors Office

### Certified Abutters List

### Request Form



DATE: May 18, 2021

NAME OF APPLICANT: Ivan J Becica and Kevin Becica

NAME OF AGENT (if any): \_\_\_\_\_

MAILING ADDRESS: 12 Coles Ave., Cherry Hill, NJ 08002

CONTACT: HOME/CELL 609.315.5040 EMAIL ijbpe82@gmail.com

PROPERTY LOCATION: 38 Longnook Truro MA  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 43 PARCEL 120 EXT. \_\_\_\_\_  
(if condominium)

**ABUTTERS LIST NEEDED FOR:**  
(please check all applicable)

**FEE: \$15.00 per checked item**

(Fee must accompany the application unless other arrangements are made)

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Board of Health <sup>5</sup>                      | <input checked="" type="checkbox"/> Planning Board (PB)             | <input type="checkbox"/> Zoning Board of Appeals (ZBA)          |
| <input type="checkbox"/> Cape Cod Commission                               | <input type="checkbox"/> Special Permit <sup>1</sup>                | <input checked="" type="checkbox"/> Special Permit <sup>1</sup> |
| <input type="checkbox"/> Conservation Commission <sup>4</sup>              | <input checked="" type="checkbox"/> Site Plan <sup>2</sup>          | <input type="checkbox"/> Variance <sup>1</sup>                  |
| <input type="checkbox"/> Licensing   | <input type="checkbox"/> Preliminary Subdivision <sup>3</sup>       |   |
| Type: _____  | <input type="checkbox"/> Definitive Subdivision <sup>3</sup>        |   |
|  | <input type="checkbox"/> Accessory Dwelling Unit (ADU) <sup>2</sup> |   |
| <input checked="" type="checkbox"/> Other <u>Truro Historic Commission</u> |   | (Fee: Inquire with Assessors)                                   |
- (Please Specify)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

#### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 5/24/2021 Date completed: 5/25/2021

List completed by: [Signature] Date paid: 5/24/2021 Cash/Check #1237

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



**TRURO ASSESSORS OFFICE**  
PO Box 2012 Truro, MA 02666  
Telephone: (508) 214-0921  
Fax: (508) 349-5506

**Date:** May 25, 2021

**To:** Ivan and Kevin Becica

**From:** Assessors Department

**Certified Abutters List:** 38 Longnook Road

**Site Plan**

Attached is a combined list of abutters for the property located at 38 Longnook Road.

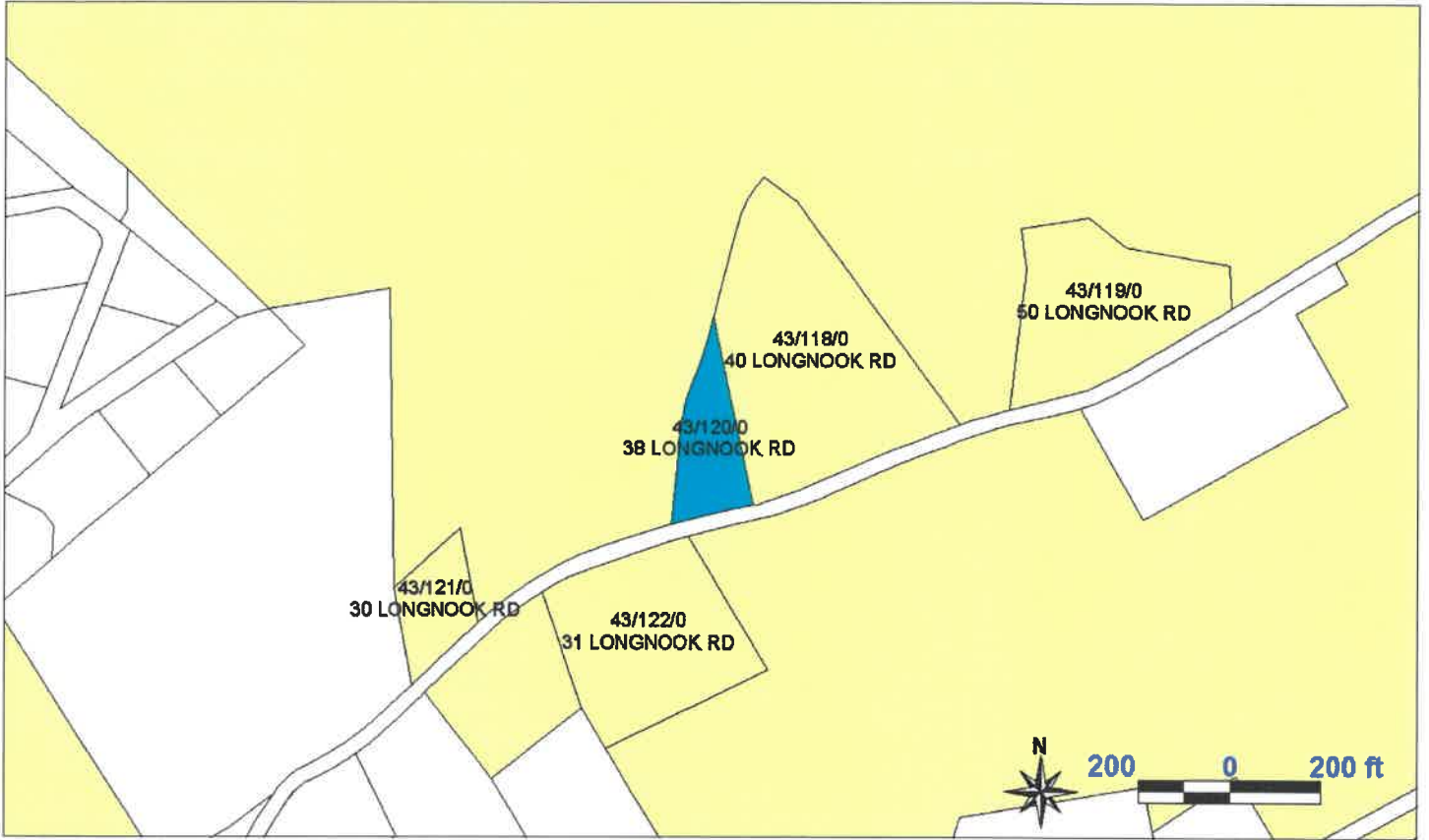
The current owners are Ivan and Kevin Becica.

The names and addresses of the abutters are as of May 19, 2021 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: 

Olga Farrell  
Assessing Clerk

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip Cd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
1990	43-118-0-R	HAKALA MARCIA T & HAROLD H	40 LONGNOOK RD	PO BOX 173	TRURO	MA	02666
1991	43-119-0-R	HELLER TRUST TRS: HELLER C B & MIRANDA C	50 LONGNOOK RD	332 S ARDEN BOULEVARD	LOS ANGELES	CA	90020
1993	43-121-0-R	WILLIAM J MARSH REV LIV TRUST TRS: WILLIAM J MARSH	30 LONGNOOK RD	PO BOX 838	TRURO	MA	02666
1994	43-122-0-R	DUNNE BRIAN F	31 LONGNOOK RD	PO BOX 69	TRURO	MA	02666-0069
5801	44-11-0-E	U S A DEPT OF THE INTERIOR	80 LONGNOOK RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667

*Handwritten signature: J. S. [unclear]*

40-999-0-E

USA-DEPT OF INTERIOR  
Cape Cod National Seashore  
99 Marconi Site Rd  
Wellfleet, MA 02667

43-118-0-R

HAKALA MARCIA T & HAROLD H  
PO BOX 173  
TRURO, MA 02666

43-119-0-R

HELLER TRUST  
TRS: HELLER C B & MIRANDA C  
332 S ARDEN BOULEVARD  
LOS ANGELES, CA 90020

43-121-0-R

WILLIAM J MARSH REV LIV TRUST  
TRS: WILLIAM J MARSH  
PO BOX 838  
TRURO, MA 02666

43-122-0-R

DUNNE BRIAN F  
PO BOX 69  
TRURO, MA 02666-0069

44-11-0-E

U S A  
DEPT OF THE INTERIOR  
CAPE COD NATIONAL SEASHORE  
99 MARCONI SITE RD  
WELLFLEET, MA 02667

**From:** [Rich Stevens](#)  
**To:** [Elizabeth Sturdy](#); [Emily Beebe](#); [Arozana Davis](#); [Lynne Budnick](#)  
**Cc:** [Barbara Carboni](#)  
**Subject:** RE: Review of Planning Board Applications prior to 1/19 meeting  
**Date:** Wednesday, January 5, 2022 2:01:18 PM  
**Attachments:** [image001.png](#)

---

Good Afternoon Liz,

No comment on either PB or ZBA applications for 82 South Pamet.

Comments for both PB and ZBA on 38 Long Nook Road :

1. Not sure the minimum lot size is applicable here as footnote # 2 of the area and height regulations might exempt this lot.
2. Entire 1<sup>st</sup> floor area of garage to be 5/8" fire code drywall or equivalent.
3. Rated fire door from garage area to stairs to 2<sup>nd</sup> floor.
4. Will need stairs to grade from 2<sup>nd</sup> floor deck as a 2<sup>nd</sup> means of egress.

That is it.

Thank you as always,

Rich

---

**From:** Elizabeth Sturdy <ESturdy@truro-ma.gov>  
**Sent:** Tuesday, January 4, 2022 11:31 AM  
**To:** Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens <rstevens@truro-ma.gov>; Arozana Davis <ADavis@truro-ma.gov>; Lynne Budnick <LBudnick@truro-ma.gov>  
**Cc:** Barbara Carboni <bcarboni@truro-ma.gov>  
**Subject:** Review of Planning Board Applications prior to 1/19 meeting

Emily, Rich, Zana, Lynne:

The attached applications for Planning Board Residential Site Plan Review will be on the January 19 Planning Board Agenda. Please get back to me with any comments you may have, or not. Appreciate any and all input.

Let me know if you have any questions. Thanks,

Liz

*Elizabeth Sturdy*

Elizabeth Sturdy, Office Assistant  
Truro Town Hall  
24 Town Hall Road, P.O. Box 2030  
Truro, MA 02666  
Tel: (508) 214-0935  
Fax: (508) 349-5505  
Email: [esturdy@truro-ma.gov](mailto:esturdy@truro-ma.gov)

**From:** [Emily Beebe](#)  
**To:** [Elizabeth Sturdy](#)  
**Cc:** [Arozana Davis](#)  
**Subject:** RE: Review of Planning Board Applications prior to 1/19 meeting  
**Date:** Wednesday, January 19, 2022 10:50:39 AM  
**Attachments:** [image001.png](#)

---

Dear Elizabeth,

82 South Pamet :

The property is 127,107 sq-ft, developed lot; development includes a single-family dwelling, garage and greenhouses. It is currently served by a private well and a cesspool. The property is bordered by vegetated wetlands, Land Subject to Storm Flowage and a Coastal Bank.

The project to demolish the existing house and outbuildings and to construct a single-family dwelling, garage & shed and new septic system was approved by the Conservation Commission and an Order of Conditions has been issued.

The proposed dwelling & associated structures will be located within the 50'-100' setback to the Coastal Bank, in large part due to the shape of the lot, and the topography of the upland. Significant mitigation was offered to include removal of invasive plant species and revegetation with native plant species. Areas disturbed by construction will be restored with a drought tolerant native grass seed mix.

Thank you for the opportunity to comment.

-Emily

---

**From:** Elizabeth Sturdy  
**Sent:** Tuesday, January 4, 2022 11:31 AM  
**To:** Emily Beebe <[EBeeBe@truro-ma.gov](mailto:EBeeBe@truro-ma.gov)>; Rich Stevens <[rstevens@truro-ma.gov](mailto:rstevens@truro-ma.gov)>; Arozana Davis <[ADavis@truro-ma.gov](mailto:ADavis@truro-ma.gov)>; Lynne Budnick <[LBudnick@truro-ma.gov](mailto:LBudnick@truro-ma.gov)>  
**Cc:** Barbara Carboni <[bcarboni@truro-ma.gov](mailto:bcarboni@truro-ma.gov)>  
**Subject:** Review of Planning Board Applications prior to 1/19 meeting

Emily, Rich, Zana, Lynne:

The attached applications for Planning Board Residential Site Plan Review will be on the January 19 Planning Board Agenda. Please get back to me with any comments you may have, or not. Appreciate any and all input.

Let me know if you have any questions. Thanks,

Liz

*Elizabeth Sturdy*

Elizabeth Sturdy, Office Assistant  
Truro Town Hall  
24 Town Hall Road, P.O. Box 2030  
Truro, MA 02666





**La Tanzi  
Spaulding  
& Landreth**

8 Cardinal Lane  
Orleans

14 Center Street, Suite 4  
Provincetown

3010 Main Street, Suite 2E  
Barnstable

Benjamin E. Zehnder  
ext. 128  
bzehnder@latanzi.com

December 20, 2021

Town Clerk Kaci A. Fullerton  
Truro Town Hall  
24 Town Hall Road  
P.O. Box 2012  
Truro, MA 02666

Via hand delivery

Re: New Planning Board application for Residential Site Plan Review  
82 South Pamet Road (51-57)

Dear Ms. Fullerton:

Please find enclosed for filing with the Planning Board one original and fourteen copies of a new application for Residential Site Plan Review for the property at 82 South Pamet Road (Assessor's Parcel ID 51-57), which I am also transmitting electronically to the Town Planner. I have also enclosed check no. 13780 in the amount of \$250.00 for the application filing fee.

Thank you as always for your assistance. I remain –

Very truly yours,

Benjamin E. Zehnder

Enc.  
cc. via email:  
client  
David Bennett  
Barbara Carboni  
Linda Cronin  
John Z. Demarest, Jr.  
Diane Kyle  
Cameron Larson  
Parlin Meyer  
Lauren McKean  
R. Todd Schwebel  
G. Fred Vanderschmidt  
Quinn Wilcox

*A Legal Beacon since 1969*



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR RESIDENTIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date December 20, 2021

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw  
(Note: **Site Plan Review shall not be waived in the Seashore District**)

### 1. General Information

Description of Property and Proposed Project Locus is a 2.9 acre residential property in the Seashore District improved with a dwelling, garage, and outbuildings. The prior owner stored various equipment and debris / rubble on the property. Applicants propose razing the existing structures, building a new house, garage, and shed, and site restoration / mitigation.

Property Address 82 South Pamet Road Map(s) and Parcel(s) 51-57

Registry of Deeds title reference: Book 34393, Page 200, or Certificate of Title Number \_\_\_\_\_ and Land Ct. Lot # \_\_\_\_\_ and Plan # \_\_\_\_\_

Applicant's Name Victor M. Rivera & Laura W. Bergan, Trs., The Rivera Bergan Family Trust

Applicant's Legal Mailing Address 15 Lakeview Street, Arlington, MA 02476

Applicant's Phone(s), Fax and Email (781) 608-4369; vicrivera@me.com

Applicant is one of the following: (please check appropriate box)

\*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer\*
- Other\*


Owner's Name and Address \_\_\_\_\_


Representative's Name and Address Benjamin E. Zehnder P.O. Box 2300 Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-2133; (508) 255-3786; bzehnder@latanzi.com

**2. Waiver(s) Request** – The Planning Board may, upon the request of the applicant, pursuant to §70.4.F, waive requirements of §70.4.C, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)   
\_\_\_\_\_  
Applicant(s)/Representative Printed Name(s)

  
\_\_\_\_\_  
Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature(s)

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

Address: 82 South Pamet Road		Applicant Name: The Rivera Bergan Family Trust		Date: Dec. 21, 2021	
No.	Requirement	Included	Not Included	Explanation, if needed	
<b>C. Procedures and Plan Requirements</b>					
1a.	An original and 14 copies of the Application for Site Plan Review	X			
1b.	15 copies of the required plans and other required information including this Checklist	X			
1c.	Completed Criteria Review	X			
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	X			
1e.	Applicable filing fee	X			
	<b>Site Plans</b>				
2a.	Site Plans shall be prepared, stamped and signed by a Registered Land Surveyor and Professional Engineer	X			
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	X			
3	Site Plan shall include the following:				
3a. 1	North Arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	X			
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed conditions. This information shall be placed in a table format which must list all setbacks; percent of lot coverage, broken out between building, pavement, landscape coverage, etc.; number of buildings; total amount of square feet; and any other applicable zoning information necessary for the proper review of the site plan.	X			
	<u>Existing:</u>				
	All setbacks	X			
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	X			
	Number of buildings	X			
	Total number of square feet	X			
	Any other applicable zoning information necessary for the proper review of the site plan	X			

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

Address: 82 South Pamet Road		Applicant Name: The Rivera Bergan Family Trust		Date: Dec. 21, 2021	
No.	Requirement	Included	Not Included	Explanation, if needed	
	Proposed:				
	All setbacks	X			
	Percent (%) of lot coverage broken out between building, pavement, landscape coverage, etc.;	X			
	Number of buildings	X			
	Total number of square feet	X			
	Any other applicable zoning information necessary for the proper review of the site plan	X			
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.	X			
3a. 4	Graphic Scale	X			
3a. 5	Title Block - Including: name and description of the project; address of the property; names of the record owner(s) and the applicant(s); and date of the preparation of the plan(s) and subsequent revision dates	X			
3a. 6	Legend of All Symbols	X			
3a. 7	Property boundaries, dimensions and lot area	X			
3a. 8	Topography and grading plan	X			
3a. 9	Location, including setbacks of all existing and proposed buildings and additions	X			
3a. 10	Septic system location	X			
3a. 11	Location of (as applicable): wetlands the National Flood Insurance Program flood hazard elevation, and Massachusetts Natural Heritage Endangered Species Act jurisdiction	X			
3a. 12	Driveway(s) and driveway opening(s)	X			
3a. 13	Existing and proposed lighting	X			
3a. 14	Existing landscape features both vegetative and structural	X			
3a. 15	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s)	X			

**70.4 - RESIDENTIAL SITE PLAN REVIEW CHECKLIST - Applicant**

<b>Address:</b> 82 South Pamet Road		<b>Applicant Name:</b> The Rivera Bergan Family Trust		<b>Date:</b> Dec. 21, 2021	
No.	Requirement	Included	Not Included	Explanation, if needed	
<b>Architectural Plans</b>					
3b.	Architectural plans with all dimensions at a scale of no less than 1/8" = 1' -0", including: elevations floor plans	X X X			
3c.	<b>Lighting</b> specification, including style and wattage(s)	X			
<b>Neighborhood Context:</b>					
3d.	Photographs or other readily available data concerning the location and size of buildings on lots adjacent to or visible from the lot under consideration in order to provide a neighborhood context for the property under consideration	X			
3e.	<b>Re-vegetation/Landscaping plan</b> , including both vegetative and structural features	X			

## ADDRESSING THE REVIEW CRITERIA

### § 70.1 PURPOSE

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

**Instructions:** Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.4D of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

### §70.4D – REVIEW CRITERIA

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods. Such an evaluation shall be based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development relates to the existing terrain and lot and provides for solar and wind orientation which encourages energy conservation because:

The applicants propose demolition of the existing house and structures, which are located near to and oriented square to South Pamet Road. The propose a building new house, garage and shed on an area of level highland further back on the property and closer to the Pamet River, with the house oriented with its long axis running east to west. The structures will relate well to the land's topography, which falls off in elevation sharply to the west, as well as the scenic views towards the river. In addition, the proposed location will provide southerly and westerly exposures for the house, which will provide solar heat gain, and the proposed house is designed as a net zero energy usage building.

2. Building Design and Landscaping. Proposed development is consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques because:

Please see building plans, elevations, and perspective drawings filed herewith. The design proposal is for a barn-type farmhouse and matching garage. The design is traditional in appearance, with metal gabled roofs, vertical board and batten siding, and open- and enclosed porches and decks. The dwelling is modestly scaled and is massed along its long axis, with the vertical scale of the structure broken by the stepped roof eaves and low porch roof. These architectural features are consistent with the prevailing character of the South Pamet Road neighborhood and are appropriate for the area, which was historically used for farming purposes. With regard to screening, lighting, and landscaping please see Response 3, below.

3. Preservation of Landscape. The landscape will be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil because:

Please see Proposed Mitigation Plan filed herewith. The existing landscape is not in a natural state due to the past use of the property. The applicants propose removal of existing equipment and debris and mitigation plantings, including native tree, bush, and shrub plantings and native forage and cover seed plantings. The only proposed vegetation removal is in a 25' wide view filtered view vista, where the applicants propose thinning 20% or less of the existing canopy. The applicants do not propose any grade changes or removal of soil, other than as necessary to build the new house, garage, and shed, restore the currently disturbed areas, and extend the existing driveway to the location of the new proposed garage.

4. Circulation. Curb cuts and driveways will be safe and convenient and will be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro because:

The applicants do not propose any new curb cuts. They propose extending the existing driveway approximately 80' to a new garage. The existing curb cut and existing driveway and proposed extension will provide safe and convenient access to the property and be consistent with the General Bylaws.

5. Lighting. Lighting will be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There will be protection of adjacent properties and the night sky from intrusive lighting because:

Please see architectural plans and lighting specification sheets filed herewith. The applicants' proposed design has minimal exterior lighting, uses downcast fixtures, and is located in a private location shielded by existing and proposed vegetation, which will protect adjacent properties and the night sky and which will be consistent with the General Bylaws with regard to lighting.



**TRURO ASSESSORS OFFICE**  
PO Box 2012 Truro, MA 02666  
Telephone: (508) 214-0921  
Fax: (508) 349-5506

**Date:** October 5, 2021

**To:** Benjamin Zehnder, Agent

**From:** Assessors Department

**Certified Abutters List:** 82 South Pamet Road (Map 51 Parcel 57)

**Planning Board Site Plan**

Attached is a combined list of abutters for 82 South Pamet Road (Map 51 Parcel 57)

The current owner is The Rivera Bergan Family Trust.

The names and addresses of the abutters are as of October 1, 2021 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

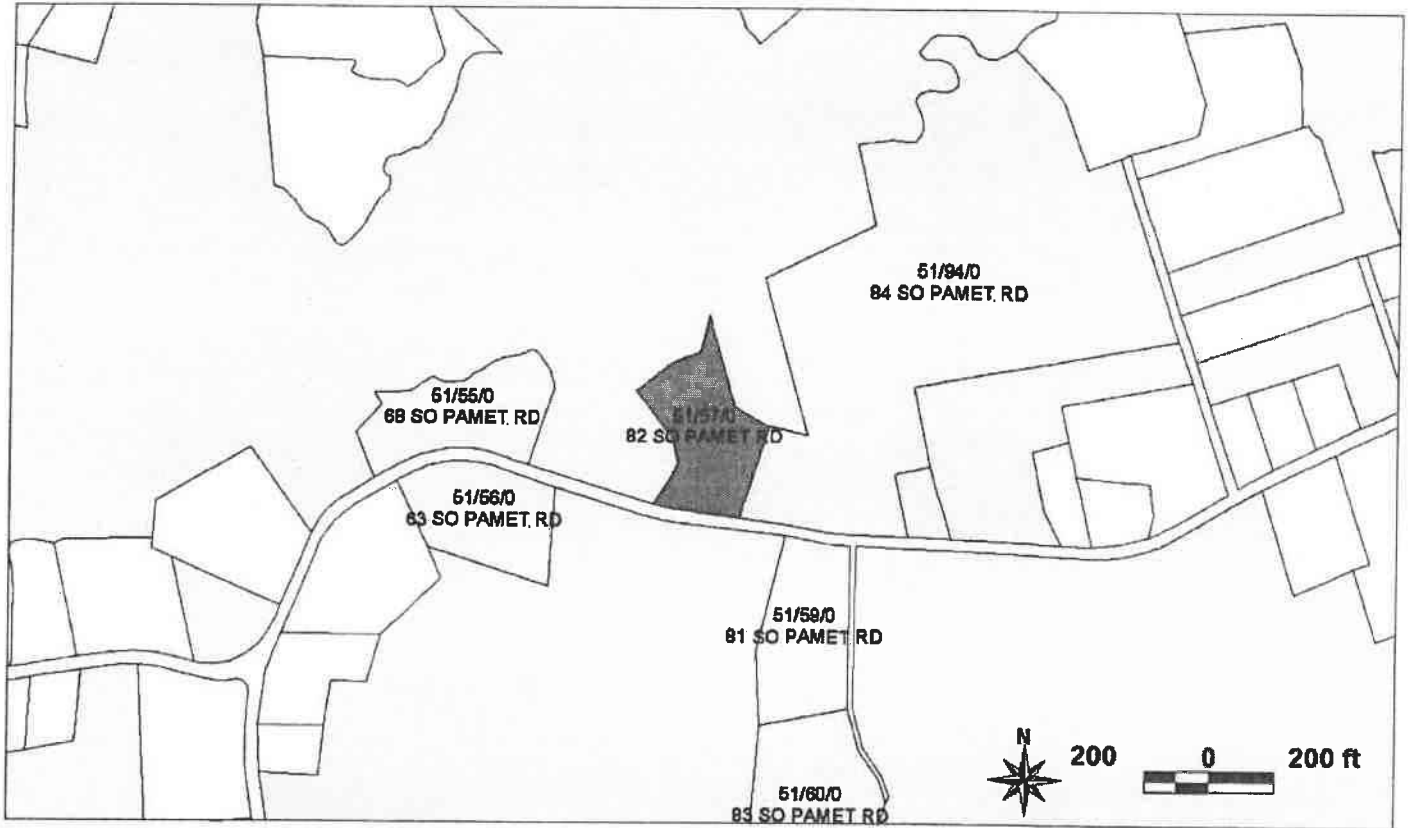
Laura Geiges  
Assistant Assessor / Data Collector



82 South Pamet Road  
 Map 51 Parcel 57  
 Site Plan

TOWN OF TRURO, MA  
 BOARD OF ASSESSORS  
 P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
3101	51-55-0-R	MOONEY GEORGE M & JANET E (LE) RMNDR: MOONEY ELIZABETH A ETAL	68 SO PAMET RD	PO BOX 787	TRURO	MA	02666-0787
3102	51-56-0-R	MOONEY GEORGE M & JANET E (LE) RMNDR: MOONEY ELIZABETH A ETAL	63 SO PAMET RD	PO BOX 787	TRURO	MA	02666-0787
3104	51-58-0-R	DOWNEY KEVIN M & JOLIN MARY MICHELE	82 SO PAMET RD	3440 34TH PL NW	WASHINGTON	DC	20018-3136
3105	51-59-0-R	SELESNICK RICHARD D & HAMILTON LAUREN C	81 SO PAMET RD	60 STATION HILL RD	BARRYTOWN	NY	12507
3108	51-60-0-R	PAMET HILL HAVEN TRUST VINCENT & THERESE C JAMES TRS	83 SO PAMET RD	424 ROCKAWAY ST	BOONTON	NJ	07005
5804	51-94-0-E	U S A DEPT OF THE INTERIOR	84 SO PAMET RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667

LG 10/5/2021

40-999-0-E

USA-DEPT OF INTERIOR  
Cape Cod National Seashore  
99 Marconi Site Rd  
Wellfleet, MA 02667

51-55-0-R

MOONEY GEORGE M & JANET E (LE)  
RMNDR: MOONEY ELIZABETH A ETAL  
PO BOX 787  
TRURO, MA 02666-0787

51-56-0-R

MOONEY GEORGE M & JANET E (LE)  
RMNDR: MOONEY ELIZABETH A ETAL  
PO BOX 787  
TRURO, MA 02666-0787

51-58-0-R

DOWNEY KEVIN M &  
JOLIN MARY MICHELE  
3440 34TH PL NW  
WASHINGTON, DC 20016-3136

51-59-0-R

SELESNICK RICHARD D &  
HAMILTON LAUREN C  
60 STATION HILL RD  
BARRYTOWN, NY 12507

51-60-0-R

PAMET HILL HAVEN TRUST  
VINCENT & THERESE C JAMES TRS  
424 ROCKAWAY ST  
BOONTON, NJ 07005

51-94-0-E

U S A  
DEPT OF THE INTERIOR  
CAPE COD NATIONAL SEASHORE  
99 MARCONI SITE RD  
WELLFLEET, MA 02667

LG 10/5/2021

CURRENT OWNER		PARCEL ID		LOCATION	
JOSEPH ARTHUR F ESTATE OF		51-57-0		82 SO PAMET RD	
C/O RIVERA BERGAN FAMILY TRUST.		TRANSFER HISTORY		BK-PG (Cert)	
15 LAKEVIEW ST		RIVERA BERGAN FAMILY TRUS		720,000 34393-200	
ARLINGTON, MA 02476		JOSEPH ARTHUR F ESTATE OF		913-153+	
		JOSEPH ARTHUR F		913-153+	

CD	T	AC/SF/JN	Nbhd	Inf1	Inf2	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.775	16	1.00	1	1.00	SR4	620,770	481,100
300	A	2.125	16	1.00	1	1.00	SR4	47,380	100,680

TOTAL	2.900 Acres	ZONING	NSD	FRNT	0
Nbhd	NATL SEASHORE				
Inf1	NO ADJ				
Inf2	NO ADJ				

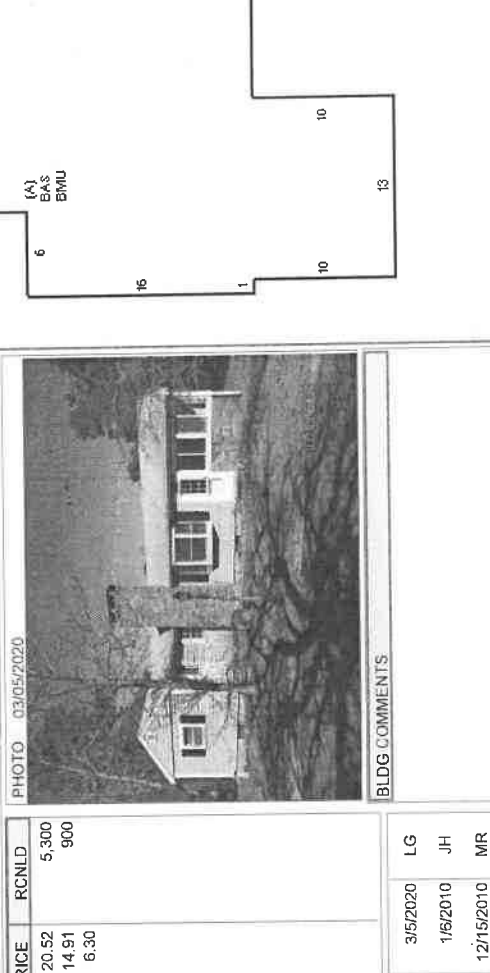
TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
DGF	A	1.00	P 0.45 24'x24		576	20.52	5,300
SHF	A	1.00	A 0.75 8'x10		80	14.91	900
OSH	A	1.00	P 0.45 4'x4		16	6.30	

PHOTO	03/05/2020	BLDG COMMENTS
		

BUILDING MODEL	CD	ADJ	DESC	MEASURE LIST	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION
1	1	1.00	RESIDENTIAL RANCH [100%]	3/5/2020	4	BSMT WALL	1.00	A	BMU	N	BSMT UNFINISHED
1	1	1.00	AVERAGE [100%]	1/6/2010	1	WOOD SHINGLES	1.00	A	BAS	L	BAS AREA
1	1	1.00	WOOD FRAME [100%]	12/15/2010	1	GABLE	1.00	B	EPA	N	ENCL PORCH
1	1	1.00	WOOD FRAME [100%]		3	ASPHALT SHINGLE	1.00	F	F11	O	FPL 1S 10P
1	1	1.00	WOOD FRAME [100%]		2	WWW CARPET	1.00				
1	1	1.00	WOOD FRAME [100%]		2	DRYWALL	1.00				
1	1	1.00	WOOD FRAME [100%]		2	HOT WATER	1.02				
1	1	1.00	WOOD FRAME [100%]		1	OIL	1.00				

YEAR BLT	1946	SIZE ADJ	1.040	UNITS	ADJ
NET AREA	1,234	DETAIL ADJ	1.000		
\$NLA(RCN)	\$259	OVERALL	1.020		
CAPACITY					
STORIES(FAR)	1				
ROOMS	5				
BEDROOMS	2				
BATHROOMS	2				
FIXTURES	6	\$4,200			
UNITS	0	1.00			

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD
1010	100	SINGLE FAMILY		1	1 of 1
PMT NO	PMT DT	DESC	INSP	BY	%
87-135	08/17/1987	3 REPAIR/REMOD	12/31/1987		100
AMOUNT					
3,000					100



UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	319,732
1,234		43.87	54,132		
1,234	1946	198.85	245,385		
84		105.40	8,853		
1		7,161.50	7,162		

EFF YR/AGE	1970 / 50
COND	40 40 %
FUNC	0
ECON	0
DEPR	40 % GD
RCNLD	\$191,800



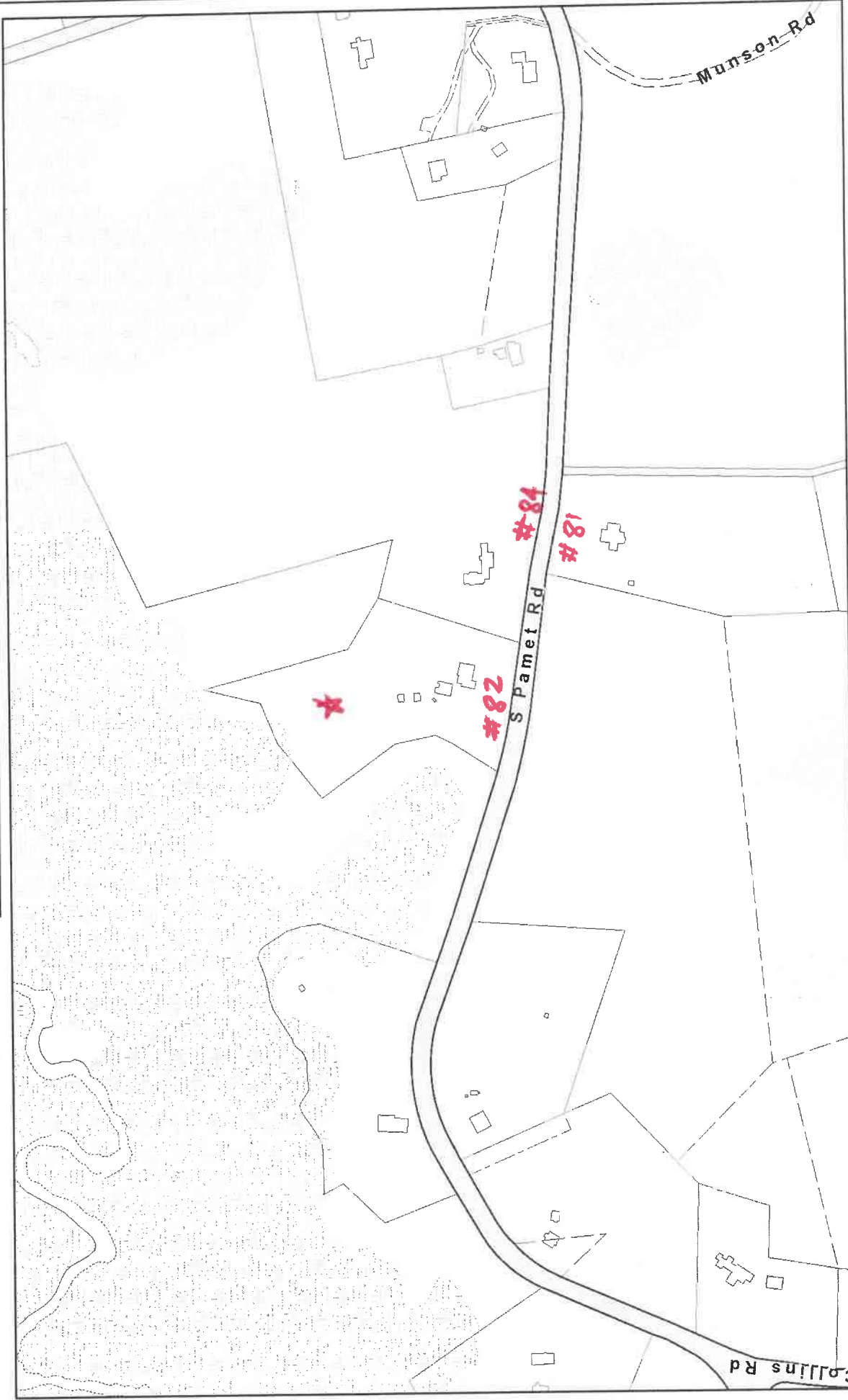
October 1, 2021

Truro, MA

1 inch = 279 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

**QUITCLAIM DEED**

We, the devisees under the Will of Arthur Joseph, Barnstable Probate & Family Court Docket No. BA02P0301EP1, being the surviving children of Brenda N. Martinez, Barnstable Probate & Family Court Docket No. BA19P0839EA, namely **Megan Thoen**, with a mailing address of 12810 Elgin Avenue, Lubbock, Texas 79423, **Kaycee Martinez**, with a mailing address of 215 Notre Dame Street, Westfield, Massachusetts 01805, and **Steven Martinez**, with a mailing address of 18 Pearson Ave #2, Somerville, Massachusetts 02144; **Jean G. Rose**, with a mailing P.O. Box 233, Wellfleet, Massachusetts 02667; and **Jody Joseph**, as Personal Representative of the Estate of **Arthur Joseph, Jr.**, Barnstable Probate Docket No. 21P0894EA, pursuant to a license to sell issued by the Barnstable Probate Court, attached hereto, and every other power, and with a mailing address of 109 Route 28, West Harwich, Massachusetts 02671,

together as tenants in common,

in consideration of **Seven Hundred Twenty Thousand (\$720,000.00) Dollars paid**,

grant to **Victor M. Rivera and Laura W. Bergan, Trustees of The Rivera Bergan Family Trust**, with Abstract of Trust under M.G.L. c. 184, §35, recorded at the Barnstable Registry of Deeds in Book 33497, Page 256, and with a mailing address of 15 Lakeview Street, Arlington, Massachusetts 02476,

*with Quitclaim Covenants,*

the land, together with the building(s) thereon, located at 82 South Pamet Road, Truro, Barnstable County, Massachusetts, more particularly described as follows:

Beginning at a concrete bound on the North side of the Town Way, known as South Pamet Road;

Thence running Northwesterly along the North side of said South Pamet Road Two Hundred Sixty-Four and 50/100 (264.50) feet, more or less, to a concrete bound at land now or formerly of the Heirs of Julia Joseph;

Thence running by a curved line, Northeasterly, Northerly, and Northwesterly, by said last mentioned land, to a bound at land now or formerly of Frederic A. Washburn;

Thence running by a broken line, Northeasterly and Northerly, still by said land of Washburn, One Hundred Forty-Eight (148) feet, One Hundred Thirty (130) feet, and Seventy (70) feet, all more or less to another corner at said land of Washburn;

**Locus: 82 South Pamet Road, Truro, Massachusetts**

MASSACHUSETTS STATE EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 08-18-2021 @ 12:30pm  
Ctl#: 632 Doc#: 54528  
Fee: \$2,462.40 Cons: \$720,000.00

BARNSTABLE COUNTY EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 08-18-2021 @ 12:30pm  
Ctl#: 632 Doc#: 54528  
Fee: \$2,203.20 Cons: \$720,000.00

Thence running Westerly still by said land of Washburn, One Hundred Five (105) feet, more or less, to another corner at said land of Washburn;

Thence running Northerly, still by said land of Washburn, Four Hundred Ninety-Five (495) feet, more or less, along the centre line of a ditch to a mud hole so-called in Pamet River, One Hundred (100) feet, more or less, to land formerly of Jonah Atkins;

Thence running Southeasterly by said last mentioned land eighty (80) feet, more or less, to the centre line of a ditch;

Thence running Southerly by said last mentioned land and other land of said Washburn, along the centre line of said ditch Three Hundred Ninety (390) feet, more or less, to a corner at said other land of Washburn;

Thence running Southeasterly and Southerly, in three courses, by said other land of Washburn, One Hundred Forty-Five (145) feet, Sixty-Three (63) feet, and Thirty-Five (35) feet, all more or less, to a concrete bound at registered land of said Washburn;

Thence running Southerly by said last mentioned land by two courses Four Hundred Thirty-Four and 58/100 (434.58) feet and Seventy-Two and 49/100 (72.49) feet to a concrete bound at the Northeast corner of other land of these Grantors;

Thence Northwesterly in range of other land of these Grantors One Hundred Sixteen and 94/100 (116.94) feet to a concrete bound;

Thence Southwesterly in range of said other land of these Grantors, Two Hundred Ninety-One and 66/100 (291.66) feet to the concrete bound at the point of beginning.

EXCEPTING THEREFROM that area of approximately 3.9 acres conveyed to the United States of America described as Parcel I in a deed dated February 19, 1965 and recorded at Barnstable County Registry of Deeds Book 1289, Page 876.

Subject to and together with all matters of record.

Grantors hereby release any and all rights of homestead, and certify under the pains and penalties of perjury that no person has or is entitled to claim a homestead in the within premises.

For title, see deed recorded in Book 913, Page 153. See also Estate of Arthur Joseph, Barnstable Probate & Family Court Docket No. BA02P0301EP, Estate of Brenda N. Martinez, Barnstable Probate & Family Court Docket No. BA19P0839EA, and Estate of Arthur Joseph, Jr., Barnstable Probate Docket No. 21P0894EA.

Executed as a sealed instrument under the pains and penalties of perjury this 25 day of March, 2021.

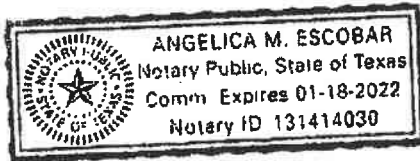
  
Megan Thoen


STATE of TEXAS

Lubbock County

March 25<sup>th</sup>, 2021

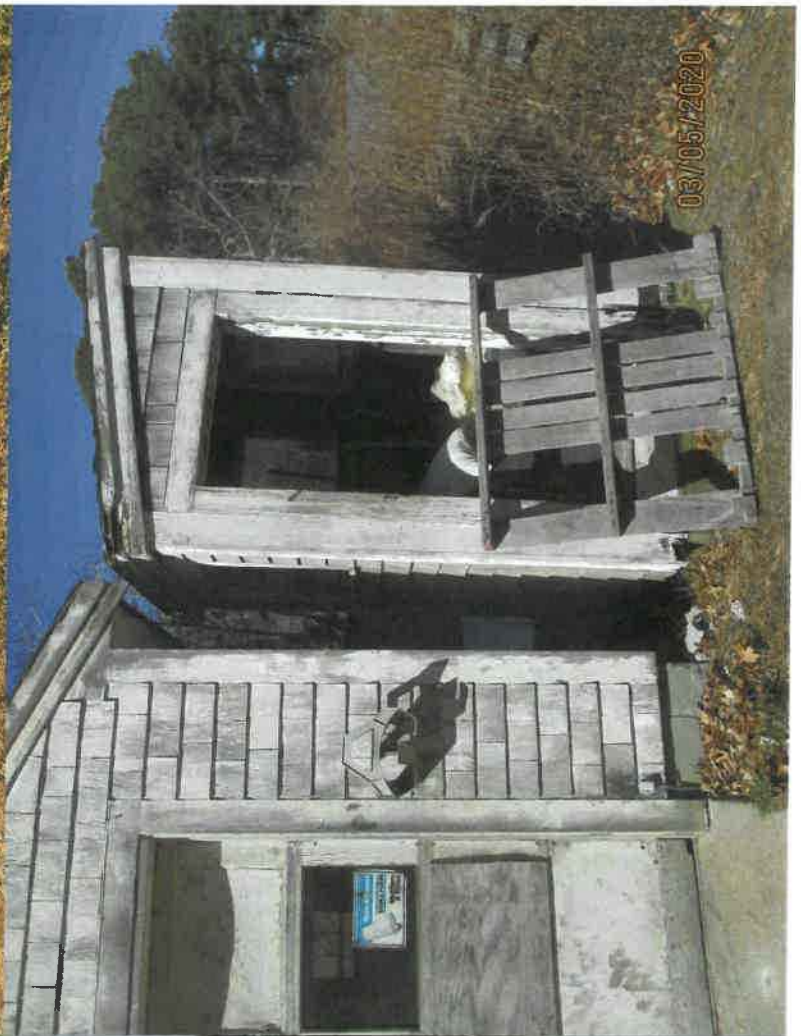
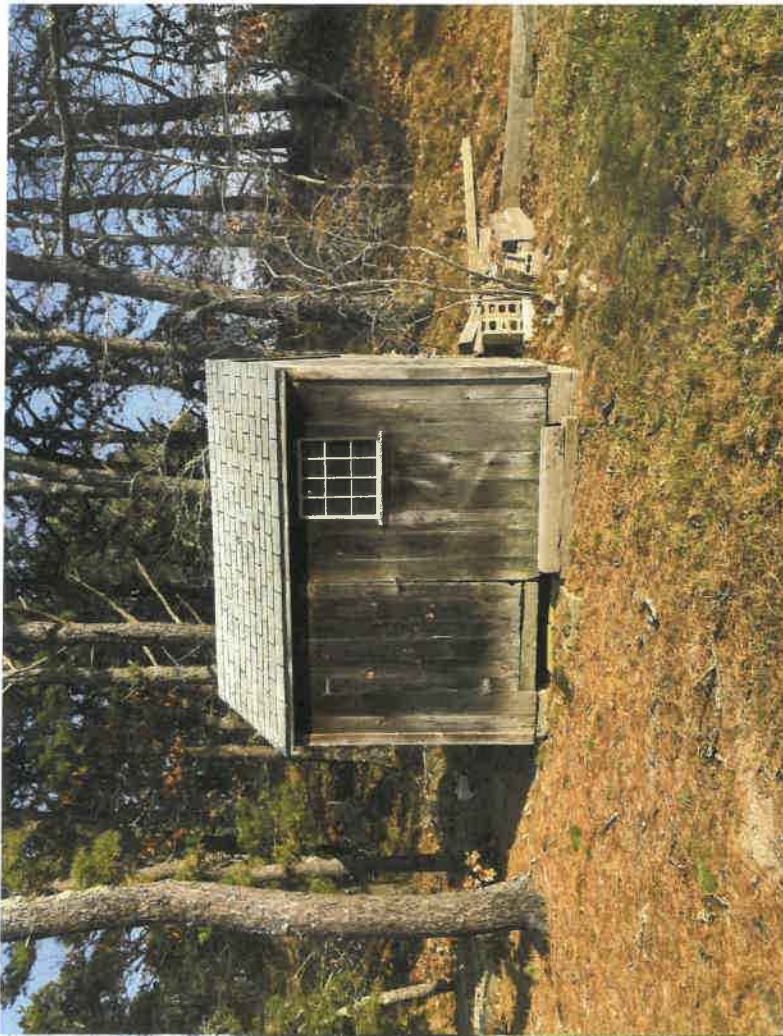
On this 25<sup>th</sup> day of March, 2021, before me, the undersigned Notary Public, personally appeared Megan Thoen, as aforesaid, proved to me through satisfactory evidence of identification, which was  *photographic identification issued by a federal or state governmental agency*,  *personal knowledge of the undersigned*, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it freely and voluntarily for its stated purpose.

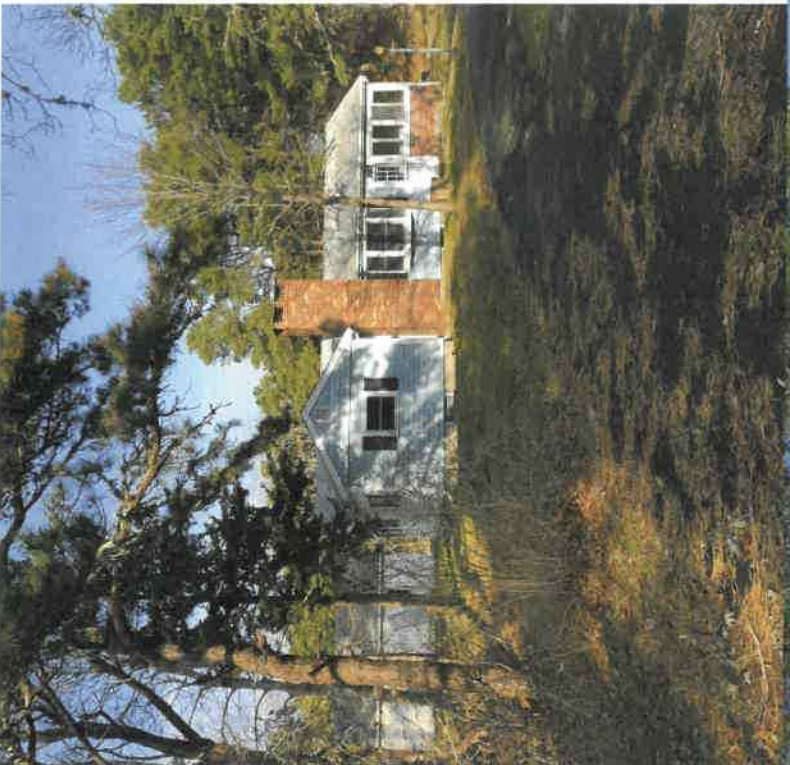


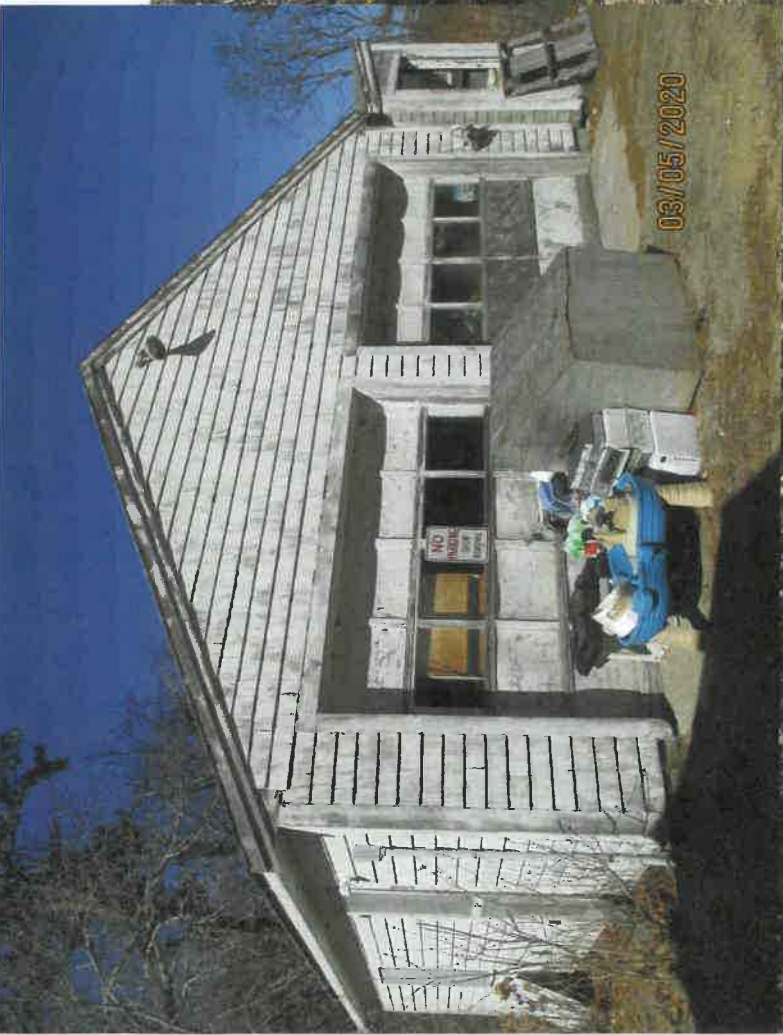
  
Notary Public  
My commission expires: 1-18-22











# PROPOSED MITIGATION PLAN





82 South Pamet Road, Truro










May 18, 2021

Environmental Consulting & Restoration, LLC

## NOTES:

- 1.) THE PROPOSED MITIGATION PLAN HAS BEEN DESIGNED TO MITIGATE THE IMPACTS TO THE 100-FOOT BUFFER ZONE FROM THE RAZE AND REBUILD PROJECT. THE PROPOSED RAZE AND REBUILD INCLUDES AN INCREASE OF APPROXIMATELY 876 SQUARE FEET IN STRUCTURAL FOOTPRINT (HOUSE, GARAGE & SHED) LOCATED WITHIN THE 100-FOOT BUFFER ZONE. PLEASE NOTE, THE PROPOSED PROJECT ALSO INCLUDES REMOVING ALL STRUCTURES FROM THE 50-FOOT BUFFER ZONE.
- 2.) THE PROPOSED MITIGATION INCLUDES APPROXIMATELY 3,144 SQUARE FEET OF NATIVE PLANTINGS TO RESTORE A PORTION OF THE 50-FOOT VEGETATED BUFFER ALONG THE COASTAL BANK WITHIN THE WESTERN PORTION OF THE SITE. MITIGATION HAS BEEN DESIGNED AT A GREATER THAN 3:1 RATIO COMPARED TO THE PROPOSED INCREASE IN STRUCTURAL FOOTPRINT WITHIN THE 100-FOOT BUFFER ZONE.
- 3.) THE MITIGATION AREA IS LOCATED WITHIN AND NEAR THE EXISTING FOOTPRINT OF THE STRUCTURES PROPOSED TO BE RAZED. THE PROPOSED MITIGATION AREA CURRENTLY INCLUDES STRUCTURES, MAINTAINED LAWN, A DILAPIDATED GARDEN, ETC.
- 4.) PRIOR TO ANY WORK IN OR NEAR THE PROPOSED MITIGATION AREA, EROSION CONTROLS SHALL BE ESTABLISHED ALONG THE EXISTING TREE LINE, BETWEEN THE MITIGATION AREA AND THE COASTAL BANK. EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL PLANTING HAS BEEN COMPLETED AND THE MITIGATION AREA HAS BEEN STABILIZED.
- 5.) PRIOR TO PLANTING, ALL WORK ASSOCIATED WITH RAZING THE EXISTING STRUCTURES SHOULD BE COMPLETED AND THE MITIGATION AREA "TURFED-OFF" TO EXPOSE THE NATIVE TOP SOILS. A LAYER OF CLEAN LOAM (2-3 INCHES) SHALL BE SPREAD ACROSS THE MITIGATION AREA AS NECESSARY TO INCREASE ORGANIC CONTENT AND PROMOTE BETTER "SEED-TO-SOIL" CONTACT.
- 6.) THE PROPOSED MITIGATION AREA SHALL BE HAND PLANTED WITH NATIVE SHRUBS AND SAPLINGS. PLANT SPACING SHALL BE IN ACCORDANCE WITH D.E.P. GUIDANCE AT 10 FEET ON CENTER FOR SHRUBS AND 15 FEET ON CENTER FOR SAPLINGS TO INCLUDE A TOTAL OF 36 NATIVE SHRUBS AND 16 NATIVE SAPLINGS TO VEGETATE THE 3,144 SQUARE FOOT MITIGATION AREA. PLEASE NOTE, THE PROPOSED PLANTS HAVE ALL BEEN SELECTED FROM THE TOWN OF TRURO APPROVED PLANT LIST.
- 7.) AT THE COMPLETION OF PLANTING, THE ROOT ZONES OF EACH PLANT SHALL BE COVER WITH A NATURAL MULCH OR WOOD CHIP.
- 8.) THE REMAINING MITIGATION AREA SHALL BE HAND SEEDING WITH A NATIVE SEED MIX SUITABLE FOR THE BUFFER ZONE ENVIRONMENT AT THE RATE SPECIFIED BY THE SUPPLIER. PLEASE SEE THE INCLUDED SEED MIX FOR MORE INFORMATION.
- 9.) AN IRRIGATION SCHEDULE SHALL BE ESTABLISHED BY THE APPLICANT/CONTRACTOR.

Plant Legend				
Symbol	Qty	Common	Botanical	Size
	7	Common Raspberry	Rubus occidentalis	1-2 ft.
	7	Lowbush Blueberry	Vaccinium angustifolium	1-2 ft.
	8	Bayberry	Myrica pensylvanica	2-3 ft.
				

Plant Legend				
Symbol	Qty	Common	Botanical	Size
	7	Common Raspberry	Rubus occidentalis	1-2 ft.
	7	Lowbush Blueberry	Vaccinium angustifolium	1-2 ft.
	8	Bayberry	Myrica pensylvanica	2-3 ft.
	7	Black Chokeberry	Aronia melanocarpa	2-3 ft.
	7	Virginia Rose	Rosa virginiana	2-3 ft.
	4	American Holly	Ilex opaca	4-5 ft.
	4	Black Cherry	Prunus serotina	5-6 ft.
	3	Black Oak	Quercus velutina	5-6 ft.
	5	Flowering Dogwood	Cornus florida	5-6 ft.

## Native Upland Wildlife Forage & Cover Meadow Mix

### Mix Composition

- 34.9% *Andropogon gerardii*, 'Niagara' (Big Bluestem, 'Niagara')
- 27.0% *Panicum virgatum*, 'Cave-In-Rock' (Switchgrass, 'Cave-In-Rock')
- 21.0% *Elymus virginicus*, PA Ecotype (Virginia Wildrye, PA Ecotype)
- 9.0% *Sorghastrum nutans*, NY4 Ecotype (Indiangrass, NY4 Ecotype)
- 3.0% *Rudbeckia hirta*, Coastal Plain NC Ecotype (Blackeyed Susan, Coastal Plain NC Ecotype)
- 2.0% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Heliopsis helianthoides*, PA Ecotype (Oxeye Sunflower, PA Ecotype)
- 1.0% *Coreopsis tinctoria* (Plains Coreopsis)
- 0.4% *Desmodium canadense*, PA Ecotype (Showy Ticktrefoil, PA Ecotype)
- 0.1% *Monarda fistulosa*, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)

FOR MORE INFORMATION PLEASE REFER TO THE PROJECT DESCRIPTION.

Home / Outdoor Lighting / Contemporary / Franklin Iron Works / Style # 42F98



MOST POPULAR

## Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light

9 Reviews

**\$99.99**

Comparable Value \$149.99

FREE SHIPPING & FREE RETURNS\*  
**SHIPS TODAY** if ordered in the next 57 Min.

1

ADD TO CART

SAVE

[Check Store Availability](#) | [Question? Ask a Store Associate](#)



DESIGN CHAT

VIEW IN YOUR ROOM

### Product Details

Illuminate a dark outdoor space with this urban barn light from Franklin Iron Works.

#### Additional Info:

A careful balance of rusticity and elegance, this outdoor wall light is the perfect addition to your patio or balcony. In a classic urban barn style with a curving neck, it invokes a charmingly old-fashioned feel. A smooth black finish gives this fixture a clean, almost contemporary touch. Vertical installation only.

**FRANKLIN**  
IRON WORKS™

[Shop all Franklin Iron Works](#)

- 12" wide x 10 1/2" high. Extends 14 1/2" from the wall. Backplate is 6 1/4" wide x 3/4" deep. Weighs 2.42 lbs.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Barn-style outdoor wall light from the Franklin Iron Works™ brand.
- Black finish over aluminum construction. Gooseneck arm.
- Vertical installation only. Distance from mounting point to top of fixture is 6".

### Recommended Bulbs

**ECR**



**Environmental Consulting & Restoration, LLC**  
*Specializing in Wetland and Coastal Resource Area Delineation & Permitting*

**NOTICE OF INTENT**

**82 South Pamet Road**

SUBMITTED TO

**Truro Conservation Commission**

**May 2021**

APPLICANT

**Victor Rivera**  
**15 Lakeview Street**  
**Arlington, MA 02476**

REPRESENTATIVE

**Environmental Consulting & Restoration, LLC**  
**P.O. Box 4012**  
**Plymouth, MA 02361**  
**(508) 648 - 3957**

# ECR

Environmental Consulting & Restoration, LLC



May 18, 2021

Town of Truro  
Conservation Commission  
24 Town Hall Road  
P.O. Box 2030  
Truro, MA 02666  
Attn.: Emily Beebe, Conservation Agent

**RE: Notice of Intent, Proposed Single-Family Home Raze & Rebuild Project, 82 South Pamet Road, Truro, MA**

Dear Ms. Beebe & Members of the Conservation Commission:

Please accept this Notice of Intent application for the proposed single-family home raze and rebuild project located at 82 South Pamet Road in Truro (the site). The Town of Truro Assessors Department references the site as Parcel #51-57-0. Portions of the proposed project are located within the 100-foot buffer zone to a Coastal Bank and 100-foot buffer zone to a Bordering Vegetated Wetland. Prior to the start of work, erosion controls will be installed in order to protect wetland resource areas. This application is being submitted in accordance with the Massachusetts Wetlands Protection Act and the Town of Truro Wetlands Protection Bylaw.

If you have any questions or require additional information, please contact me at (508) 648-3957.

Sincerely,  
Environmental Consulting & Restoration, LLC

  
Cameron Larson  
Wetland Scientist

CC: Department of Environmental Protection, Wetland Division, 20 Riverside Drive, Lakeville, MA 02347

Victor Rivera, 15 Lakeview Street, Arlington, MA 02476

Bennet Environmental Associates, LLC, 1573 Main Street, Brewster, MA 02631

Estated of Joseph Arthur c/o Jean Rose, PO Box 233, Wellfleet, MA 02667

BrightBuilt Home, 102 Exchange Street, Portland, ME 04101

MA Natural Heritage & Endangered Species Program, 1 Rabbit Hill Road, Westborough, MA 01581



**NOTICE OF INTENT**  
**TABLE OF CONTENTS**

<b><u>Item</u></b>	<b><u>Attachment</u></b>
Town of Truro Checklist for Filing a NOI	1
Notice of Intent Form	2
Copy of the Filing Fees	3
Project Narrative	4
Photograph Pages	5
USGS Site Locus Map	6
FEMA Map	7
Massachusetts Natural Heritage & Endangered Species Map	8
Abutters List and Notification	9
21-Day Waiver: Town of Truro	10
Site Plans	11



## TOWN OF TRURO CONSERVATION COMMISSION

P.O. Box 2030  
Truro MA 02666-0630

### Checklist for Filing a Notice of Intent

- Notice of Intent Application  Signature of applicant/property owner
- USGS Map/locus map  Certified abutters list from the Town Assessor (300') and letter to abutters\*
- Project Narrative  Project Plans /up-to-date Site plan  signed copy of 21 day waiver (requested)
- NHESP (if applicable- check map or ask staff for assistance to determine if property is within mapped jurisdiction)**
  - MESA application and fee  Copy of the entire Notice of Intent (including USGS Map, Plans)
  - Send by certified mail return receipt requested to NHESP

**\*NOTE:** The abutter's notification letter must be sent to each abutter by certified mail, return receipt requested, at the expense of the applicant. The green cards must be submitted at the hearing.

### Copies to DEP

- 1) **Fee: mail the state-share** of the fee to Boston by certified mail, return receipt requested; enclose the "fee transmittal form" and mail to DEP, PO Box 4062, Boston, MA 02211
- 2) Mail 1-copy of the Notice of Intent Application packet **and a copy of the fee transmittal form** by certified mail, return receipt requested to: DEP SERO, 20 Riverside Drive, Lakeville, MA 02347

### Copies to Truro Conservation Commission

- attach check to "Town of Truro" for the town share of filing fee, PLUS the local filing fee
- provide:
  - \_ (2) copies of the NOI Application
  - \_ (1) copy of the abutters list, notification, wetlands fee transmittal, & 21 day waiver (if applicable)
  - \_ (9) copies of any narratives AND plans
  - \_ (1) emailed pdf of plans
- bring the green cards as proof of notification of abutters to the meeting

### Checklist for Filing an RDA

#### (Request for Determination of Applicability)

- Request for Determination of Applicability form plus current site plan/project sketch
- ample project details
- signed copy of 21 day waiver (requested)
- Signature of applicant/property owner
- attach check to the "Town of Truro" for \$30 (this fee can be applied toward fee for higher level of filing if required)

1-copy of the Request for Determination of Applicability packet mailed by certified mail, return receipt requested to: DEP SERO, 20 Riverside Drive, Lakeville, MA 02347

9-copies of the Request for Determination of Applicability packet  
(packet = application + plans) for the Commission



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 \_\_\_\_\_  
 MassDEP File Number  
 \_\_\_\_\_  
 Document Transaction Number  
 Truro  
 \_\_\_\_\_  
 City/Town

**Important:**  
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:**  
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

82 South Pamet Road  
 a. Street Address  
 Truro  
 b. City/Town  
 0266  
 c. Zip Code  
 Latitude and Longitude:  
 41° 59' 44.39" N  
 d. Latitude  
 70° 1' 49.47" W  
 e. Longitude  
 Map 51  
 f. Assessors Map/Plat Number  
 Parcel 57  
 g. Parcel /Lot Number

2. Applicant:

Victor  
 a. First Name  
 Rivera  
 b. Last Name  
 \_\_\_\_\_  
 c. Organization  
 15 Lakeview Street  
 d. Street Address  
 Arlington  
 e. City/Town  
 MA  
 f. State  
 02476  
 g. Zip Code  
 \_\_\_\_\_  
 h. Phone Number  
 i. Fax Number  
 vicrivera@me.com  
 j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

Estate of Joseph Arthur c/o Jean Rose  
 a. First Name  
 \_\_\_\_\_  
 b. Last Name  
 \_\_\_\_\_  
 \_\_\_\_\_  
 c. Organization  
 PO Box 233  
 d. Street Address  
 Wellfleet  
 e. City/Town  
 MA  
 f. State  
 02667  
 g. Zip Code  
 \_\_\_\_\_  
 h. Phone Number  
 i. Fax Number  
 j. Email address

4. Representative (if any):

Cameron  
 a. First Name  
 Larson  
 b. Last Name  
 Environmental Consulting & Restoration, LLC  
 c. Company  
 PO Box 4012  
 d. Street Address  
 Plymouth  
 e. City/Town  
 MA  
 f. State  
 02361  
 g. Zip Code  
 508-648-3957  
 h. Phone Number  
 i. Fax Number  
 cameron@ecrwetlands.com  
 j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$500.00  
 a. Total Fee Paid  
 \$237.50  
 b. State Fee Paid  
 \$262.50  
 c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

### WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Truro
City/Town

#### A. General Information (continued)

6. General Project Description:

The proposed project includes the raze and rebuild of a single-family home located at 82 South Pamet Road in Truro. Portions of the proposed project are located within the 100-foot buffer zone to a Coastal Bank and 100-foot buffer zone to a Bordering Vegetated Wetland. For more information, please refer to the project narrative attached.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Barnstable	
a. County	b. Certificate # (if registered land)
913	153
c. Book	d. Page Number

#### B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Truro

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f.  Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland** \_\_\_\_\_
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
  - 100 ft. - New agricultural projects only
  - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_      b. square feet within 100 ft. \_\_\_\_\_      c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?       Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?       Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number
Document Transaction Number
Truro
City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Truro

City/Town

### C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

#### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

August 2017 -  
MassGIS Oliver

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area	<u>0 acres</u> percentage/acreage
(b) outside Resource Area	<u>Approx. 0.75 acres</u> percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

- (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mas-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Truro

City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

(c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.

Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

3.  Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only

b.  Yes  No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c.  Is this an aquaculture project?

d.  Yes  No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).





**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Truro

City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

---

MassDEP File Number

---

Document Transaction Number

---

Truro

---

City/Town

**D. Additional Information (cont'd)**

- 3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

- 4.  List the titles and dates for all plans and other materials submitted with this NOI.

Site and Septic Plan Notice of Intent Application

a. Plan Title

Bennett Environmental Associates, LLC

b. Prepared By

05/11/2021

d. Final Revision Date

c. Signed and Stamped by

1"=40'

e. Scale

Proposed Mitigation Plan, Prepared by ECR, LLC

May 13, 2021

f. Additional Plan or Document Title

g. Date

- 5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8.  Attach NOI Wetland Fee Transmittal Form
- 9.  Attach Stormwater Report, if needed.

**E. Fees**

- 1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2515	05/14/2021
2. Municipal Check Number	3. Check date
2516	05/14/2021
4. State Check Number	5. Check date
Victor	Rivera
6. Payor name on check: First Name	7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands**

Provided by MassDEP:

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

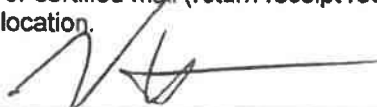

Scituate

City/Town

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

	5/14/21
1. Signature of Applicant	2. Date
	5/18/21
3. Signature of Property Owner (if different)	4. Date
5. Signature of Representative (if any)	6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

82 South Pamet Road Truro  
 a. Street Address b. City/Town

\_\_\_\_\_ \_\_\_\_\_

c. Check number d. Fee amount

\_\_\_\_\_ \_\_\_\_\_

2. Applicant Mailing Address:

Victor Rivera  
 a. First Name b. Last Name

\_\_\_\_\_ \_\_\_\_\_

c. Organization \_\_\_\_\_

15 Lakeview Street  
 d. Mailing Address \_\_\_\_\_

Arlington MA 02476  
 e. City/Town f. State g. Zip Code

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

h. Phone Number i. Fax Number vicrivera@me.com  
 \_\_\_\_\_ \_\_\_\_\_ j. Email Address

3. Property Owner (if different):

Estate of Joseph Arthur, c/o Jean Rose  
 a. First Name b. Last Name

\_\_\_\_\_ \_\_\_\_\_

c. Organization \_\_\_\_\_

PO Box 233  
 d. Mailing Address \_\_\_\_\_

Wellfleet MA 02667  
 e. City/Town f. State g. Zip Code

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

h. Phone Number i. Fax Number j. Email Address

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees (continued)**

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Cat. 2) Rebuild SFH	1	\$500.00	\$500.00
Town of Truro Bylaw Fee	\$100.00		

**Step 5/Total Project Fee:** \$500.00

**Step 6/Fee Payments:**

Total Project Fee:	\$500.00
State share of filing Fee:	a. Total Fee from Step 5 \$237.50
City/Town share of filling Fee:	b. 1/2 Total Fee less \$12.50 \$262.50
	c. 1/2 Total Fee plus \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

VICTOR M RIVERA  
LAURA W BERGAN  
15 LAKEVIEW ST.  
ARLINGTON, MA 02476

53-7112/2113

2517

DATE

5/14/21

PAY TO THE ORDER OF Commonwealth of MA - NHESP \$ 300.00

Three Hundred xx/100

DOLLARS

Heat Reactive Ink

csb Cambridge SAVINGS BANK

MEMO

*Handwritten signature*

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

VICTOR M RIVERA  
LAURA W BERGAN  
15 LAKEVIEW ST.  
ARLINGTON, MA 02476

53-7112/2113

2516

DATE

5/14/21

PAY TO THE ORDER OF Commonwealth of MA \$ 237.50

Two Hundred + Thirty-Seven 50/100

DOLLARS

Heat Reactive Ink

csb Cambridge SAVINGS BANK

MEMO

*Handwritten signature*

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

VICTOR M RIVERA  
LAURA W BERGAN  
15 LAKEVIEW ST.  
ARLINGTON, MA 02476

53-7112/2113

2515

DATE

5/14/21

PAY TO THE ORDER OF Town of Truro \$ 362.50

Three Hundred + Sixty-Two 50/100

DOLLARS

Heat Reactive Ink

csb Cambridge SAVINGS BANK

MEMO

*Handwritten signature*

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

Cameron Larsen  
ECR, LLC  
PO Box 4012  
Plymouth, MA 02361

RIVERA / BERGAN  
15 Lakeview St  
Arlington - MA 02476

## **PROJECT DESCRIPTION**

### **1.0 Introduction**

Please accept this Notice of Intent application for the proposed single-family home raze and rebuild project located at 82 South Pamet Road in Truro (the site). The Town of Truro Assessors Department references the site as Parcel #51-57-0. The proposed project includes the razing of the existing home and associated structures, the construction of a new home with associated garage, shed, grading, utilities, landscaping, etc. The proposed project also includes mitigation intended to provide an overall improvement to the site and a betterment to the wetland resource areas on and near the site. Portions of the proposed project are located within the 100-foot buffer zone to a Coastal Bank and 100-foot buffer zone to a Bordering Vegetated Wetland. Prior to the start of work, erosion controls will be installed in order to protect wetland resource areas. This application is being submitted in accordance with the Massachusetts Wetlands Protection Act and the Town of Truro Wetlands Protection Bylaw.

### **2.0 Site Description**

The site is located to the north of South Pamet Road and consists of a residential lot with associated single-family home, driveway, detached garage, shed, greenhouse, gardening/landscaped areas, etc. A significant portion of the site, to the rear of the home, consists of a previously altered area occupied by lawn, dirt parking, a dilapidated greenhouse/gardening area, material stockpiles, etc. The developed portion of the site sits atop an upland knoll surrounded by Bordering Vegetated Wetlands and a Coastal Bank to the north and west. The site trends significantly upgrade to the east of the developed portion of the site in a mounded, forested upland area. Environmental Consulting & Restoration, LLC (ECR) performed a wetland delineation at the site on February 23<sup>rd</sup>, 2021, locating the surrounding wetland resource areas. Subsequently, the locations of the wetland resource areas were confirmed by an Order of Resource Area Delineation (ORAD), DEP File #SE 075-1120, issued by the Truro Conservation Commission. As a result of the field work, review of available environmental databases and ORAD issued, ECR is able to confirm that the site contains the following wetland resource areas and areas of Conservation Commission jurisdiction:

- Bordering Vegetated Wetlands (BVW)
- Coastal Bank
- 100-foot buffer zone to BVW & Coastal Bank
- Land Subject to Coastal Storm Flowage (FEMA flood zone AE el. 14 ft.)

#### **Notes:**

1. The site is located within Estimated/Priority Habitat for Rare Species according to the Massachusetts Natural Heritage & Endangered Species Program (MaNHESP).
2. The site does not contain Certified Vernal Pools according to the MaNHESP.
3. The site does not contain a U.S.G.S. mapped stream.
4. The site is not located within an Area of Critical Environmental Concern.

### **3.0 Proposed Activities**

The purpose of this application is to authorize the raze and rebuild of a single-family home at 82 South Pamet Road. The designed project paid significant consideration to the existing site conditions, the nearby wetland resource areas and the goal of providing an overall improvement to the site with regards to the interest of the MA Wetlands Protection Act and the Truro Wetlands Bylaw. The proposed project will involve the following activities:

- Installation of Erosion Controls – Prior to the start of any site work a siltsock will be installed along the proposed limit of work to protect the nearby wetland resource areas.
- Proposed Razing of the Existing Single-Family Home – The existing single-family home and associated structures (i.e. shed, greenhouse, detached garage) shall be razed to include collection of debris and disposal at an appropriate facility offsite. The proposed razing of the home includes the

**Notice of Intent  
82 South Pamet Road, Truro**

abandonment of the existing cesspool located within the western portion of the site to be in compliance with all Title 5 and local Board of Health requirements.

- Proposed Septic – As noted above, the existing cesspool shall be abandoned. The existing cesspool is located along the top of the Coastal Bank to the west of the existing home and approximately 76 feet from the nearby BVW. The proposed septic system shall be an upgrade over the existing system to include a new Title 5 compliant system located beyond the 100-foot buffer zone to BVW and beyond the 100-foot buffer zone to the Coastal Bank. For more information regarding the proposed septic system please see the attached plans.
- Proposed Single-Family Home Reconstruction – The proposed single-family home, garage and shed shall be reconstructed outside the 50-foot buffer zone to the Coastal Bank and BVW further away from the resource areas than the existing conditions. The proposed home is located entirely within a previously altered portion of the site. A very limited amount of grading and vegetation clearing is necessary for the proposed shed, garage and septic system. The majority of the existing driveway shall remain within the same footprint with a portion re-routed to access the proposed garage. The proposed driveway shall consist of crushed shells or similar permeable material. The table below shows several important comparisons between the existing structures and the proposed structures.

Table 1. Comparison of Existing Conditions vs. Proposed Conditions

	Existing Conditions	Proposed Conditions	Net Change
Nearest Distance from Structure to Coastal Bank	15.7 ft.	50.6 ft.	<b>+34.9 ft.</b>
Nearest Distance from Structure to BVW	74.4 ft.	84.0 ft.	<b>+9.6 ft.</b>
Nearest Distance from S.A.S. to BVW	76.5 ft.	158 ft.	<b>+81.5 ft.</b>
Area of Structures Within 0-50 ft. Buffer	1,728 sq. ft.	0 sq. ft.	<b>-1,728 sq. ft.</b>
Total Area of Structures	2,516 sq. ft.	3,392 sq. ft.	<b>+876 sq. ft. (&gt;3:1 mitigation proposed)</b>

- Proposed Mitigation – The project has been designed to provide an overall improvement to the existing conditions of the site and further enhance the capacity of the wetland resource area on and near the site to protect the public interests and values MA Wetlands Protection Act and the Truro Wetlands Bylaw. For specific information regarding the proposed mitigation please see section 4 below.
- Landscape Activities - All disturbed areas surrounding the proposed raze and rebuild project will be restored and stabilized as lawn and/or landscape beds. All landscape plant materials proposed within the 100-foot buffer zone at the site will consist of native plant species. The proposed lawn will consist of environmentally friendly grass seed mix that requires little maintenance needs such as irrigation and fertilization. ECR recommends using a grass seed mix with a high content of tall fescues, which requires less irrigation and fertilization needs.

**4.0 Alternatives Analysis**

During the design of the proposed raze and rebuild project several alternatives were reviewed. The review of alternatives focused on avoiding impacts to the wetland resource areas and associated buffer zones, minimizing site disturbance and mitigating as necessary. The following three alternatives were considered during the design of this project:



Alternative #1 – Raze and rebuild the proposed home within the same general footprint. The existing home is located within the 50-foot buffer zone to a Coastal Bank and 100-foot buffer zone to BVW. Rebuilding within the same general footprint is typically an acceptable alternative as it minimizes impacts to other areas of the site. However, in this case, the site contains previously altered areas located beyond the 50 foot-buffer zone to the Coastal Bank and 100-foot buffer zone to the BVW. Therefore, a more suitable alternative is to relocate the home outside the buffer zones noted above within a previously disturbed portion of the site, which would avoid further impacts to the inner buffer zone, minimize additional site disturbance and provide the opportunity to restore a portion of the inner buffer zone.

Alternative #2 – Rebuild the proposed home outside of the 100-foot buffer zone within the eastern-most portion of the site. This alternative would provide the greatest distance between the proposed home and the wetland resource areas; however, the physical characteristics of the site did not make this a practical solution. The proposed design utilizes the previously disturbed areas on site as much as possible. The eastern portion of the site trends significantly upgrate into a mounded, forested area. To encroach into this area with the proposed home would require significant site disturbance and vegetation removal which would pose a risk of destabilization and threat to adversely impact the nearby wetland resource areas and buffers. Therefore, it has been determined that this is not a suitable alternative.

Alternative #3 – Proposed raze and rebuild submitted to the Truro Conservation Commission. As designed the proposed project involves razing the existing home and associated structures and relocating all structures further landward from all wetland resource areas. The proposed design avoids impacts to the 50-foot buffer zone. The proposed project minimizes site disturbance by utilizing previously altered areas on the site. The proposed project includes 3,144 square feet of mitigation (greater than 3:1 ratio) to restore a portion of the 50-foot vegetative buffer. This is the most suitable alternative; as proposed the project provides an overall improvement to the site with regards to the interest of the MA Wetlands Protection Act and the Truro Wetlands Bylaw

## **5.0 Proposed Mitigation**

The proposed project relocates the new home and all associated structures outside the 50-foot buffer zone. The proposed project includes a net increase of 876 square feet of structural footprint within the outer buffer zone (50 to 100-foot buffer zone). To mitigate impacts to the buffer zone a mitigation plan has been designed to include the re-establishment of a portion of the 50-foot vegetative buffer, the removal of non-native invasive and the removal of historic rubble/debris from the site. The proposed re-establishment of a portion of the 50-foot vegetative buffer has been designed in the way of a native planting area (mitigation area). The proposed mitigation area has been designed to include a total of 3,144 square feet (greater than 3:1 ratio). The proposed mitigation area will be constructed per the following:

1. Prior to the start of work, erosion control barriers shall be established along the existing tree line, between the mitigation area and the coastal bank. Erosion controls shall remain in place until planting has been completed and the mitigation area has been stabilized.
2. In conjunction with the razing of the existing structures, the mitigation area shall be turfed-off to expose the native topsoil. A layer of clean loam (2-3 inches) shall be spread across the mitigation area as necessary to increase organic content and promote better "seed-to-soil" contact.
3. The proposed mitigation area shall be hand planted with native shrubs and saplings. Plant spacing shall be in accordance with D.E.P. guidance at 10 feet on center for shrubs and 15 feet on center for saplings to include a total of 36 native shrubs and 16 native saplings to vegetate the 3,144 square foot mitigation area. Please note, the proposed plants have all been selected from the town of Truro approved plant list (see Table 1 below).

Table 2 – Mitigation Plant Legend

**TREES**

SPECIES	SIZE (height)	NUMBER
Flowering Dogwood ( <i>Cornus florida</i> )	5 to 6 ft.	5
Black Oak ( <i>Quercus velutina</i> )	5 to 6 ft.	3
Black Cherry ( <i>Prunus serotina</i> )	5 to 6 ft.	4
American Holly ( <i>Ilex opaca</i> )	4 to 5 ft.	4
Total		16

**SHRUBS**

SPECIES	SIZE (height)	NUMBER
Common Raspberry ( <i>Rubus occidentalis</i> )	1 to 2 ft.	7
Lowbush Blueberry ( <i>Vaccinium angustifolium</i> )	1 to 2 ft.	7
Black Chokeberry ( <i>Aronia melanocarpa</i> )	2 to 3 ft.	7
Bayberry ( <i>Myrica pensylvanica</i> )	2 to 3 ft.	8
Virginia Rose ( <i>Rosa virginiana</i> )	2 to 3 ft.	7
Total		36

4. Upon completion of planting, the root zones of the plants will be mulched with a layer of leaf litter or other natural organic mulch.
5. The remaining restoration area will be scratched and seeded with a conservation/wildlife seed mix at the rate specified by the supplier. Please refer to the seed mix profile included on the proposed mitigation plan for more information.
6. A maintenance schedule for irrigation and pruning (as necessary) will be established by the applicant/contractor.
7. The mitigation area will be inspected each fall for non-native invasive or unwanted plants for a two-year period. If non-native invasive species are found, they will be uprooted and removed from the area.

**5.1 Planting Requirements**

Within the buffer zone mitigation area all trees will be installed to a depth as measured from the trunk flare to the bottom of the root ball. The shrubs will be installed in a hole 1.5 feet larger than the ball of the plant and the hole will not be deeper than the depth of the root ball. The hole will be backfilled with soil of the same mix as existing within the surrounding area and compost or other organic amendments will be added to the backfill to increase water-holding capacity. Watering will be of sufficient quantity to penetrate the soil to a depth of eight inches, which will meet the moisture needs of the plant without saturating the soil. All plantings will be done by hand during early spring (March 15<sup>th</sup> to April 30<sup>th</sup>) or late fall (October 15<sup>th</sup> to November 15<sup>th</sup>) seasons and supervised by a qualified wetland scientist. Please note that seed mix germination is optimal in the spring season when soil temperatures are above 45 degrees. If necessary, the plants may require a hand sprayed application of deer repellent to prevent plant death by browsing deer.

**5.2 Non-native Invasive Species & Removal of Rubble/Debris**

The proposed mitigation associated with the raze and rebuild project at the site also includes the removal of rubble/debris within and near the established work area. There are several areas of

**Notice of Intent**  
**82 South Pamet Road, Truro**

historically collected debris within and near the work area that include old timber, concrete debris, etc. The debris is located within the buffer zone to wetland resource areas as well as along the Coastal Bank. In an effort to improve the overall site conditions, the debris is proposed to be removed; removed within the work area as well as removed by hand from any areas beyond the work area. Please see the attached photograph pages that show examples of the historic debris onsite.

ECR also identified several species of non-native invasive plant species within and near the proposed work area. Non-native species documented onsite include Multiflora Rose (*Rosa multiflora*), Morrow's Honeysuckle (*Lonicera morrowii*) and Japanese Knotweed (*Polygonum cuspidatum*). The invasive appear to be isolated along the limits of the developed portion of the site to include a large patch of Japanese Knotweed along the Coastal Bank to the north. As part of this mitigation plan, non-natives within and near the proposed work area are proposed to be flush-cut to the ground, collected and disposed of offsite. Prior to removal, an over-viewing specialist shall flag invasive in the field. Please note, no herbicide treatment is proposed at this time. The proposed invasive plant removal is intended to reduce their presence on the site and not intended to fully eradicate them, as this would require a detailed invasive management plan which is not being proposed at this time.

**6. Summary**

The proposed raze and rebuild project at 82 South Pamet Road has been designed with specific considerations to protect all nearby wetland resource areas and provide an overall improvement to the site. The project includes relocating all structures outside of the 50-foot buffer zone, re-establishing a portion of the 50-foot vegetative buffer with a 3:1 native planting area, all while conforming to the physical site constraints to reduce site disturbance to the maximum extent possible. Erosion and sediment control measures will be implemented and maintained throughout the duration of the construction process to prevent the conveyance of sedimentation into environmentally sensitive areas. Disturbed areas will be stabilized upon the completion of work, and in the event that intense rainfall is expected, reinforcing control measures will be installed as needed to protect all wetland resource areas. Stockpiling of soils and material, shall be located beyond the 50-foot buffer zone as far landward from the wetland resource areas as practically possible and surrounded by the erosion controls as necessary. Erosion control measures shall remain in place and be maintained until such time that a Certificate of Compliance has been issued by the Truro Conservation Commission, stating that the project has been constructed in accordance with the conditions set forth in the Order of Conditions. As a result, it is my opinion that the project protects the Interests of the Massachusetts Wetlands Protection Act and the Town of Truro Wetlands Protection Bylaw for the adjacent Resource Area and the Applicant is entitled to an Order of Conditions approving the project.



Photograph #1 – View north from South Pamet Road of the existing home proposed to be razed. The proposed mitigation planting area is located within and near the existing home.



Photograph #2 - View south looking towards the existing home, garage and dilapidated greenhouse, all proposed to be razed. The mitigation planting area is proposed within and near this area to the west.

**NOI – 82 South Pamet Road, Truro  
Site Photographs**



Photograph #3 – View north toward the proposed home location which will be located within the previously altered area and outside the 50-foot buffer zone.



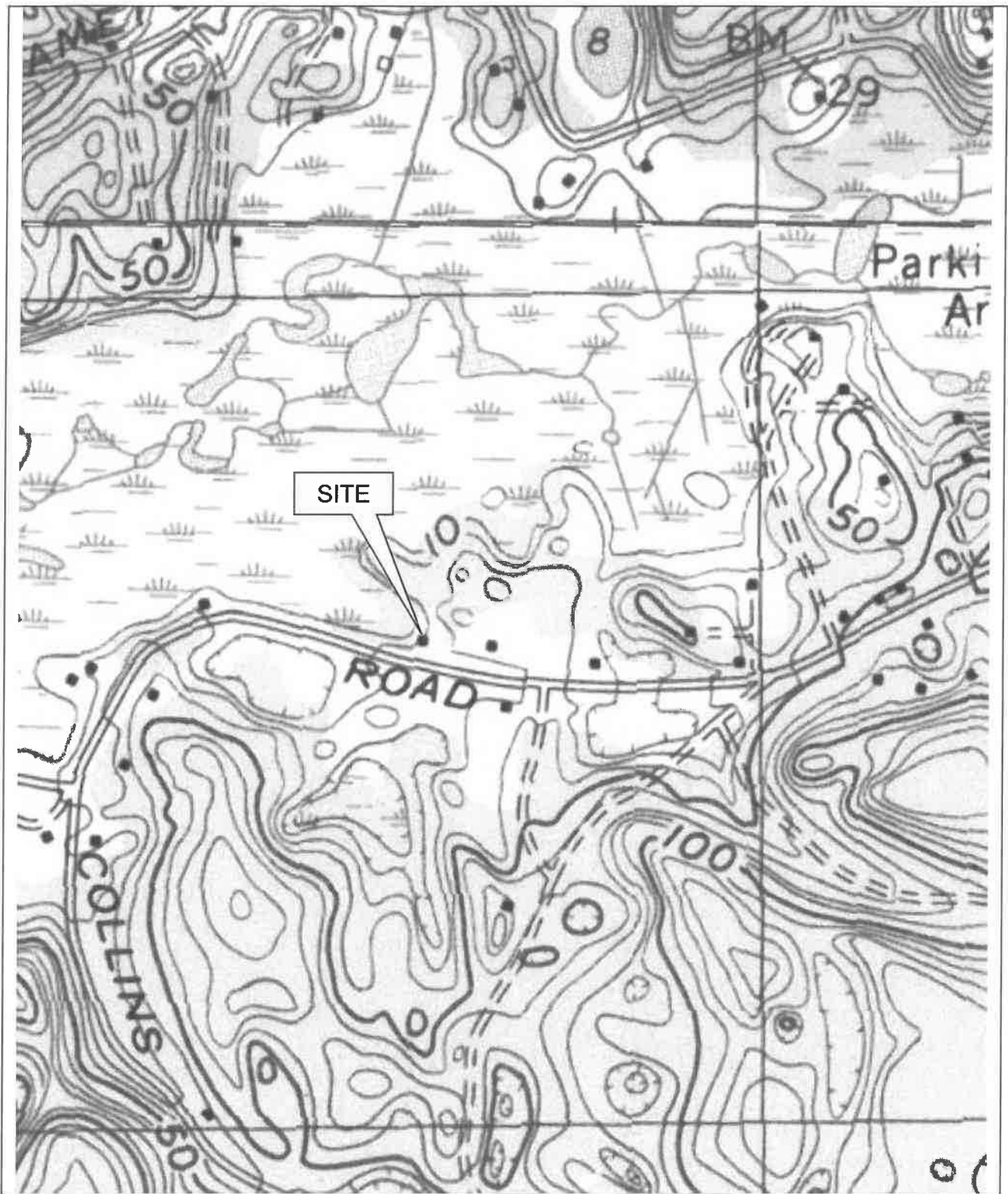
Photograph #4—View of the proposed vista corridor as identified on the proposed mitigation plan.



Photograph #5—View of a debris pile consisting of timber located within the northern portion of the site. The debris within and near the work area is proposed to be removed.



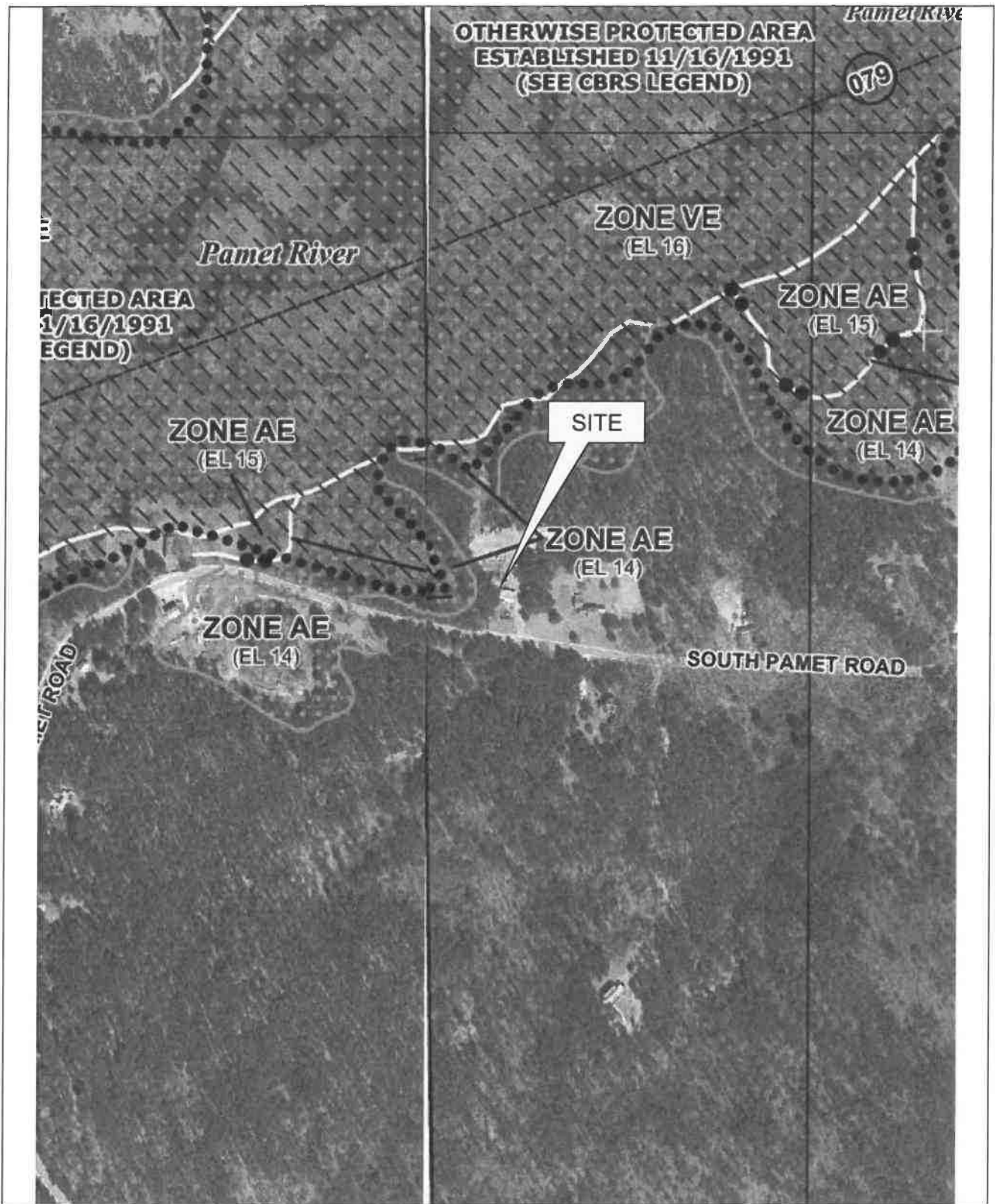
Photograph #6—View of a patch of Japanese Knotweed located within the work area, proposed to be removed.



**USGS SITE LOCUS MAP  
82 South Pamet Road  
Truro, Massachusetts**

Source: MassGIS Oliver Viewer



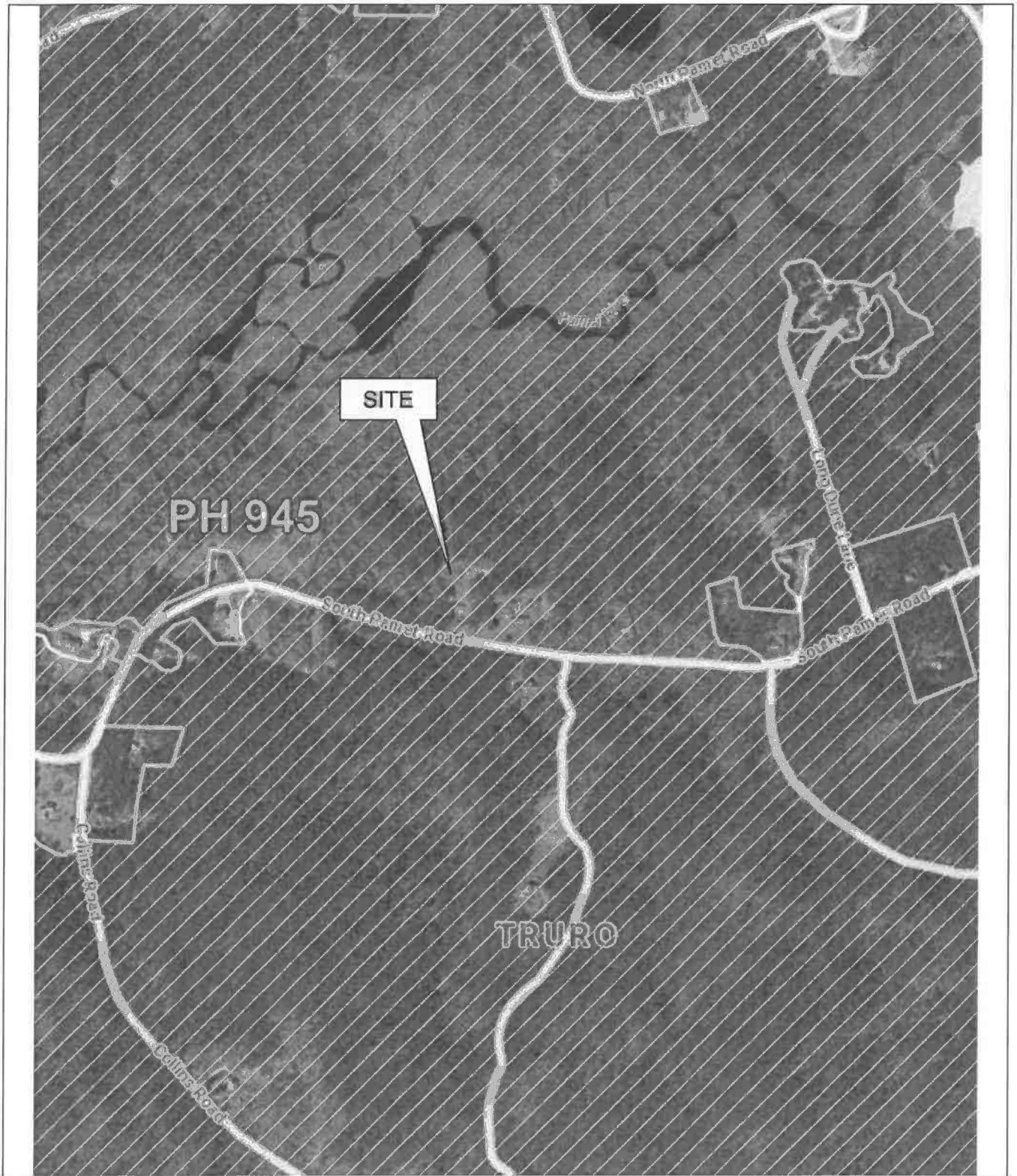


**FEMA FIRM**  
**82 South Pamet Road**  
**Truro, Massachusetts**



Source: FEMA Map 25001C0231J & 25001C0232J 07/16/2014





**Priority Habitats of Rare Species, Estimated Habitat of Rare Wildlife  
& Certified Vernal Pools Map  
82 South Pamet Road  
Truro, Massachusetts**

Source: MassGIS Oliver Viewer



## NOTIFICATION TO ABUTTERS

Dear Abutter:

You are being notified pursuant to Massachusetts General Law 131. Section 40 and 310  
CMR 10.00, Wetlands Protection Act that a:

**Notice of Intent**  **Amended Order of Conditions**  **Abbreviated Notice of Intent**  
 **Abbreviated Notice of Resource Area Delineation (ANRAD)**

has been submitted to the Truro Conservation Commission with regard to a project at  
82 South Pamet Road Map 51 Parcel 57.

### Applicant (Owner) Information:

(1) Name: Victor Rivera Address: 15 Lakeview Street, Arlington, MA 02476

(2) Name: \_\_\_\_\_ Address: \_\_\_\_\_

### Representative Information:

Name: Cameron Larson Organization: Environmental Consulting & Restoration, LLC

Address: PO Box 4012, Plymouth, MA 02361

### Description of Proposed Project:

The proposed project includes the raze and rebuild of a single-family home located at 82 South Pamet Road. Portions of the  
proposed project are located within the 100-foot buffer zone to a Coastal Bank and 100-foot buffer zone to a Bordering Vegetated Wetland.

The VIRTUAL public hearing begins at 5:00 pm on June 7, 2021. Access  
information will be within the AGENDA posted on the Town of Truro's website  
prior to the meeting. [www.truro-ma.gov](http://www.truro-ma.gov)

The Notice of Intent, plans and other pertinent information may be examined prior to the public  
hearing by contacting the Conservation Department at 508-349-7004 x131 or [lbudnick@truro-  
ma.gov](mailto:lbudnick@truro-ma.gov). Please note, Town Hall Offices are still closed to the public at this time.



Signature of Applicant or Representative

05/18/2021

Date

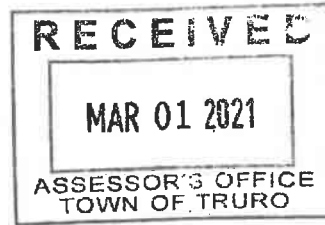
\*\* The Notice of the public hearing, including its date, time and place, will be published at least five  
(5) days in advance in the Cape Codder Newspaper and will be posted in the Truro Town Hall no less  
than forty-eight (48) hours in advance.

\*\*You may contact the Truro Conservation Commission of the Massachusetts Department of  
Environmental Protection, Wetlands Division about this application or the Wetlands Protection Act.  
Truro Conservation Commission: (508) 340-7004 x 131 or DEP Southeast region: (508) 946-2800

Rev 10/2020



**TOWN OF TRURO**  
**Assessors Office**  
**Certified Abutters List**  
**Request Form**



DATE: 3/1/21

NAME OF APPLICANT: Cameron Larson

NAME OF AGENT (if any): \_\_\_\_\_

MAILING ADDRESS: PO Box 4012, Plymouth, MA 02361

CONTACT: HOME/CELL 508-648-3957 EMAIL Cameron@ecr-wetlands.com

PROPERTY LOCATION: 82 South Pamet Road  
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 51 PARCEL 57 EXT. \_\_\_\_\_  
(if condominium)

**ABUTTERS LIST NEEDED FOR:** **FEE: \$15.00 per checked item**  
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Board of Health <sup>5</sup>                    | Planning Board (PB)   | Zoning Board of Appeals (ZBA)                        |
| <input type="checkbox"/> Cape Cod Commission                             | <input type="checkbox"/> Special Permit <sup>1</sup>                | <input type="checkbox"/> Special Permit <sup>1</sup> |
| <input checked="" type="checkbox"/> Conservation Commission <sup>4</sup> | <input type="checkbox"/> Site Plan <sup>2</sup>                     | <input type="checkbox"/> Variance <sup>1</sup>       |
| <input type="checkbox"/> Licensing                                       | <input type="checkbox"/> Preliminary Subdivision <sup>3</sup>       |  |
| Type: _____  | <input type="checkbox"/> Definitive Subdivision <sup>3</sup>        |  |
|  | <input type="checkbox"/> Accessory Dwelling Unit (ADU) <sup>2</sup> |  |
| <input type="checkbox"/> Other _____                                     | <small>(Fee: Inquire with Assessors)</small>                        |  |
- (Please Specify)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

**THIS SECTION FOR ASSESSORS OFFICE USE ONLY**

Date request received by Assessors: 3/1/2021 Date completed: 3/1/2021

List completed by: [Signature] Date paid: Due Cash/Check \_\_\_\_\_

<sup>1</sup>Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

<sup>2</sup>Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

<sup>3</sup>Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

<sup>4</sup>All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

<sup>5</sup>Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



**TRURO ASSESSORS OFFICE**

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

**Date:** March 1, 2021

**To:** Cameron Larson, Agent

**From:** Assessors Department

**Certified Abutters List:** 82 South Pamet Road

**Conservation Commission**

Attached is a combined list of abutters for the property located at 82 South Pamet Road.

The current owner is Estate of Joseph Arthur.

The names and addresses of the abutters are as of February 24, 2021 according to the most recent documents received from the Barnstable County Registry of Deeds.

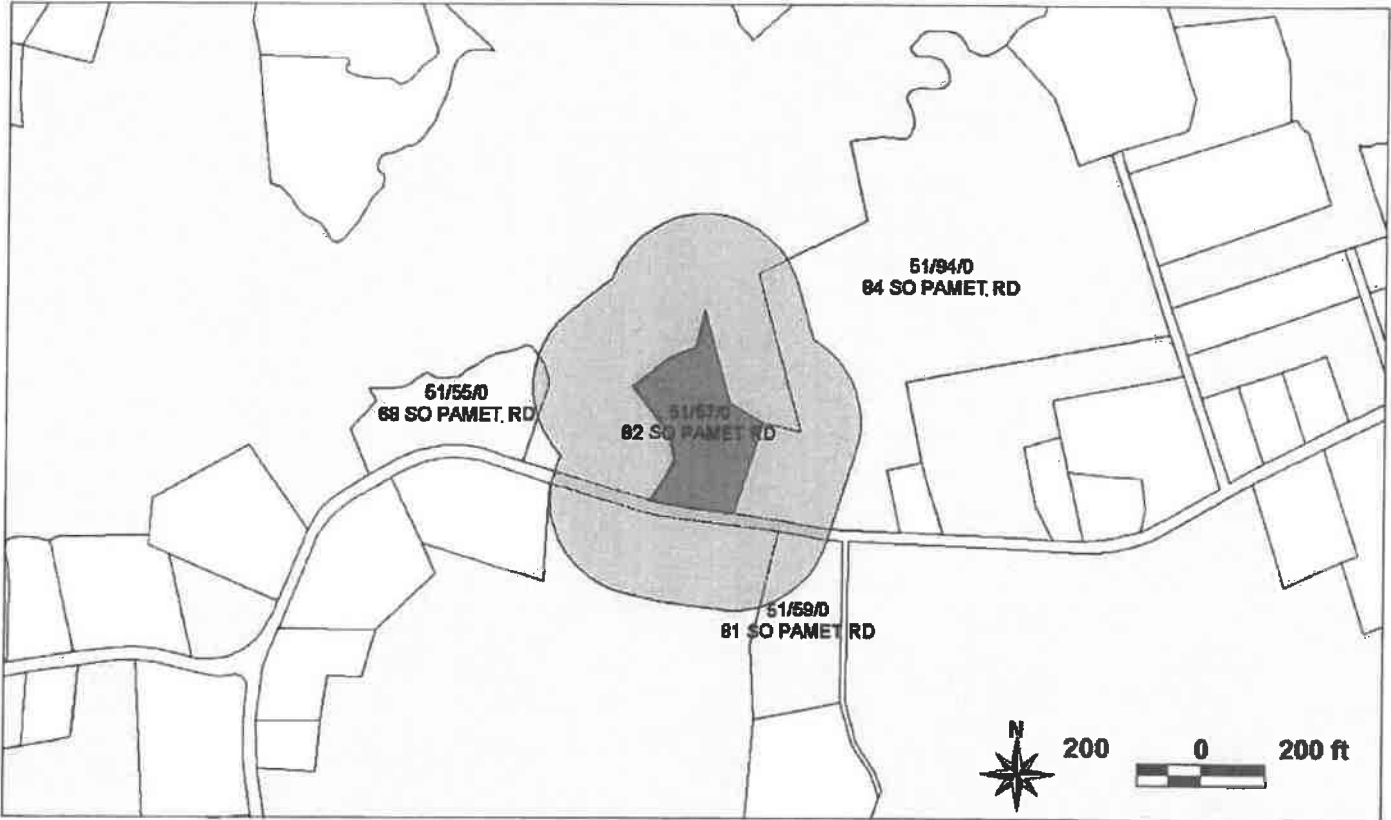
Certified by:

Olga Farrell  
Assessing Clerk

82 South Pamet Road  
 Map 51, Parcel 57  
 Conservation Commission

TOWN OF TRURO, MA  
 BOARD OF ASSESSORS  
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 51/57/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
3101	51-55-0-R	MOONEY GEORGE M & JANET E (LE) RMNDR: MOONEY ELIZABETH A ETAL	68 SO PAMET RD	PO BOX 787	TRURO	MA	02666-0787
3103	51-57-0-R	JOSEPH ARTHUR F ESTATE OF	82 SO PAMET RD	C/O JEAN G ROSE PO BOX 233	WELLFLEET	MA	02667
3105	51-59-0-R	SELESNICK RICHARD D & HAMILTON LAUREN C	81 SO PAMET RD	60 STATION HILL RD	BARRYTOWN	NY	12507
5804	51-94-0-E	U S A DEPT OF THE INTERIOR	84 SO PAMET RD	CAPE COD NATIONAL SESHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667

*Handwritten signature*

40-999-0-E

USA-DEPT OF INTERIOR  
Cape Cod National Seashore  
99 Marconi Site Rd  
Wellfleet, MA 02667

51-55-0-R

MOONEY GEORGE M & JANET E (LE)  
RMNDR: MOONEY ELIZABETH A ETAL  
PO BOX 787  
TRURO, MA 02666-0787

51-57-0-R

JOSEPH ARTHUR F ESTATE OF  
C/O JEAN G ROSE  
PO BOX 233  
WELLFLEET, MA 02667

51-59-0-R

SELESNICK RICHARD D &  
HAMILTON LAUREN C  
60 STATION HILL RD  
BARRYTOWN, NY 12507

51-94-0-E

U S A  
DEPT OF THE INTERIOR  
CAPE COD NATIONAL SESHORE  
99 MARCONI SITE RD  
WELLFLEET, MA 02667



**TOWN OF TRURO**  
**Conservation Commission**

24 Town Hall Road  
P.O. Box 2030, Truro MA 02666  
Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

WAIVER

I, VICTOR RIVERA (print name), hereby waive the twenty-one (21) day time period for a public hearing following receipt of a:  Notice of Intent  Abbreviated Notice of Intent  Request for Determination of Applicability  Amended Order of Conditions  Abbreviated Notice of Resource Area Delineation by the Truro Conservation Commission under Massachusetts General Laws, Ch. 131, sec. 40, and under Truro Conservation Bylaw, Section 8.5.2.

The  Notice of Intent  Abbreviated Notice of Intent  Request for Determination of Applicability  Amended Order of Conditions  Abbreviated Notice of Resource Area Delineation was submitted on \_\_\_\_\_ (date) for work at \_\_\_\_\_ (address). I understand that the next meeting of the Conservation Commission is scheduled for \_\_\_\_\_ and that the Commission will open the public hearing on that date.

I am the: J Applicant  
\_\_\_\_\_ Applicant's Representative

  
(signature)

5/14/21  
(date)







**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #  
 eDEP Transaction #  
 Truro  
 City/Town

**A. General Information (cont.)**

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):  
Barnstable  
 a. County Barnstable b. Certificate Number (if registered land) 153  
 c. Book 913 d. Page 153
7. Dates: May 19, 2021 July 12, 2021 July 30, 2021  
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):  
Site & Septic Plan  
 a. Plan Title Bennett Environmental Associates David Bennett & John Demarest, Jr.  
 b. Prepared By c. Signed and Stamped by  
5/17/2021 1"=40'  
 d. Final Revision Date e. Scale  
Restorative Planting & Mitigation Plan 5/7/2021  
Additional Information Memo 6/25/2021

**B. Findings**

1. Findings pursuant to the Massachusetts Wetlands Protection Act:  
 Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:
- a.  Public Water Supply b.  Land Containing Shellfish c.  Prevention of Pollution  
 d.  Private Water Supply e.  Fisheries f.  Protection of Wildlife Habitat  
 g.  Groundwater Supply h.  Storm Damage Prevention i.  Flood Control
2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

**Approved subject to:**

- a.  the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File # \_\_\_\_\_

eDEP Transaction # \_\_\_\_\_  
 Truro  
 City/Town \_\_\_\_\_

**B. Findings (cont.)**

Denied because:

- b.  the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c.  the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
- 3.  Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) \_\_\_\_\_ a. linear feet

**Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)**

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	a. linear feet _____	b. linear feet _____	c. linear feet _____	d. linear feet _____
5. <input type="checkbox"/> Bordering Vegetated Wetland	a. square feet _____	b. square feet _____	c. square feet _____	d. square feet _____
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	a. square feet _____ e. c/y dredged _____	b. square feet _____ f. c/y dredged _____	c. square feet _____	d. square feet _____
7. <input type="checkbox"/> Bordering Land Subject to Flooding	a. square feet _____	b. square feet _____	c. square feet _____	d. square feet _____
Cubic Feet Flood Storage	e. cubic feet _____	f. cubic feet _____	g. cubic feet _____	h. cubic feet _____
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. square feet _____	b. square feet _____		
Cubic Feet Flood Storage	c. cubic feet _____	d. cubic feet _____	e. cubic feet _____	f. cubic feet _____
9. <input type="checkbox"/> Riverfront Area	a. total sq. feet _____	b. total sq. feet _____		
Sq ft within 100 ft	c. square feet _____	d. square feet _____	e. square feet _____	f. square feet _____
Sq ft between 100-200 ft	g. square feet _____	h. square feet _____	i. square feet _____	j. square feet _____



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #

eDEP Transaction #  
 Truro  
 City/Town

**B. Findings (cont.)**

**Coastal Resource Area Impacts:** Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
	<u>                    </u> c. c/y dredged	<u>                    </u> d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. nourishment cu yd	<u>                    </u> d. nourishment cu yd
14. <input type="checkbox"/> Coastal Dunes	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. nourishment cu yd	<u>                    </u> d. nourishment cu yd
15. <input type="checkbox"/> Coastal Banks	<u>                    </u> a. linear feet	<u>                    </u> b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
17. <input type="checkbox"/> Salt Marshes	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
	<u>                    </u> c. c/y dredged	<u>                    </u> d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u>                    </u> a. c/y dredged	<u>                    </u> b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
22. <input type="checkbox"/> Riverfront Area	<u>                    </u> a. total sq. feet	<u>                    </u> b. total sq. feet		
Sq ft within 100 ft	<u>                    </u> c. square feet	<u>                    </u> d. square feet	<u>                    </u> e. square feet	<u>                    </u> f. square feet
Sq ft between 100-200 ft	<u>                    </u> g. square feet	<u>                    </u> h. square feet	<u>                    </u> i. square feet	<u>                    </u> j. square feet



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
SE# 075-1121  
MassDEP File #

eDEP Transaction #  
Truro  
City/Town

## B. Findings (cont.)

\* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23.  Restoration/Enhancement \*:

a. square feet of BVW

b. square feet of salt marsh

24.  Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

## C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
  - a. The work is a maintenance dredging project as provided for in the Act; or
  - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
  - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 7/30/2024 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #

eDEP Transaction #  
 Truro  
 City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act**

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,
 

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]

"File Number	SE# 075-	"
	1121	
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
SE# 075-1121  
MassDEP File #

eDEP Transaction #  
Truro  
City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
- (1)  is subject to the Massachusetts Stormwater Standards
- (2)  is NOT subject to the Massachusetts Stormwater Standards

**If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:**

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
- i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
  - ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
  - iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE# 075-1121

MassDEP File #

eDEP Transaction #

Truro

City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



**Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE# 075-1121

MassDEP File #

eDEP Transaction #

Truro

City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
  2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
  3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.





**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #  
 eDEP Transaction #  
 Truro  
 City/Town

**D. Findings Under Municipal Wetlands Bylaw or Ordinance**

1. Is a municipal wetlands bylaw or ordinance applicable?  Yes  No
2. The Truro Conservation Commission hereby finds (check one that applies):

- a.  that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw 2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b.  that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Truro Conservation Bylaw Chapter 8  
 1. Municipal Ordinance or Bylaw 2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

See Page 10-A and 10-B ACAD

**TOWN OF TRURO—ORDER OF CONDITIONS**

**82 South Pamet Rd; Map 51, Parcel 57**

**DEP file # SE 75-1121**

**Victor Riviera, APPLICANT/OWNER**

**DOCUMENTS**

1. Notice of Intent application; project description; wetland fee transmittal form; abutter notification; abutters list; locus map, 21-day waiver
2. DEP notice of file number
3. NHESP approval dated 6/23/2021
4. Additional Information Memo dated 6/25/2021
5. **"Site & Septic Plan"**, drawn by Bennett Environmental, dated 5/17/2021
6. **"Restorative Planting & Mitigation Plan"** drawn by Bennett Environmental, dated 5/7/2021.

**PROJECT DESCRIPTION**

1. The property consists of a single-family dwelling and barn, on a ~127,107 square foot lot. It is currently served by a private well and a cesspool. A Bordering Vegetated Wetlands abuts the property to the west and north side, and South Pamet Road lies to the South.
2. The Resource Areas include Bordering Vegetated Wetland, Land Subject to Storm Flowage and Coastal Bank.
3. The project includes the demolition of the existing house and several outbuildings and the construction of a single-family dwelling, garage & shed. The dwelling & associated structures will be located within the 50'-100' setback to the Coastal Bank, in large part due to the shape of the lot, and the topography of the upland.
4. Mitigation is proposed on the west side of the property. Mitigation includes removal of invasive plant species and revegetation (3:1 ratio) with native plant species.
5. Areas disturbed by construction will be restored with a drought tolerant native grass seed mix.

The Commission determined that the project could be permitted subject to the following special conditions. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

**CONDITIONS**

**A. Pre-construction**

1. Notice of a work start date shall be given to the Commission in writing at least 48 hours prior to the commencement of work. The applicant or contractor shall provide the name and contact information of the person responsible on site for compliance with this Order.
2. Prior to the commencement of work the following activities shall be completed:
  - The Order of Conditions shall be recorded at the Barnstable County registry of deeds and a stamped copy shall be submitted to the Conservation office.
  - A sign shall be conspicuously displayed at the site showing the DEP file number assigned to this project. The sign shall be 2-3 square feet in size, separately staked and read only: MA DEP file SE #75-1121. Lettering/numbering shall be clearly and permanently printed, and at least 2" in height.
  - A **pre-construction site visit** shall be scheduled by the applicant's representative, and include the project Contractor, owner's representative and the Conservation Agent. During this site visit the Order of Conditions, construction protocols, work limit and site plan details shall be reviewed.
3. Members of the Commission, its Agent or the Department of Environmental Protection (DEP) reserve the right to enter and inspect the property at all reasonable times, until a Certificate of Compliance is issued, to evaluate compliance with this Order of Conditions,

the Act, 310 CMR 10.00 and Town regulations, and may acquire any information, measurements, photographs, observations, and/or materials, or may require the submittal of any data or information deemed necessary by the Commission for that evaluation.

4. The work limit shall include a silt fence with a straw waddle at the base.

**B. Construction & Revegetation**

1. The notes on the plans referenced in the "Documents" section of this Order, are specifically incorporated into this Order.
2. The driveway surface shall remain pervious.
3. Concrete overpour shall be controlled during construction, removed from the site and properly disposed of.
4. The mitigation proposed by the homeowner is incorporated as a required condition herein and must be completed to offset the impact of construction. Temporary, above-ground irrigation is allowed for 3 years until plants become established.
5. Item #4 on page 2, of the Additional Information Memo, shall be amended to read as follows: "...with an appropriate non-glyphosate based, wetland-approved herbicide solution..."; foliar spraying is not approved.
6. Prior to the start of any vista pruning, the applicant shall contact the Conservation Agent to set-up a site visit to preview proposed work.

**C. General Conditions**

1. Prior to the commencement of work or pre-construction site meeting, the form provided at the end of this Order (part G. "Recording Information") shall be completed and stamped at the appropriate Registry of Deeds, after the expiration of the 10-day appeal period and if no request for appeal has been filed with the Department of Environmental Protection.
2. This document shall be included in all construction contracts, subcontracts, and specifications dealing with the work proposed and shall supersede any conflicting contract requirements. It is the responsibility of the Applicant, Owner, General Contractor and/or successor(s) to ensure that all Conditions of this Order of Conditions are complied with. A copy of this Order shall be available at the work site, during normal work hours, or posted, until the work is complete.
3. Work shall be halted on the site if the Commission, Conservation Agent or DEP determines that any of the work is not in compliance with this Order of Conditions. Work shall not resume until the Commission is satisfied that the work will comply and has so notified the applicant in writing.
4. Any changes in the work described in the Notice of Intent or in the plans and specifications submitted to the Commission shall be submitted to the Commission in writing for a determination of whether the change is significant enough to the interests of the Act to require a new Notice of Intent. No changes shall be made or implemented in the field prior to the Commission's determination. Should issuance of additional permits result in a change in the project, the applicant shall promptly submit such changes to the Commission for evaluation under this provision.
5. This Order shall apply to any successor in control or successor in interest of the property described in the Notice of Intent and accompanying plans. These obligations shall be expressed in covenants in all deeds to succeeding owners of portions of the property.
6. Upon completion of this project the applicant shall submit a request to the Conservation Commission to receive a Certificate of Compliance. The Applicant or Owner shall certify in writing that the work was completed as shown on the plans and documents referenced above. The applicant is required to submit a written statement from a registered

professional engineer of the Commonwealth certifying that the work has been conducted as shown on the plan(s) and documents referenced above and as conditioned by the Commission; and/or (b) an "as built" plan prepared and signed and stamped by a registered professional engineer or land surveyor of the Commonwealth, for the public record.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SB# 075-1121  
 MassDEP File #

eDEP Transaction #  
 Truro  
 City/Town

**E. Signatures**

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.  
 This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

July 30, 2021  
 1. Date of Issuance

4  
 2. Number of Signers

[Signature]  
 Signature

Carol Grand-Twin  
 Printed Name

[Signature]  
 Signature

DIANE MESSINGCO  
 Printed Name

[Signature]  
 Signature

Robert M. White  
 Printed Name

[Signature]  
 Signature

[Signature]  
 Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

by hand delivery on

by certified mail, return receipt requested, on

Date

Date

July 30, 2021



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #

eDEP Transaction #  
 Truro  
 City/Town

## F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Massachusetts Department of Environmental Protection  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 SE# 075-1121  
 MassDEP File #  
 eDEP Transaction #  
 Truro  
 City/Town

**G. Recording Information**

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry’s Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Truro  
 Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.  
 .....

To:  
 Truro  
 Conservation Commission

Please be advised that the Order of Conditions for the Project at:

82 South Pamet Rd    SE# 075-1121  
 Project Location    MassDEP File Number

Has been recorded at the Registry of Deeds of:

Barnstable    Book    Page  
 County

for: Estate of Arthur Joseph, c/o Jean Rose  
 Property Owner

and has been noted in the chain of title of the affected property in:

Book    Page

In accordance with the Order of Conditions issued on:

Date July 30, 2021

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



## DIVISION OF FISHERIES & WILDLIFE

1 Rabbit Hill Road, Westborough, MA 01581  
p: (508) 389-6300 | f: (508) 389-7890  
MASS.GOV/MASSWILDLIFE

June 23, 2021

Truro Conservation Commission  
P.O. Box 2030  
Truro MA 02666

Victor Rivera  
15 Lakeview Street  
Arlington MA 02476

RE:     Applicant:             Victor Rivera  
       Project Location:        82 South Pamet Road  
       Project Description:     Raze/Rebuild Single Family Home  
       DEP Wetlands File No.: 075-1121  
       NHESP File No.:         19-38588

Dear Commissioners & Applicant:

The Natural Heritage & Endangered Species Program of the Massachusetts Division of Fisheries & Wildlife (the "Division") received a Notice of Intent with site plans (dated 5/17/2021) in compliance with the rare wildlife species section of the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.59). The Division also received the MESA Review Checklist and supporting documentation for review pursuant to the MA Endangered Species Act Regulations (321 CMR 10.18).

### WETLANDS PROTECTION ACT (WPA)

Based on a review of the information that was provided and the information that is currently contained in our database, the Division has determined that this project, as currently proposed, **will not adversely affect** the actual Resource Area Habitat of state-protected rare wildlife species. Therefore, it is our opinion that this project meets the state-listed species performance standard for the issuance of an Order of Conditions.

Please note that this determination addresses only the matter of **rare** wildlife habitat and does not pertain to other wildlife habitat issues that may be pertinent to the proposed project.

### MASSACHUSETTS ENDANGERED SPECIES ACT (MESA)

Based on a review of the information that was provided and the information that is currently contained in our database, the Division has determined that this project, as currently proposed, **will not result in a prohibited Take** of state-listed rare species. This determination is a final decision of the Division of Fisheries and Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the MESA. This project may be subject to further review if no physical work is commenced within five years from the date of issuance of this determination, or if there is a change to the project.

MASSWILDLIFE



Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions regarding this letter please contact Emily Holt, Endangered Species Review Assistant, at (508) 389-6385.

Sincerely,

A handwritten signature in black ink, reading "Everose Schlüter". The signature is written in a cursive, flowing style.

Everose Schlüter, Ph.D.  
Assistant Director

cc: Estate of Joseph Arthur  
Cameron Larson, Environmental Consulting & Restoration, LLC  
MA DEP Southeast Region

**MASSWILDLIFE**

For Registry of Deeds Use Only



**Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
WPA Form 4B – Order of Resource Area  
Delineation**

Provided by MassDEP:

SE 75-1120

MassDEP File Number

eDEP Transaction Number

TRURO

City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information**

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:** Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

From: TRURO

1. Conservation Commission

2. This Issuance is for (check one):

a.  Order of Resource Area Delineation

b.  Amended Order of Resource Area Delineation

3. Applicant:

Victor and Laura

a. First Name

Rivera

b. Last Name

c/o Ben Zehnder, LaTanzi, Spaulding & Landreth

c. Organization

PO Box 2300

d. Mailing Address

Orleans

e. City/Town

MA

f. State

02653

g. Zip Code

4. Property Owner (if different from applicant):

Jean

a. First Name

Rose

b. Last Name

Estate of Arthur Joseph

c. Organization

PO Box 233

d. Mailing Address

Wellfleet

e. City/Town

MA

f. State

02667

g. Zip Code

5. Project Location:

82 South Pamet Road

a. Street Address

Truro

b. City/Town

02666

c. Zip Code

51

d. Assessors Map/Plat Number

57

e. Parcel/Lot Number

Latitude and Longitude

(in degrees, minutes, seconds):

d m s

f. Latitude

d m s

g. Longitude

6. Dates:

3-17-2021

a. Date ANRAD filed

4-5-2021

b. Date Public Hearing Closed

c. Date of Issuance



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 4B – Order of Resource Area Delineation**

Provided by MassDEP:  
 SE 75-1120  
 MassDEP File Number  
 eDEP Transaction Number  
 TRURO  
 City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information (cont.)**

7. Title and Date (or Revised Date if applicable) of Final Plans and Other Documents:

<u>Proposed site redevelopment ANRAD wetland delineation, Bennett Env.</u>		<u>3-15-2021</u>
a. Title		b. Date
c. Title		d. Date

**B. Order of Delineation**

1. The Conservation Commission has determined the following (check whichever is applicable):

a.  **Accurate:** The boundaries described on the referenced plan(s) above and in the Abbreviated Notice of Resource Area Delineation are accurately drawn for the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

a. Coastal Bank

b.  **Modified:** The boundaries described on the plan(s) referenced above, as modified by the Conservation Commission from the plans contained in the Abbreviated Notice of Resource Area Delineation, are accurately drawn from the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

a. \_\_\_\_\_

c.  **Inaccurate:** The boundaries described on the referenced plan(s) and in the Abbreviated Notice of Resource Area Delineation were found to be inaccurate and cannot be confirmed for the following resource area(s):

1.  Bordering Vegetated Wetlands
2.  Other resource area(s), specifically:

\_\_\_\_\_

\_\_\_\_\_



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 4B – Order of Resource Area Delineation

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE 75-1120

MassDEP File Number

eDEP Transaction Number

TRURO

City/Town

### B. Order of Delineation (cont.)

3.  The boundaries were determined to be inaccurate because:

---



---



---

### C. Findings

This Order of Resource Area Delineation determines that the boundaries of those resource areas noted above, have been delineated and approved by the Commission and are binding as to all decisions rendered pursuant to the Massachusetts Wetlands Protection Act (M.G.L. c.131, § 40) and its regulations (310 CMR 10.00). This Order does not, however, determine the boundaries of any resource area or Buffer Zone to any resource area not specifically noted above, regardless of whether such boundaries are contained on the plans attached to this Order or to the Abbreviated Notice of Resource Area Delineation.

This Order must be signed by a majority of the Conservation Commission. The Order must be sent by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate DEP Regional Office (see <https://www.mass.gov/service-details/massdep-regional-offices-by-community>).

### D. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate DEP Regional Office to issue a Superseding Order of Resource Area Delineation. When requested to issue a Superseding Order of Resource Area Delineation, the Department's review is limited to the objections to the resource area delineation(s) stated in the appeal request. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order of Resource Area Delineation will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order or Determination, or providing written information to the Department prior to issuance of a Superseding Order or Determination.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act, (M.G.L. c. 131, § 40) and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal bylaw or ordinance, and not on the Massachusetts Wetlands Protection Act or regulations, the Department of Environmental Protection has no appellate jurisdiction.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 4B – Order of Resource Area  
Delineation**

Provided by MassDEP:  
SE 75-1120  
MassDEP File Number  
eDEP Transaction Number  
TRURO  
City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**E. Signatures**

5/13/2021  
Date of Issuance  
4  
1. Number of Signers

Please indicate the number of members who will sign this form.

Signatures

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

Signature of Conservation Commission Member

Printed Name

**This Order is valid for three years from the date of issuance.**

If this Order constitutes an Amended Order of Resource Area Delineation, this Order does not extend the issuance date of the original Final Order, which expires on \_\_\_\_\_ unless extended in writing by the issuing authority.

This Order is issued to the applicant and the property owner (if different) as follows:

2.  By hand delivery on \_\_\_\_\_

3.  By certified mail, return receipt requested on \_\_\_\_\_

a. Date

a. Date



**Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands**

**WPA Form 4B – Order of Resource Area  
Delineation**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

SE# 075-1120

MassDEP File Number

eDEP Transaction Number

Truro

City/Town

**Recording Information**

Prior to commencement of work, this Order of Resource Area Delineation must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Resource Area Delineation. The recording information on this page shall be submitted to the Conservation Commission listed below.

Truro

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Truro

Conservation Commission

Please be advised that the Order of Resource Area Delineation for the Project at:

82 South Pamet Rd

Project Location

SE# 075-1120

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

For:

Estate of Arthur Jopseh

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Resource Area Delineation issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

ABUTTER / #81 S. PAMET

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ # 3,206

Key: 3105

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		CARD			
SELESNICK RICHARD D & HAMILTON LAUREN C 60 STATION HILL RD BARRYTOWN, NY 12507		51-58-0		81 SO PAMET RD		.1010		100		SINGLE FAMILY		1		1 of 1			
TRANSFER HISTORY		DOS		T		BK-PG (Cet)		PMT NO		PMT DT		TY		DESC		AMOUNT	
SELESNICK RICHARD D & HAMILTON LAUREN C & JAMES HAMILTON LAUREN C		06/01/2004 99		1		(173224)		96-161		10/01/1996		2		ADDITION		195,000	
		05/28/1992 99		1		(126689)		92-099		05/04/1992		6		SHED		1,000	
		04/12/1991 QS		1		(123066)		89-113		08/01/1989		9		DECK		2,200	

CD	T	AC/SF/AJN	Nbrhd	Infr1	Infr2	ADJ BASE	SAF	Infr3	Lpl	VC	CREDIT AMT	ADJ VALUE	
100	A	0.775	16	1.00	1	620,770	1.00	1	1.00	SR4	2.30	481,100	
300	A	2.425	16	1.00	1	47,380	1.00	1	1.00	SR4	2.30	114,900	
<b>TOTAL</b>													
Nbrhd		3.200 Acres		ZONING		NSD		FRNT		0		PREVIOUS	
Infr1		NAT'L SEASHORE		N		O		LAND		596,000		596,000	
Infr2		NO ADJ		T		BUILDING		334,600		308,900		308,900	
		NO ADJ		E		DETACHED		900		900		900	
						OTHER		0		0		0	
						TOTAL		931,500		905,800		905,800	

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
SHF	A	1.00	A 0.75 8*10	1992	80	14,91	900
PHOTO 02/07/2020							
							
BLDG COMMENTS							
8/27/2020 Interior data confirmed by owner by phone (C-19). Upper level has baseboard electric heat.							

BUILDING	CD	ADJ	DESC	MEASURE	LIST	REVIEW
MODEL	1		RESIDENTIAL	2/7/2020	LG	
STYLE	4	1.10	CAPE (100%)	8/27/2020	LG	
QUALITY	+	1.10	GOOD-AVE+ (100%)			
FRAME	1	1.00	WOOD FRAME (100%)	12/15/2010	MR	

YEAR BLT	NET AREA	\$/LA(RCN)	CAPACITY	STORIES(FAR)	ROOMS	BEDROOMS	BATHROOMS	FIXTURES	UNITS	SIZE ADJ	DETAIL ADJ	OVERALL	ELEMENT	CD	DESCRIPTION	ADJ	S	L	B	A	T	D	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION	ELEM	CD				
1955	2,048	\$264		1.5	7	5	2	7	0	1.000	1.000	1.110	FOUNDATION	4	BSMT WALL	1.00	A	EPA	N	ENCL PORCH	224	94.94	21,267	539,715											
													EXT. COVER	1	WOOD SHINGLES	1.00	+	BMU	N	BSMT UNFINISHED	879	54.82	48,189												
													ROOF SHAPE	1	GABLE	1.00	+	USF	L	UP-STRY FIN	833	178.25	148,481												
													ROOF COVER	2	WOOD SHINGLES	1.01	+	BAS	L	BAS AREA	1,215	228.88	278,094												
													FLOOR COVER	1	HARDWOOD	1.00	+	OPA	N	OPEN PORCH	192	56.38	10,824												
													INT. FINISH	2	DRYWALL	1.00	F	WDK	N	ATT WOOD DECK	191	36.53	16,513												
													HEATING/COOLING	1	FORCED AIR	1.00	O	F21	O	FPL 2S 10P	452	11,446.90	11,447												
													FUEL SOURCE	1	OIL	1.00	ODS	O	OUT DOOR SHOWER	1	0.00														
										EFF. YR/AGE		1971 / 49		COND		38 38 %		FUNC		0		ECON		0		DEPR		38 % GD		62		RCNLD		\$334,600	



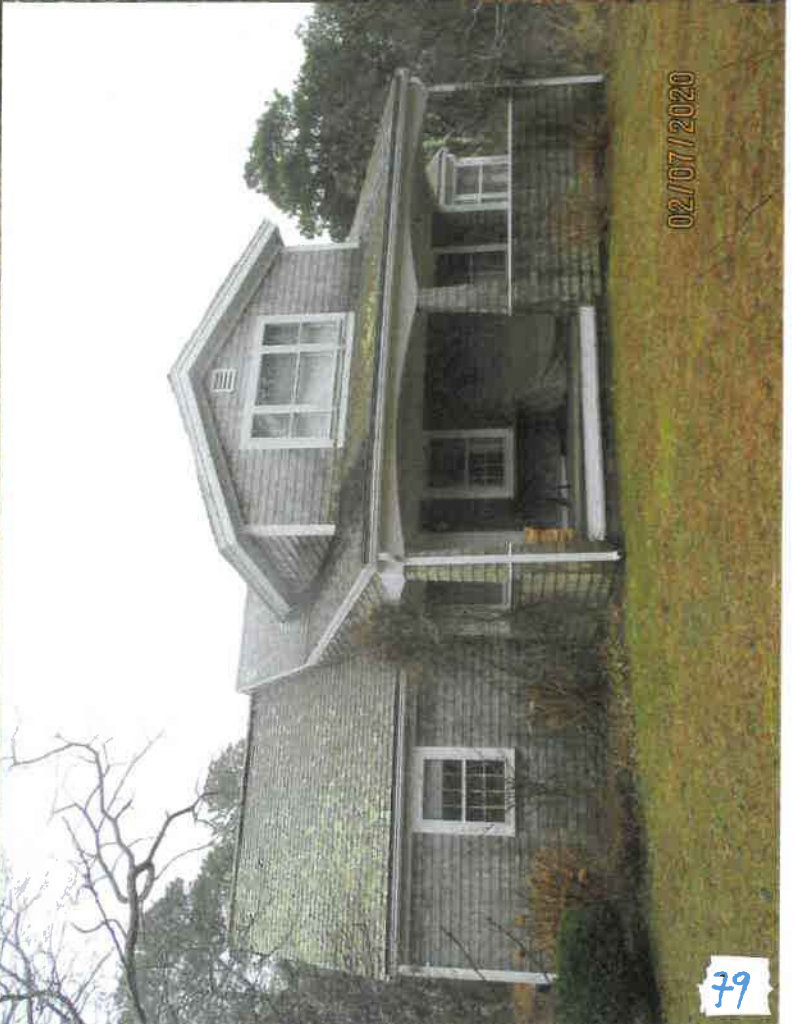
02/07/2020



02/07/2020



02/07/2020



02/07/2020



ABUTTER / # 84 S. PAMET

**Key: 5804**      **Town of TRURO - Fiscal Year 2022**

9/15/2021 10:15 am SEQ # 3,968

CURRENT OWNER		PARCEL ID		LOCATION	
U S A		51-94-0		84 SO PAMET RD	
DEPT OF THE INTERIOR		TRANSFER HISTORY		DOS T	
CAPE COD NATIONAL SESHORE		U S A		01/31/1963 99	
99 MARCONI SITE RD		U S A		33,500 (29839+)	
WELLFLEET, MA 02667					

CD	T	AC/SFUN	Nbhd	Intf1	Intf2	SAF	Intf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.775	16	1.00	1.00	1.00	1.00	SR4	2.30		481,100
300	A	23.435	16	1.00	1.00	0.46	1.00	SR4	2.30		512,650

TOTAL	24.210 Acres	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	O				LAND	993,800	993,800
Intf1	NO ADJ	T				BUILDING	283,600	262,600
Intf2	NO ADJ	E				DETACHED	0	0
						OTHER	0	0
						TOTAL	1,277,400	1,256,400

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD

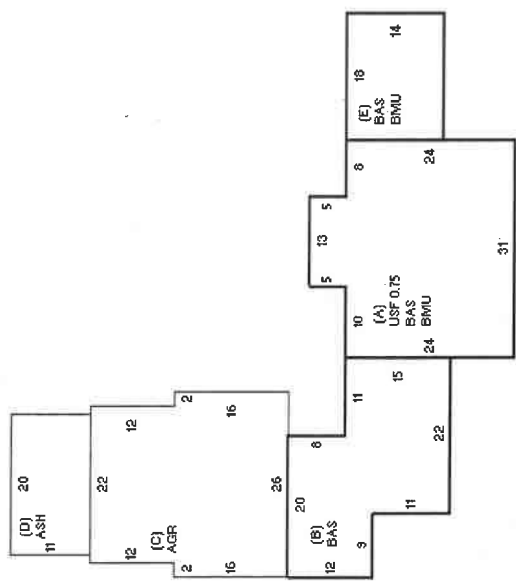
BUILDING	CD	ADJ	DESC	MEASURE	3/15/2016	RJM
MODEL	1		RESIDENTIAL	LIST	3/15/2016	EST
STYLE	4	1.10	CAPE (100%)	REVIEW	3/17/2016	RJM
QUALITY	A	1.00	AVERAGE (100%)			
FRAME	1	1.00	WOOD FRAME (100%)			

YEAR BLT	1880	SIZE ADJ	1.000
NET AREA	2,194	DETAIL ADJ	1.000
\$/LA(RCN)	\$244	OVERALL	1.120

CAPACITY	UNITS	ADJ
STORIES(FAR)	1.75	1.00
ROOMS	8	1.00
BEDROOMS	5	1.00
BATHROOMS	2.5	1.00
FIXTURES	8	\$5,600
UNITS	1	1.00

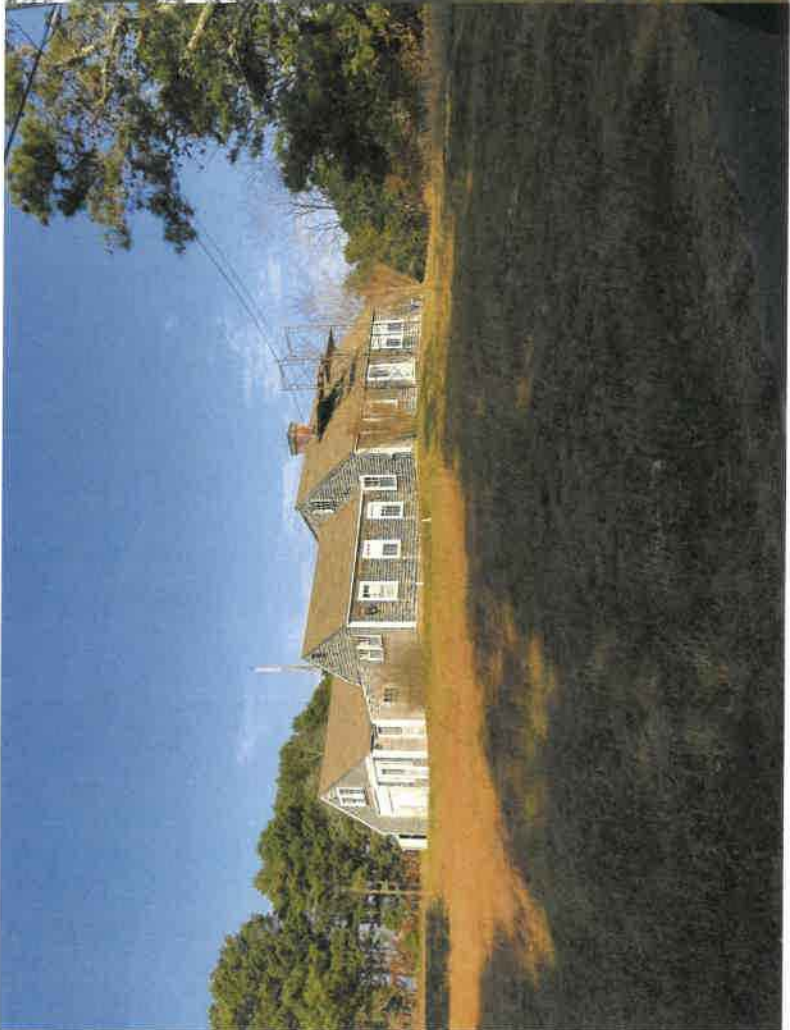
ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
FOUNDATION	4	BSMT WALL	1.00	+	BMU	N	BSMT UNFINISHED	1,061	1880	48.13	51,061
EXT. COVER	1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	607	1880	165.19	100,269
ROOF SHAPE	1	GABLE	1.00	+	BAS	L	BAS AREA	1,587	1880	207.87	329,893
ROOF COVER	1	ASPHALT SHINGLE	1.00	C	AGR	N	ATTACHED GARAGE	680	1880	61.64	41,918
FLOOR COVER	5	VINYL	1.00	D	ASH	N	ATT SHED	220	29.23	29.23	6,431
INT. FINISH	1	PLASTER	1.00								
HEATING/COOLING	3	RADIANT	1.02								
FUEL SOURCE	1	OIL	1.00								

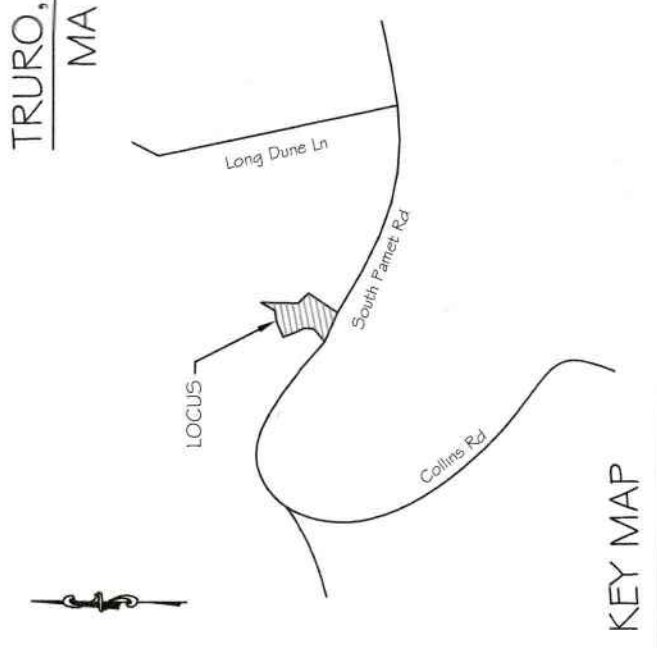
EFF. YR/AGE	1964 / 56
COND	47 47 %
FUNC	0
ECON	0
DEPR	47 % GD
RCNLD	\$283,600



TOTAL RCN	535,172
CONDITION ELEM	CD

80





REFERENCE

- PLAN TITLED "SKETCH OF LAND IN TRURO", PREPARED BY SLADE ASSOCIATES, INC, DATED JAN 1990 (PROPERTY BOUNDARIES)
- TRURO ASSESSOR'S MAP 51 PARCEL 57
- FLOOD ZONE A3 EL 14.0 FIRM PANEL 25001C0232J (EFFECTIVE 7/16/2014)
- THIS PROPERTY IS NOT IN A ZONE II OF A PUBLIC WATER SUPPLY AREA SERVICES BY PRIVATE WELLS
- DEED BOOK 34393 AND PAGE 200

- NOTES:
- 1.) FOUNDATION PLANTINGS TO BE A MIX OF 80% NATIVE SHRUBS AND 20% MIXED NATIVE ANNUALS AND PERENNIALS FROM THE APPROVED PLANTING LIST.
  - 2.) ALL LAWN AREAS WILL BE CONSERVATION APPROVED MIXED GRASS SEED.
  - 3.) SPECIAL PERMIT RELIEF AS FOLLOWS:  
DOES NOT EXCEED 3600 S.F. FOR 3 ACRES  
SUBTRACT 200 S.F. FOR EACH CONTIGUOUS ACRE < 3 ACRES  
3 ACRES REQUIRED  
2.92 ACRES PROVIDED  
= 3 ACRES - 2.92 ACRES = .08 ACRES X 200 S.F. = 16 S.F.  
DWELLING SHALL BE 3600 S.F. - 16 S.F. = 3584 S.F. ALLOWED < 3587 S.F. PROVIDED RELIEF OF 273 S.F. REQUESTED
  - 4.) LIMIT OF WORK PER APPROVED ORDER OF CONDITIONS.

SURVEY BY:

DEMAREST LAND SURVEYING  
338 MAYFAIR ROAD  
SOUTH DENNIS, MA 02660  
508-364-9049

Project: **VICTOR RIVERA & LAURA BERGAN**  
15 LAKEVIEW STREET - ARLINGTON, MA 02496

Title: **ZONING/PLANNING SITE PLAN**  
82 SOUTH PAMET ROAD - TRURO, MA

**BENNETT ENVIRONMENTAL ASSOCIATES, LLC.**  
A NATURAL SYSTEMS UTILITIES COMPANY  
LICENSED SITE PROFESSIONALS, ENVIRONMENTAL SCIENTISTS, GEOLOGISTS, ENGINEERS  
1573 MAIN STREET - BREWSTER, MA 02631  
PHONE: (508) 896-1706 FAX: (508) 896-5109  
www.bennett-ea.com

DATE	SCALE	BY	CHECK	JOB NUMBER
12/15/21	As Noted	LJC	DCB	K11357DA.X.EV.901

**LEGEND**

12.3	EXISTING SPOT GRADE
24x5	PROPOSED SPOT GRADE
24	EXISTING CONTOUR
24	PROPOSED CONTOUR
—	WATER SERVICE LINE
—	OVERHEAD UTILITY LINES
—	UNDERGROUND UTILITY LINES
—	GAS SERVICE LINE
—	EDGE OF CLEARING
—	EROSION CONTROL FENCE
—	TEST HOLE LOCATION
—	SEPTIC TANK
—	DISTRIBUTION BOX
—	SOIL ABSORPTION SYSTEM
—	FOUNDATION PLANTINGS (SEE NOTE)

EXISTING LOT COVERAGE: 2516 SF 2.0%

DWELLING: 1345 SF  
GARAGE: 566 SF  
SHED #1: 193 SF  
SHED #2: 187 SF  
SHED #3: 85 SF  
SANDER STAND: 120 SF

DRIVEWAY: 6746 SF

PLANTINGS: NONE

PROPOSED LOT COVERAGE: 3554 SF 2.8%

DWELLING: 1980 SF  
GARAGE: 971 SF  
GARAGE: 463 SF  
SHED: 140 SF

DRIVEWAY: 0 SF

PLANTINGS: 980 SF (FOUNDATION)  
4,020 SF (RESTORATIVE PLANTINGS LEC)  
10,000+ SF (CONSERVATION MIX GRASS SEED)

NOTE: ADDITIONAL INVASIVE PLANT REMOVAL UNDER OOC

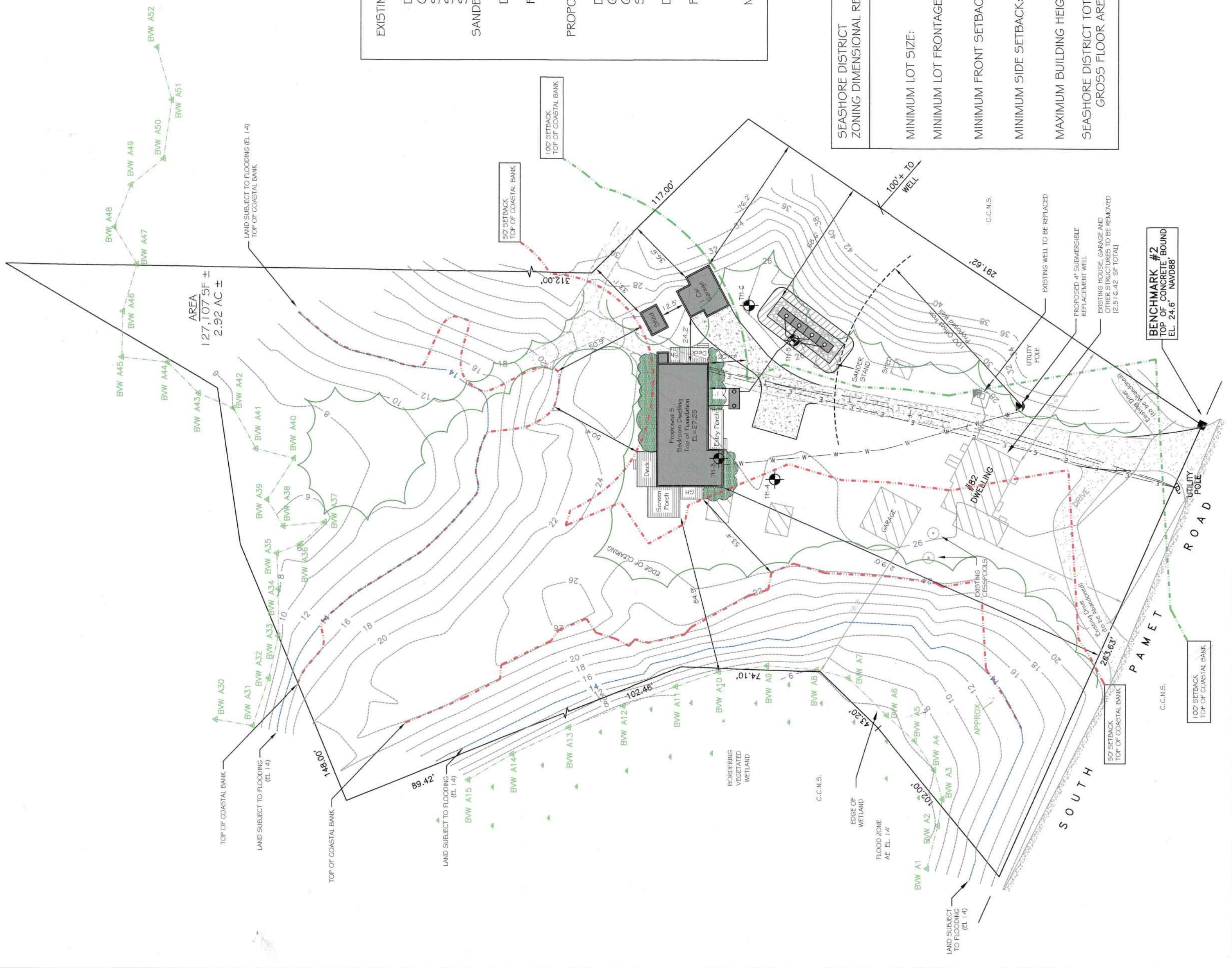
SEASHORE DISTRICT ZONING DIMENSIONAL REQUIREMENTS

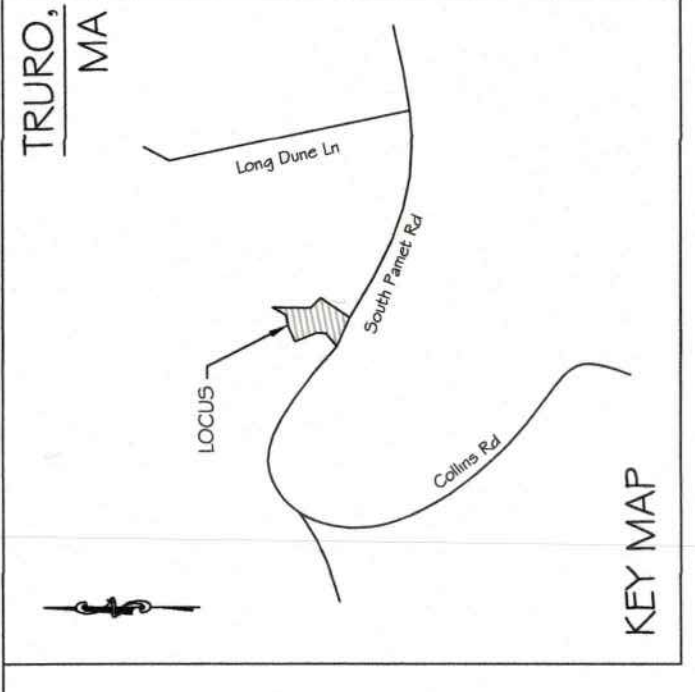
	REGULATION	EXISTING	PROPOSED
MINIMUM LOT SIZE:	3 ACRES	2.92 ACRES	2.92 ACRES
MINIMUM LOT FRONTAGE:	150'	263'	263'
MINIMUM FRONT SETBACK:	50'	73'	219'
MINIMUM SIDE SETBACK:	25'	70'	33'
MAXIMUM BUILDING HEIGHT:	30'	-	29'8"
SEASHORE DISTRICT TOTAL GROSS FLOOR AREA	3,600	1,234	2010 (FF)+1846(SF) = 3,857

**SITE PLAN**

0 40 80 120

SCALE 1"=40'





**REFERENCE**

- PLAN TITLED "SKETCH OF LAND IN TRURO", PREPARED BY SLADE ASSOCIATES, INC., DATED JAN 1990 (PROPERTY BOUNDARIES)
- TRURO ASSESSOR'S MAP 51 PARCEL 57
- FLOOD ZONE A3 EL. 14.0 (FIRM PANEL)
- THIS PROPERTY IS NOT IN ZONE II OF A PUBLIC WATER SUPPLY AREA SERVICES BY PRIVATE WELLS

**LEGEND**

18.5	EXISTING SPOT GRADE
24.5	PROPOSED SPOT GRADE
24	EXISTING CONTOUR
0	WATER SERVICE LINE
0	SEWER AND UTILITY LINES
0	GAS SERVICE LINE
0	EDGE OF CLEARING
0	EROSION CONTROL FENCE
0	TEST HOLE LOCATION
0	SEPTIC TANK
0	DISTRIBUTION BOX
0	SOIL ABSORPTION SYSTEM

**SEASHORE DISTRICT ZONING DIMENSIONAL REQUIREMENTS**

MINIMUM LOT SIZE:	3 ACRES
MINIMUM LOT FRONTAGE:	150'
MINIMUM FRONT SETBACK:	50'
MINIMUM SIDE SETBACK:	25'
MAXIMUM BUILDING HEIGHT:	30'

**LOT COVERAGE**

EXISTING:	25.16 5F	2.0%
PROPOSED:	3554 5F	2.8%
STRUCTURES WITHIN 50' BUFFER		
EXISTING:	1728 5F	
PROPOSED:	0 5F	



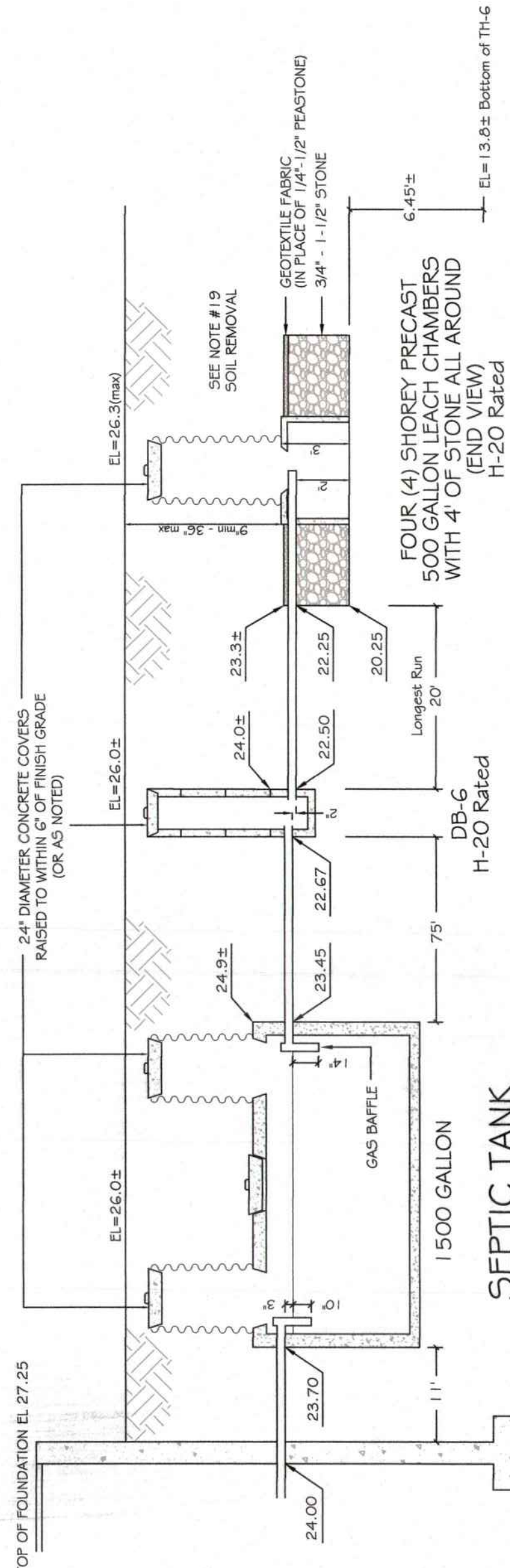
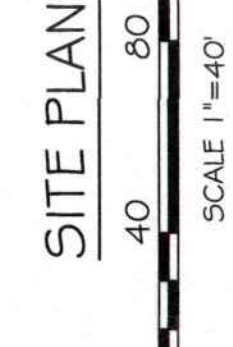
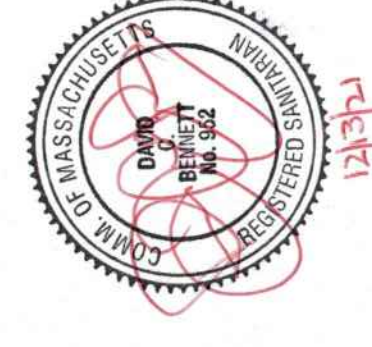
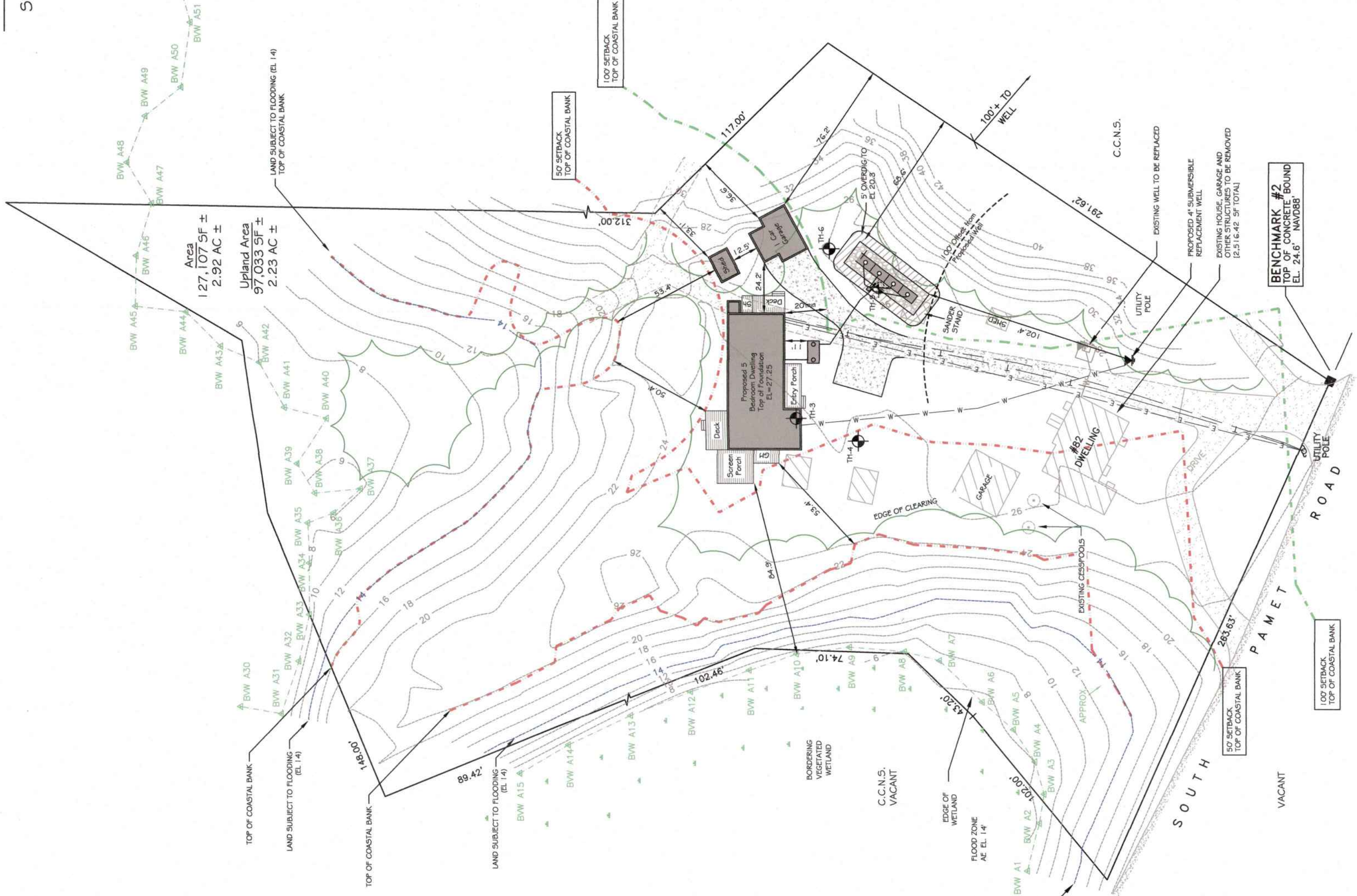
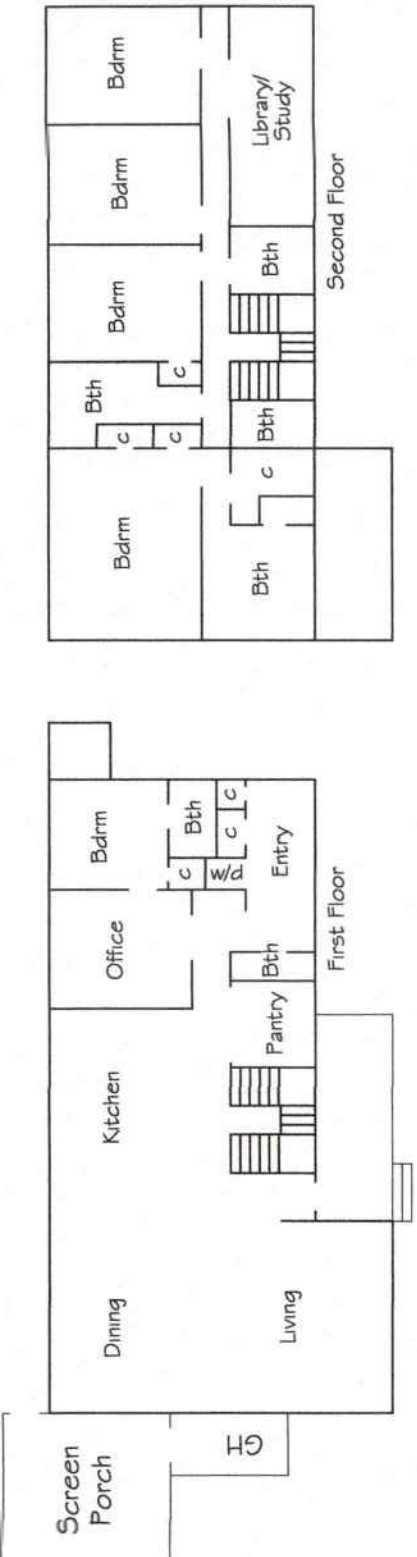
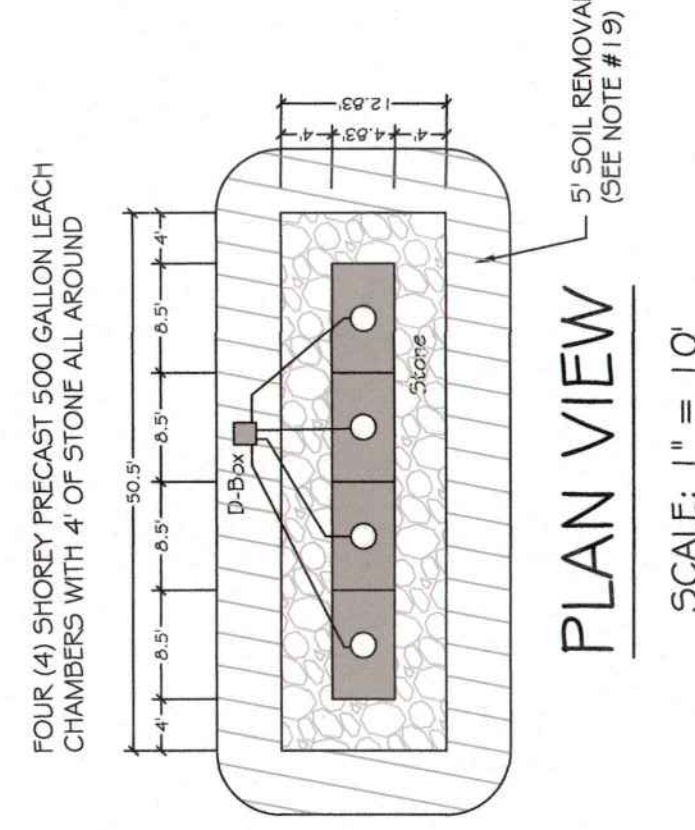
**DEMARST LAND SURVEYING**  
338 MAYFAIR ROAD  
SOUTH DENNIS, MA 02660  
508-364-9049

**VICTOR RIVERA & LAURA BERGAN**  
15 LAKEVIEW STREET - ARLINGTON, MA 02496

**SITE AND SEPTIC PLAN**  
NOTICE OF INTENT APPLICATION

**BENNETT ENVIRONMENTAL ASSOCIATES, LLC.**  
A NATURAL SYSTEMS UTILITIES COMPANY  
LICENSED SITE PROFESSIONALS, ENVIRONMENTAL SCIENTISTS, GEOLOGISTS, ENGINEERS  
1573 MAIN STREET - BREWSTER, MA 02631  
PHONE: (908) 996-1706 www.bennett-ea.com FAX: (908) 996-1509

DATE	5/17/21	SCALE	As Noted	BY	LJC	CHECK	DCB	JOB NUMBER	K11357DA-X.EV.901
------	---------	-------	----------	----	-----	-------	-----	------------	-------------------



**FLOW PROFILE**  
NOT TO SCALE

**TEST HOLE LOGS**

Test Hole #3 (EL.=26.3')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-24	24.3		Fill			
24-144	14.3	C1	Medium Sand	Cross Bedding	No	Loose
N/E						

Test Hole #4 (EL.=25.6')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-36	22.6		Fill			
36-144	13.6	C1	Medium Sand	Cross Bedding	No	Loose
N/E						

Test Hole #5 (EL.=26.3')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-6		A	Topsoil			
6-24	24.3	B	Subsoil			
24-144	14.3	C1	Medium Sand	Cross Bedding	No	Loose
N/E						

Test Hole #6 (EL.=26.3')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-108	17.6	C1	Fill			
108-150	14.3	C2	Medium Sand	Cross Bedding	No	Loose
150-156	13.6	C3	Clay			
N/E						

Test Hole #7 (EL.=26.3')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-0						
0-0	20.3'		Fill			
0-0			Medium Sand			
12.0'	14.3'	C1	Medium Sand	Cross Bedding	No	Loose
N/E						

Test Hole #8 (EL.=26.3')

Depth	Lowest EL.	Horizon	Texture	Structure	Moisture	Consistence
0-0						
0-0	20.3'	C	Fill			
11.0'	15.3'	C1	Medium Sand	Cross Bedding	No	Loose
N/E						

**SYSTEM DESIGN CALCULATIONS**

SEWAGE DESIGN FLOW REQUIRED: 5 BEDROOMS @ 110 GPD / BEDROOM = 550 GPD REQUIRED

SEWAGE DESIGN FLOW PROVIDED: FIVE (5) 500 GALLON LEACH CHAMBERS WITH 4' OF STONE ALL AROUND

$$V = [(42.0 \times 12.83) + 242.0 + 12.83] \times 21 \times .74 = 561.1 \text{ GPD PROVIDED}$$

SEPTIC TANK CAPACITY REQUIRED: 550 GPD x 200% = 1100 GALLON REQUIRED

SEPTIC TANK CAPACITY PROVIDED: 1500 GALLON PROVIDED

A GARBAGE DISPOSAL IS NOT PERMITTED WITH THIS DESIGN FLOW

**CONSTRUCTION NOTES**

- ALL WORK SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5 (910 CMR 15.000); AND THE REGULATIONS OF THE LOCAL BOARD OF HEALTH.
- ANY SEPTIC SYSTEM COMPONENT INSTALLED IN A LOCATION WHERE THERE IS POTENTIAL FOR VEHICLES OR HEAVY EQUIPMENT TO PASS OVER IT SHALL BE DESIGNED TO WITHSTAND AN H-20 LOAD. IF UNDER AN INTERVENEING SURFACE, SYSTEM SHALL BE VENTED TO THE ATMOSPHERE.
- TO MINIMIZE UNIFORM SETTLING, SEPTIC TANKS SHALL BE INSTALLED ON A STABLE MECHANICALLY-COMPACTED BASE ON SIX INCHES OF CALIBERED STONE.
- COVERS OVER THE INLET AND OUTLET TEES OF THE SEPTIC TANK, THE DISTRIBUTION BOX, AND THE SOIL ABSORPTION SYSTEM SHALL BE TAGGED TO WITHIN 6" OF FINAL GRADE. TAGGING FIELDS, TANKS, DISTRIBUTION BOXES, AND SOIL ABSORPTION SYSTEM SHALL BE TAGGED TO WITHIN 6" OF FINAL GRADE. AT LEAST ONE (1) INSPECTION PORT CONSISTING OF PREPARED 4" PVC PIPE PLACED VERTICALLY TO THE BOTTOM OF THE SOIL ABSORPTION SYSTEM WITH A CAP, TIED WITH MAGNETIC MARKING TAPE, ACCESSIBLE TO WITHIN 3' OF FINAL GRADE.
- PIPING SHALL CONSIST OF 4" SCHEDULE 40 PVC OR EQUIVALENT. PIPE SHALL BE LAID ON A MINIMUM CONTINUOUS GRADE OF NOT LESS THAN 2% FROM THE BUILDING TO THE SEPTIC TANK, AND NOT LESS THAN 1% OTHERWISE.
- DISTRIBUTION LINES FOR THE SOIL ABSORPTION SYSTEM SHALL BE 4" DIAMETER SCHEDULE 40 PVC (EQUIVALENT) LAID AT 0.005 FEET. UNLESS OTHERWISE NOTED, LINES SHALL BE CAPPED AT END OR AS NOTED.
- LINES FROM THE DISTRIBUTION BOX TO BE LEVEL FOR THE FIRST TWO (2) FEET BEFORE PITCHING TO DISTRIBUTION.
- GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATER-TIGHT SEAL.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SEWAGE DISPOSAL FIELD DURING THE COURSE OF CONSTRUCTION OF THE SYSTEM.
- IN ACCORDANCE WITH 310 CMR 15.221, ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE.
- THERE ARE NO OTHER KNOWN WELLS WITHIN 100' OF THE PROPOSED SOIL ABSORPTION SYSTEM.
- FROM THE DATE OF THE INSTALLATION OF THE SOIL ABSORPTION SYSTEM UNTIL RECEIPT OF THE CERTIFICATE OF COMPLIANCE, THE PERMETER SHALL BE STANDED AND FLAGGED TO PREVENT USE OF THE AREA THAT MAY CAUSE DAMAGE TO THE SYSTEM.
- THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE SYSTEM AS DESIGNED UNLESS CONSTRUCTED AS SHOWN ON PLAN. ANY CHANGES SHALL BE APPROVED IN WRITING BY THE DESIGNER.
- THE BOARD OF HEALTH REQUIRES INSPECTION OF THE SYSTEM BY AN AGENT OF THE BOARD OF HEALTH AND THE DESIGNER. THE DESIGNER SHALL CERTIFY IN WRITING THAT THE SEWAGE DISPOSAL SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE TERMS OF THE PERMIT AND THE APPROVED PLANS. 48 HOURS ADVANCE NOTICE IS REQUESTED.
- LOCATION OF UTILITIES IS APPROXIMATE AND CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. REQUEST FOR UTILITY INFORMATION SHOULD BE SUBMITTED TO THE LOCAL BOARD OF HEALTH, ANY PRIVATE UTILITY COMPANIES, AND THE LOCAL WATER DEPARTMENT.
- INSTRUMENT SURVEYS CONDUCTED FOR PROPOSED WORK ONLY. SITE PLAN SHALL NOT BE USED FOR STAKING, OR ANY OTHER PURPOSES. NOR SHALL IT BE USED AS A MORTGAGE PLOT PLAN OR TITLE SURVEY. CONFORMANCE TO LOCAL BYLAWS SHALL BE DETERMINED BY THE OWNER PRIOR TO CONSTRUCTION.
- THIS PLAN DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF PERFORMANCE. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE SYSTEM. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE SYSTEM.
- TEST HOLES COMPLETED PER STATE ENVIRONMENTAL CODE, TITLE 5. SOILS CAN BE VARIABLE AND THESE SOILS ARE NOT GUARANTEED TO BE IDENTICAL TO OTHER AREAS. SOILS DIFFER FROM THESE SOILS CAN BE IDENTIFIED BY THE DESIGNER. THE DESIGNER IS TO INSPECT THE SOILS PRIOR TO PROCEEDING WITH INSTALLATION OF ANY SEPTIC COMPONENTS.
- SOIL REMOVAL SHALL BE TO 18" DEPTH. SOILS SHALL BE REMOVED AND ANY FILL SHALL BE RELOADED FOR A LAYER OF FIVE (5) FEET LATERALLY FROM THE SOIL ABSORPTION SYSTEM DOWN TO THE CLEAN SAND (C-1) LAYER (EL.=20.3.3). AREA TO BE BACKFILLED WITH CLEAN SAND AND COMPACTED TO MINIMIZE SETTLEMENT.

**INSPECTION NOTE**  
PRIOR TO FINAL INSPECTION BY THE BOARD OF HEALTH, THE ENGINEERING SYSTEM NEEDS TO BE COMPLETE INCLUDING BUILDING FOR COVERS.

# PROPOSED MITIGATION PLAN

82 South Pamet Road, Truro

May 18, 2021

Environmental Consulting & Restoration, LLC

- NOTES:**
- 1.) THE PROPOSED MITIGATION PLAN HAS BEEN DESIGNED TO MITIGATE THE IMPACTS TO THE 100-FOOT BUFFER ZONE FROM THE RAZE AND REBUILD PROJECT. THE PROPOSED RAZE AND REBUILD INCLUDES AN INCREASE OF APPROXIMATELY 876 SQUARE FEET IN STRUCTURAL FOOTPRINT (HOUSE, GARAGE & SHED) LOCATED WITHIN THE 100-FOOT BUFFER ZONE. PLEASE NOTE, THE PROPOSED PROJECT ALSO INCLUDES REMOVING ALL STRUCTURES FROM THE 50-FOOT BUFFER ZONE.
  - 2.) THE PROPOSED MITIGATION INCLUDES APPROXIMATELY 3,144 SQUARE FEET OF NATIVE PLANTINGS TO RESTORE A PORTION OF THE 50-FOOT VEGETATED BUFFER ALONG THE COASTAL BANK WITHIN THE WESTERN PORTION OF THE SITE. MITIGATION HAS BEEN DESIGNED AT A GREATER THAN 3:1 RATIO COMPARED TO THE PROPOSED INCREASE IN STRUCTURAL FOOTPRINT WITHIN THE 100-FOOT BUFFER ZONE.
  - 3.) THE MITIGATION AREA IS LOCATED WITHIN AND NEAR THE EXISTING FOOTPRINT OF THE STRUCTURES PROPOSED TO BE RAZED. THE PROPOSED MITIGATION AREA CURRENTLY INCLUDES STRUCTURES, MAINTAINED LAWN, A DILAPIDATED GARDEN, ETC.
  - 4.) PRIOR TO ANY WORK IN OR NEAR THE PROPOSED MITIGATION AREA, EROSION CONTROLS SHALL BE ESTABLISHED ALONG THE EXISTING TREE LINE. BETWEEN THE MITIGATION AREA AND THE COASTAL BANK, EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL PLANTING HAS BEEN COMPLETED AND THE MITIGATION AREA HAS BEEN STABILIZED.
  - 5.) PRIOR TO PLANTING, ALL WORK ASSOCIATED WITH RAZING THE EXISTING STRUCTURES SHOULD BE COMPLETED AND THE MITIGATION AREA "TURFED-OFF" TO EXPOSE THE NATIVE TOP SOILS. A LAYER OF CLEAN LOAM (2-3 INCHES) SHALL BE SPREAD ACROSS THE MITIGATION AREA AS NECESSARY TO INCREASE ORGANIC CONTENT AND PROMOTE BETTER "SEED-TO-SOIL" CONTACT.
  - 6.) THE PROPOSED MITIGATION AREA SHALL BE HAND PLANTED WITH NATIVE SHRUBS AND SAPLINGS. PLANT SPACING SHALL BE IN ACCORDANCE WITH D.E.P. GUIDANCE AT 10 FEET ON CENTER FOR SHRUBS AND 15 FEET ON CENTER FOR SAPLINGS TO INCLUDE A TOTAL OF 36 NATIVE SHRUBS AND 16 NATIVE SAPLINGS TO VEGETATE THE 3,144 SQUARE FOOT MITIGATION AREA. PLEASE NOTE, THE PROPOSED PLANTS HAVE ALL BEEN SELECTED FROM THE TOWN OF TRURO APPROVED PLANT LIST.
  - 7.) AT THE COMPLETION OF PLANTING, THE ROOT ZONES OF EACH PLANT SHALL BE COVER WITH A NATURAL MULCH OR WOOD CHIP.
  - 8.) THE REMAINING MITIGATION AREA SHALL BE HAND SEEDED WITH A NATIVE SEED MIX SUITABLE FOR THE BUFFER ZONE ENVIRONMENT AT THE RATE SPECIFIED BY THE SUPPLIER. PLEASE SEE THE INCLUDED SEED MIX FOR MORE INFORMATION.
  - 9.) AN IRRIGATION SCHEDULE SHALL BE ESTABLISHED BY THE APPLICANT/CONTRACTOR.

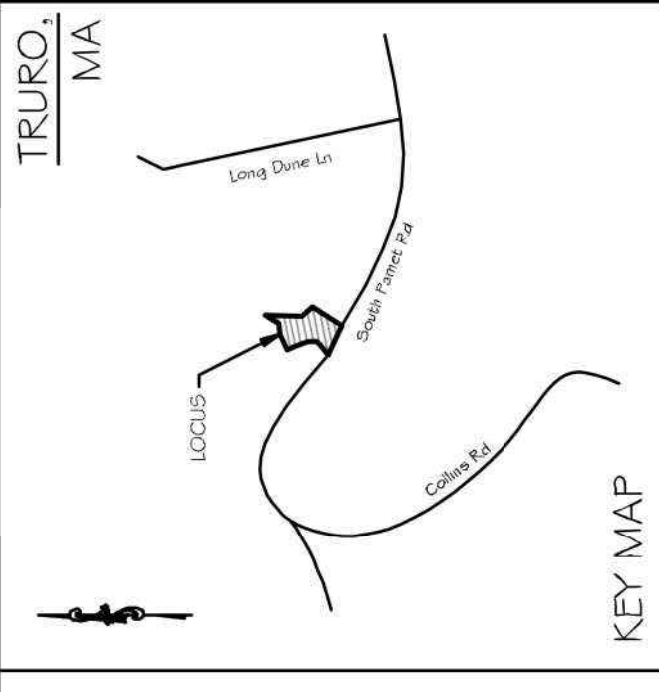
Symbol	Qty	Common	Botanical	Size
	7	Common Raspberry	Rubus occidentalis	1-2 ft.
	7	Lowbush Blueberry	Vaccinium angustifolium	1-2 ft.
	8	Bayberry	Myrica pensylvanica	2-3 ft.
	7	Black Chokeberry	Aronia melanocarpa	2-3 ft.
	7	Virginia Rose	Rosa virginiana	2-3 ft.
	4	American Holly	Ilex opaca	4-5 ft.
	4	Black Cherry	Prunus serotina	5-6 ft.
	3	Black Oak	Quercus velutina	5-6 ft.
	5	Flowering Dogwood	Cornus florida	5-6 ft.

## Native Upland Wildlife Forage & Cover Meadow Mix

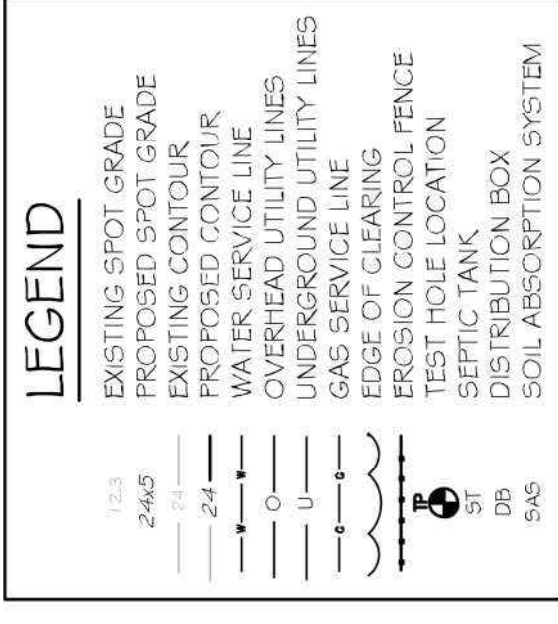
### Mix Composition

- 34.9% *Andropogon gerardii*, 'Niagara' (Big Bluestem, 'Niagara')
- 27.0% *Panicum virgatum*, 'Cave-In-Rock' (Switchgrass, 'Cave-In-Rock')
- 21.0% *Elymus virginicus*, PA Ecotype (Virginia Wildrye, PA Ecotype)
- 9.0% *Sorghastrum nutans*, NY4 Ecotype (Indiangrass, NY4 Ecotype)
- 3.0% *Rudbeckia hirta*, Coastal Plain NC Ecotype (Blackeyed Susan, Coastal Plain NC Ecotype)
- 2.0% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Helianthus scaberrimus*, PA Ecotype (Oxeye Sunflower, PA Ecotype)
- 1.0% *Carex flacca* (Plains Carex)
- 0.4% *Desmodium canadense*, PA Ecotype (Showy Ticktrefoil, PA Ecotype)
- 0.1% *Monarda fistulosa*, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)

FOR MORE INFORMATION PLEASE REFER TO THE PROJECT DESCRIPTION.



KEY MAP



### REFERENCE

- PLAN TITLED "SKETCH OF LAND IN TRURO", PREPARED BY SLADE ASSOCIATES, INC., DATED JAN 1/990 (PROPERTY BOUNDARIES)
- TRURO ASSESSORS' MAP 51, PARCEL 57 (BUILDING SIZES)



SURVEY BY:  
**DEMAREST LAND SURVEYING**  
 338 MAYFAIR ROAD  
 SOUTH DENNIS, MA 02660  
 508-364-9049

SHEET 2 OF 2

Project:  
**VICTOR RIVERA & LAURA BERGAN**  
 15 LAKEVIEW STREET - ARLINGTON, MA 02466

Title:  
 RESTORATIVE PLANTING AND MITIGATION PLAN  
 NOTICE OF INTENT APPLICATION  
 82 SOUTH PAMET ROAD - TRURO, MA

**BENNETT ENVIRONMENTAL ASSOCIATES, LLC**  
 A NATURAL SYSTEMS UTILITIES COMPANY  
 LICENSED SITE PROFESSIONALS, ENVIRONMENTAL SCIENTISTS, GEOLOGISTS, ENGINEERS  
 1573 MAIN STREET - BREWSTER, MA 02601  
 www.bennettma.com  
 PHONE: (985) 896-1706 FAX: (985) 896-1109

DATE: 5/7/21  
 SCALE: As Noted  
 BY: SRF  
 CHECK: DCB  
 JOB NUMBER: K1157DA.X.EV.901

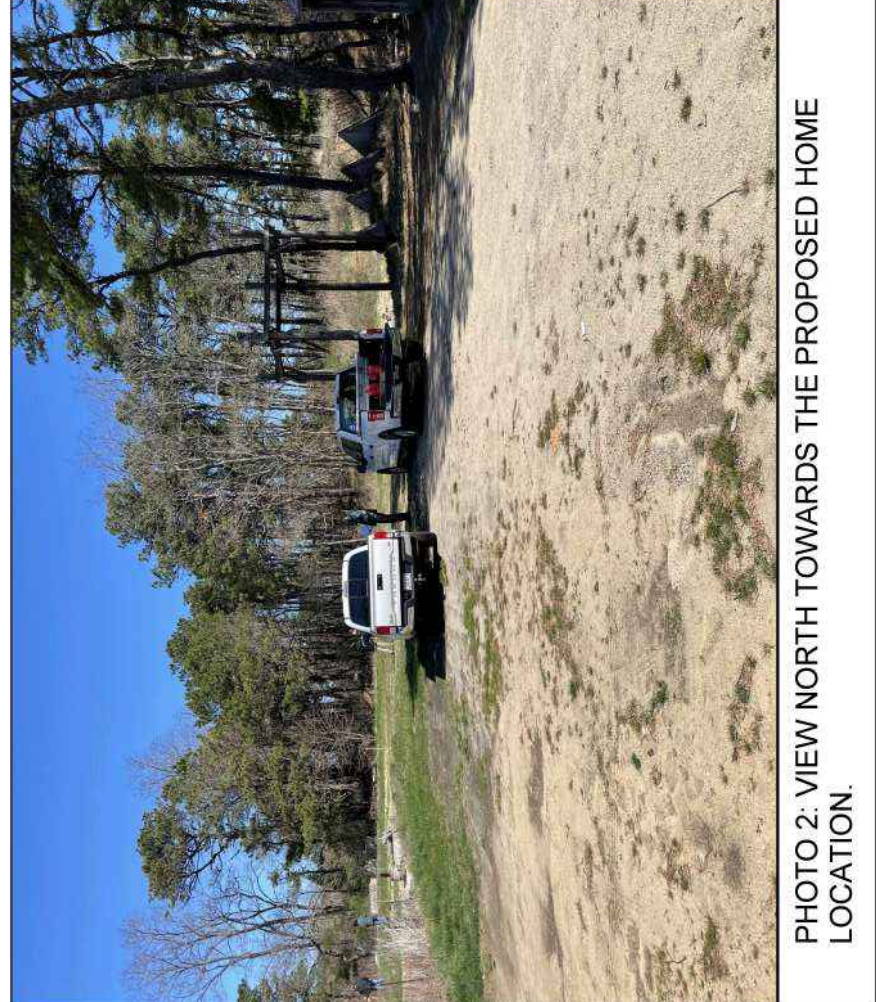


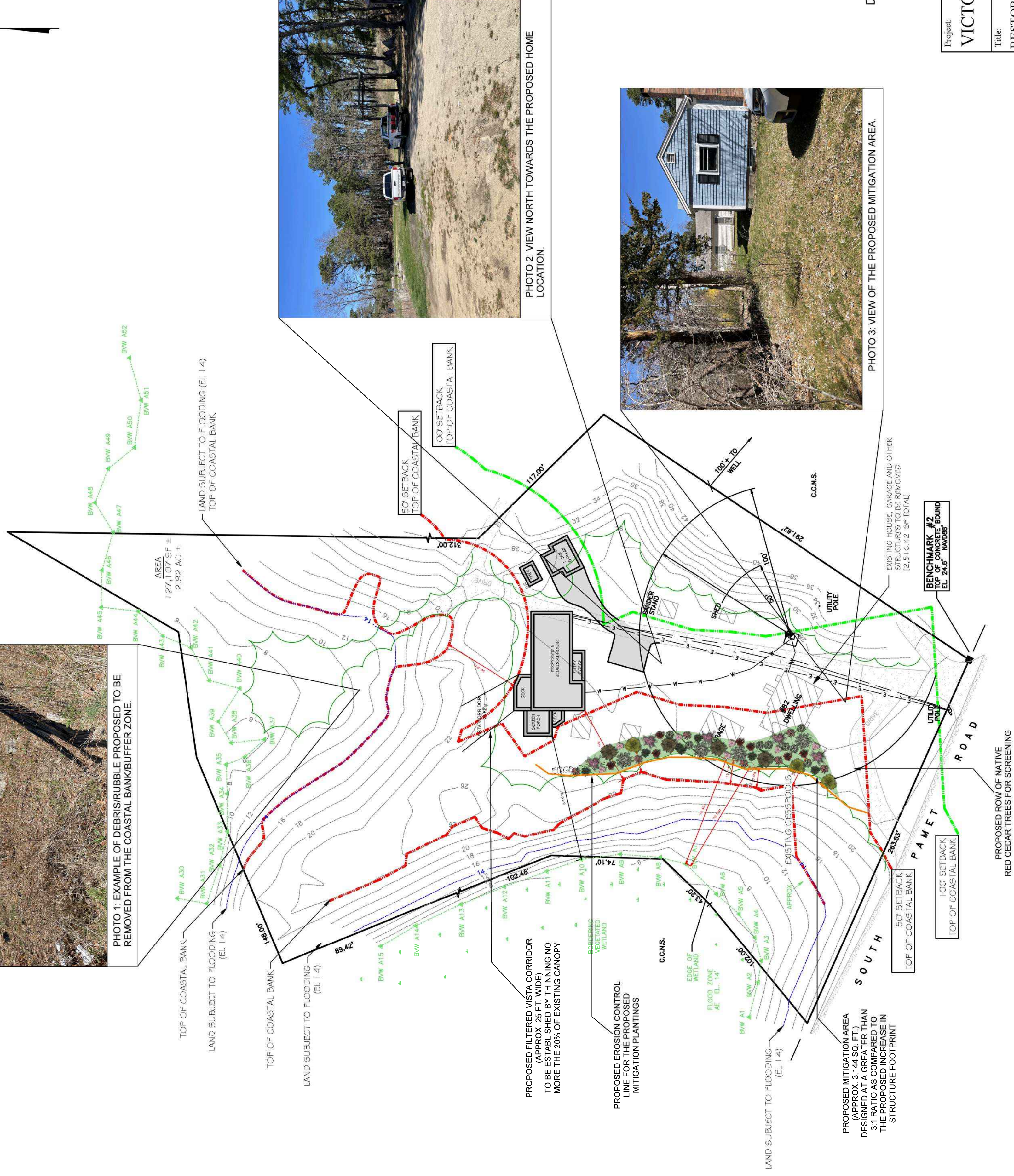
PHOTO 2: VIEW NORTH TOWARDS THE PROPOSED HOME LOCATION.



PHOTO 3: VIEW OF THE PROPOSED MITIGATION AREA.



PHOTO 1: EXAMPLE OF DEBRIS/RUBBLE PROPOSED TO BE REMOVED FROM THE COASTAL BANK/BUFFER ZONE.



### SITE PLAN



# CUSTOM BRIGHTBUILT HOME

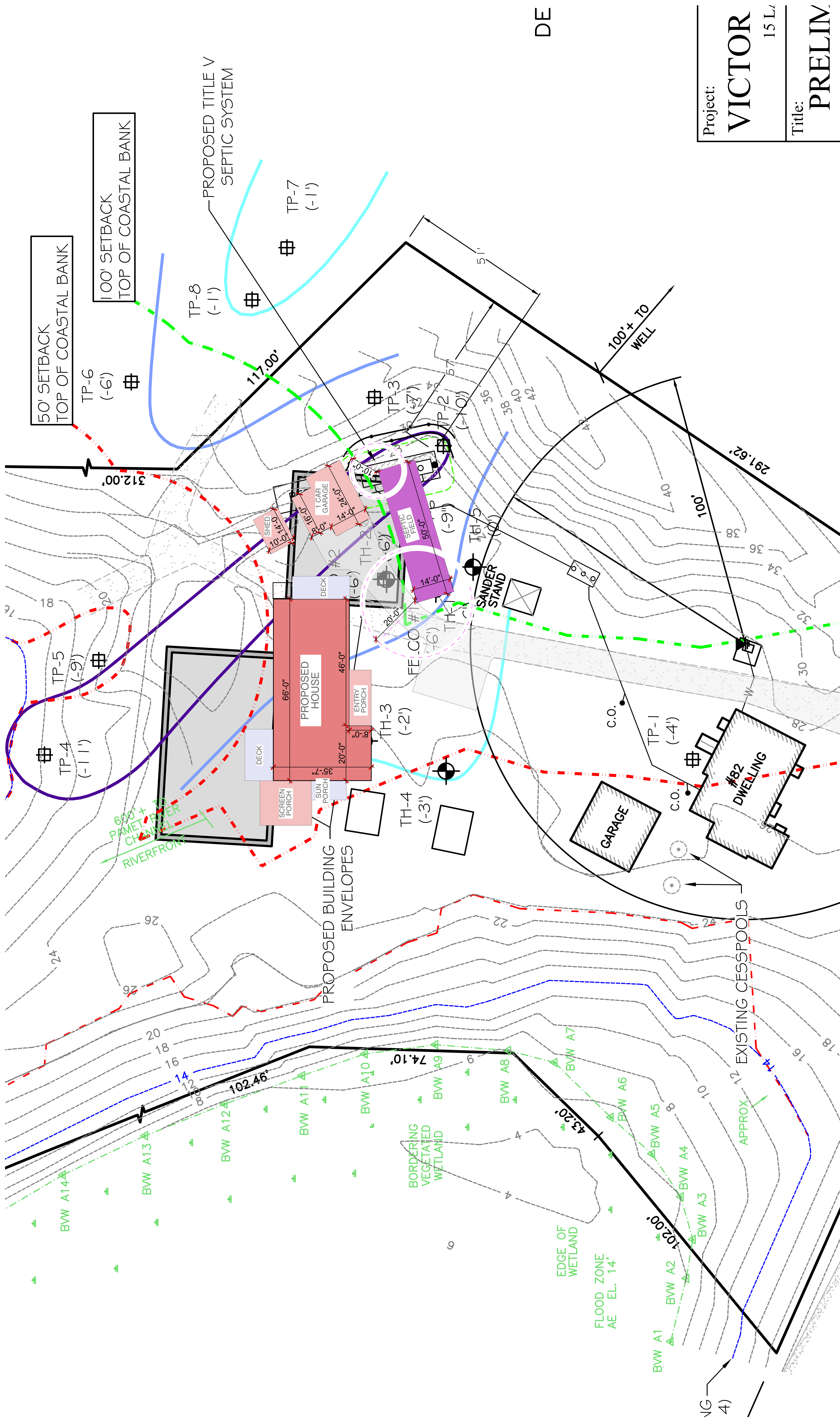
## PROJECT INFORMATION

**Client:** Victor Rivera & Laura Bergen  
**Designer:** BrightBuilt Home  
**Contractor:** TBD  
**Map / Lot:**  
**Project Address:** 82 South Pamet Rd.  
 Truro, MA  
**Zoning:**  
**Building Codes:** TBD  
**Site Area:**  
**Occupancy:** Single Family Residential  
**Max Building Height:** 30'-0"



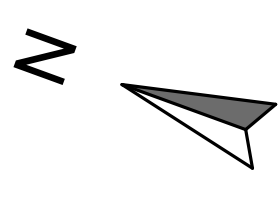
### DRAWING INDEX

00	COVER SHEET
	GENERAL NOTES
A-0.1	SITE PLAN
A-1.0	FOUNDATION PLAN
A-1.1	MAIN LEVEL FLOOR PLAN
A-1.2	UPPER LEVEL FLOOR PLAN
A-1.3	ROOF PLAN
A-2.1	NORTH & SOUTH ELEVATIONS
A-2.2	EAST & WEST ELEVATIONS
A-3.1	BUILDING SECTIONS
A-3.2	BUILDING SECTIONS
A-7.1	ENLARGED PLANS
A-7.2	ENLARGED SECOND FLOOR
A-8.1	SCHEDULES
A-8.2	SCHEDULES
A-9.1	PERSPECTIVES
A-9.2	PERSPECTIVES
A-9.3	PERSPECTIVES
A-9.4	OVERHEAD, BASEMENT
A-9.5	OVERHEAD, FIRST FLOOR
A-9.6	OVERHEAD, SECOND FLOOR
M-1.1	MECHANICAL
M-1.2	MECHANICAL
M-1.3	MECHANICAL
V-1.1	ELECTRICAL
V-1.2	ELECTRICAL
V-1.3	ELECTRICAL

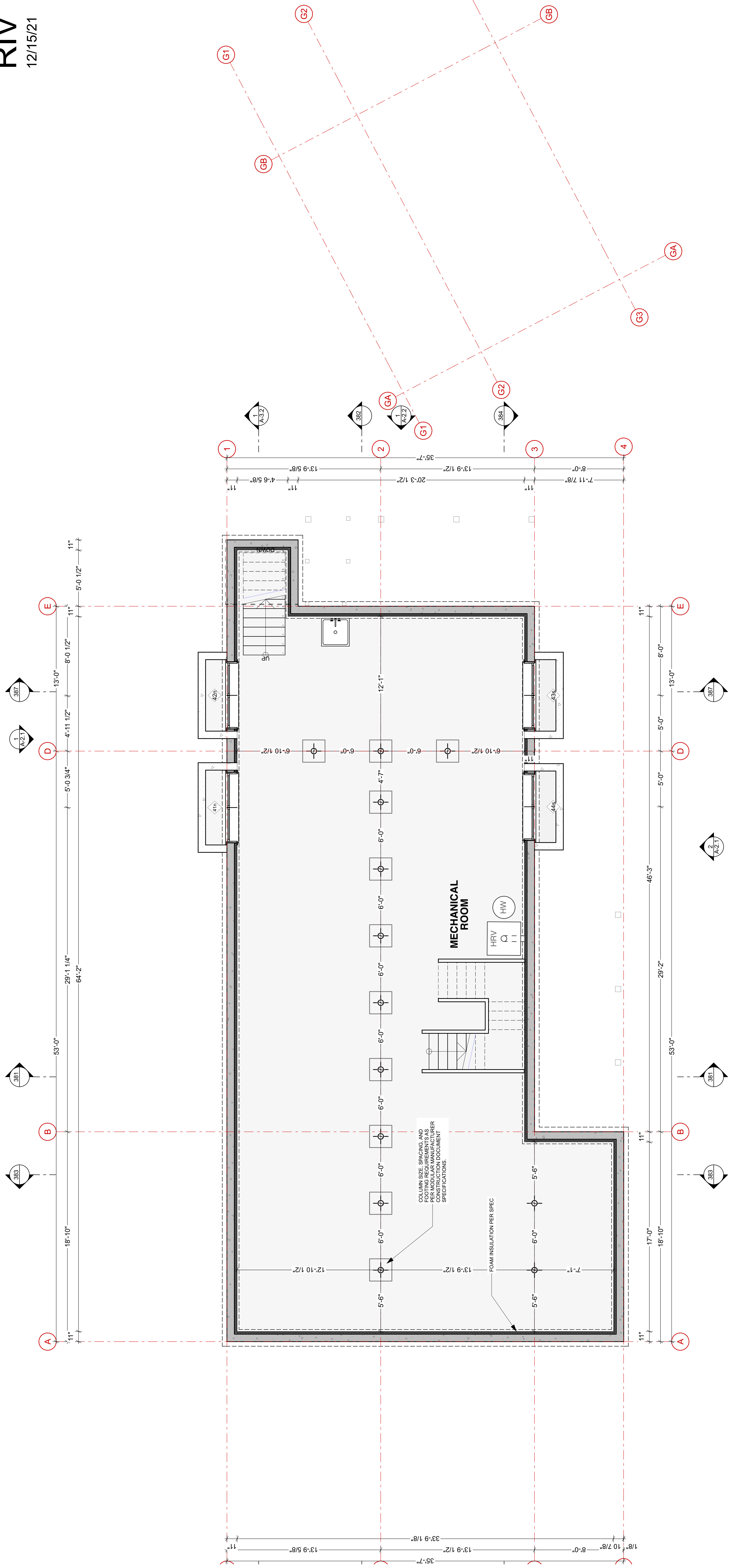


1 SITE PLAN  
SCALE: 1/16" = 1'-0"

Project:	<b>VICTOR</b>
	15 L <sub>1</sub>
Title:	<b>PRELIN.</b>



**NOT FOR CONSTRUCTION**  
**DESIGN REVIEW**



FOUNDATION NOTES:

GRID LINES ARE DRAWN AT THE OUTSIDE FACE OF EXTERIOR WALL SHEATHING. FOUNDATION WALLS ARE TO ALIGN WITH THE FACE OF THE STRUCTURAL FRAMING, INSET BY THE THICKNESS OF THE SHEATHING, WHICH IS 7/16".

COLUMN SIZE, SPACING AND FOOTING REQUIREMENTS AS PER MODULAR MANUFACTURER CONSTRUCTION DOCUMENT SPECIFICATIONS

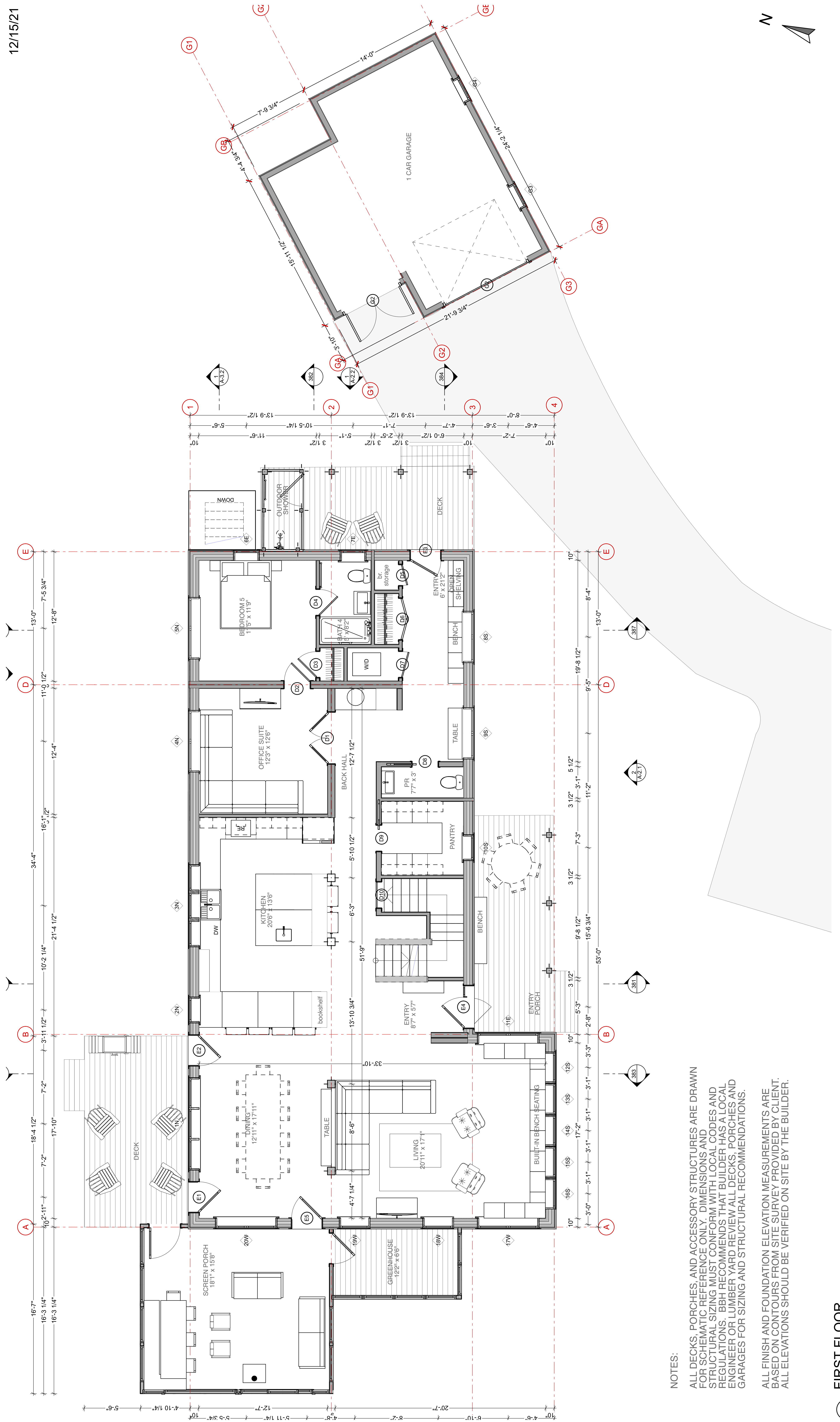
DIMENSIONS FOR STAKING AND POURING FOUNDATION SHOULD BE TAKEN FROM MODULAR MANUFACTURER'S CONSTRUCTION DOCUMENTS. DIMENSIONS SHOWN HERE ARE FOR PERMITTING AND REFERENCE ONLY.

ALL FINISH AND FOUNDATION ELEVATION MEASUREMENTS ARE BASED ON CONTOURS FROM SITE SURVEY PROVIDED BY CLIENT.

1 BASEMENT

SCALE: 1/4" = 1'-0"

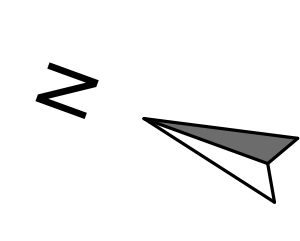




NOTES:

ALL DECKS, PORCHES, AND ACCESSORY STRUCTURES ARE DRAWN FOR SCHEMATIC REFERENCE ONLY. DIMENSIONS AND STRUCTURAL SIZING MUST CONFORM WITH LOCAL CODES AND REGULATIONS. BBH RECOMMENDS THAT BUILDER HAS A LOCAL ENGINEER OR LUMBER YARD REVIEW ALL DECKS, PORCHES AND GARAGES FOR SIZING AND STRUCTURAL RECOMMENDATIONS.

ALL FINISH AND FOUNDATION ELEVATION MEASUREMENTS ARE BASED ON CONTOURS FROM SITE SURVEY PROVIDED BY CLIENT. ALL ELEVATIONS SHOULD BE VERIFIED ON SITE BY THE BUILDER.



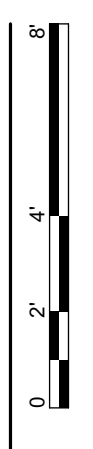
1 FIRST FLOOR  
SCALE: 1/4" = 1'-0"

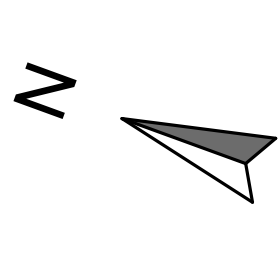
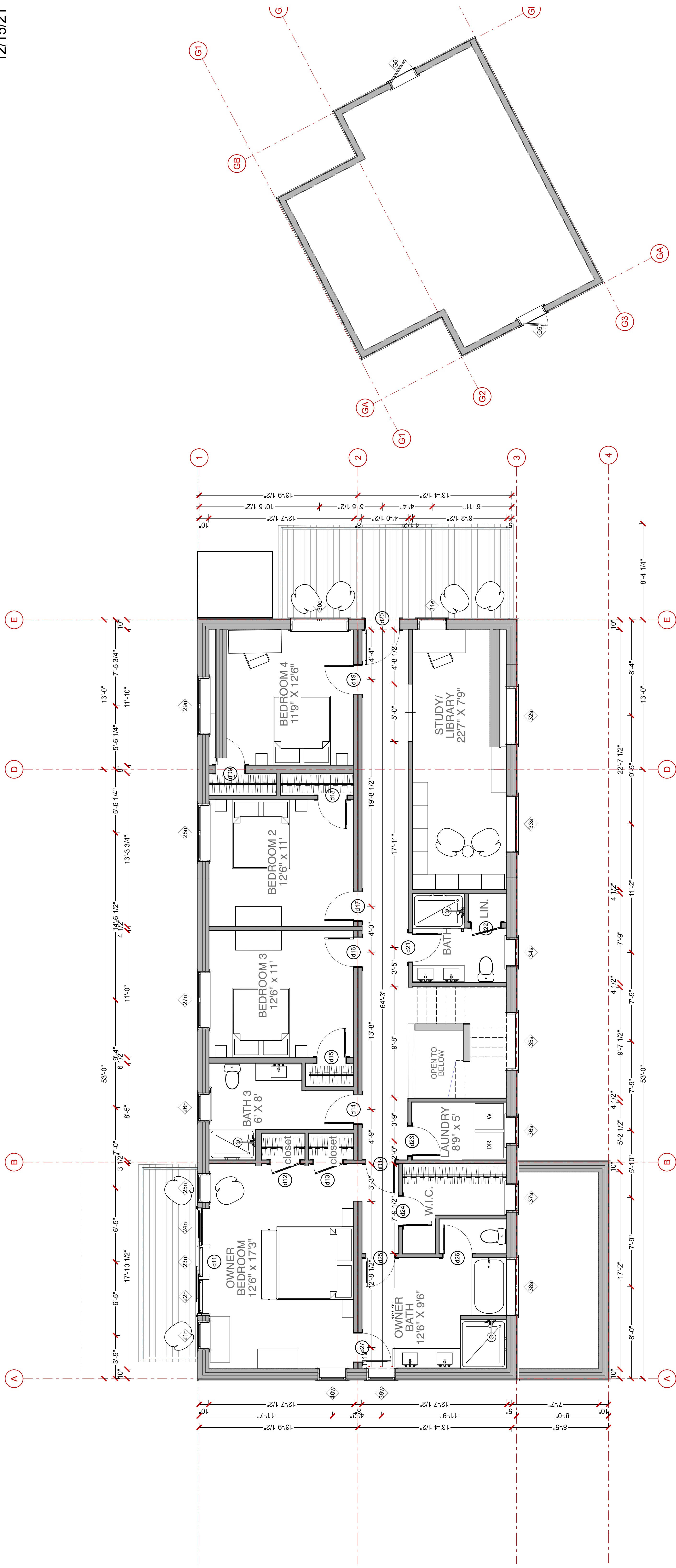


NOT FOR CONSTRUCTION  
DESIGN REVIEW

Project: MAIN LEVEL FLOOR PLAN  
CUSTOM BRIGHTBUILT HOME  
Victor Rivera and Laura Beigen  
82 South Pamet Road, Truro, MA

Drawing: MAIN LEVEL FLOOR PLAN  
Scale:  
Date: December 8, 2021  
Drawn by: PM  
Revised  
12/15/21:





1 UPPER LEVEL  
SCALE: 1/4" = 1'-0"

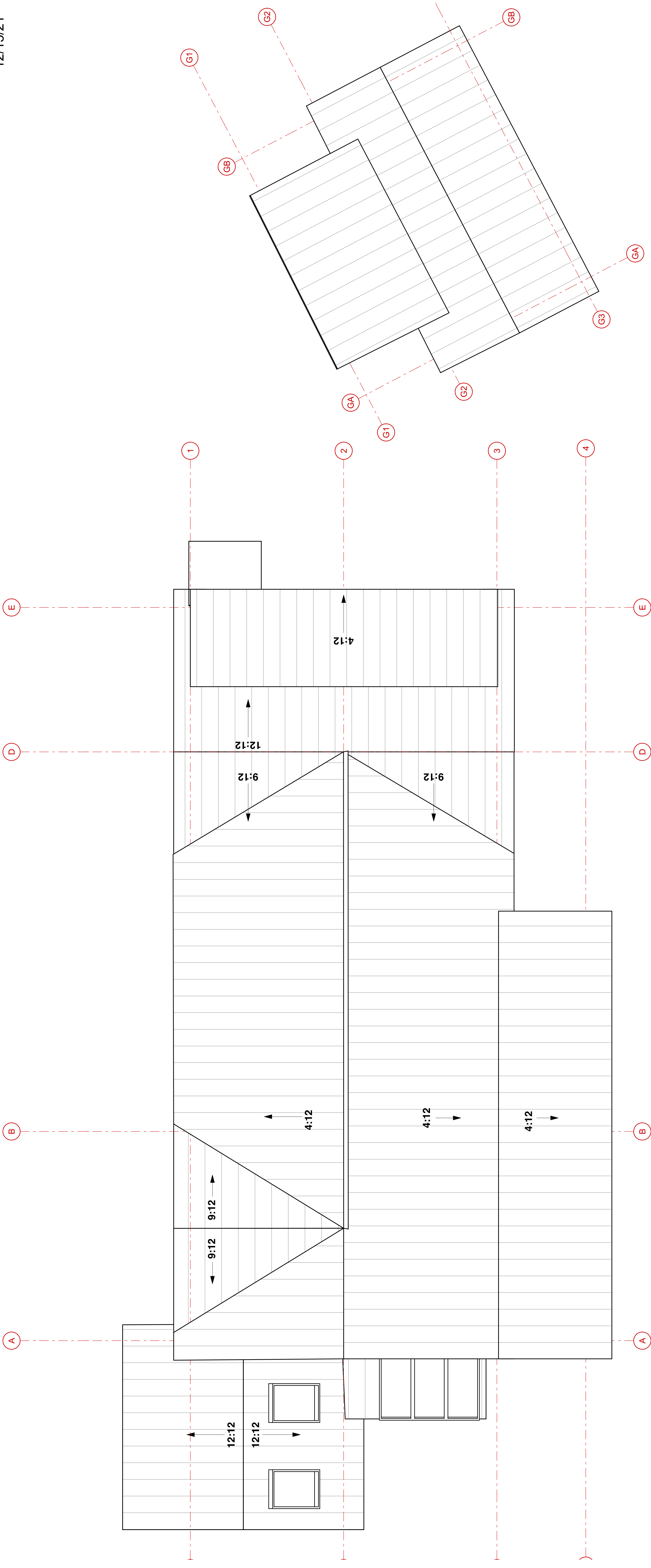


NOT FOR CONSTRUCTION  
DESIGN REVIEW

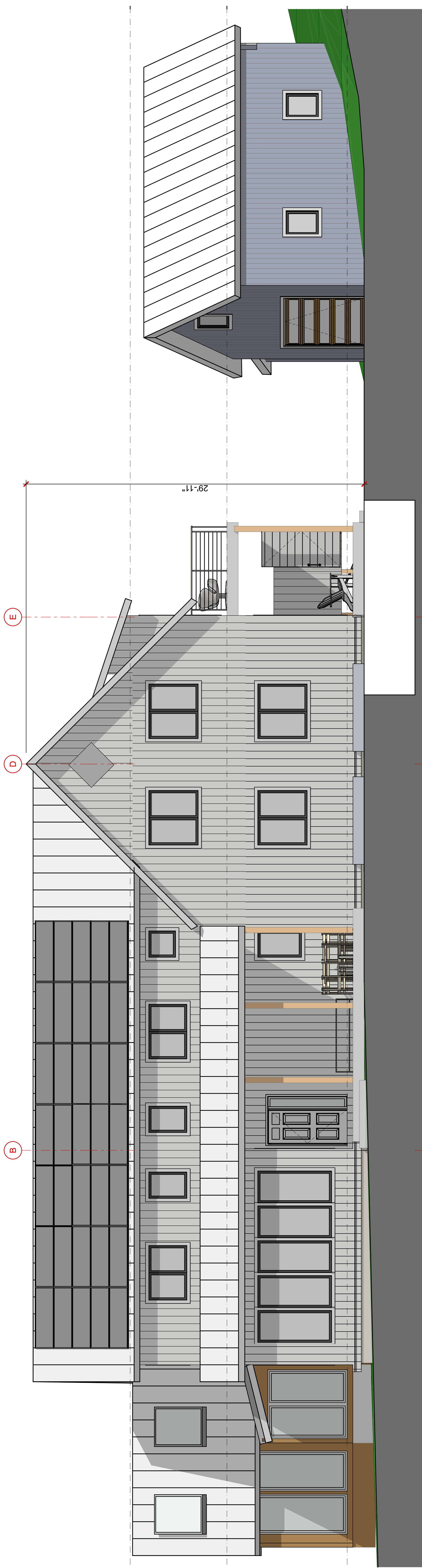
Project: **CUSTOM BRIGHTBUILT HOME**  
Victor Rivera and Laura Bergen  
82 South Pamet Road, Truro, MA

Drawing: UPPER LEVEL FLOOR PLAN  
Scale:  
Date: December 8, 2021

Drawn by: FM  
Revised  
12/15/21:

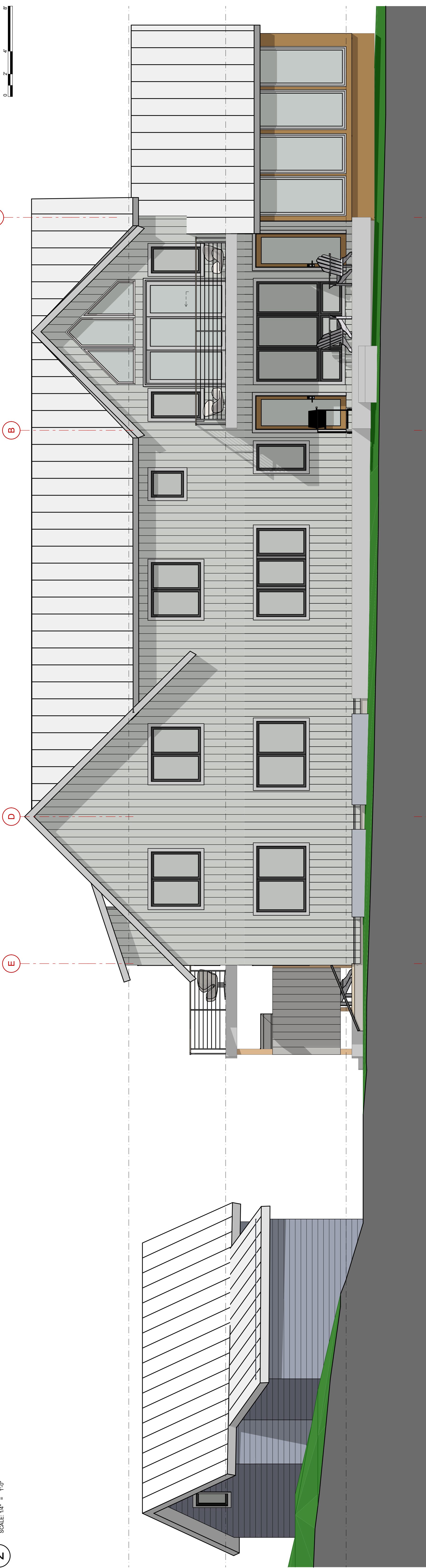


1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



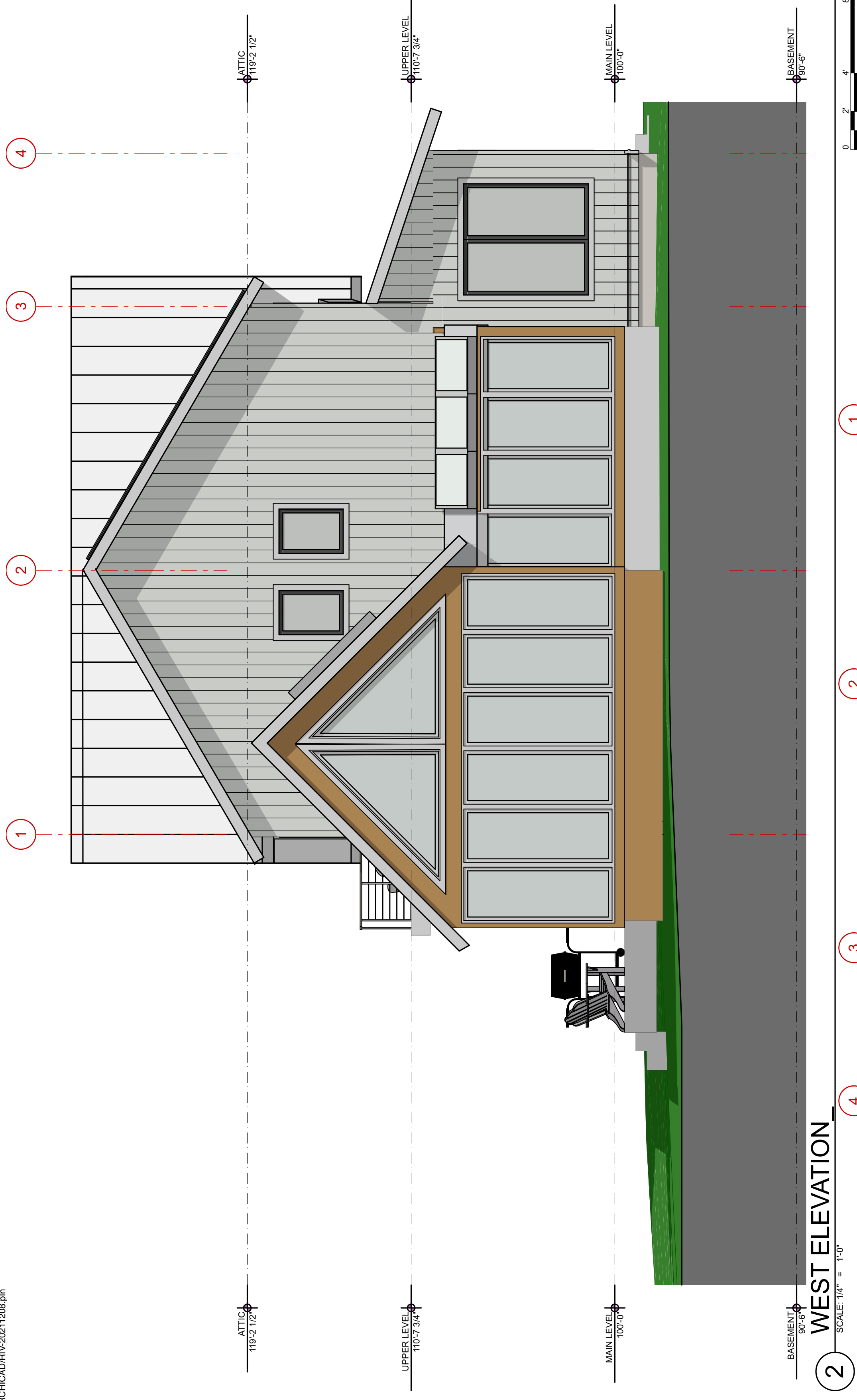
2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

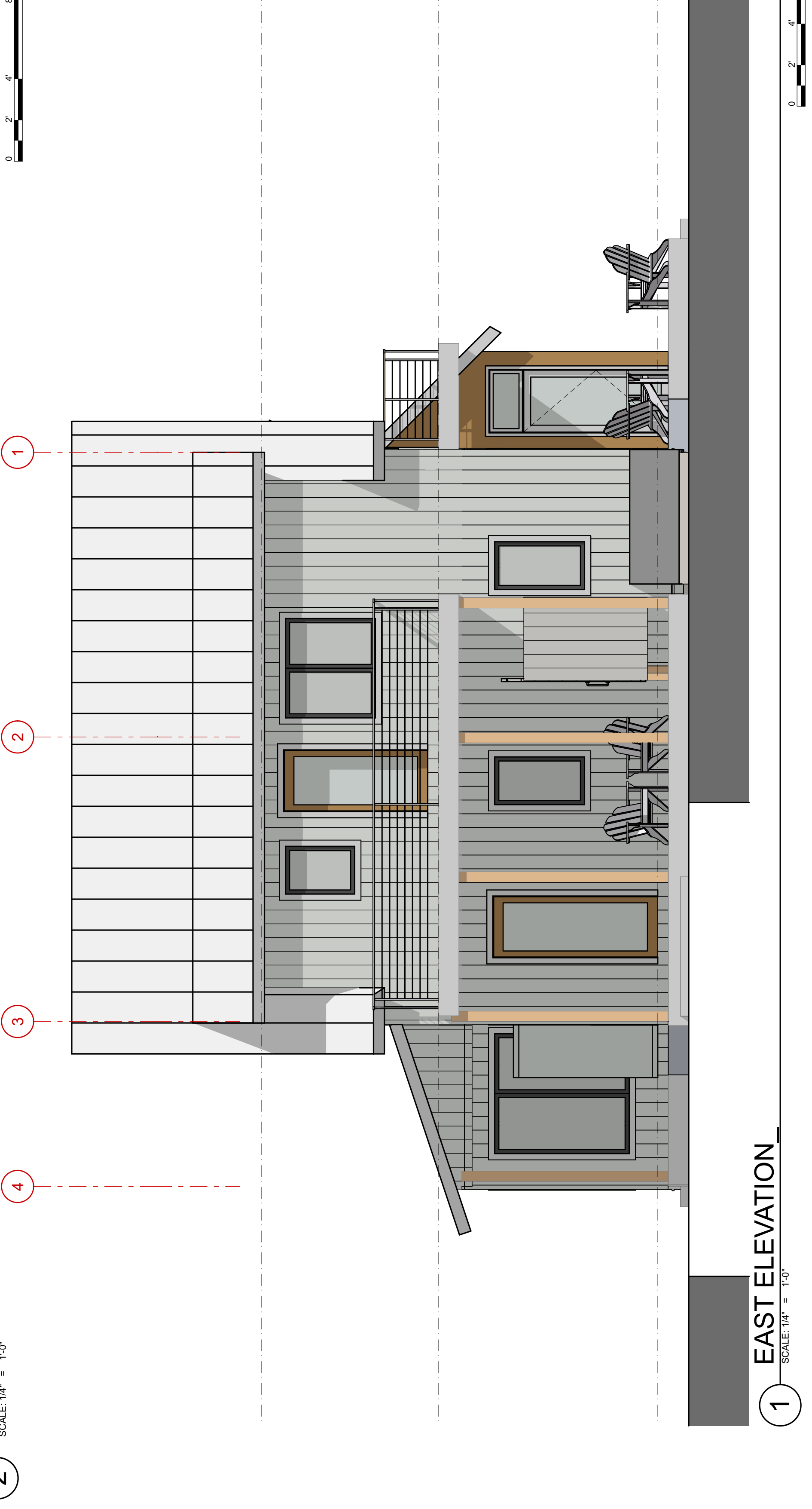


1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

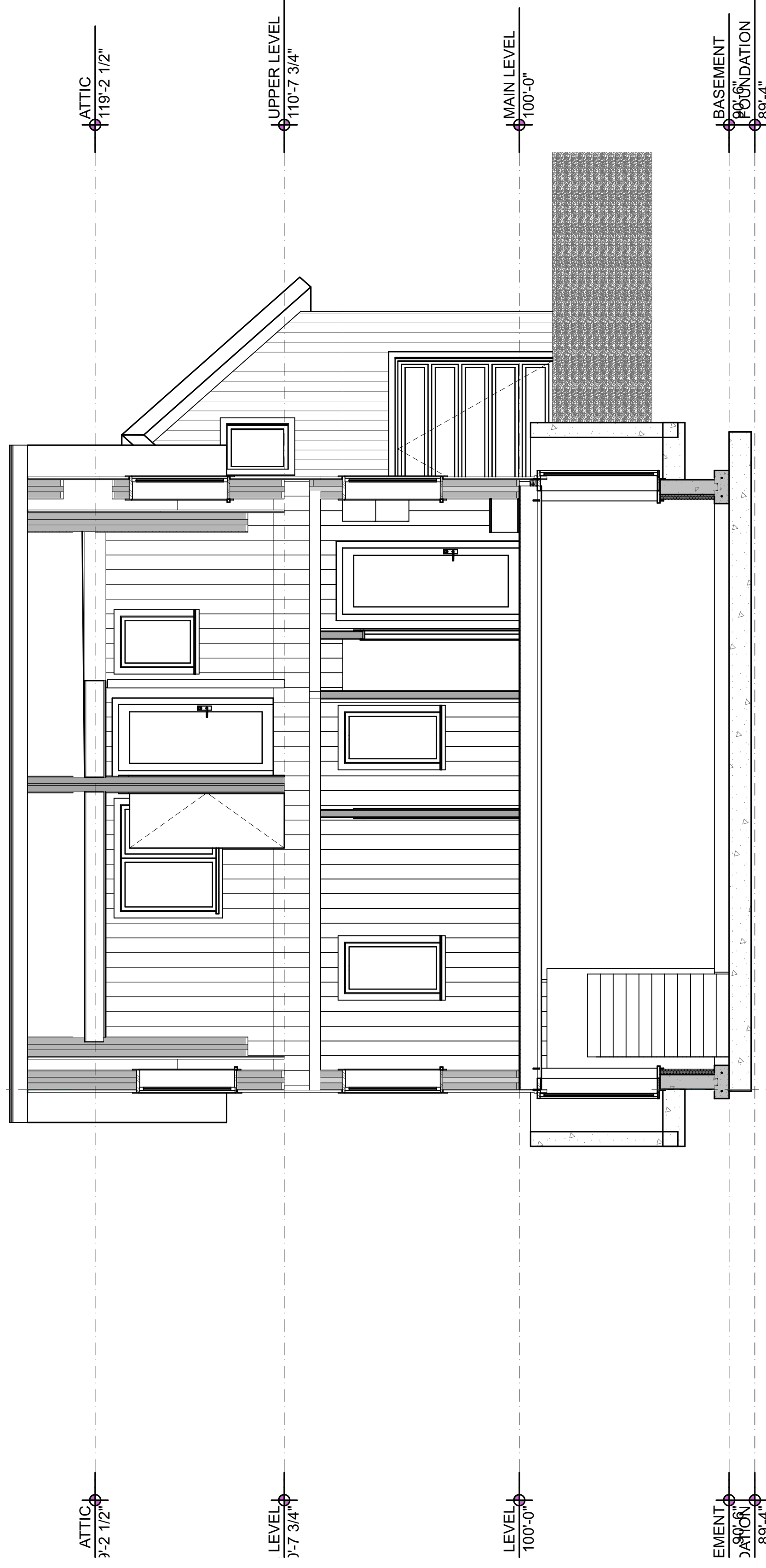
F PLAN  
5'-8 1/2"

ROOF PLAN  
135'-8 1/2"

ROOF PLAN  
135'-8 1/2"

1

1



ATTIC  
3'-2 1/2"

LEVEL  
3'-7 3/4"

LEVEL  
100'-0"

ELEMENT  
FOUNDATION  
89'-4"

ATTIC  
119'-2 1/2"

UPPER LEVEL  
110'-7 3/4"

MAIN LEVEL  
100'-0"

BASEMENT  
FOUNDATION  
89'-4"

ATTIC  
119'-2 1/2"

UPPER LEVEL  
110'-7 3/4"

MAIN LEVEL  
100'-0"

BASEMENT  
FOUNDATION  
89'-4"

ATTIC  
119'-2 1/2"

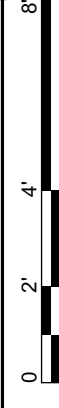
UPPER LEVEL  
110'-7 3/4"

MAIN LEVEL  
100'-0"

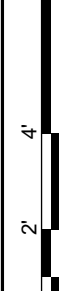
BASEMENT  
FOUNDATION  
89'-4"

1 SECTION  
SCALE: 1/4" = 1'-0"

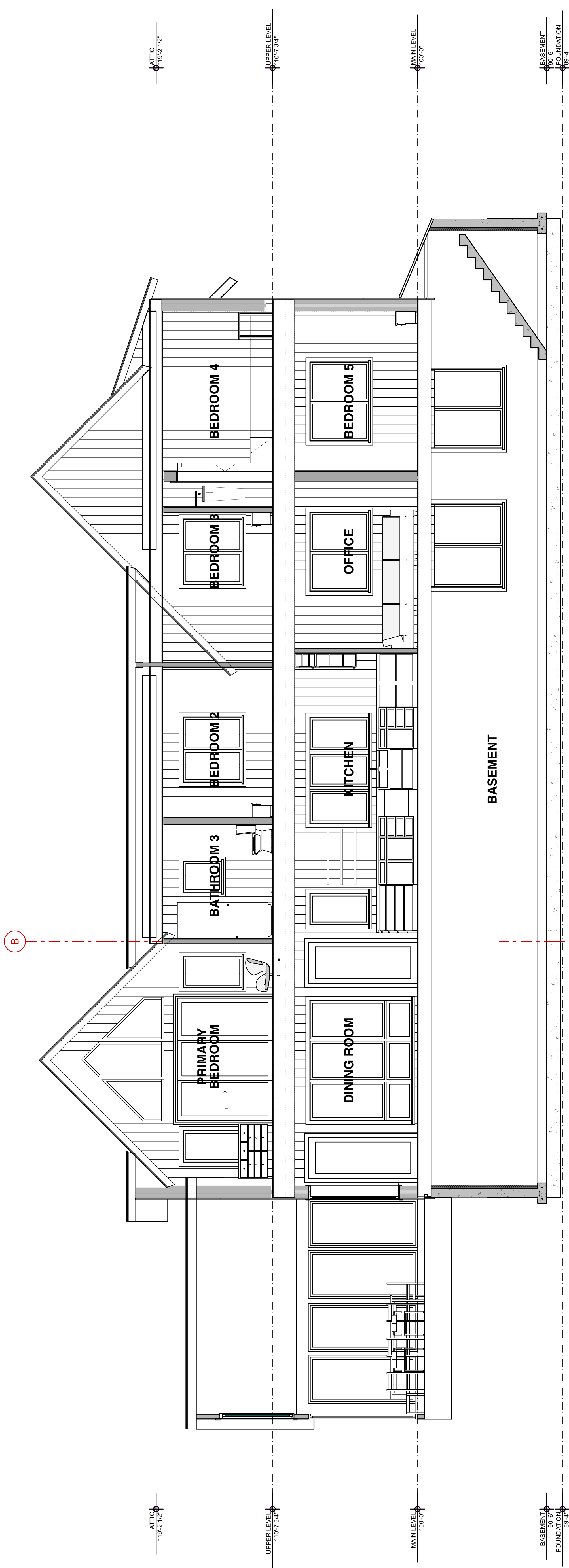
2 SECTION  
SCALE: 1/4" = 1'-0"



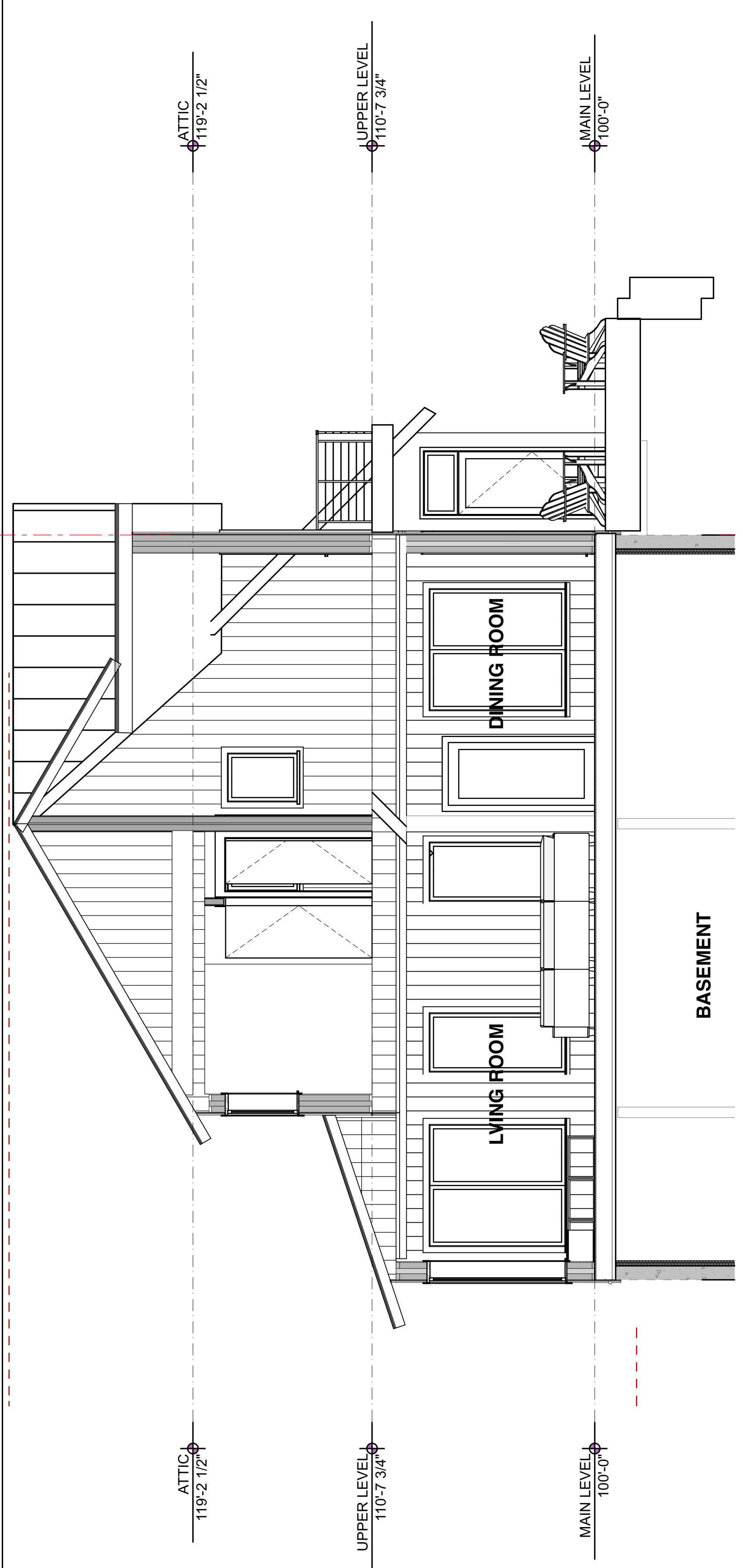
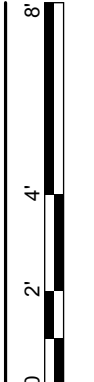
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



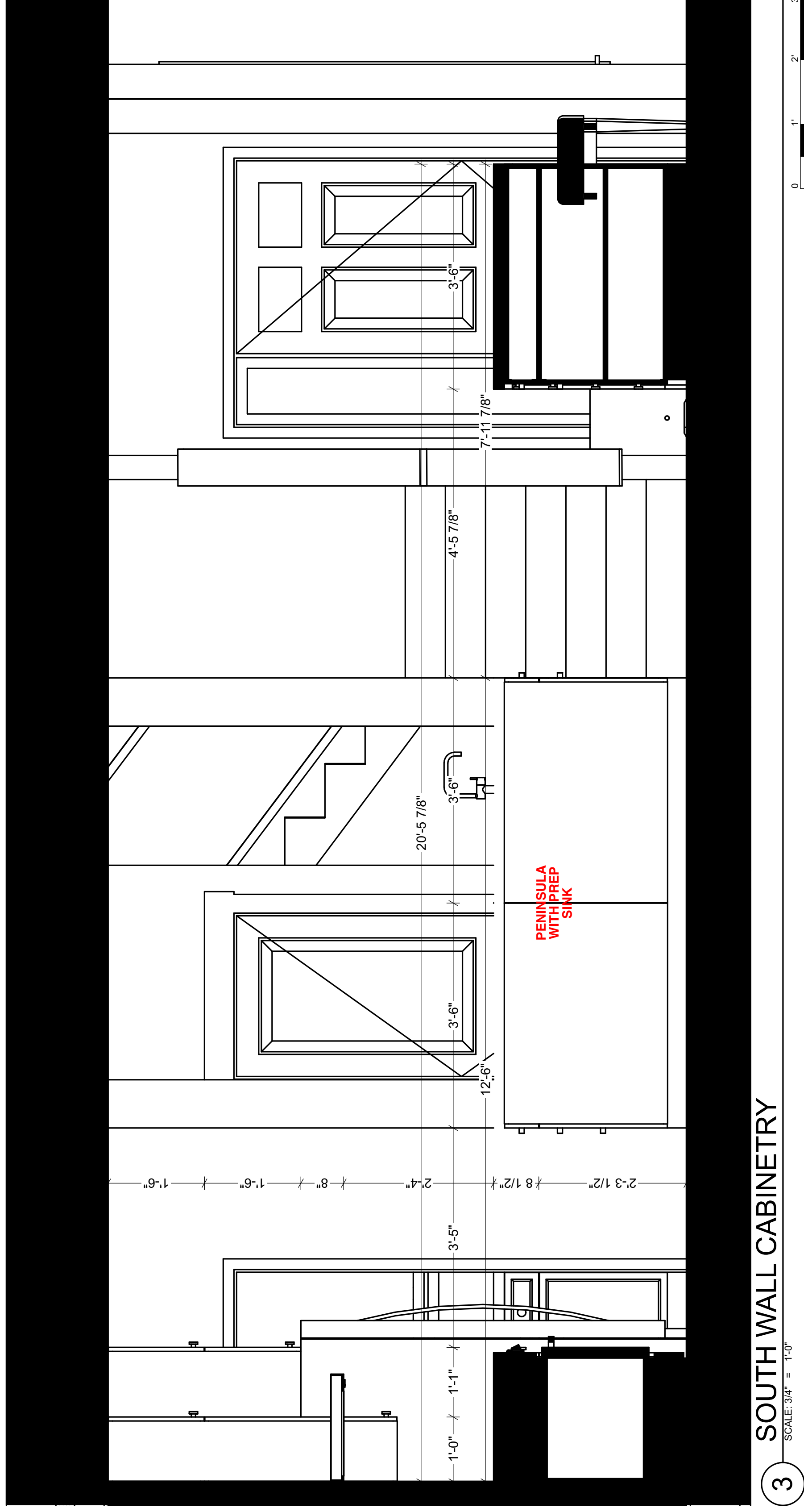
1 SECTION: E-W  
SCALE: 1/4" = 1'-0"



2 SECTION  
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION  
DESIGN REVIEW

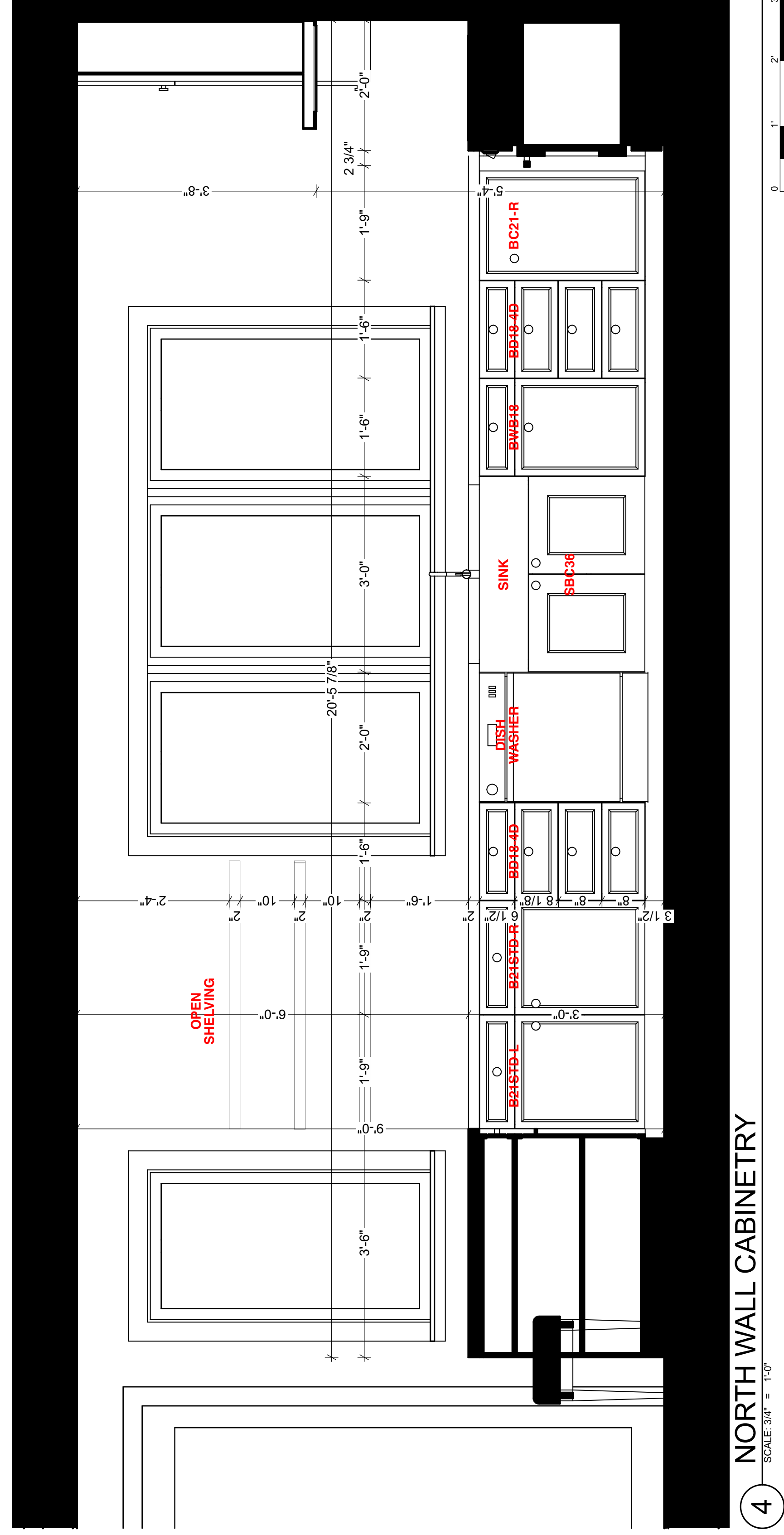


3 SOUTH WALL CABINETRY

SCALE: 3/4" = 1'-0"

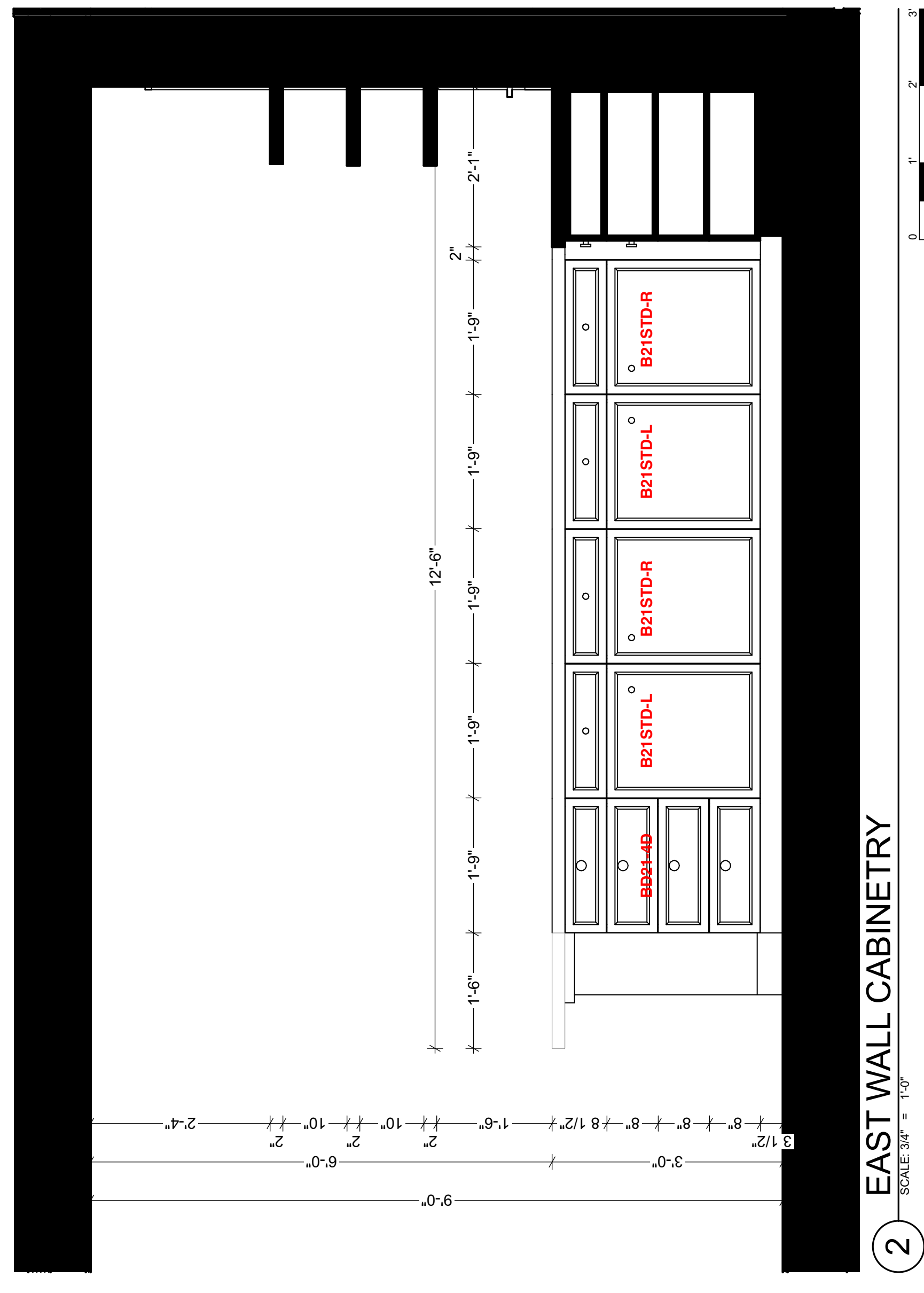
1 WEST WALL CABINETRY

SCALE: 3/4" = 1'-0"



4 NORTH WALL CABINETRY

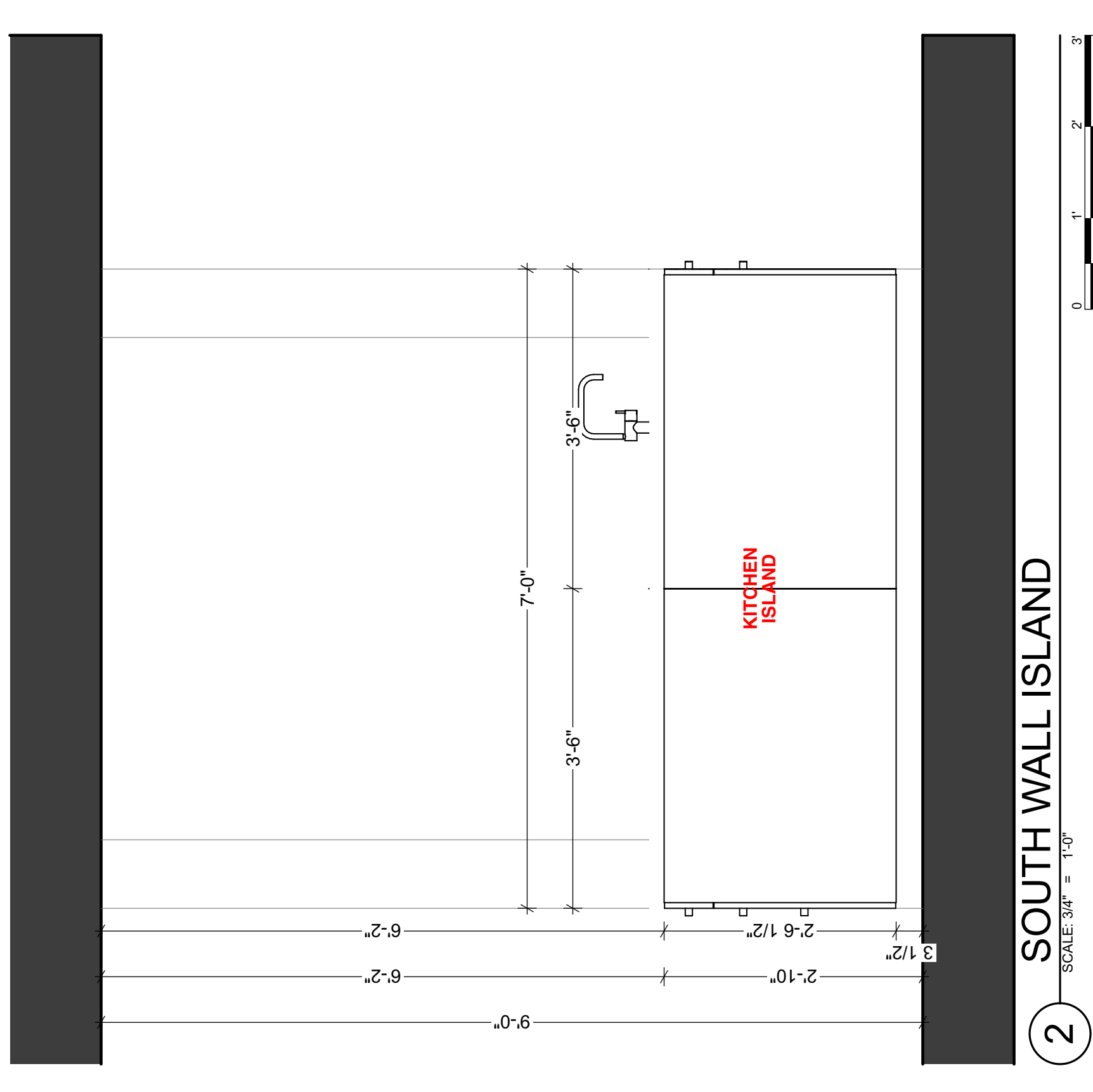
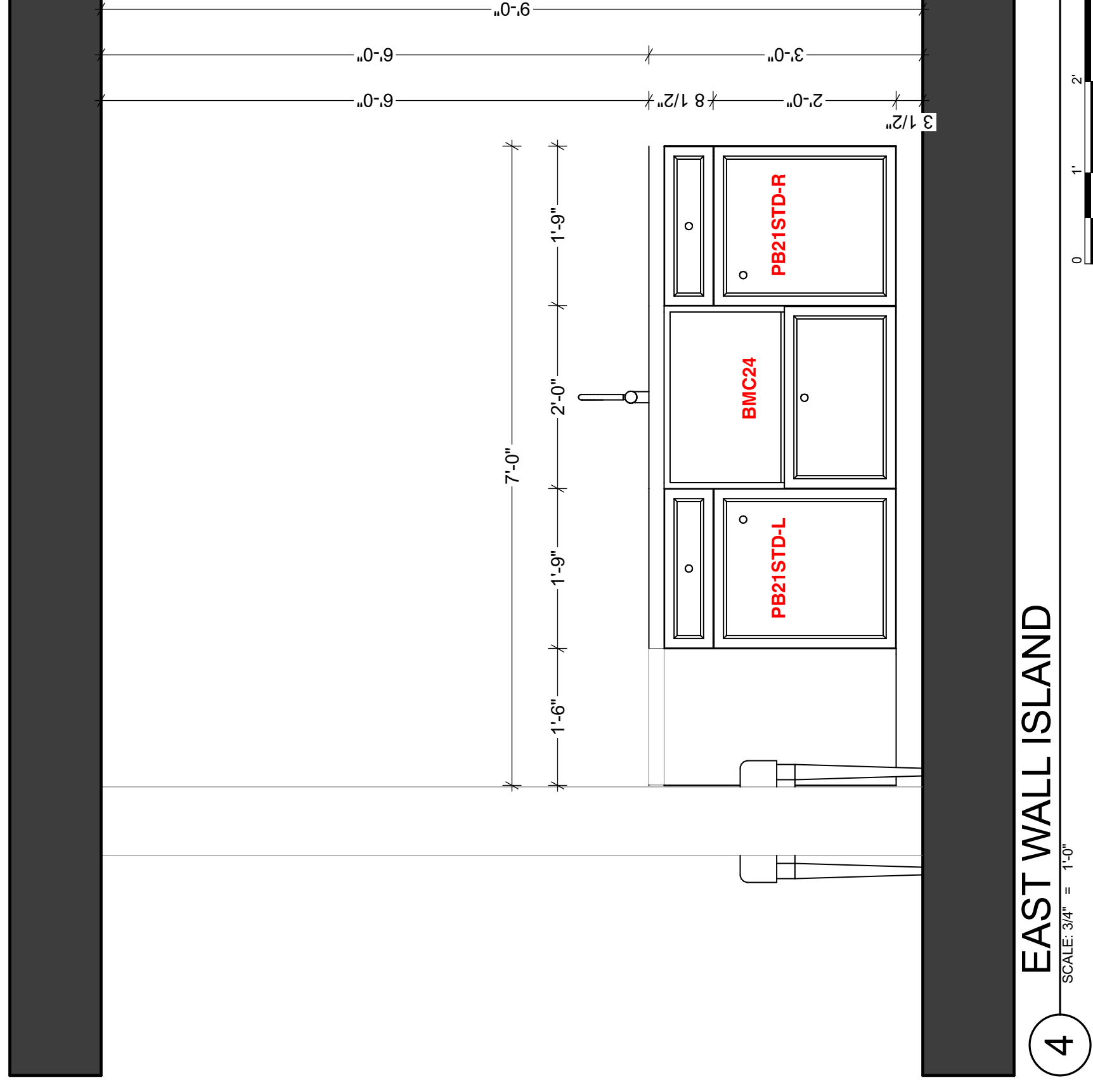
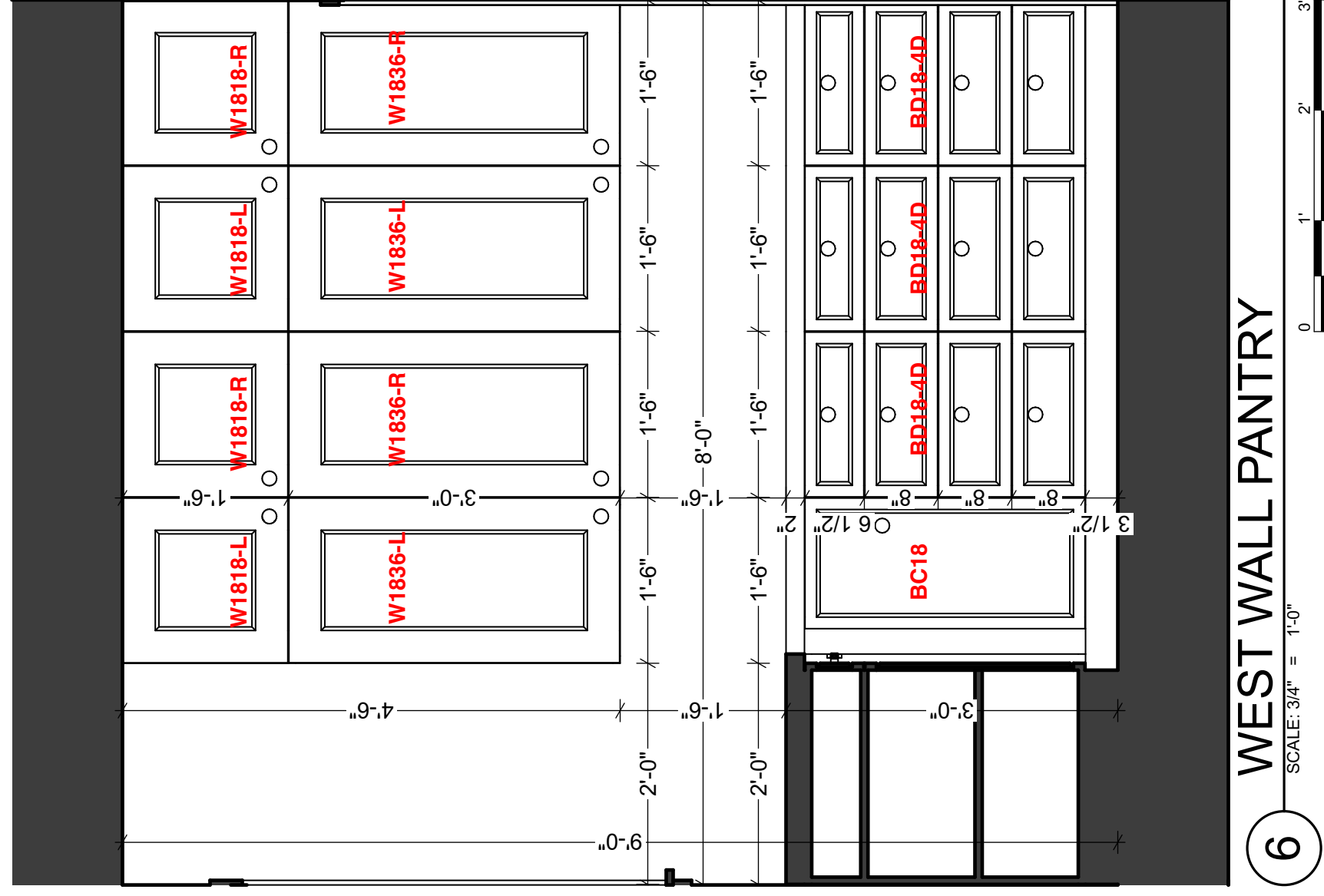
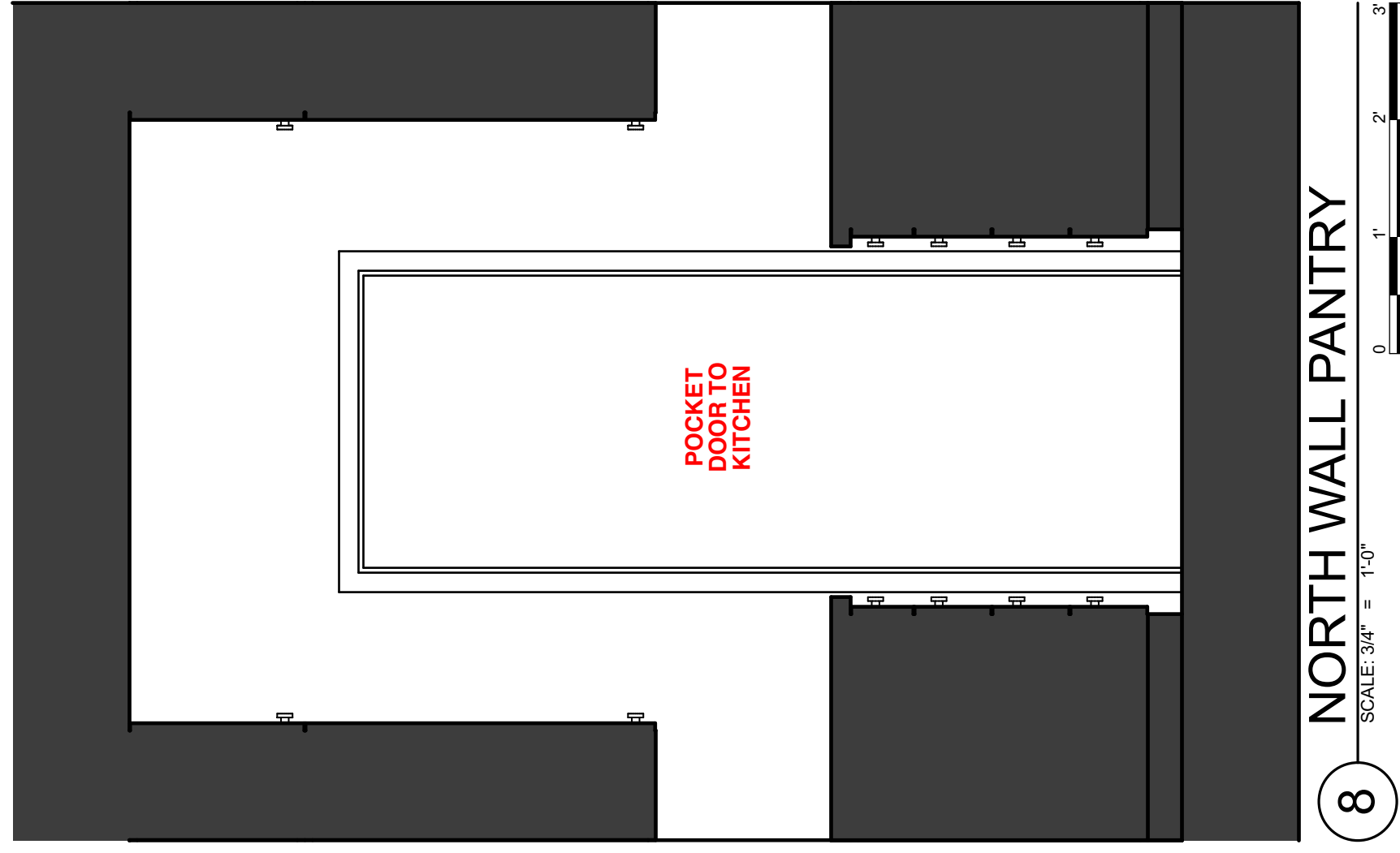
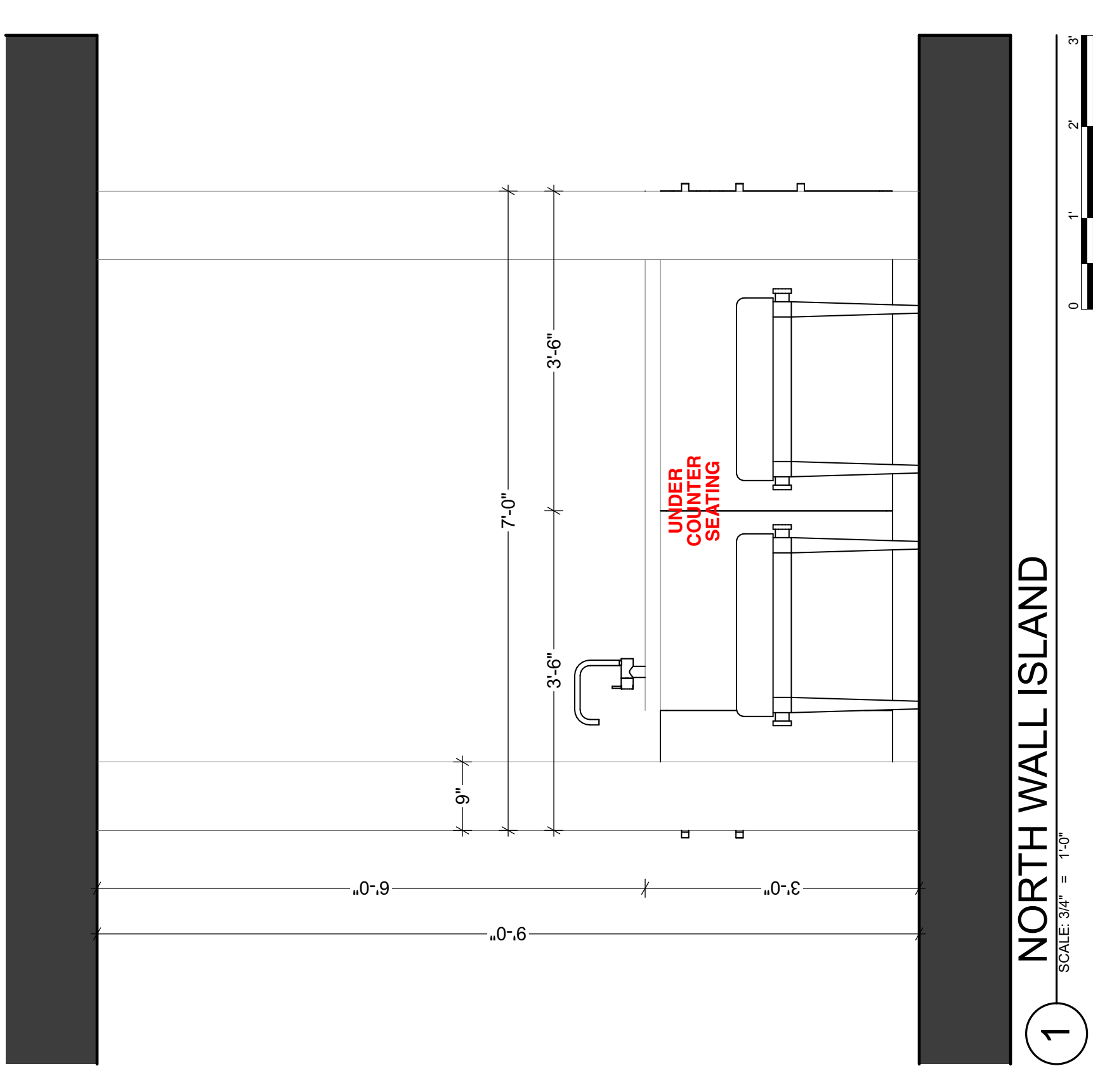
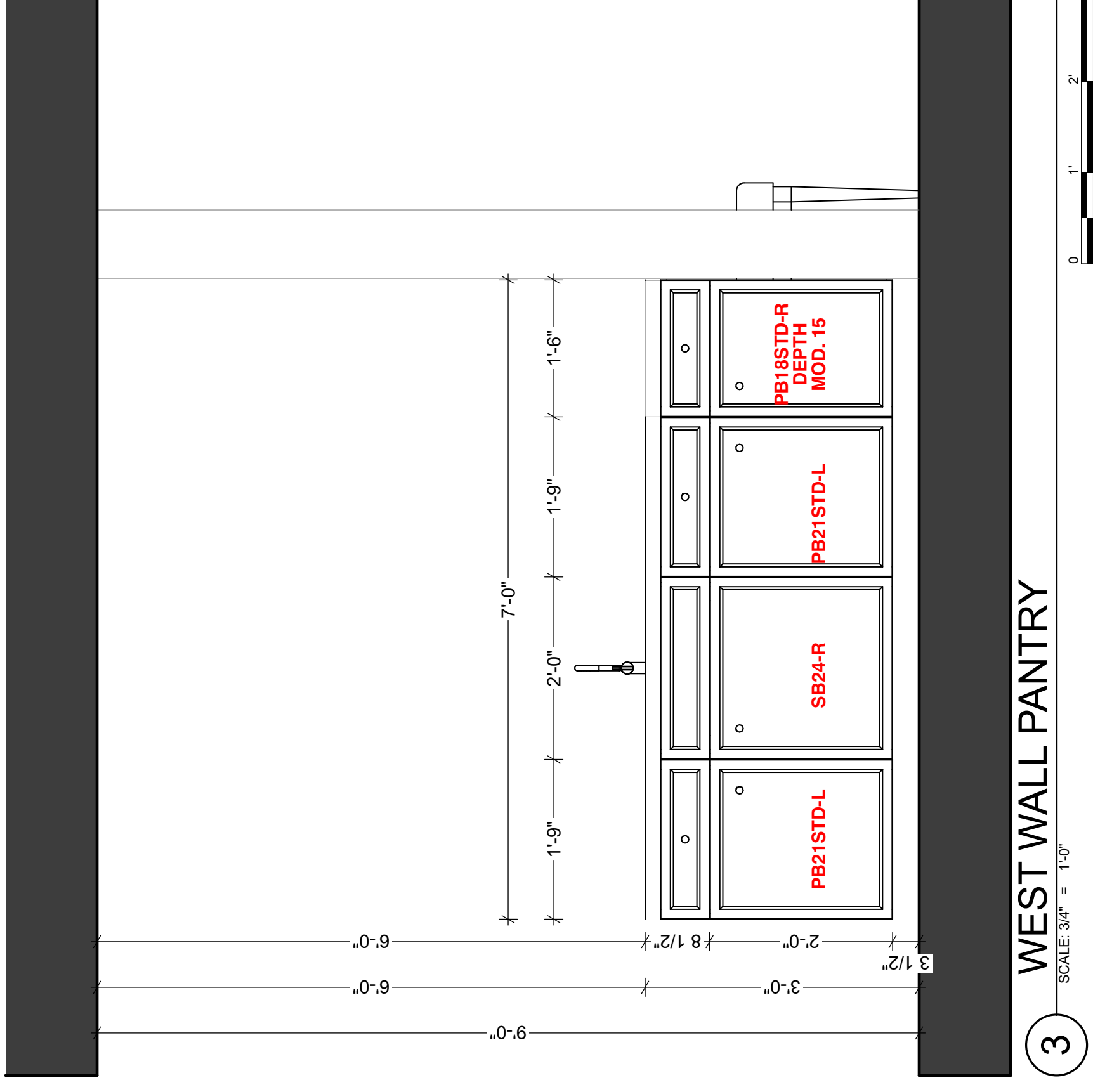
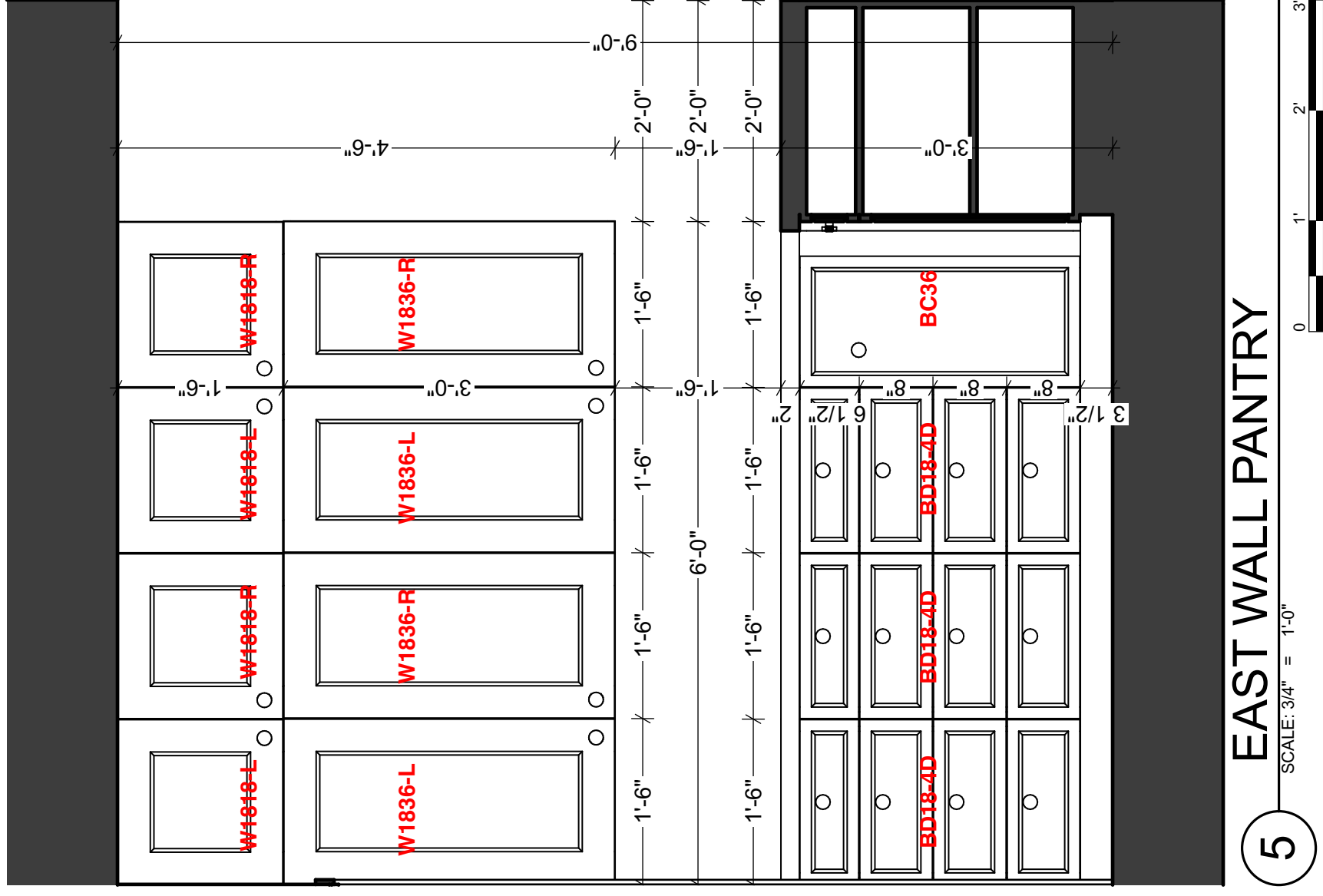
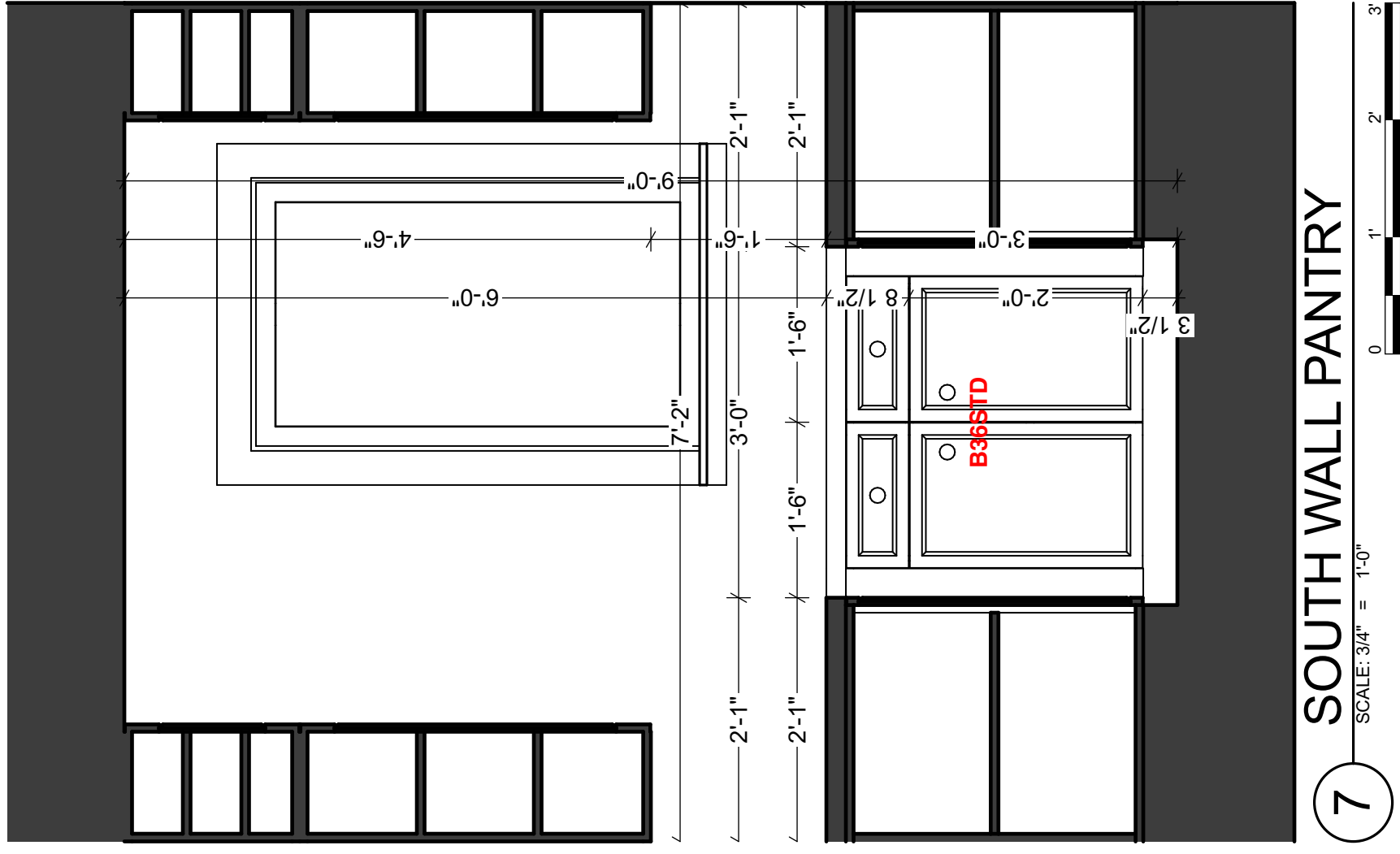
SCALE: 3/4" = 1'-0"

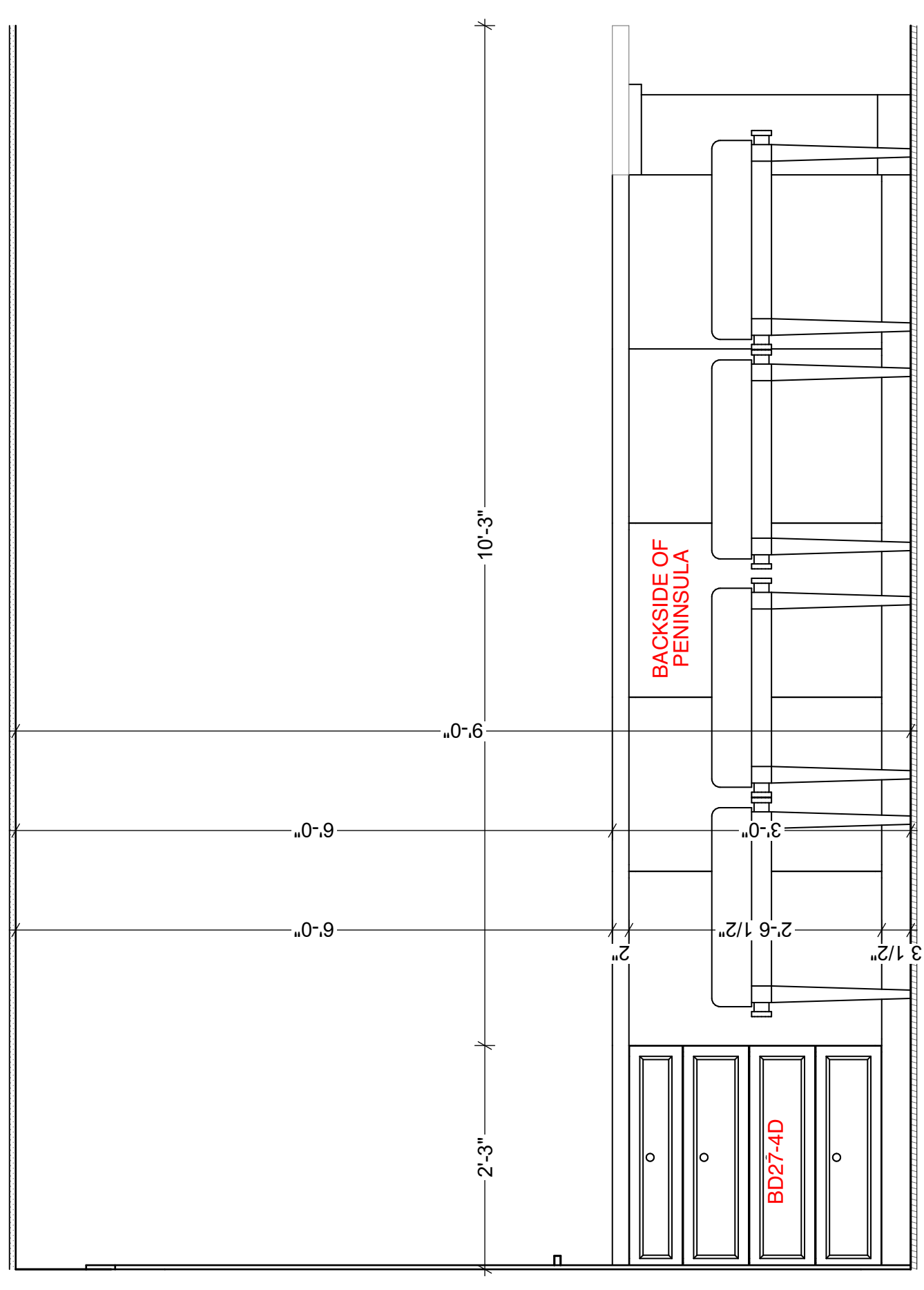
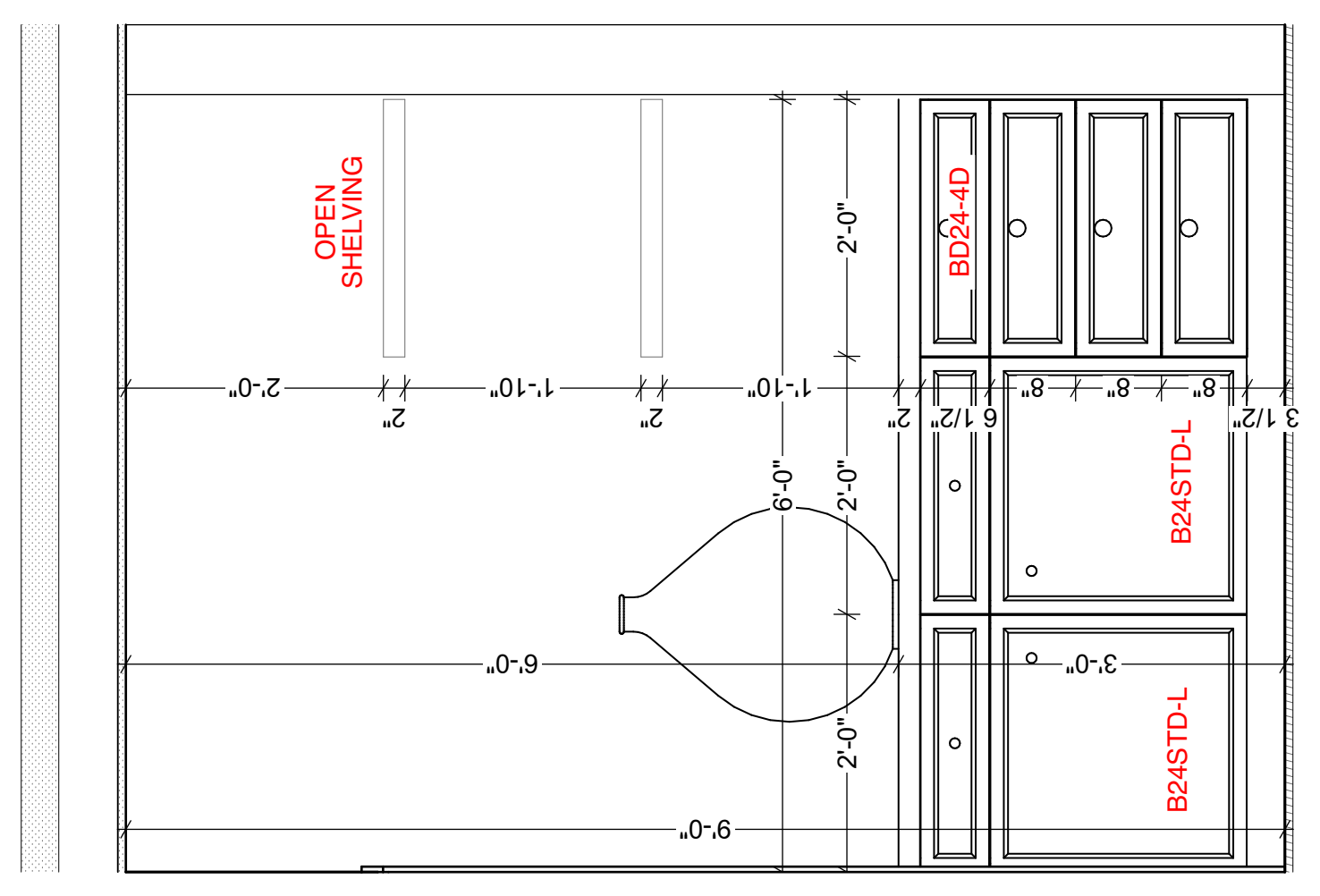
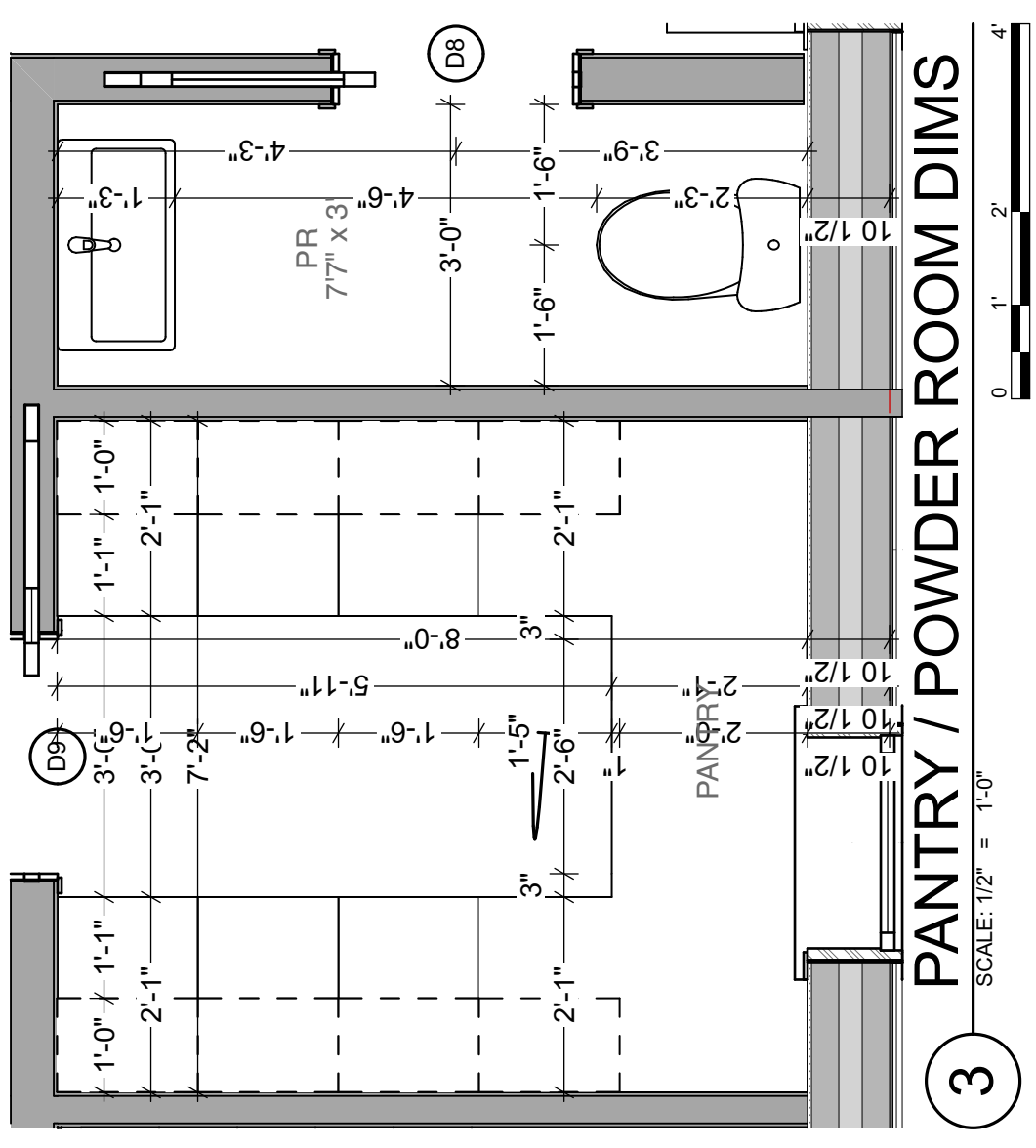
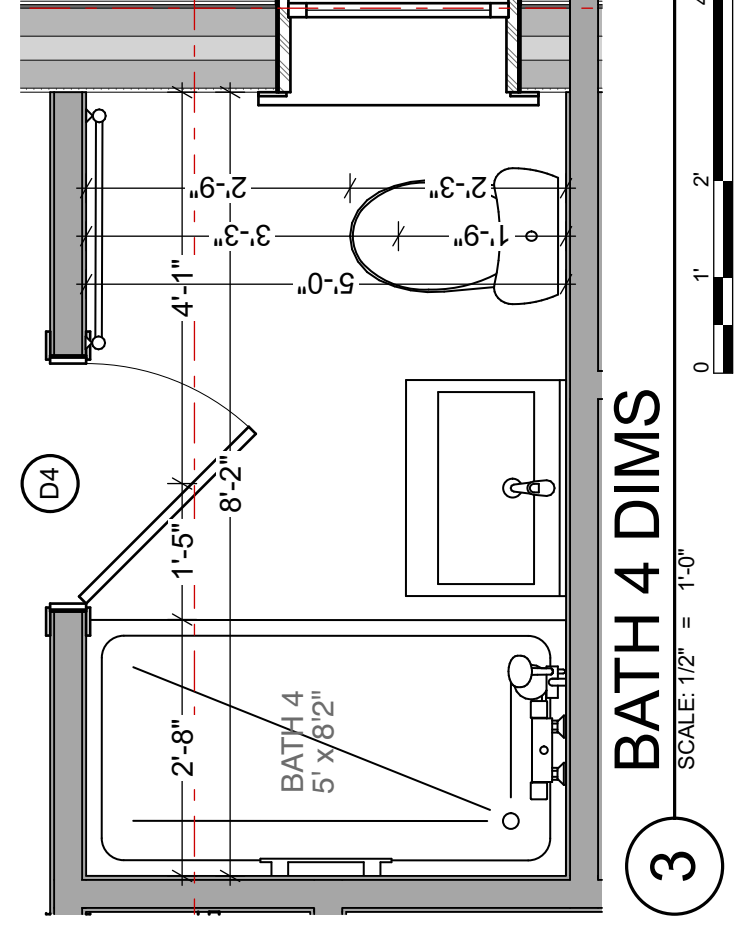
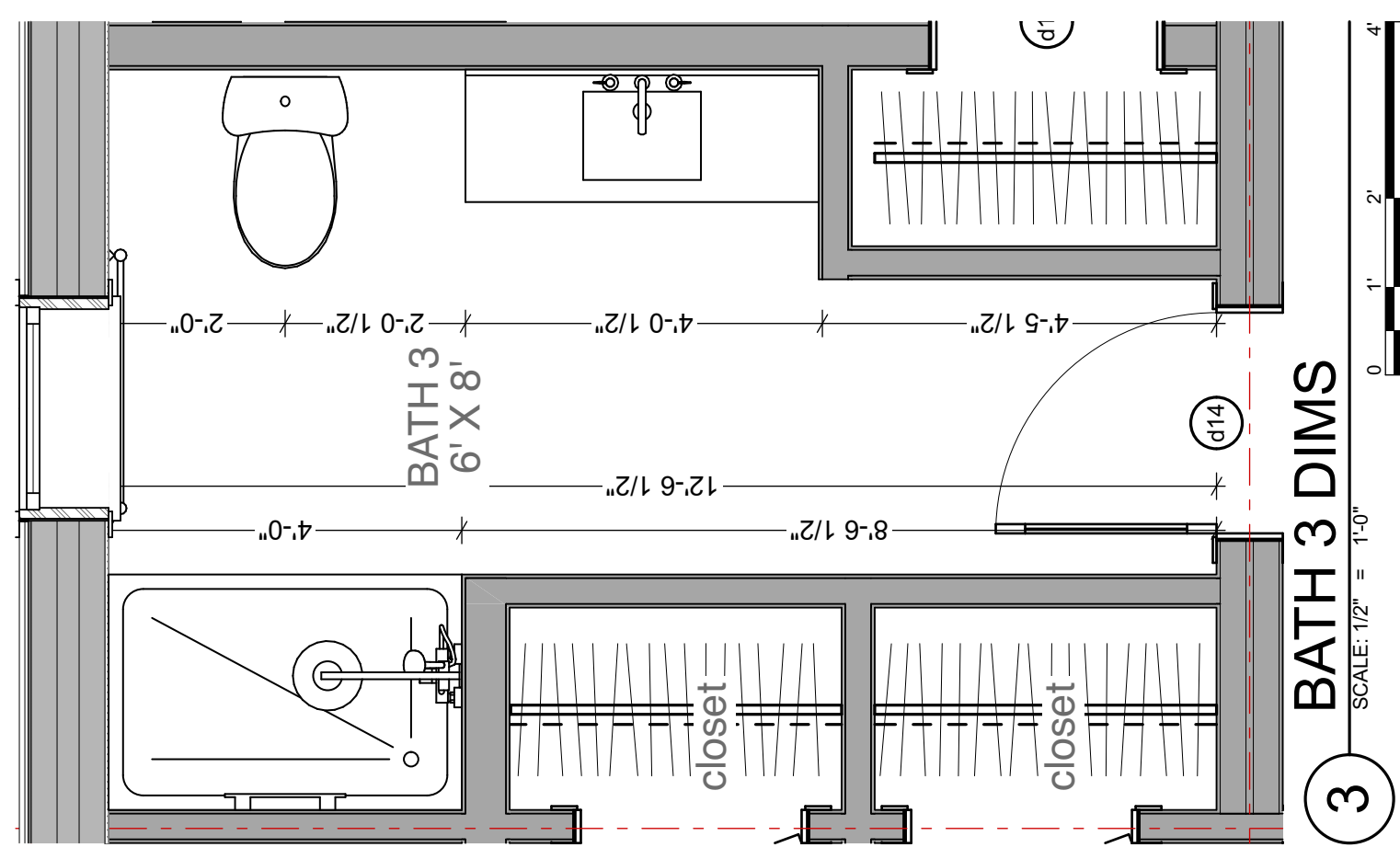
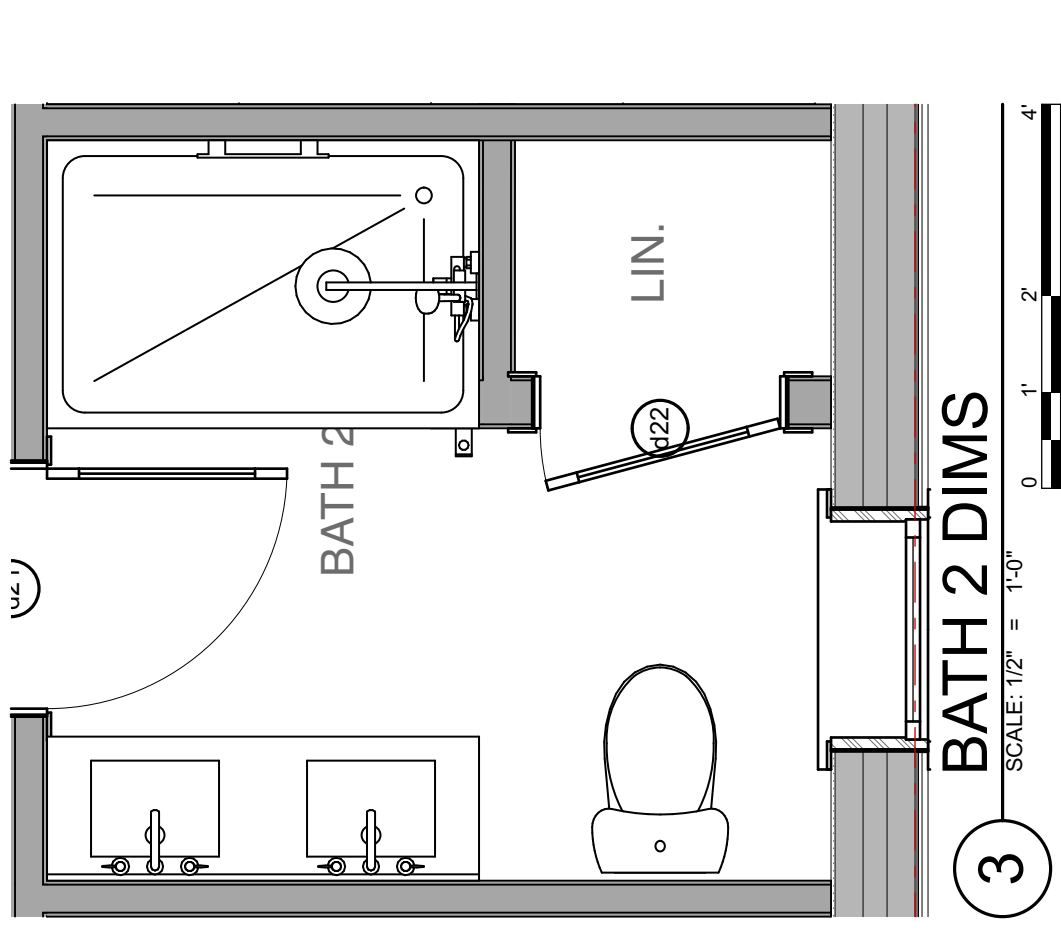
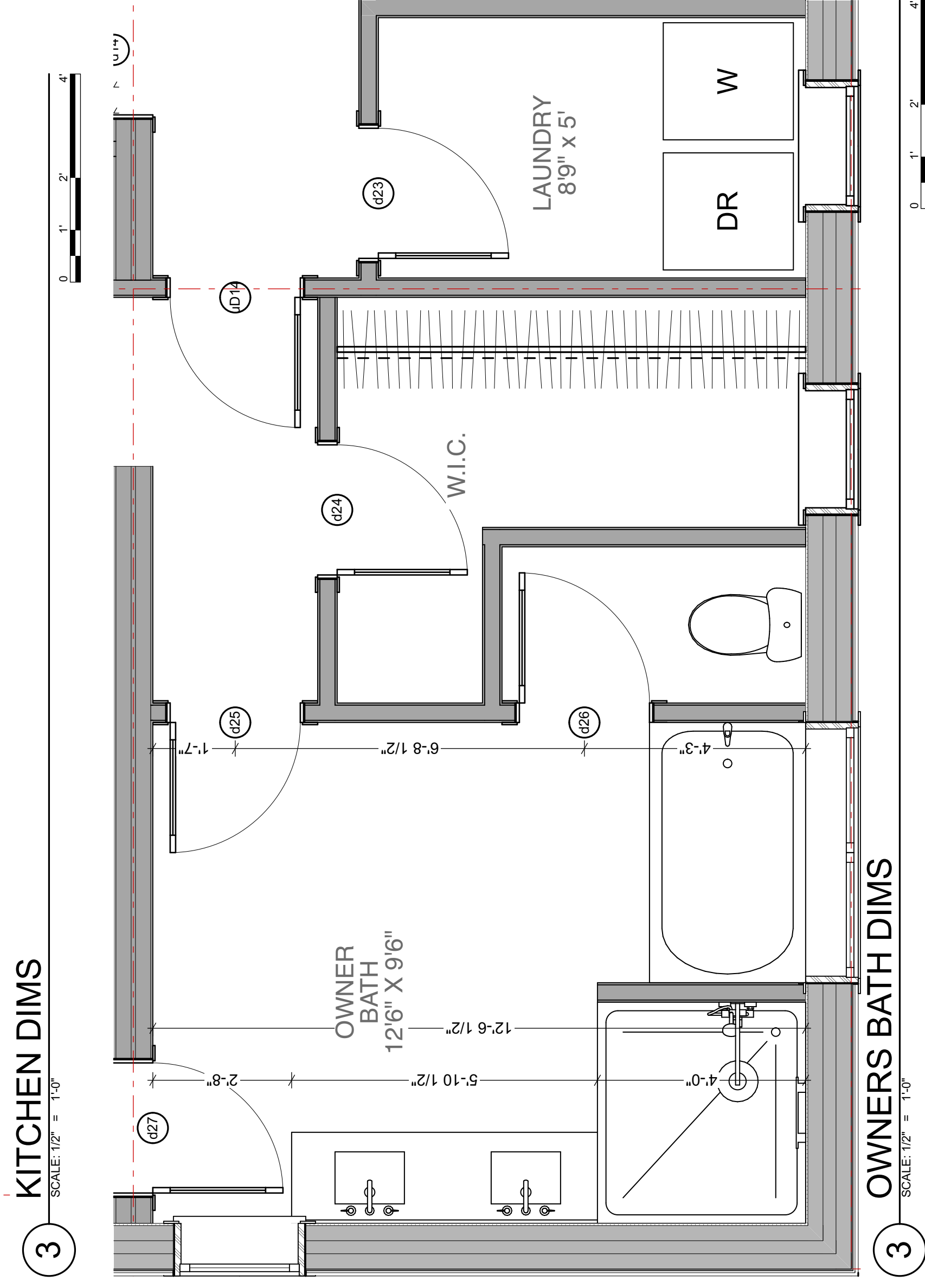
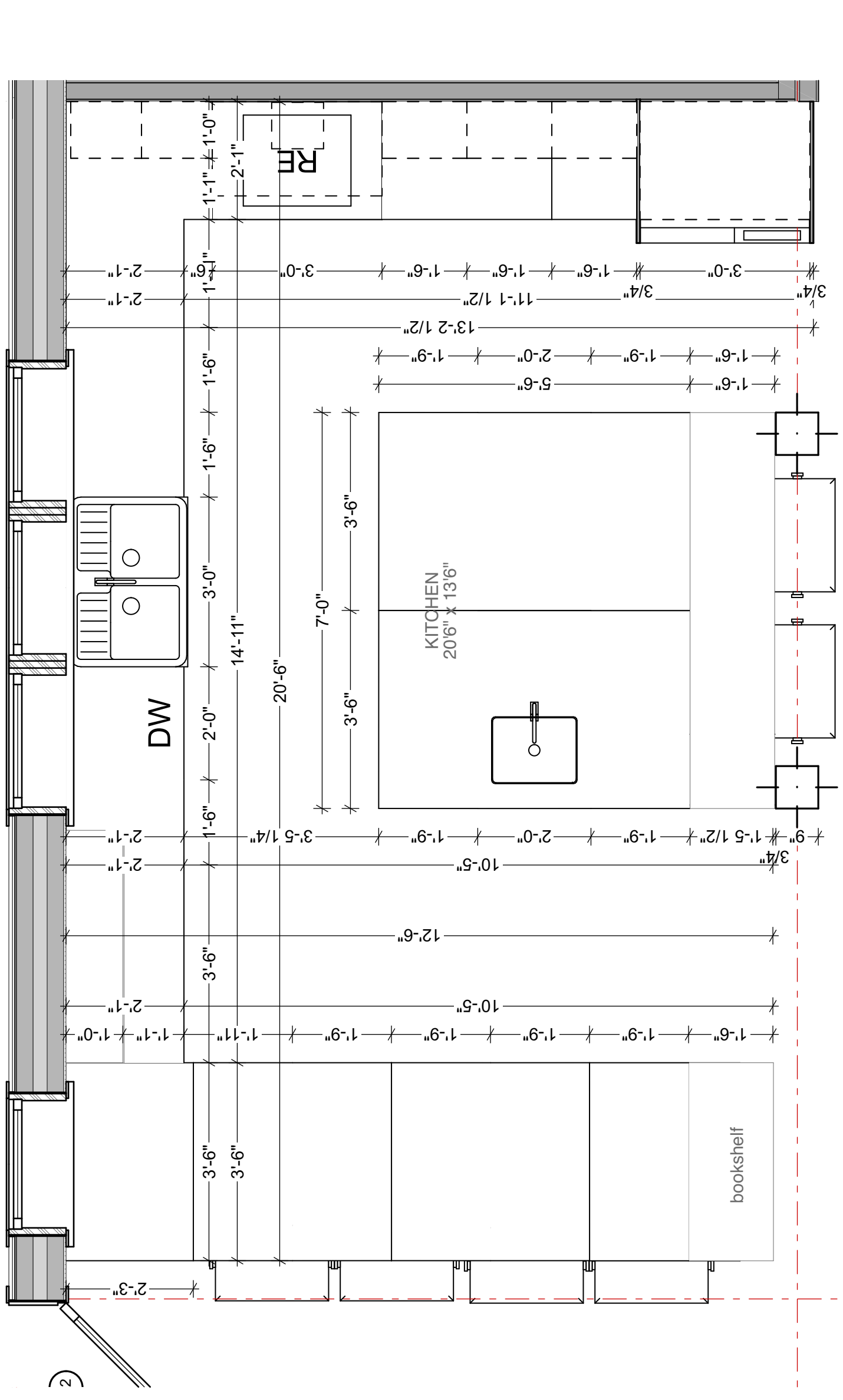


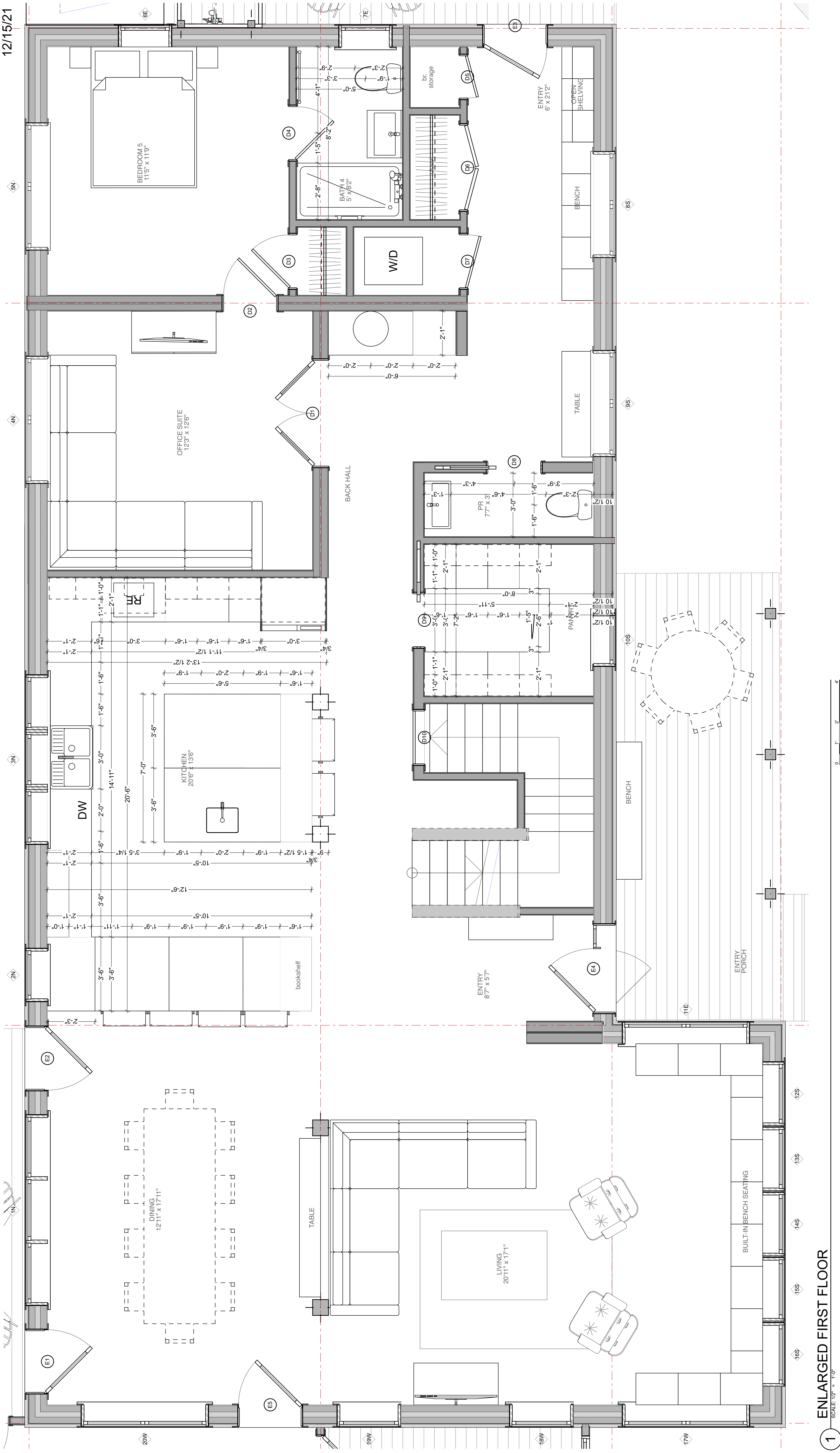
2 EAST WALL CABINETRY

SCALE: 3/4" = 1'-0"

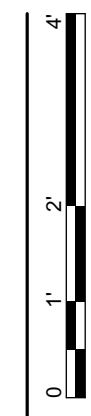


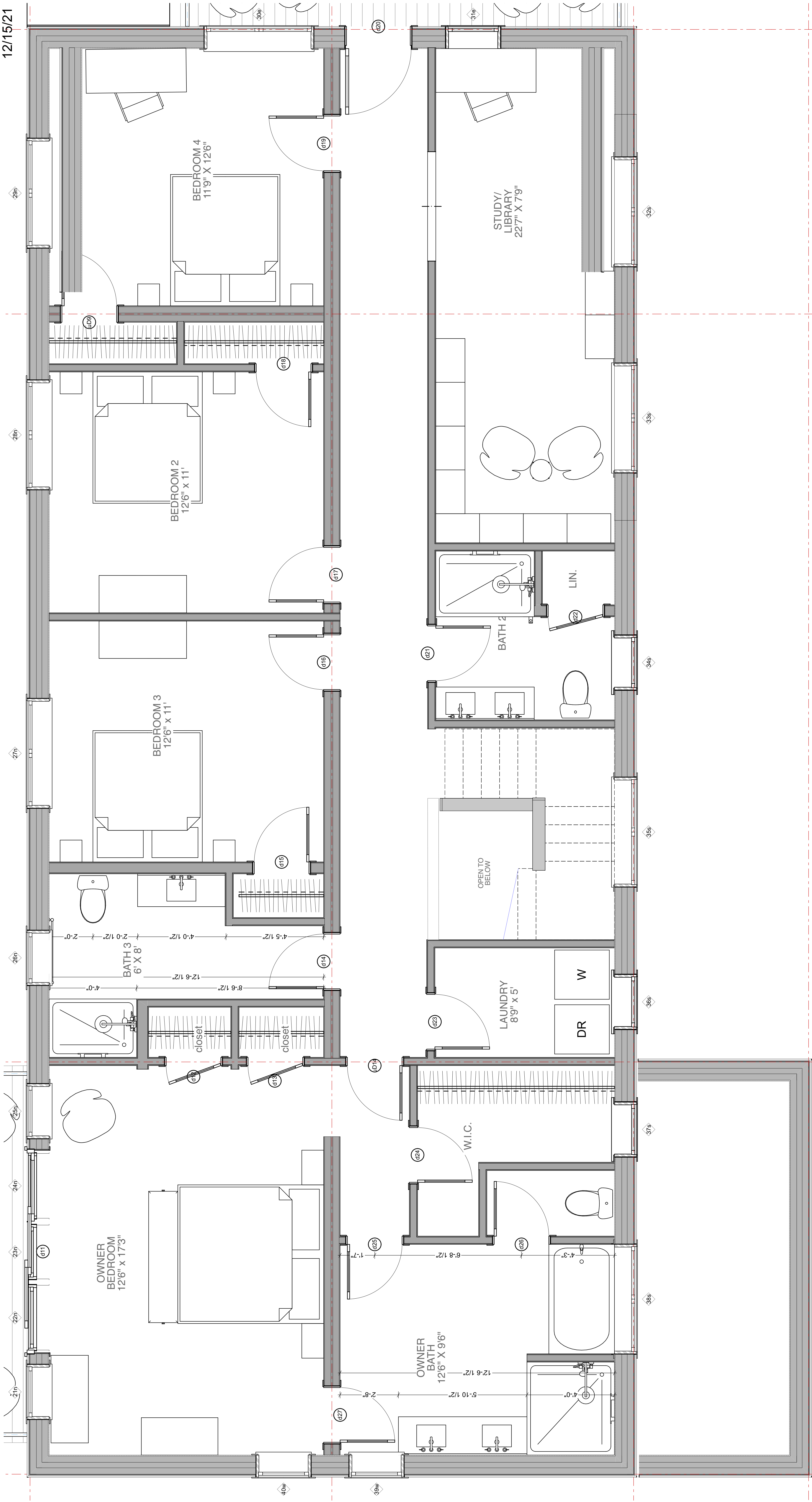






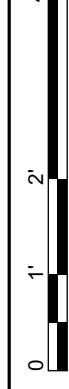
1 ENLARGED FIRST FLOOR  
SCALE: 1/2" = 1'-0"





1 ENLARGED FIRST FLOOR

SCALE: 1/2" = 1'-0"



WINDOW SCHEDULE										
ID	Elevation	Width	Height	Quantity	Manufacturer	Type	Glazing	Material	Egress	NOTES
1N		9'-0"	7'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
2N		2'-6"	4'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
3N		8'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
4N		6'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
5N		6'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
6E		2'-6"	4'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
7E		2'-6"	4'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
8S		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
9S		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
10S		2'-6"	4'-0"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
11E		6'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
12S		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		TILT TURN
13S		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		TILT TURN
14S		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		TILT TURN
15S		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		TILT TURN
16S		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		TILT TURN
17W		6'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
18W		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
19W		3'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
20W		6'-0"	6'-8"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
21n		2'-6"	4'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
22n		3'-0"	4'-6"	1	LOGIC	---				
23n		2'-6"	6'-0"	1	LOGIC	---				
24n		3'-0"	4'-6"	1	LOGIC	---				
25n		2'-6"	4'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
26n		2'-6"	3'-0"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
27n		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
28n		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
29n		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		

1 BBH WINDOW SCHEDULE  
SCALE: 1:30.77

30e		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
31e		2'-6"	3'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
32s		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
33s		5'-0"	4'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
34s		2'-6"	2'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
35s		5'-0"	3'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
36s		2'-6"	3'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
37s		2'-6"	3'-6"	1	LOGIC	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL		
38s		5'-0"	3'-6"	1	TBD	---	CARDINAL 180 TRIPLE	VINYL		
39w		2'-6"	3'-6"	1	TBD	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL	YES	
40w		2'-6"	3'-6"	1	TBD	CASEMENT OR TILT/TURN	CARDINAL 180 TRIPLE	VINYL	YES	
41n		6'-3 1/2"	5'-6"	1	TBD	---	CARDINAL 180 TRIPLE	VINYL		
42n		6'-0"	5'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
43s		6'-0"	5'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
44s		6'-0"	5'-6"	1	LOGIC	---	CARDINAL 180 TRIPLE	VINYL		
45s		4'-0"	4'-0"	1	LOGIC	---	---	---		4'x4' fixed on angle
G3		2'-6"	3'-0"	1	LOGIC	CASEMENT OR TILT/TURN	DBL	VINYL		
G4		2'-6"	3'-0"	1	LOGIC	CASEMENT OR TILT/TURN	DBL	VINYL		
G5		2'-6"	3'-0"	1	TBD	CASEMENT OR TILT/TURN	DBL	VINYL		
G5		2'-6"	3'-0"	1	TBD	CASEMENT OR TILT/TURN	DBL	VINYL		

2 BBH WINDOW SCHEDULE  
SCALE: 1:30.77




MARK	Elevation	SIZE			Quantity	Model #	Manufacturer	Type	Material	Glazing
		W	HT	THK						
D1		5'-0"	7'-0"	1 3/4"	1	---				
D2		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
D3		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
D4		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
D5		2'-0"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
D6		4'-0"	7'-0"	1 3/4"	1	---				
D7		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
D8		2'-6"	7'-0"	1 3/4"	1	---				
D9		2'-6"	7'-0"	1 3/4"	1	---				
D10		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
E1		3'-0"	8'-0"	1 3/4"	1	---				
E2		3'-0"	8'-0"	1 3/4"	1	---				
E3		3'-0"	8'-0"	1 3/4"	1	---				
E4		3'-0"	7'-0"	1 3/4"	1	---				
E5		3'-0"	7'-0"	1 3/4"	1	---				
G2		6'-0"	7'-0"	1 3/4"	1	---				
G2		9'-0"	7'-0"	1 1/4"	1	TBD	OVERHEAD			
d11		9'-0"	7'-0"	1 3/4"	1	---				
d12		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
d13		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
d14		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
d15		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
d16		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		
d17		2'-6"	7'-0"	1 1/4"	1	JELDWEN	SWING	PROCORE		

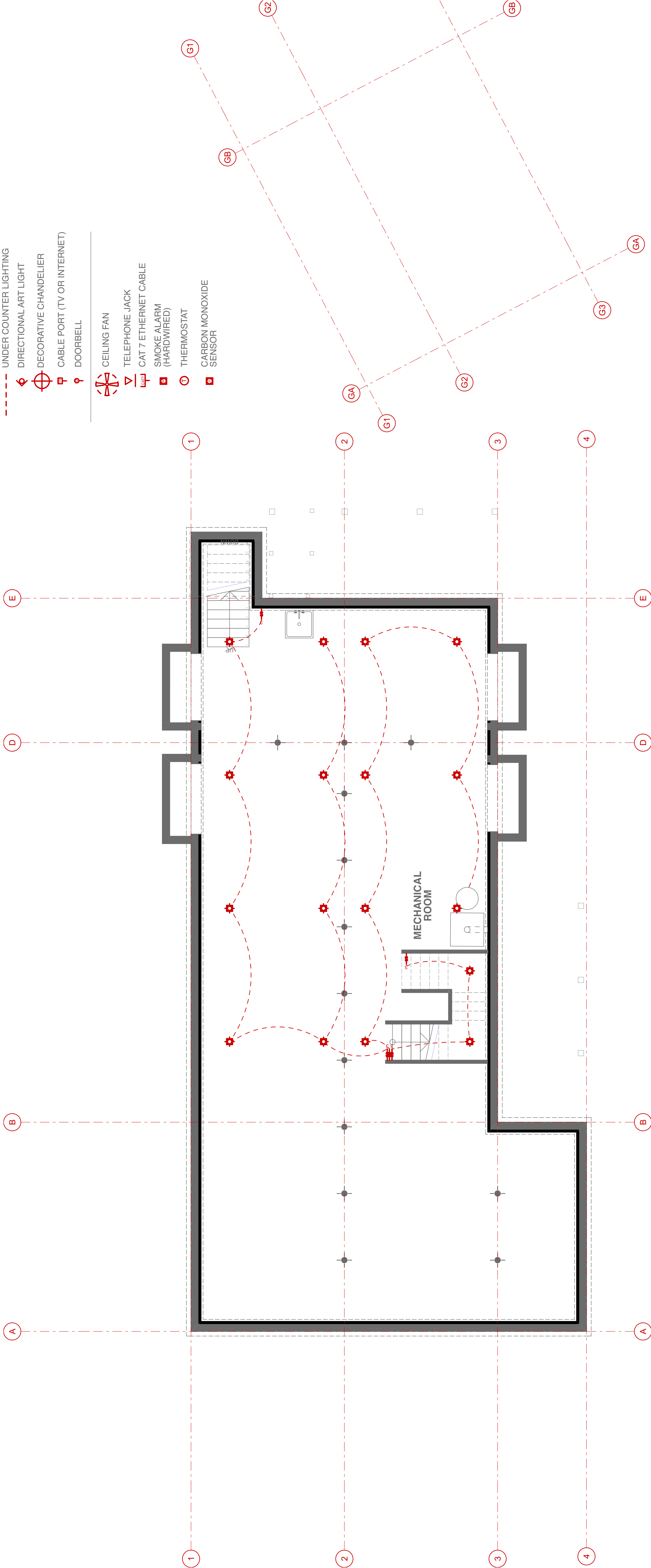
**1** BBH DOOR SCHEDULE  
SCALE: 1/8"=1'-0"

	d18		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d19		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d20		3'-0"	7'-0"	1 3/4"	1	---			
	d21		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d22		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d23		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d24		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d25		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d26		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	d27		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	uD9		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE
	uD14		2'-6"	7'-0"	1 1/4"	1		JELDWEN	SWING	PROCORE

**2** BBH DOOR SCHEDULE  
SCALE: 1/8"=1'-0"

ELECTRICAL SYMBOL LEGEND

-  GROUND FAULT INTERRUPT RECEPTACLE
  -  WATER PROOF EXTERIOR RECEPTACLE
  -  DUPLEX RECEPTACLE
  -  DIMMER SWITCH
  -  5-WAY SWITCH
  -  4-WAY SWITCH
  -  3-WAY SWITCH
  -  SINGLE POLE SWITCH
  -  PENDANT
  -  BATH VANITY FIXTURE
  -  EXTERIOR WALL SCONCE
  -  CEILING FLUSH MOUNT FIXTURE
  -  RECESSED FIXTURE - 4"
  -  WALL MOUNT SCONCE
  -  BATH CEILING FAN WITH LIGHT
  -  BATH CEILING FAN ONLY
  -  UNDER COUNTER LIGHTING
  -  DIRECTIONAL ART LIGHT
  -  DECORATIVE CHANDELIER
  -  CABLE PORT (TV OR INTERNET)
  -  DOORBELL
- 
-  CEILING FAN
  -  TELEPHONE JACK
  -  CAT 7 ETHERNET CABLE
  -  SMOKE ALARM (HARDWIRED)
  -  THERMOSTAT
  -  CARBON MONOXIDE SENSOR



1 BASEMENT ELEC.  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION  
DESIGN REVIEW

**ELECTRICAL SYMBOL LEGEND**

-  GROUND FAULT INTERRUPT RECEPTACLE
-  WATER PROOF EXTERIOR RECEPTACLE
-  DUPLEX RECEPTACLE
-  DIMMER SWITCH
-  5-WAY SWITCH
-  4-WAY SWITCH
-  3-WAY SWITCH
-  SINGLE POLE SWITCH
-  PENDANT
-  BATH VANITY FIXTURE
-  EXTERIOR WALL SCONCE
-  CEILING FLUSH MOUNT FIXTURE
-  RECESSED FIXTURE - 4"
-  WALL MOUNT SCONCE
-  BATH CEILING FAN WITH LIGHT
-  BATH CEILING FAN ONLY
-  UNDER COUNTER LIGHTING
-  DIRECTIONAL ART LIGHT
-  DECORATIVE CHANDELIER
-  CABLE PORT (TV OR INTERNET)
-  DOORBELL
-  CEILING FAN
-  TELEPHONE JACK
-  CAT 7 ETHERNET CABLE
-  SMOKE ALARM (HARDWIRED)
-  THERMOSTAT
-  CARBON MONOXIDE SENSOR



**1 MAIN LEVEL ELEC.**

SCALE: 1/8" = 1'-0"



102 Exchange St., Portland, ME 04101 | 207-747-4822

**NOT FOR CONSTRUCTION  
DESIGN REVIEW**

**Project:** CUSTOM BRIGHTBUILT HOME  
Victor Rivera and Laura Beigen  
82 South Pamet Road, Truro, MA

**Drawing:** ELECTRICAL  
**Scale:**  
**Date:** December 8, 2021

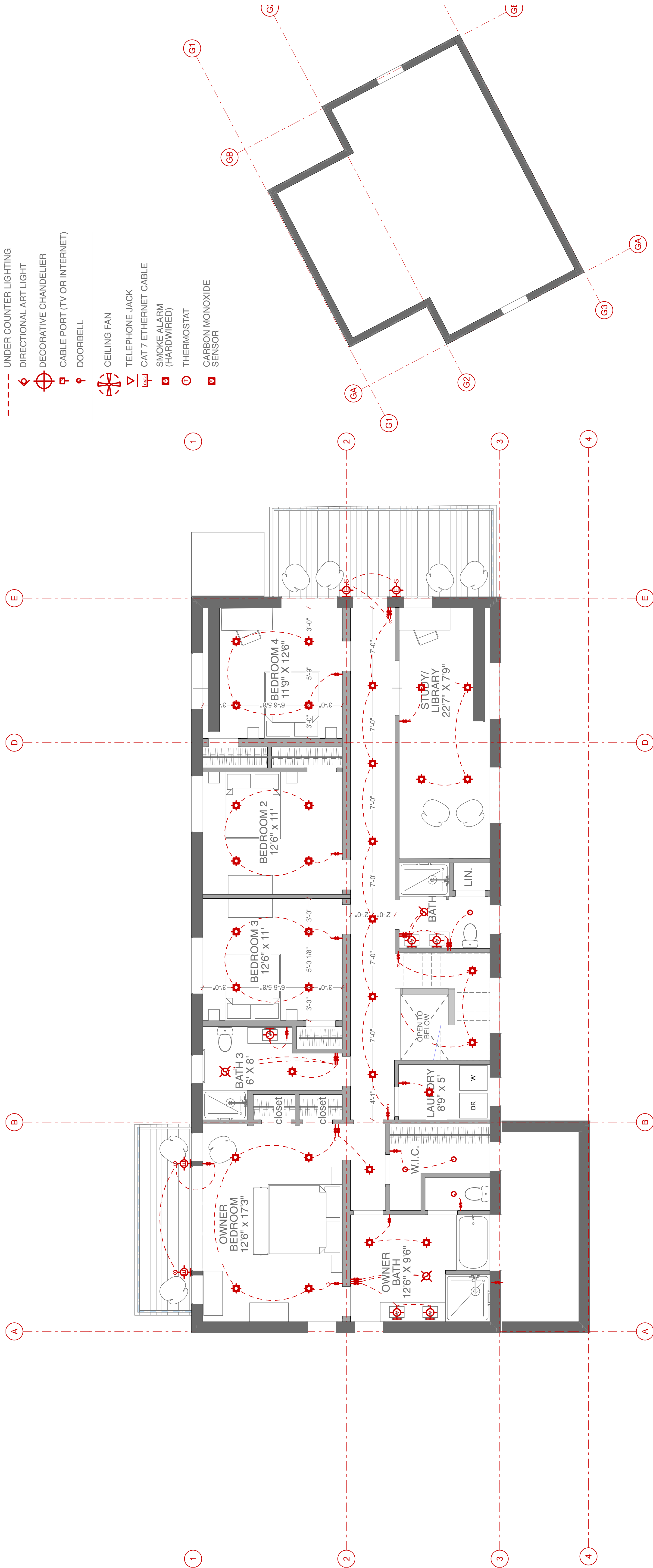
**Drawn by:** PM  
**Revised:**

12/15/21:



**ELECTRICAL SYMBOL LEGEND**

-  GROUND FAULT INTERRUPT RECEPTACLE
-  WATER PROOF EXTERIOR RECEPTACLE
-  DUPLEX RECEPTACLE
-  DIMMER SWITCH
-  5-WAY SWITCH
-  4-WAY SWITCH
-  3-WAY SWITCH
-  SINGLE POLE SWITCH
-  PENDANT
-  BATH VANITY FIXTURE
-  EXTERIOR WALL SCONCE
-  CEILING FLUSH MOUNT FIXTURE
-  RECESSED FIXTURE - 4"
-  WALL MOUNT SCONCE
-  BATH CEILING FAN WITH LIGHT
-  BATH CEILING FAN ONLY
-  UNDER COUNTER LIGHTING
-  DIRECTIONAL ART LIGHT
-  DECORATIVE CHANDELIER
-  CABLE PORT (TV OR INTERNET)
-  DOORBELL
-  CEILING FAN
-  TELEPHONE JACK
-  CAT 7 ETHERNET CABLE
-  SMOKE ALARM (HARDWIRED)
-  THERMOSTAT
-  CARBON MONOXIDE SENSOR



1 UPPER LEVEL ELEC.

SCALE: 1/8" = 1'-0"



**NOT FOR CONSTRUCTION**  
**DESIGN REVIEW**

Project: **CUSTOM BRIGHTBUILT HOME**  
Victor Rivera and Laura Beigen  
82 South Pamet Road, Truro, MA

Drawing: ELECTRICAL  
Scale:  
Date: December 8, 2021

Drawn by: PM  
Revised  
12/15/21:



**From:** [Kiefer, Matthew J.](#)  
**To:** [Lynne Budnick](#)  
**Cc:** [Charles Steinman](#); [Rich Stevens](#); [Elizabeth Sturdy](#)  
**Subject:** Re: Proposed Demo - 82 So. Pamet Rd  
**Date:** Monday, December 27, 2021 2:26:15 PM

---

Lynne

Since according to assessing records the house is more than 75 years old, the proposed demolition will be subject to our public hearing process. We plan to hold a remote hearing for both this and its neighboring property at 59 South Pamet Road on Monday January 31<sup>st</sup> 2022 at 5:00 PM.

Please notify the owners of both properties. Thank you—

Matthew Kiefer  
Chair, Truro Historical Commission  
617-816-6533

---

**From:** Lynne Budnick <LBudnick@truro-ma.gov>  
**Date:** Monday, December 27, 2021 at 12:15 PM  
**To:** Kiefer, Matthew J. <MKiefer@GOULSTONSTORRS.com>  
**Cc:** Charles Steinman <c.e.steinman@comcast.net>, Rich Stevens <rstevens@truro-ma.gov>, Elizabeth Sturdy <ESturdy@truro-ma.gov>  
**Subject:** RE: Proposed Demo - 82 So. Pamet Rd

Good afternoon, Matt

Thank you for your receipt confirmation.

Best regards,

[Lynne G. Budnick](#)

*Lynne G. Budnick*

Principal Office Assistant/Building/Conservation/Health  
Town of Truro  
P.O. Box 2030  
24 Town Hall Road  
Truro, MA 02666  
Phone: (508) 349-7004, ext. 131  
Direct Line: (508) 214-0920  
Fax: (508) 349-5508



---

**From:** Kiefer, Matthew J. <MKiefer@GOULSTONSTORRS.com>  
**Sent:** Monday, December 27, 2021 11:50 AM  
**To:** Lynne Budnick <LBudnick@truro-ma.gov>  
**Cc:** Charles Steinman <c.e.steinman@comcast.net>  
**Subject:** Re: Proposed Demo - 82 So. Pamet Rd

Thanks Lynne—we'll take a look and let you know.

MJK

---

**From:** Lynne Budnick <[LBudnick@truro-ma.gov](mailto:LBudnick@truro-ma.gov)>  
**Date:** Monday, December 27, 2021 at 9:45 AM  
**To:** Kiefer, Matthew J. <[MKiefer@GOULSTONSTORRS.com](mailto:MKiefer@GOULSTONSTORRS.com)>, Charles Steinman <[c.e.steinman@comcast.net](mailto:c.e.steinman@comcast.net)>  
**Subject:** Proposed Demo - 82 So. Pamet Rd

Good morning,

Attached you will find an application for the Demo/Rebuild at address: **82 So. Pamet Rd. – Demo of ALL STRUCTURES ON PROPERTY.** We have instructed the owner/contractor not to proceed until we have your decision on the property.

Thank you.

Best regards,

Lynne G. Budnick

*Lynne G. Budnick*

Principal Office Assistant/Building/Conservation/Health  
Town of Truro  
P.O. Box 2030  
24 Town Hall Road  
Truro, MA 02666  
Phone: (508) 349-7004, ext. 131

Direct Line: (508) 214-0920

Fax: (508) 349-5508



This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666  
Building Demolition Permit Application

BUILDING DEPARTMENT  
TOWN OF TRURO

DEC 27 2021

RECEIVED BY:

**Building Permit Application**

Massachusetts State Building Code 780 CMR 7.00 Edition



**TOWN OF TRURO**

Building Department

24 Town Hall Rd.  
PO Box 2030  
Truro, MA 02666  
Tel (508) 349-7004 x131 Fax (508) 349-8508

Permit # \_\_\_\_\_ Fee \_\_\_\_\_

**SITE INFORMATION**

Project Site: 82 South Pamet Road

Assessor's Map & Parcel: 051-057-00 Zoning District: Residential

Outside Flood Zone  Inside Flood Zone - Specify \_\_\_\_\_

Setbacks: Front \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Rear \_\_\_\_\_

Lot Area (Sq. Ft.): 126,324 Frontage: 265.23 feet

Water Supply:  Private  Public Subject to Policy 28 Curb Cut?  Y  N  
If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW?  Y  N \* IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

**PROPERTY OWNERSHIP**

Owner of Record: Rivera Bergan Family Trust

Mailing Address: 15 Lake View Street, Arlington, MA 02476

Phone: 508-221-7794

E-mail: vicrivera@me.com; lwbergan@gmail

Property Owner Authorization (I authorize Town Selectors to issue or renew a permit for all actions related to the Building Department)

Signature: \_\_\_\_\_

Date: 12/19/21

**PROJECT INFORMATION**

1 & 2 Family Home  Commercial / Other than 1 & 2 Family Home  Change of Use  DEMO - Subject to Chapter VI: Historic Properties Bylaw?  Y  N

\* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116), ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units \_\_\_\_\_  Commercial Building  
 Addition  Alteration  Mechanical  
 Accessory Structure: (type) \_\_\_\_\_ Other: Demolition

Detailed Description of Proposed Work: Demolition and removal of debris of home, garage, out buildings, other structures - including foundations, septic system and well house.

# Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666 Building Demolition Permit Application

Estimated Construction Cost: \$30,000.00 (Demolition) Debris Disposal: \_\_\_\_\_  
(Landfill or Company Name)

Floor Area (Proposed Work Only): Basement:  unfinished  finished

# of floors: \_\_\_\_\_ # of porches: \_\_\_\_\_ # of decks: \_\_\_\_\_ # of other: \_\_\_\_\_

# of replacements: \_\_\_\_\_ # of additions: \_\_\_\_\_ # of bathrooms: existing \_\_\_\_\_ proposed \_\_\_\_\_

# of bedrooms: existing \_\_\_\_\_ proposed \_\_\_\_\_

Type of Heating System: \_\_\_\_\_ Type of Cooling System: \_\_\_\_\_

### CONTRACTOR INFORMATION\*

\*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)

Contractor Name: **Robert Todd Schwebel**

Address: **P.O. Box 618 (5 Alden Circle)**

Phone: **508-221-7794** Email: **Rtschwebel@gmail.com**

License: **CS-088414** HIC # **136458**

### OFFICE USE

**HEALTH/CONSERVATION AGENT Review** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature: *R. Todd Schwebel* Date: *12.22.21*

**Other Comments:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**BUILDING COMMISSIONER Review & Approval** \_\_\_\_\_

\_\_\_\_\_

Signature: \_\_\_\_\_ Issuance Date: \_\_\_\_\_

# Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666

## Building Demolition Permit Application

### BUILDING PERMIT APPLICATION DOCUMENT CHECKLIST

This checklist is part of the permit application and must be completed. If not completed the application may be considered incomplete and cause the permit to be denied.



**Town of Truro  
Building Department**

24 Town Hall Rd.  
PO Box 2030  
Truro, MA 02666  
Tel: (508) 349-1004 x131 Fax: (508) 349-8906

Please note that marked-up structural drawings are not acceptable as digital documents for permitting purposes.

#### **One and/or Two Family Home**

Completed application form

1 copy original site plan showing building setbacks and grades.

2 (min.) copies building plans – One can be full size if greater than 11 x 17. One must be no greater than 11 x 17 for department filing. Electronic version is acceptable, in addition.

Drawings indicating all relevant information including but not limited to:

- Fully dimensioned foundation, floor and structural plans.
- Building elevations showing finish materials and critical dimensions.
- Building wall sections describing building construction, energy related details and showing critical vertical dimensions.
- Smoke, CO and heat detectors must be shown.
- Door and window information demonstrating conformance with minimum room and dwelling egress and emergency escape.
- Exterior window and door information demonstrating conformance with light, ventilation and energy requirements.
- Location and design of any required fire separation assemblies.

All structural conditions noted on plans – braced wall lines indicated and analysis shown and/or engineered solution with registered design professional's certification and/or other prescriptive solution allowed by Code.

1 copy Energy Code compliance documents (check only one below)

- HERS performance rating document – new construction
- ResCheck (2015 MA) – additions/alterations – per 2015 IECC R502 & 503
- Prescriptive – values shown on plans – see 2015 IECC table R402.1.2 and other req's.

Photocopy of CSL and HIC (if applicable) shown on application form

Worker's Compensation Insurance Affidavit and copy of current certificate of insurance

Homeowner's License Exemption (if qualified and there is no CSI)

Copy of recorded approvals from local regulatory boards

If street access is required and property is on a Town road, copy of Curb Cut approval from the Board of Selectmen

**For applications for Modular and other than 1&2 Family Structures see Checklist on next page.**

# Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666

## Building Demolition Permit Application

**Modular Home** (Homeowner license exemption not allowed)

- 2 copies of foundation plan
- Approved plans by MA Board of Building Regulators & Standards with evidence of 3<sup>rd</sup> party inspection
- Manufacturer's certification of installer/set crew.

**Structures Other than 1 & 2 Family Home**

- Completed Application form
- Stamp and signature of registered design professional

2 (min.) copies building plans – One can be full size if greater than 11 x 17. One must be no greater than 11 x 17 for filing. Electronic version is acceptable, in addition. Drawings must indicate all relevant information including but not limited to: Fully dimensioned foundation, floor and structural plans; fire separation assemblies; door, window and room finish schedules; building elevations with critical dimensions; building/wall sections describing building construction and energy related details and showing critical vertical dimensions.

COMcheck Envelope, Lighting and Mechanical Compliance Certificates and Plan Review Inspection Checklist for the purposes of demonstrating compliance with the energy code.

Construction Control Document(s)

Tier 1 Fire Protection System document per section 902.2.1

Code analysis indicating (but not limited to) all use groups, construction types, allowable areas, fire separations, egress paths and distances. This analysis can be part of drawing set.

Contractor credentials

Worker's Compensation Insurance Affidavit and copy of current certificate of insurance

Recorded copy of any local regulatory board approvals

If modular construction see items above

**Notes:** Demolition will only begin once a replacement home is permitted



Todd Schwebel  
508.221.7794



# TOWN OF TRURO

## BUILDING DEPARTMENT

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

### DEMOLITION CHECKLIST

Owner: Victor Rivera Laura Brown

Location: 82 South Pamet

BUILDING DEPARTMENT  
TOWN OF TRURO

Map: \_\_\_\_\_ Parcel: \_\_\_\_\_

SEP 29 2021

In accordance with the Town of Truro General By-Laws, "Preserving Historic Properties":

RECEIVED BY: \_\_\_\_\_

- 1.) Listed on the National or State Register of Historic places, or the subject of a pending application for such a listing; or
- 2.) Constructed in whole or in part 75 years or more prior to the date of application for a demolition permit; or
- 3.) Determined by the Historical Review Board to be a significant building either because:
  - (a.) It is historically or architecturally significant in terms of period, style, method of building construction, or association with a famous architect; or
  - (b.) It is importantly associated with one or more historic persons or events, or with the broad architectural, cultural, political, economic or social history of the Town or the Commonwealth.

In accordance with 780 CMR Mass State Building Code, Section 112

#### SERVICE DISCONNECTS FROM UTILITY PROVIDERS:

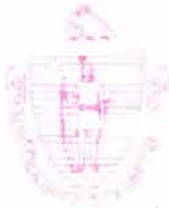
- Electric
- Water
- Gas
- Other Connections

**Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666  
Building Demolition Permit Application**

**Additional Information for Building Demolition Application**

- 1- Massachusetts Workman's Comp Affidavit**
- 2- Photos of buildings and structures to be demolished**
- 3- Assessors Card**

# Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666 Building Demolition Permit Application



*The Commonwealth of Massachusetts  
Department of Industrial Accidents  
1 Congress Street, Suite 100  
Boston, MA 02114-2017  
www.mass.gov/dia*

Workers' Compensation Insurance Affidavit: Builders Contractors Electricians Plumbers.  
TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business or organization name) Sol Carpentry --- Robert Todd Schwebel

Address P.O. Box 618 (5 Alden Circle)

City/State/Zip: Truro, MA 02666 Phone #: 508-221-7794

<p>Are you an employer? Check the appropriate box:</p> <p><input type="checkbox"/> I am a sole proprietor, partner, or sole owner of the business.</p> <p><input type="checkbox"/> I am a contractor or subcontractor who is providing services to another business or entity. (Not for use by contractors or subcontractors.)</p> <p><input type="checkbox"/> I am a contractor or subcontractor who is providing services to a residential customer.</p> <p><input type="checkbox"/> I am a contractor or subcontractor who is providing services to a governmental entity.</p> <p><input checked="" type="checkbox"/> I am a general contractor and I have a valid contractor license for the attached class. (These classes are listed on the back of this form.)</p> <p><input type="checkbox"/> I am a contractor or subcontractor who is providing services to a residential customer. (This class is not for use by contractors or subcontractors.)</p>	<p><b>Type of project (required)</b></p> <p>7 <input type="checkbox"/> New construction</p> <p>8 <input type="checkbox"/> Remodeling</p> <p>9 <input checked="" type="checkbox"/> Demolition</p> <p>10 <input type="checkbox"/> Building addition</p> <p>11 <input type="checkbox"/> Electrical repairs or additions</p> <p>12 <input type="checkbox"/> Plumbing repairs or additions</p> <p>13 <input type="checkbox"/> Roof repairs</p> <p>14 <input checked="" type="checkbox"/> <u>Other: Demolition</u></p>
---	--

For a complete list of contractor licenses, visit the website: www.mass.gov/dia. Contractors are required to obtain a valid contractor license for the attached class. Contractors who do not obtain a valid contractor license for the attached class are prohibited from performing the work. Contractors who do not obtain a valid contractor license for the attached class are prohibited from performing the work. Contractors who do not obtain a valid contractor license for the attached class are prohibited from performing the work.

**I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.**

Insurance Company Name: A.I.M. Mutual Insurance Company

Policy No. or File No.: WCC5005 0119482021A Expiration Date: 3/15/2020

Job Site Address: 82 South Pamet Road City/State/Zip: Truro, MA 02666

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under M.G.L. c. 152, § 25A is a criminal violation punishable by a fine up to \$1,000.00 and/or confinement in jail, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$750.00 per day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA or Insurance coverage verification.

**I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.**

Signature: *R. Todd Schwebel* Date: 12.22.21

Phone #: 508-221-7794

*Official use only. Do not write in this area, to be completed by city or town official*

City or Town: \_\_\_\_\_ Permit License #: \_\_\_\_\_

Issuing Authority (circle one):  
 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector  
 6. Other: \_\_\_\_\_

Contact Person: \_\_\_\_\_ Phone #: \_\_\_\_\_

Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666  
Building Demolition Permit Application





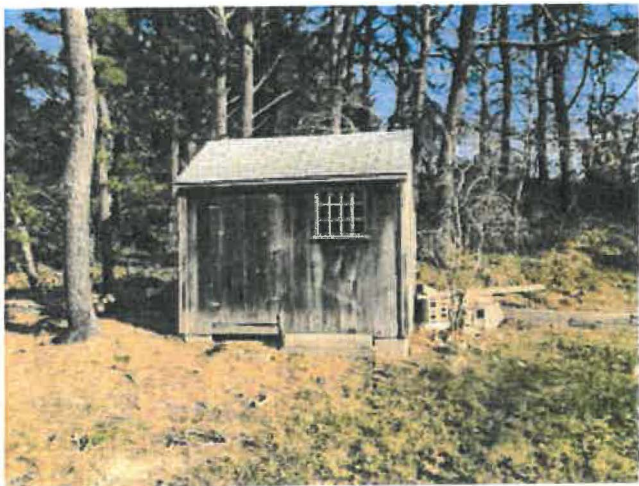
# Lynne Budnick

---

**From:** rtschwebel@gmail.com  
**Sent:** Monday, December 27, 2021 9:31 AM  
**To:** Lynne Budnick  
**Subject:** 82 south pamet

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.







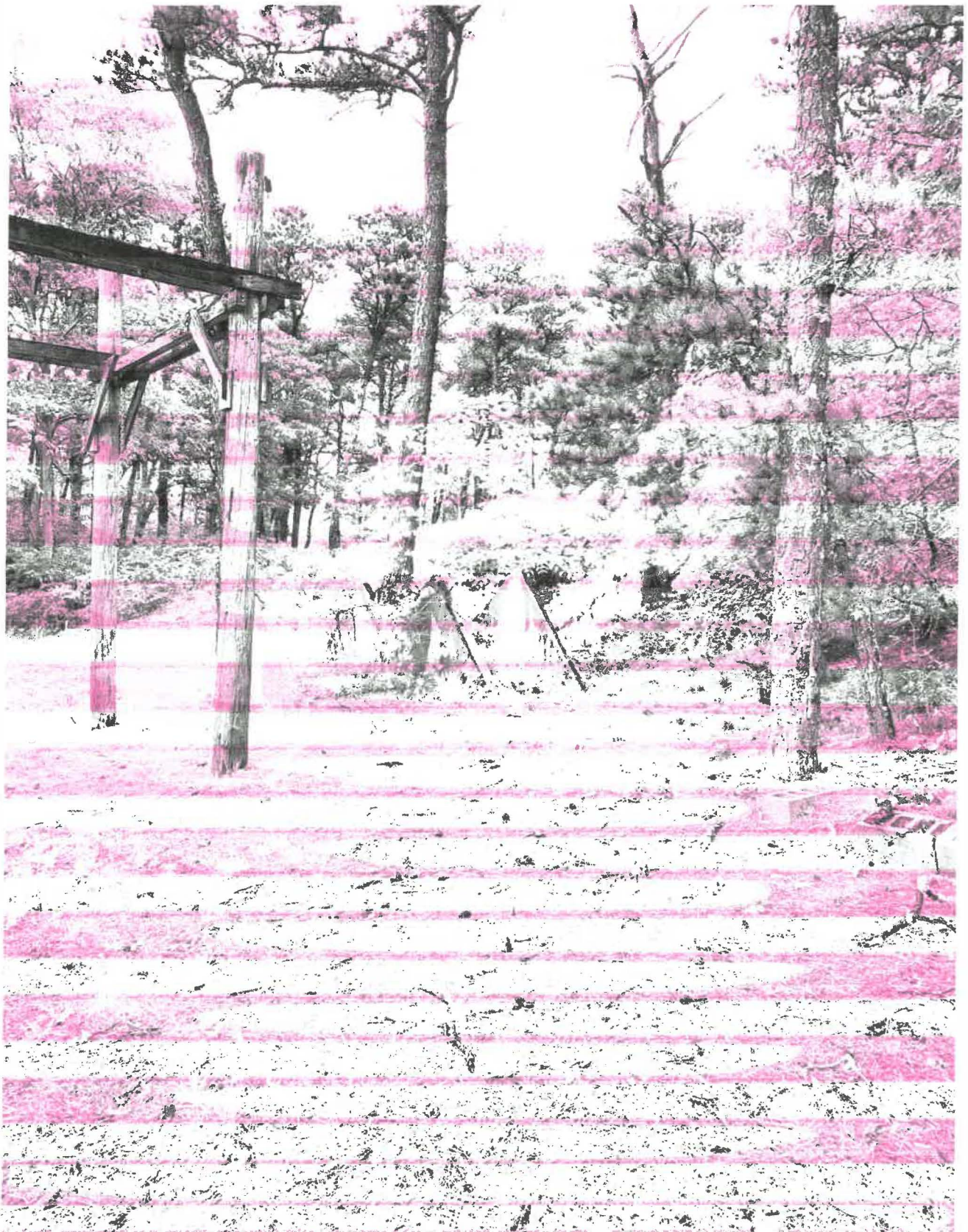
Sent from my iPhone











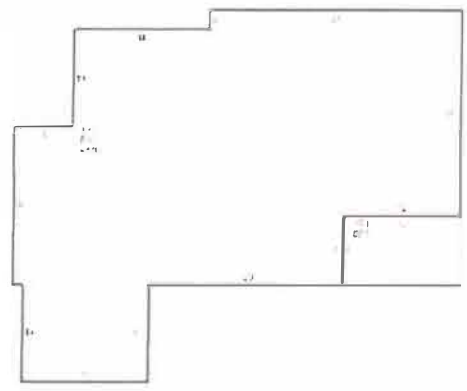
# Rivera -Bergan Home 82 South Pamet Road, Truro, MA 02666 Building Demolition Permit Application

Key: 3103

Town of TRURO - Fiscal Year 2022

F 2021 10:15 AM 829 W 1204

CURRENT OWNER		PARCEL ID	LOCATION		CLASS	CLASSY	DEVELOPER		MAP ID	MAP	CARD						
JOSEPH ARTHUR F ESTATE OF C/O RIVERA BERGAN FAMILY TRUST 18 LAKEVIEW ST ARLINGTON, MA 02478		51 57-0	82 SOUTH PAMET RD TRURO MA 02666		000	1	RIVERA BERGAN FAMILY TRUST JOSEPH ARTHUR F ESTATE OF JOSEPH ARTHUR F		01 000	1	100						
TRANSFER HISTORY		BUYER	SALE PRICE	BUYER'S TAX													
		01/20/01	120,000	813,154													
		06/18/07	200,000	813,154													
CD	ACR/UM	NSAD	INT	IMP2	ADJ BASE	SAF	IMP3	LM	VD	CREDIT AMT	ADJ VALUE						
001	0	1	1.00	1.00	23,770	1.00	1.00	2.30			481,100						
300	0	2	1.00	1.00	42,380	1.00	1.00	2.30			188,600						
TOTAL					ASSESSED	CURRENT	REQUIRE										
NSAD					LAND	561,500	581,600										
IMP1					BUILDING	191,500	773,300										
IMP2					DETACHED	4,200	6,200										
					OTHER	0	0										
					TOTAL	778,800	781,300										
PK	QUAL	EMAS	DMINUTE	SE	WHITE	ADJ PRICE	RCNLD	PHOTO									
DGT	A	1.00	1.00		50	1.00	30										
SHT	A	1.00	1.00		50	1.00	30										
DSP	A	1.00	1.00		50	1.00	30										
BUILDING	CD	ADJ	DESC		MEASURE	3/3/2020	LG	BLDG COMMENTS									
MODEL	1	1.00	RESIDENTIAL		LIST	18/25/10	JH										
STYLE	A	1.00	RANCH (100%)		REVIEW	12/15/2010	VR										
QUALITY	A	1.00	AVERAGE (100%)														
FRAME	1	1.00	WOOD FRAME (100%)														
YEAR BLT	1946	SIZE ADJ	1.00	ELEMENT		CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YR	ADJ PRICE	REV	TYPE/NO
NET AREA	1,234	DETAIL ADJ	1.00	FOUNDATION		4	BSMT WALL	1.00	A	BSM	A	BSMT UNFINISHED	1.00	1946	43,877	11,500	100-100
ENCL/CON	2289	OVERALL	1.00	EXT COVER		4	WOOD SHINGLES	1.00	A	BAS	L	BAS AREA	1.00	1946	198,000	249,000	100-100
				ROOF SHAPE		1	SAB L	1.00	B	EPA	N	ENCL PORCH	1.00		1,054	3,800	
				ROOF COVER		1	ASPHALT SHINGLE	1.00	F	D		TPN 18 18P	1.00		7,182	7,182	
				FLOOR COVER		2	R/W CARPET	1.00									
				INT FINISH		2	DRYWALL	1.00									
				HEATING/COOLING		2	HOT WATER	1.00									
				FUEL SOURCE		1	DL	1.00									
CAPACITY				UNITS	ADJ												
STORESHFR/				1	1.00												
ROOMS				5	1.00												
BEDROOMS				2	1.00												
BATH/ROOVE				2	1.00												
PATIO/DEE				4	4,200												
UNITS				0	1.00												
EFF 18 18P 18P 18P																	
CODE A 18P																	
ZONC 0																	
ECON 0																	
DEPR 00 00 00 00																	
RUNDL 00 00 00																	





## **POTENTIAL ARTICLES FOR DISCUSSION AT 1/12/22 WORK SESSION**

### **HOUSING**

#### **1) POTENTIAL WARRANT ARTICLE: Inclusionary Zoning Bylaw for New Condo Conversion Projects**

- a) Any new projects converting motels/cottage colonies to condo must include a percentage of units at significantly less than market rate – suggested ratio 1:6
- b) Include Cash Out Option with money going to the Year-Round Rental Housing Trust (which is for all types of housing, not limited to Affordable Housing, and is able to purchase property)

#### FOR DISCUSSION

- Eastham working on similar warrant article
- History of existing condos
- How do we define the less than market rate?
- What ratio do we want to use – 1:6 is suggested?
- What would be impact on Subsidized Housing Inventory (SHI)?
- What if Year-Round Rental Housing Trust Home Rule Petition does not get approved?
- There are currently some mixed-use structures that include residential condos

Barbara Carboni working with Assessor to get data on existing motels and cottage colonies that have the potential to become condos (have not done already).

- Lower priority request is number of condos existing in mixed-use structures

#### **2) POTENTIAL WARRANT ARTICLE: Allow 2-family structures by Right except for Seashore and Beach Point**

- a) Remove existing Duplex Bylaw 40.1
- b) Structure size conforms to House size bylaw numbers (not double for the 2 residences) including can ask ZBA for up to additional 1,000 sq. ft. total
- c) No maximum unit size (unlike duplex bylaw and ADU)
- d) Year-round residency requirement

#### FOR DISCUSSION

- How would this be different than existing ADU article?
- Owner occupancy requirement?
- Should year-round residency requirement be for both units?

- Should there be a minimum unit size?
- Affordability requirement?
- Minimum lot size?
- Should we include language similar to that in ADU bylaw prohibiting conversion to condo style of ownership?
- How would this impact SHI?

**3) POTENTIAL WARRANT ARTICLE: Allow development of 4-8 unit residential building**

- a) 1 permit per year
- b) Not Beach Point or Seashore District
- c) Either set minimum lot size or set of design standards or both
- d) Requires Commercial Site Plan Review

**FOR DISCUSSION**

- What are levels that trigger specific wastewater requirements? What are implications?
- Are there other parts of town that should be a no – areas with already very dense housing?
- What do we call this – apartment building? Multi-unit building?
- Will require change to use table
- Need for definition of apartment/apartment building in bylaws? Requested by Health Agent?
- There are currently (outside of Sally’s Way) in Truro
  - 6 buildings with over 8 units
  - 12 buildings with 4-8 units
- Whether to allow conversion of existing commercial structures to multiuse including residential units and if so, where?

**4) POTENTIAL WARRANT ARTICLE: Definitions – Apartment, Apartment Building**

- a) Need for definition of apartment/apartment building in bylaws? Requested by Health Agent?
  - There are currently (outside of Sally’s Way) in Truro
    - 6 buildings with over 8 units
    - 12 buildings with 4-8 units



## ENVIRONMENT/CLIMATE CHANGE

### 5) Lot Coverage/Carbon Sequestration

- a) Add language to Zoning Bylaw 10.2 Purpose (current with **additions**)

The purpose of this bylaw is to:

promote the health, safety, convenience and welfare of the inhabitants of Truro,  
prevent the overcrowding of land,  
conserve the value of land and buildings,  
enable the protection of clean and adequate water supply,  
conserve natural resources,  
prevent blight of the environment,  
encourage the most appropriate use of land in Truro,  
**protect and maintain the scenic rural character, ambiance, and aesthetics of Truro,**  
**promote carbon sequestration by natural means,**  
**protect native soils from unnecessary removal or disturbance,** and  
to promote the implementation of the goals and policies of the Truro Local Comprehensive Plan.

- b) Current Truro Definitions

**Building.** The word building shall be any three-dimensional enclosure, portable or fixed, temporary or permanent, which is composed of building materials and which encloses any space for use or occupancy; building shall include “structure” unless the context unequivocally indicates otherwise; and with the exception of fences, field or garden walls, cold frames, stairways for beach access, and embankment retaining walls, building shall include foundations in the ground and any part of any kind of structure above ground.

**Lot.** A parcel of land, undivided by a street, with definite boundaries, title to which is held in undivided ownership.

**Lot Area.** The area of a lot when used for building purposes shall not be less than the minimum required by this bylaw for the district in which it is located. Such an area shall not be interpreted to include any portion of a lot below mean water level on fresh water, below mean high water on tidal water or within the limits of any defined way, exclusive of driveways serving only the lot itself. No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune, or wet meadow. This definition shall apply only to lots created after April 30, 1987.

**Lot Coverage.** The portion of a lot which is covered by impervious structures and improvements. Impervious structures and improvements shall include but not be

limited to paved driveways and parking areas, principal and accessory structures, swimming pools and other on-site amenities which render any portion of the lot impervious.

c) Proposals for discussion

- a. Site Coverage – Establish % of lot that may be “covered” – examples from Wellfleet with suggestions

*No more than **XX percent (xx%)** of the total area of any lot shall be [(rendered impervious)/(covered)] by the installation of buildings, structures, **patios, decks, and paved surfaces (including permeable and impermeable pavements)**.*

- b. Site Clearing – different than Site Coverage – example from Eastham

*A minimum of **XX percent (xx%)** of the total upland area of any lot shall be retained in its natural state. This shall not prevent the removal of dead, diseased or damaged trees.*

- c. **\*Tree Retention. (new)** To the fullest extent possible, existing trees shall be preserved. When clearing beneath and/or between trees occurs, a good quality loam shall be applied and rolled to a minimum depth of **X inches (x”)**. Thereafter, a good quality ground cover shall be planted.

FOR DISCUSSION

- Clarify goal(s) – right now seems to be trying to address many things
  - Runoff/water quality, rural nature, carbon sequestration, stop clear cutting
- Add clean water to section 10.2 Purpose
- Identify % of lot to remain in natural state
- Should it be % of lot or % of upland (buildable) portion of lot?
- Separate definitions from regulations and put in the correct place in the bylaw
- If trying to address clearcutting, site coverage in not generally how it is done (Town Planner)
- Need to look at issue of enforcement and be realistic
- Resource: Village Pond Watershed Assessment done by the Cape Cod Commission:  
[https://www.truro-ma.gov/sites/g/files/vyhlf3936/f/uploads/village\\_pond\\_watershed\\_report.pdf](https://www.truro-ma.gov/sites/g/files/vyhlf3936/f/uploads/village_pond_watershed_report.pdf)

**6) Mean Ground Level – see attachment for overview**

- a) Concern that bylaw as written does not do what was intended and actually can yield great change rather than lesser to the landscape
- b) Potential new bylaw –

## FOR DISCUSSION

- What is history of current bylaw?
- How was definition developed – especially last sentence of the definition *“Further, the finished grade of the fill, within one hundred (100) feet of the building shall not have a grade steeper than ten per cent (10%) (one foot of drop for every ten-foot run).”*
- Was the intent to limit the increase in building pad elevation?
- Impact, if any, of proposed change – steeper grade – on down slope neighbors
  - Wastewater and well water quality
- Town Planner reaching out to Building Commissioner for input
- What would benefit of change be?
- Example of where this has been/could be issue

## 7) Flood Plain – adaptation of Barnstable County Model Bylaw to Truro –

- Being worked on by Town Planner and Health Agent
- Village Pond Watershed Assessment done by the Cape Cod Commission:  
[https://www.truro-ma.gov/sites/g/files/vyhlf3936/f/uploads/village\\_pond\\_watershed\\_report.pdf](https://www.truro-ma.gov/sites/g/files/vyhlf3936/f/uploads/village_pond_watershed_report.pdf)

## OTHER

### 8) Street Definition

- a) Proposal for Discussion – This is an attempt to correct the elimination of the design standards from the Subdivision Regulations referenced in the Zoning Bylaw, address a fairness issue AND maintain the rural nature of Truro.
1. Insert the referenced Town of Truro Subdivision Regulations, Section IV, Design Standards, (b), (c), and (d) as they existed on January 1, 1989, into the Bylaw Definition
  2. Add an exemption for streets on approved subdivision plans

**Street.** A public or private way which affords access to abutting property. For the purposes of this bylaw, the terms "street", "road", "way", and "road right-of-way" bear the same meaning. When a street(s) is to be used for lot frontage, the street(s) shall conform to the *following* requirements:

- 1) *The minimum width of street right-of-ways shall be 40 feet.*
- 2) *Property lines at street intersections shall be rounded to provide for a curb radius of not less than 20 feet.*
- 3) *Dead-end streets shall be provided at the closed end with a turnaround having a property line diameter of at least 80 feet. When ways requiring turnarounds may be extended in future subdivisions, the Board may require only an area equal to the above requirement to be shown and marked "Reserved for*

*Turning". Upon extension of the way through this turning area, the portions not included in the way shall revert to their respective lots.*

~~of the Town of Truro Subdivision Regulations, Section IV, Design Standards (b), (c), and (d) as they existed on January 1, 1989.~~

Street(s) shall have a center line length in excess of 100 feet. For dead-end street(s), this distance shall be measured from the sideline of the layout of the road to be intersected to the opposite end of the layout of the turnaround cul-de-sac. Town of Truro paved street(s) that:

(1) have a minimum layout width of 20 feet, (2) were created prior to January 1, 1989, ~~and~~ (3) were accepted by Truro Town Meeting, *and (4) streets forming part of a subdivision plan approved by the Planning Board* are exempt from the width requirements of the Town of Truro Subdivision Regulations, Section IV, Design Standards. These accepted public paved ways shall be deemed adequate as lot frontage for the issuance of building permits. The list of accepted Truro public paved ways is available from the Town of Truro Town Clerk upon request.

#### FOR DISCUSSION

- Ensure that protecting rural character of Truro is not eliminated
- Make regulations easier to understand
- Do these changes (and/or others) make regulations
  - Easier to understand
  - More Fair
  - Continue to protect rural nature

**POTENTIAL ARTICLES for ATM 2022  
PLANNING BOARD PACKET  
December 30, 2022**

**I. Housing**

- 1. Condo Conversion/Inclusionary Zoning - Draft**
- 2. Two Family Homes**
- 3. Apartment Building**
- 4. Definition(s) - Apartment &/or Apartment Building-**
  - Data – Type of Housing by Neighborhood**
  - Duplex Bylaw 40.1**

**II. Protecting Environment/Responding to Climate Change**

- 5. Lot Coverage/Carbon Sequestration**
- 6. Mean Ground Level**
- 7. Flood Plain – adaptation of Barnstable County Model Bylaw to Truro**

**III. Street Definition**

- 8. Street Definition - Draft Proposal**
  - Notes from Public Discussion**
  - Definitions from Other Towns**

**Misc.**

- Timeline for Bringing Articles to Town Meeting**

## **HOUSING WORK GROUP - Potential Articles for ATM 2022**

### **For Discussion at 1/5/22 Planning Board Meeting**

These 3 suggestions provide a variety of ways to increase & diversify housing in Truro. The guiding question in this work continues to be: *“How do we create a more diverse housing stock in Truro that includes a range of year-round housing options for populations including seniors, young families, members of the local workforce while protecting our water & environment?”*

- 1) New Condo Conversion Projects –
  - a) Any new projects converting motels/cottage colonies to condo must include a percentage of units at significantly less than market rate
    - i) Inclusionary Zoning Clause - suggested ratio 1:6
  - b) An option that we recommend is to include Cash Out Option with money going to the Year-Round Rental Housing Trust (which is for all types of housing, not limited to Affordable Housing, & is able to purchase property)
  - c) Questions
    - i) How to frame cost of lower than market rate units?
    - ii) How many properties are potential conversions?
    - iii) What if Year-Round Rental Housing Trust Home Rule Petition does not get approved
  
- 2) Two Family Residences
  - a) Eliminate existing Duplex Bylaw § 40.1 (attached)
  - b) Allow 2 family buildings by right (need to add to use table)
    - i) Not in Beach Point or Seashore District
  - c) Minimum Lot size 1 acre
  - d) Building size conforms to House size bylaw numbers (not double for the 2 residences)
    - i) Can ask ZBA for up to additional 1,000 sq. ft. total
  - e) No maximum size for a unit
  - f) Year- round residency requirement
  - g) No owner occupancy requirement
  - h) Questions
    - i) Should there be a minimum size?
    - ii) Year round residency requirement for 1 unit or both?
    - iii) Should there be an Affordability requirement?
    - iv) Should we include language similar to that in ADU bylaw prohibiting conversion to condo style of ownership

- 3) 4-8 Unit Building
  - a) 1 permit per year
  - b) Not Beach Point or Seashore District
  - c) Either set minimum lot size or set of design standards
  - d) Questions
    - i) What are levels that trigger specific waste water requirements
  
- 4) We also need to address request of Health Agent for definition of apartment/apartment building

#### QUESTIONS/INFO TO GET

- How many properties are potential conversions to condos
  - Motels
  - Cottage Colonies
- Which of these proposals would qualify under Housing Choice Legislation to pass with 50% rather than 2/3 for other Zoning Bylaws
  - Probably only multi unit building

SUMMARY DATA RESIDENTIAL TYPES FROM ASSESSORS DATA AS OF FEB 2021								
	Single Family	Condo	2 Family	3 Family	Mult Houses	4-8 units	> 8 units	Multi Use Res
LBBeach		327	2	2	7			
Residential		77	47	1	204	4	9	
LB Rt 6A & L 6A (LB 6A)		87	4	1	2	8	5	
Seashore			1		73			
GB Truro Center			2		4			
GTC		9						
GB Rt 6		56			6			
LB Truro Center			1		2			
LTC		1						
		557	57	4	298	12	14	



§ 40.1 Duplex Houses and Apartments

- A. Purpose. For the purpose of promoting the more efficient use of land, in keeping with the protection of the quality of life and ecology, and at the same time giving relief to those with problems of obtaining adequate housing, the Board of Appeals may approve a special permit authorizing the new construction of duplex houses or the conversion of single family dwellings to apartments, consistent with the following conditions.
- B. New Construction. Lots of one acre or more are required for new construction; the duplex shall not exceed 3,000 sq. ft.; the requirements of paragraph D shall be met.
- C. Conversion. Conversion of single family dwellings in any zoning district except the Seashore District and the Water Resource Protection District may be approved by special permit from the Board of Appeals. Lots shall meet current minimum lot area requirements; no more than one apartment in addition to the primary dwelling unit may be created from any one single family dwelling; the floor area of the secondary dwelling unit shall not exceed 50% of that of the primary dwelling unit; the floor area of the secondary dwelling unit shall not exceed 600 sq. ft.
- D. Requirements. All new construction or conversions shall comply with the following.
  - 1. All applicable provisions of the building, health and safety codes, as determined by the Building Commissioner and Board of Health shall be met.
  - 2. One unit shall be owner occupied.
  - 3. The applicant shall demonstrate that the new construction or conversion is essential to provide needed housing.
  - 4. The new construction or conversion is compatible with and will not derogate from or be detrimental to the neighborhood.
  - 5. Section 50, Area and Height regulations of this bylaw.
  - 6. The use is in harmony with the general purpose and intent of the bylaw.

Lot Coverage worksheet 10 20 2021

(additions in **red bold underlined**)

**All Numbers are OPEN to debate (both depth numbers and percentage numbers).**

## Truro Bylaws

### Zoning Bylaw

#### § 10.2 Purpose (current with additions)

The purpose of this bylaw is to:

promote the health, safety, convenience and welfare of the inhabitants of Truro,

prevent the overcrowding of land,

conserve the value of land and buildings,

enable the protection of clean and adequate water supply,

conserve natural resources,

prevent blight of the environment,

encourage the most appropriate use of land in Truro,

**protect and maintain the scenic rural character, ambiance and aesthetics of Truro,**

**promote carbon sequestration by natural means,**

**protect native soils from unnecessary removal or disturbance,** and

to promote the implementation of the goals and policies of the Truro Local Comprehensive Plan.

#### § 10.4 Definitions

##### **Building. (Truro. Current)**

The word building shall be any three-dimensional enclosure, portable or fixed, temporary or permanent, which is composed of building materials and which encloses any space for use or occupancy; building shall include "structure" unless the context unequivocally indicates otherwise; and with the exception of fences, field or garden walls, cold frames, stairways for beach access, and embankment retaining walls, building shall include foundations in the ground and any part of any kind of structure above ground.

##### **Lot. (Truro. Current)**

A parcel of land, undivided by a street, with definite boundaries, title to which is held in undivided ownership.

##### **Lot Area. (Truro. Current)**

The area of a lot when used for building purposes shall not be less than the minimum required by this bylaw for the district in which it is located. Such an area shall not be interpreted to include any portion of a lot below mean water level on fresh water, below mean high water on tidal water or within the limits of any defined way, exclusive of driveways serving only the lot itself. No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune or wet meadow. This definition shall apply only to lots created after April 30, 1987.

##### **Lot Coverage. (Truro. Current)**

The portion of a lot which is covered by impervious structures and improvements. Impervious structures and improvements shall include but not be limited to paved

driveways and parking areas, principal and accessory structures, swimming pools and other on-site amenities which render any portion of the lot impervious.

**\* Lot Coverage: (Wellfleet. amended)**

No more than **XX percent (xx%)** of the total area of any lot shall be [(rendered impervious) / (covered)] by the installation of buildings, structures, **patios, decks** and paved surfaces **(including permeable and impermeable pavements)**.

No more than **XX percent (xx%)** of the total upland area of any lot shall be [(rendered impervious) / (covered)] by the installation of buildings, structures, and paved surfaces.

**\* Site Clearing (Eastham. amended)**

A minimum of **XX percent (xx%)** of the total upland area of any lot shall be retained in its natural state. This shall not prevent the removal of dead, diseased or damaged trees.

**\* Site Clearing (new)**

The side and rear lot setbacks to their greatest extent shall remain in their natural state.

**\* Impervious Covered Surface: (Wellfleet. amended)**

**Pavement, pavers** or structure(s) on, above, or below the ground that [(inhibit) / (do not allow)] precipitation or surface water runoff **from penetrating** into the soil. **For the purposes of this lot coverage bylaw, pervious paved surfaces shall be included in the computation of covered lot area.**

**Lot Frontage. (Truro. Current)**

That portion of a lot fronting upon and having access to a street. Lot frontage shall be measured continuously along the front lot line along one street between side lot lines or, in the case of corner lots, between one side lot line and the mid-point of the corner radius. (4/05)

**\* Open Space: (Eastham)**

An unoccupied space, open to the sky, free of all structures, parking, pavement and other impervious surfaces; consisting of lands used for agricultural or forest uses; and any land area that would, if preserved and continued in its present use:

1. Conserve and enhance natural or scenic resources;
2. Protect air or streams or water supply;
3. Promote conservation of soils, wetlands, beaches or tidal marshes, and
4. Enhance the value to the public of abutting or neighboring parks, forests, wildlife preserves, nature reservations or sanctuaries or other open space.

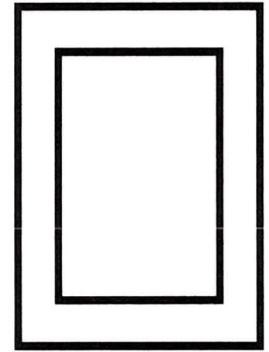
**\* Tree Retention. (new)**

To the fullest extent possible, existing trees shall be preserved. When clearing beneath and/or between trees occurs, a good quality loam shall be applied and rolled to a minimum depth of **X inches (x")**. Thereafter, a good quality ground cover shall be planted.

Lot Coverage worksheet 10 20 2021

Minimum Legal Lot Size

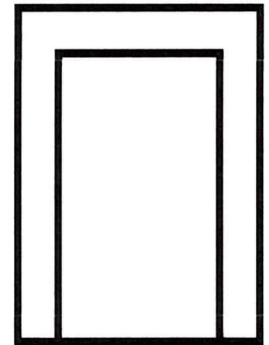
Approx. size	Sq.Ft. (Minimum legal Lot Size)	Setback front	Setback side	Setback rear
150' x 200'	33,750.00	25'	25'	25'



(front+rear+ 2 sides)

**% of Minimum Legal Lot Size translated into square feet**

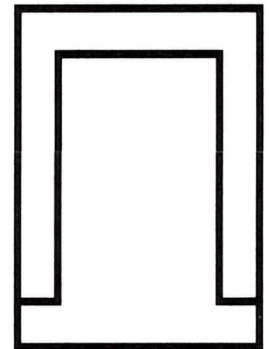
Lot %	sq. ft.	Lot %	sq. ft.
10%	3,375	45%	15,188
15%	5,063	50%	16,875
20%	6,750	55%	18,563
25%	8,438	60%	20,250
30%	10,125	65%	21,938
33%	11,138	70%	23,625
35%	11,813	75%	25,313
40%	13,500		



(rear+all of 2 sides)

Area encompassed by each setback:

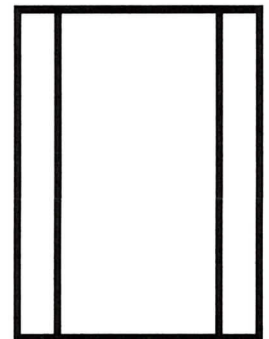
		sq. ft.	lot %
front	150' x 25'	3,750	11.11%
side	200' x 25'	5,000	14.81%
side less front	175' x 25'	4,375	12.96%
rear	150' x 25'	3,750	11.11%



(rear+ 2 sides less all of front)

Combination of different setbacks:

	sq. ft.	lot %
(front + rear + 2 sides)	15,000	44.44%
(rear + all of 2 sides)	11,250	33.33%
(rear + 2 sides less all of front)	3,750	11.11%
(all of 2 sides)	10,000	29.63%



(all of 2 sides)

	sq. ft.	lot %
Currently allowed Building Size (on one floor)	3600	10.67%
Currently allowed Building Size with ZBA Special Permit (max)	4600	13.63%

## **DRAFT 12-3-21 Rev 1**

### **Existing Bylaw Definition** ( §10.4 Definitions)

**Mean Ground Level:** Where the finished ground level varies in elevation on different sides of a building, the average of the various elevations at the centers of the four main sides. In the case where fill has been used to raise the finished ground level on a side(s) of the building to an elevation higher than the preconstruction ground level, on those sides the measurement shall be taken from center of that side ten (10) feet out from the side of the building. Further, the finished grade of the fill, within one hundred (100) feet of the building shall not have a grade steeper than ten per cent (10%) (one foot of drop for every ten-foot run).

### **Intent:**

This definition is pertinent to building heights and building pad fill sections in all zoning districts. The original intent of this definition as written above (as related by Planning Board members serving at the time it was adopted) was to limit the amount of fill used to level or raise a building pad above the existing grade elevation. Raises in the building pad elevation were reportedly being used as a means of enhancing views. Often this resulted in a raise in the grade of the land around the downhill side of the house, resulting in modification of large areas of the landscape, burial of existing naturally vegetated areas, and importation of large quantities of fills. See accompanying sketch SK1.

### **Problems with the existing definition:**

1. Last sentence (beginning “Further...”) serves to control fill quantities and preclude the creation of steep fill slopes *in certain instances*, while in other instances this sentence may require much more fill than would otherwise be needed.

An example of the latter case would involve siting a house on a naturally graded, bowl-shaped lot (i.e., valley-shaped; in hilly terrain). If the house is sited at or near a high point on the property, then the current “10%” grade steepness limit would require filling the valley out to a distance of 100 feet away from the downhill side of the house in order to meet this requirement as written. If the natural grade is descending at greater than 10%, then this sentence could result in extensive reworking of the landscape and the need for large quantities of imported fill (i.e., filling of the valley).

If the entire lot is naturally steeply sloped (i.e., hillside), compliance could be impossible since a fill section compliant with this last sentence could conceivably extend across more than the full width of the lot (this may occur where the natural descending grade was steeper than 10%).

2. The last sentence (“Further...”) is misplaced in the bylaw in that it is not a part of the definition of the term “Mean Ground Level” but rather is a regulation. The regulating limits pertaining to Mean Ground Level should appear elsewhere in the Bylaw, in this case, in Section 50.

### **Objective of this Proposed Change**

Discourage extensive alteration of the existing landscape and topography, limit the construction of unnecessarily high raised building pads and the importation of off-site fill materials by rewriting this definition and adopting a new regulation that would be facilitate these goals in all cases, yet be readily and universally interpretable.

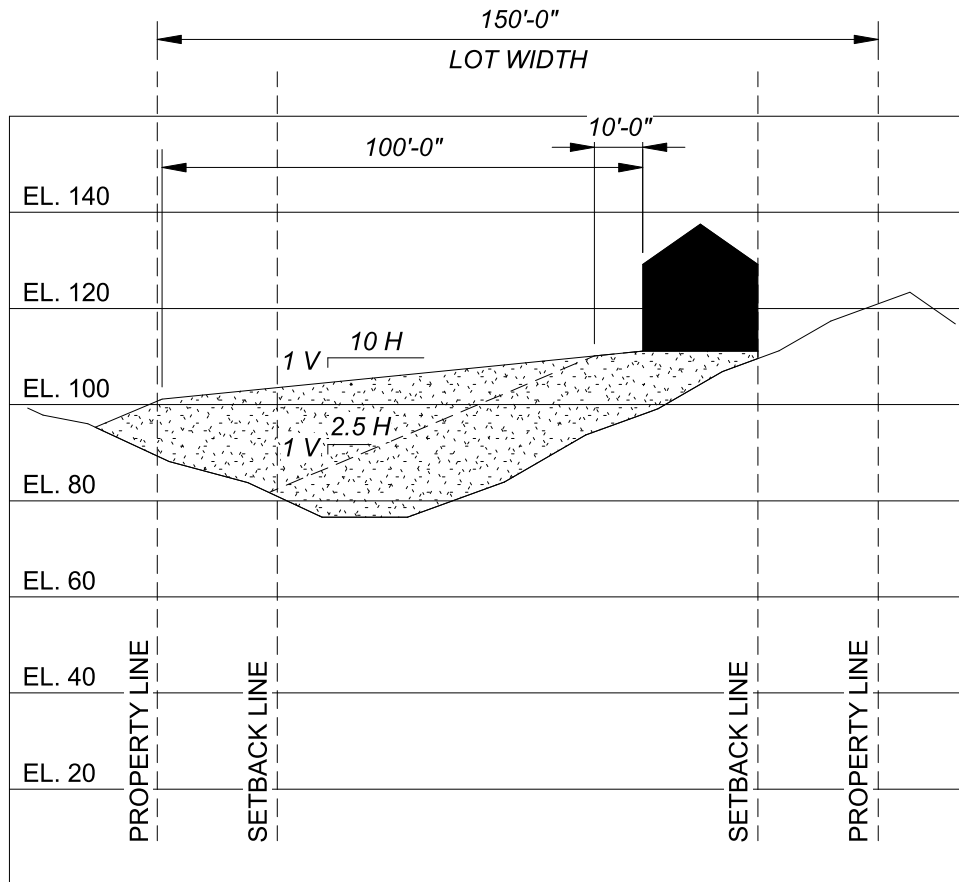
**Proposed New Definition:** (Essentially, the change amounts to elimination of the last sentence) -

**Mean Ground Level:** Where the finished ground level varies in elevation on different sides of a proposed building footprint, the average of the various elevations at the centers of the four main sides. In the case where fill has been used to raise the finished ground level on a side(s) of the building to an elevation higher than the preconstruction ground level, on those sides the measurement shall be taken from center of that side ten (10) feet out from the side of the building.

### **Proposed New Regulation, Section 50, Area and Height Regulations**

#### §50.1.1 Building Pad Height and Sloped Site Limitations

1. The finished grade elevation as measured at the center of the highest of the four main sides of the building shall not be more than **18 inches** above the existing grade elevation at that same point.
2. Fill sections on the downhill sides of the building shall be minimized insofar as possible with respect to both the lateral extents and the amount of fill. The grade of the ground surface in filled areas downhill of the building shall not exceed the following maximum grades:
  - a. Within 10 feet of the building: **10% grade (1V:10H)**.
  - b. Beyond 10 feet from the building (Sloped sites): **40% grade (1V:2.5H)**. This limitation applies to slopes to be stabilized by vegetation. Slopes steeper than 40% grade are permissible only in those instances where selected engineered fill materials, armored slopes, reinforced earth or retaining structures are provided to allow for steeper conditions. In all instances where this slope exceeds a 40% grade, the details, type and height of the stabilized slope section (and/or retention structures) shall be described on the site plan or on the building permit application.



Study

Truro, MA

# Site Grading Illustration

Drawing Number

**SK1**

Scale 1" = 40'-0"

Date: 12/03/21

Designed: RER Checked: RER

## IX. STREET DEFINITION BYLAW PROPOSAL

### Proposal for Discussion

This is an attempt to correct the elimination of the design standards from the Subdivision Regulations referenced in the Zoning Bylaw, address a fairness issue AND maintain the rural nature of Truro.

1. Insert the referenced Town of Truro Subdivision Regulations, Section IV, Design Standards, (b), (c), & (d) as they existed on January 1, 1989 into the Bylaw Definition
2. Add an exemption for streets on approved subdivision plans

### The following definition of Street is from the Truro Zoning Bylaw, §10.4. Definitions

**Street.** A public or private way which affords access to abutting property. For the purposes of this bylaw, the terms "street", "road", "way", and "road right-of-way" bear the same meaning. When a street(s) is to be used for lot frontage, the street(s) shall conform to the *following* requirements:

- 1) The minimum width of street right-of-ways shall be 40 feet.*
- 2) Property lines at street intersections shall be rounded to provide for a curb radius of not less than 20 feet.*
- 3) Dead-end streets shall be provided at the closed end with a turnaround having a property line diameter of at least 80 feet. When ways requiring turnarounds may be extended in future subdivisions, the Board may require only an area equal to the above requirement to be shown and marked "Reserved for Turning". Upon extension of the way through this turning area, the portions not included in the way shall revert to their respective lots.*

~~of the Town of Truro Subdivision Regulations, Section IV, Design Standards (b), (c), and (d) as they existed on January 1, 1989.~~

Street(s) shall have a center line length in excess of 100 feet. For dead-end street(s), this distance shall be measured from the sideline of the layout of the road to be intersected to the opposite end of the layout of the turnaround cul-de-sac. Town of Truro paved street(s) that:

(1) have a minimum layout width of 20 feet, (2) were created prior to January 1, 1989, ~~and~~ (3) were accepted by Truro Town Meeting, *and (4) streets forming part of a subdivision plan approved by the Planning Board* are exempt from the width requirements of the Town of Truro Subdivision Regulations, Section IV, Design Standards. These accepted public paved ways shall be deemed adequate as lot frontage for the issuance of building permits. The list of accepted Truro public paved ways is available from the Town of Truro Town Clerk upon request.



## **STREET DEFINITION COMMUNITY DISCUSSION 12.1.21**

### **Notes from the discussion**

**Why should there be changes to the definition? What problems does it cause?**

#### **A. Unclear & Confusing leading to uneven application**

1. Should be clear and easy to understand and that in itself is reason to revisit
2. Confusing, hard to understand for all – applicants, Building Inspectors, lawyers
3. Unevenly applied by different Building Inspectors –
4. Different BC and others have had different interpretation & given permits on different basis.
  - a. Russ B 2014-18 Building Commissioner (BC)
    - i. They are confusing
    - ii. Earlier BC – told Russ couldn't make heads or tails so if have way with proper frontage he issued building permit – did so on streets /ways of varying quality. Including Kline House
    - iii. Reported that Judge in Kline case called definition of street into question
    - iv. Russ as BC – if permit application did not meet very strict definition of street (from list held by clerk) he sent to ZBA, created headache for ZBA and extensive litigation
  - b. Community member talked about properties on her street, which doesn't meet definition,
    - i. Some allowed to move forward,
    - ii. some sent to ZBA & approved,
    - iii. some denied by ZBA
5. Uneven application compromises rights of citizens

#### **B. Causes referrals to ZBA and increased potential for litigation**

6. Lots of referrals to ZBA
  - a. More work for ZBA
  - b. result for applicant even if approved is costly in terms of time, money
  - c. Also, neighbors can appeal ZBA decision, with potential for significantly more cost and delay
7. Creates high potential for Litigation because it's unclear
8. Part of def talks about Frontage Issue:
  - a. If road does not have 40 foot right of way, it is not a conforming road
  - b. If not a conforming road then doesn't provide frontage
  - c. Potentially any work requiring a building permit will require ZBA action
9. Lack of clarity, uneven application of bylaw, creates issues for abutters and relationships among abutters. "How come they could .... But I can't?" Again , increases potential for litigation

### **C. Inconsistent with other Town action or regulations**

10. There are lots in Truro created by Planning Board action since 1989, that don't meet the conditions of the bylaw but since created after 1989 are NOT pre-existing, non-conforming
  - a. This has resulted in some lots in legally created subdivisions being not buildable only because of this definition
11. Current structure mixes subdivision regulations and zoning bylaws
  - a. Subdivision regulations can be waived by Planning Board
  - b. Only ZBA can waive Zoning Bylaws

### **OTHER**

12. Need for clarification especially old roads,
13. Property on 230+ roads that don't conform to definition & where this makes it hard to build, etc.
14. Issue is more on existing properties old ways, not new subdivisions

### **Why make no changes? What problems could that cause?**

1. Safety
2. Has functioned to help preserve the Rural Character of Truro
  - a. Prevented ancient ways from being developed that shouldn't be developed
  - b. Has saved Truro from overdevelopment
  - c. Concern that changing definition might undermine Truro's rural character
3. Fear change would undermine future of Truro's rural character. The issue of how much development should take place is highly controversial and has divided the community
4. 40 ft right of way – for all widths of road – like an easement to for utilities etc.
  - a. 20 ft from center of road – in most of Truro have building setbacks 25 ft from road, in Seashore district 50 ft. so not really issue
  - b. Required by state – not limiting or hurting people
5. Simplification always good objective. Important to know how many new building lots could/would be created

### **What are potential changes that could address the problems identified?**

1. In order to improve definition don't need to eliminate 40 ft. Right of Way
2. Existing definition has protected rural character, need to continue to do that
3. Change can both clarify/simplify AND protect rural character of Truro
  - a. Maintain rural character and have definition that is easy to understand
  - b. Protect rural character of Truro AND have clear definition with little/no ambiguity for Building Commissioner, fewer referrals to ZBA
  - c. Clear, no ambiguity for BC, that prevent so many referrals to ZBA but at same time primary qualification is to protect rural character of Truro
4. Go back to MGL –
5. Changing exemptions could be way to protect rural character while evening out things

6. TPRTA suggestions – letter 11/28/21

For this reason, we ask the PB to consider **adding needed exemptions to Zoning Bylaw (Section 10.4)** to be harmonized with related design requirements. These exemptions could cover various "road" scenarios including exempting ways that **meet the General Bylaw requirement of Section 1-9-13** for the "14-foot box" on the ground **and** that, for example,

- a. are contained in an approved subdivision plan; and/or
- b. are on any ancient way never discontinued by the Town; and/or
- c. existed on the ground prior to 2021 {or xx date}; and/or
- d. are ways on which two or more residential or commercial structures are taxed; and/or
- e. are the frontage and access for two or more prior approval(s) of building permits for any property along said way.

**Questions/Info Requests**

1. Need to know how many lots impacted before bringing any suggestion to voters
  - a. Town Planner working on buildout number – changing this definition would change that number.
2. How many lots are in subdivisions created since 1989 that are not buildable due to the definition?
3. Request from Board for specific examples (addresses) where there are problems

**Additional Issues for Further Discussion**

1. Subdivision Regulations address different issues that Zoning Bylaws – Town Planner
  - a. Follow-up – explanation & potential impact

## **STREET DEFINITIONS - OTHER CAPE TOWNS**

### **WELLFLEET- ZBL**

A street or way, other than a private way, which meets the minimum requirements of the Planning Board as established in accordance with the provisions of Section 81L of Chapter 41 (subdivision) of the General Law.

Wellfleets Subdivision Rules & Regulation:

#### **4.01 ROADS**

4.01.a Right-of-way width shall be not less than forty feet. All roadways shall be paved to a width of twenty (20) feet, which shall include a paved berm. Said berm shall be a minimum of eighteen (18) inches on roads with grades in excess of 3%, and in other locations as deemed necessary by the Planning Board.

4.01.b All roads shall be designed so that they will provide safe vehicular travel. Due consideration shall be given by the Applicant to the attractiveness of the street layout.

4.01.c Provision shall be made for the proper projection of roads, or for access to adjoining property which is not yet subdivided. Reserve strips prohibiting access to roads or adjoining property shall not be permitted, except where, in the opinion of the Planning Board, such strips are in the public interest.

4.01.d Street jogs with centerline offsets of less than 125 feet should be avoided. The minimum centerline radii of curved streets shall be 125 feet. Greater radii may be required for principal streets.

4.01.e There shall be access to all lots via streets and portions of streets no part of which shall be less than ten feet elevation.

4.01.f Centerline grades of streets shall be not less than 0.5%. Centerline grades shall not be more than 10.0% for principal streets.

4.01.g No street shall intersect any other street at less than 60 degrees.

4.01.h Property lines at street intersections shall be rounded with a radius of not less than 20 feet.

4.01.i Changes in grading exceeding (0.5) of one percent shall be connected by vertical curves of sufficient length.

4.01.j Sight distances for Subdivision roads intersecting other roads may not be less than 300 feet.

#### **4.02 DEAD-END STREETS**

4.02.a Dead-end streets shall not be longer than one thousand (1,000) feet unless, in the opinion of

the Board, a greater length is necessitated by topography or other local conditions.

4.02.b The road layout on dead-end streets shall be provided at the closed end with a turnaround having an exterior layout radius of at least forty-five (45) feet. The roadway shall have an exterior radius of at least thirty-five (35) feet. An island suitably landscaped with grass, ground cover, trees, natural rock and/or elements blending with the surroundings, shall be provided in the center of the turnaround with a radius of at least fifteen (15) feet.

An island shall not be required in a temporary turnaround; however, the turnaround shall be paved. When the dead-end street is extended, the turnaround easement shall terminate and the Applicant shall be required to remove, re-grade and restore the turnaround area to the satisfaction of the Planning Board.

EASTHAM

## **DRAFT TIMELINE FOR TOWN WARRANT ARTICLES**

### **ATM**

- Town Meeting will be held the last Tuesday of April (2-1-2)
- Warrant opened 90 days before Annual Town Meeting (Truro Town Charter Chapter 2 Section 1: 2-3-4 )
- Warrant closed after 30 days (Charter 2-3-4)
- Warrant articles from Town Boards can be added after that date

### **SPECIAL TOWN MEETING**

- Select Board determines dates warrant opens/closes (Charter 2-3-4)

### **2022 DATES**

- Tuesday April 26, 2022 – Annual Town Meeting
- Wednesday January 26, 2022 – Warrant Opens
- Friday February 25, 2022 – Warrant Closes
- January 3 – February 16, 2022 - Window for final Public Hearing

### **GENERAL INFORMATION AND SUGGESTIONS FOR TIMING**

- Notice for Public Hearing of Potential Bylaw Change must be advertised in newspaper for 2 successive weeks prior to meeting. In effect, Public Hearing must be scheduled at least 3 weeks in advance.
- Best not to hold public hearing in between mid-December & first Monday in January (after January 1) due to vacations & holidays.
- Planning Board can solicit community input through community forums etc. that don't require same advance notice as public hearing but must also hold public hearing prior to voting on potential warrant article.

## ***PLANNING BOARD***

Anne Greenbaum, Chair  
Steve Sollog, Vice Chair  
Jack Riemer, Clerk  
Paul Kiernan  
Barbara Huggins-Carboni, Town Planner/Land Use Counsel

Bruce Boleyn  
Rich Roberts  
Ellery Althaus

Truro's two greatest assets are its people and the natural environment. Balancing these assets in order to preserve the beauty that attracts people to Truro while maintaining our economic viability and supporting a year-round sustainable population is our overarching challenge. The issues are complex and involve a wide range of content areas. To best understand the issues and develop approaches that are comprehensive and not short sighted, the Planning Board reaches out to the community, other town committees, consultants, state and county government resources, the National Seashore, non-profit organizations such as Habitat for Humanity and other entities and individuals with relevant expertise.

In July of 2021 we welcomed our newest member, Ellery Althaus, who along with Rich Roberts was elected to a 5-year term on the Planning Board. The Board thanks Peter Herridge for his service and passion for the town of Truro. Since January of 2015 there have been 6 different people serving as Town Planner, Planning Consultant, and/or Interim Town Planner. On April 1, 2021, Barbara Huggins-Carboni moved from Interim Planner to Town Planner/Land Use Counsel. This appointment has brought much needed stability to the position. Ms. Carboni and Liz Sturdy have formed a strong team and the Planning Board appreciates their support.

At ATM 2021, held June 26, 2021, there were 14 Zoning Articles on the Warrant: 13 were articles proposed by the Planning Board for the 2020 ATM but delayed until 2021 and 1 was a Citizens Petitioned Article, also postponed from 2020. The Citizen's petitioned article and 12 of the Planning Board articles were approved.

The Planning Board's work has 2 components – Permitting and Planning. In the Permitting function the Board responds to applications submitted for permits/approvals. There were fourteen

(14) new formal applications and requests processed by the Planning Board in 2021 plus four (4) other cases continued from 2020. In addition, the Board approved 9 Temporary Sign Permit Applications.

The proactive, planning work of the Board is ongoing. We have been and will continue to focus on 3 major areas for ongoing work including potential bylaw changes. These areas are: Water, Housing and Climate Change. Preserving our water supply involves both protecting the quality of the water and planning for potential new water sources (wells). The impacts of climate change are many and need to be addressed sooner rather than later. On Cape Cod and specifically here in Truro we see homes that were once far from the edge now on the verge of falling into the sea. When trees and other vegetation are replaced with buildings, patios and other impervious surfaces that adds to the problem of greenhouse gases and results in runoff which can adversely impact water quality and degrades the natural beauty of the Town. These are complex issues, and the Planning Board is currently addressing them. The housing challenges facing Truro are not simple and do not have simple answers. Our guiding question is *“How do we create a more diverse housing stock in Truro that includes a range of year-round housing options for populations including seniors, young families, and members of the local workforce while protecting our water and environment?”* We expect to bring several proposals to ATM 2022.



TOWN OF TRURO  
PLANNING BOARD  
Meeting Minutes  
February 3, 2021 – 500 pm  
REMOTE MEETING

**Members Present:** Anne Greenbaum (Chair); Steve Sollog (Vice Chair); Jack Riemer (Clerk); Rich Roberts; R. Bruce Boleyn; Peter Herridge; Paul Kiernan.

**Other Participants:** Barbara Carboni – Truro Town Planner/Land Use Counsel; Liz Sturdy – Planning Board Administrator; B. Zehnder – Attorney; Christina and Christopher Dragon

Remote meeting convened at 5:02 pm by Chair Greenbaum. Chair Greenbaum and Town Planner Carboni read the detailed instructions for citizens interested in watching or joining this meeting. Board Members introduced themselves.

**Public Comment Period:**

Chris Lucy – expressed concern about Planning Board actions around creating more affordable housing.

**Board Action/Review:**

**2020-006/SPR – Public Hearing – Continued**

2020-006/SPR – Anne Labouisse Peretz; William T. Burdick & Richard C. Vanison, Trustees, Dune House Nom. Tr. for property located at 112 North Pamet Road (Atlas Map 48, Parcel 1).

B. Zehnder asked for continuance to February 17, 2021 to allow the landscape architect to further survey the property for broom crowberry and to allow time for the architect to move and redesign the new building to conform with the zoning bylaw’s setback and height requirements.

Member Herridge made a motion to grant the extension to February 17, 2021, seconded by Vice Chair Sollog. Chair Greenbaum asked Mr. Zehnder to supply the board with the relevant plans as soon as possible. Mr. Zehnder agreed.

**The Board voted, 7-0, to grant the extension to February 17, 2021.**

Chair Greenbaum asked the board to take up the third item on the agenda for Mr. Zehnder’s convenience. Having received no objection, the Chair continued with the third agenda item.

**2020-011/PB**

2020-011/PB – Samantha Perry, Hillside Farm, LLC seeks approval of Form A – Application for Determination that Plan Does Not Require Approval (ANR) pursuant to Section 2.2 of the Town of Truro Rules and Regulations Governing the

Subdivision of Land with respect to property at 23 Perry Road, Truro MA, Map 45, Parcel 131. [Material in 10/21/2020 packet]  
Extension Agreement presented at December 2, 2020, January 6, 2021, and January 20, 2021 meetings; Title information requested by Board

B. Zehnder asked for continuance to February 17, 2021 to allow for time for further client review of informational letter to then be submitted to Planner Carboni.

Member Boleyn made a motion to grant the extension to February 17, 2021, seconded by Member Herridge.

**The Board voted, 7-0, to grant the extension to February 17, 2021.**

**Public Hearing – 2021-001/SPR**

2021-001/SPR-Chris Dragon for property located at 40 Highland Road (Atlas Map 36, Parcel 172). Applicant seeks a Residential Site Plan Review under Section 70 of the Truro Zoning Bylaw for renovation of an existing 1947 home on 3.06 acres: add a 10 x 10 mudroom and 24 x 24 garage in the Seashore Zoning District.

Chair Greenbaum informed petitioners that the board would neither close the hearing nor vote on the petition today as a matter of policy due to the “vagaries’ of technology”.

Chris Dragon described the proposed renovations. Planner Carboni described the plan as “straight forward” and requested that additional information that is required be placed on both the site plan and the building plans.

Member Roberts questioned the deck vs. the sunroom. C. Dragon said the sunroom is eliminated but there would be a deck within the project. Chair Greenbaum asked for updated plans. Chair Greenbaum then scheduled a tentative site visit for February 16, 2021, at 2:30 PM. Member Riemer asked for a materials description list and informed the petitioners of the ‘Weston and Sampson’ report as to their lot being within an area of ‘critical concern’. Member Kiernan asked if there would be no representative at the ‘site visit’, could the Board call the Dragons’ for clarification of any questions while the Board was on site. The Dragons agreed to be available. Member Roberts asked for clarification as to the future location of the propane tank. The Dragons agreed the location would be on the plan. Chair Greenbaum asked for a motion to continue to February 17, 2021.

Member Boleyn moved and Member Herridge seconded the motion to continue the hearing.

**The Board voted, 7-0, to continue the hearing to February 17, 2021.**

**2021 ATM Potential Articles** – Discussion only

‘Growth Management Bylaw’ – Member Kiernan, in responding to prior discussions, proposed a public hearing on the subject of lowering the number of yearly Single-Family Homes (SFR) from 40 down to 20. He stated that since 2016, Truro averaged less than 13 SFR building permits issued per year with Truro residents/builders accounting for 30% of

the permits issued and 35% of the total money spent. He stated that the purpose for limiting permits that should be to keep local builders employed within the town and that such a bylaw change would require local support. Board members offered support for a public hearing for local input. Member Sollog asked for clarity as to what the reasons for continuing the 'Growth Management Bylaw'. Chair Greenbaum proposed a hearing on February 24, 2021, at 5 PM.

Problem – 'Late submissions of materials to be considered by the Board before hearings' – Although at least 7 days before the hearing are required, many material submittals occur from 3 days prior up to the actual day of the hearing. Chair Greenbaum stated other town boards have the same problem. Planner Carboni stated this is a common problem throughout Massachusetts. There is also the problem of the statutory deadline each petition has under state law. Chair Greenbaum suggested that applicants be continually reminded that submissions arrive by 4:00 PM, Tuesday, the week prior to the proposed Wednesday hearing date.

**Planner Report:**

Cloverleaf ZBA Special Permit is being finalized for ZBA Board members' signatures before being filed with the Town Clerk.

**Chair Report:**

Chair Greenbaum described her interaction with the Highland Affordable Housing, Inc. and suggested a joint work session with their Board. March 31, 2021 was agreed upon. Chair Greenbaum will contact HAH, Inc. for their response.

Minutes – Planner Carboni stated that, under State law, the responsibility of the timely submittal of meeting minutes falls on board members, not on town staff. The town has been unable to hire anyone to aid the board with minutes for the last year and ½.

Question – When does a Zoning Bylaw approved by Town Meeting take effect? (On the night of Town Meeting or on the date of the MA Attorney General's approval?) Planner Carboni would get back to the board with her response.

Continued Discussion – Growth Management Bylaw extension – it was agreed that further discussion and decisions to be pushed forward to next meeting. Previously discussed February 24, 2021 meeting is therefore removed.

Agenda for PB Work Session on February 10, 2021 was discussed.

Chair Greenbaum asked for a motion to adjourn. Motion made by Member Riemer with a second by Member Boleyn. No further discussion. Chair Greenbaum asked for a vote. Voted all in favor. So voted: 7-0-0.  
Meeting adjourned.

Respectfully submitted,

Paul Kiernan



TOWN OF TRURO  
PLANNING BOARD  
Meeting Minutes  
June 16, 2021 – 5:00 pm  
REMOTE MEETING

**Members Present:** Anne Greenbaum (Chair); Steve Sollog (Vice Chair); Jack Riemer (Clerk); Rich Roberts; R. Bruce Boleyn; Paul Kiernan.

**Members Absent:** Peter Herridge

**Other Participants:** Barbara Carboni – Truro Town Planner/Land Use Counsel; Liz Sturdy – Planning Board Administrator; Ellery Althaus; Chris Lucy

Remote meeting was convened by Chair Greenbaum. Chair Greenbaum read the detailed instructions for citizens interested in watching or joining this meeting. Board Members introduced themselves.

**Public Comment Period:** no comment

**Board Action/Review:**

Discussion – Town Meeting preparation. The Chair directed the Zoning Articles be reviewed first.

The Zoning Articles were reviewed and commented upon in the order of the ATM Warrant:

- Article 22: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit – Citizens Petition
- Article 23: Amend Zoning Bylaw §10.4 and §30.2 Food Truck Definition and Use and §30.9 Parking
- Article 24: Amend Zoning Bylaw §30.9 Parking, C. Off Street Parking Schedule
- Article 25: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, C. ADU Permit
- Article 26: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, D. Procedure
- Article 27: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, D. Procedure
- Article 28: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, D. Procedure
- Article 29: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, F. Findings of the Planning Board
- Article 30: Amend Zoning Bylaw §40.2 Accessory Dwelling Unit, H. Requirements for Tax Exemption and §10.4 Definitions
- Article 31: Amend Zoning Bylaw §70.3 Commercial Development
- Article 32: Amend Zoning Bylaw §70.4 Residential Development
- Article 33: Amend Zoning Bylaw §70.6 Recording of Decision
- Article 34: Amend Zoning Bylaw §70.9 Waiver of Site Plan Review
- Article 35: Amend Zoning Bylaw §40.6 Growth Management

Next was discussion of Article 18:

Article 18: Charter Amendment to Sections 3-1-1 and 6-4-2 – Petitioned Article  
(creation of an appointed Planning Board)

The Planning Board then discussed 2018 The Weston and Sampson Phase II Report created for the Town of Truro Water Resources Oversight Committee. A review of the August 13, 2015, “Wastewater in Truro, *A brief history and a look forward*” power-point presentation prepared for the Town (but never presented to the Town by the Select Board) was offered for review.

An Executive Session was scheduled for 4:00 PM prior to our next week’s Regular Meeting for the approval of prior Executive Meeting minutes.

Chair Greenbaum asked for a motion to adjourn. Motion made by Member Sollog with a second by Member Boleyn. No further discussion. Chair Greenbaum asked for a vote. Voted all in favor. So voted: 6-0-0.  
Meeting adjourned.

Respectfully submitted,

Paul Kiernan

TRURO PLANNING BOARD MINUTES  
DECEMBER 1, 2021

Attending: Anne Greenbaum – Chair, Steve Sollog – Vice Chair, Paul Kiernan, Jack Riemer – Clerk, Bruce Boleyn, Rich Roberts, Ellery Althaus  
Barbara Carboni – Town Planner/Land Use Counsel

Meeting called to order at 5:01pm

Public Discussion of Street Definition Bylaw and Potential Changes – Purpose for Planning Board to Hear from the Public

Speakers included: Russ Braun, Former Building Commissioner; A.M Song; Regan McCarthy; Tony Garrett – TPRTA President; Chuck Steinman; Ben Zehnder; Joanne Barkan; Jim Summers; Joan Holt; Jay Murphy

Why should there be changes to the definition? What problems does it cause?

- 1) Unclear and Confusing leading to uneven application of regulation
  - a) Confusing, hard to understand for all – applicants, Building Inspectors, lawyers
  - b) Should be clear and easy to understand and that in itself is reason to revisit
  - c) Unevenly applied by different Building Inspectors
- 2) Uneven application compromises rights of citizens
- 3) Causes referrals to ZBA and increased potential for litigation
  - a) Increased cost of money and time for applicant to go to ZBA
- 4) Lack of clarity, uneven application of bylaw, creates issues for abutters and relationships among abutters
- 5) Inconsistent with other Town action or regulations
  - a) lots in Truro created by Planning Board action since 1989 that don't meet the conditions of the bylaw, but since created after 1989 are NOT pre-existing, non-conforming
  - b) This has resulted in some lots in legally created subdivisions being not buildable only because of this definition
- 6) Issue is more on existing property's old ways, not new subdivisions

Request from Board member to send specific examples of where this has been problematic to Town Planner

Why make no changes? What problems could changes cause?

1. Safety
2. Has functioned to help preserve the Rural Character of Truro
  - a. Prevented ancient ways from being developed that shouldn't be developed
  - b. Concern that changing definition might undermine Truro's rural character by allowing over development.
3. The issue of how much development should take place is highly controversial and has divided the community

4. 40 ft right of way requirement not really an issue, covered by setbacks, etc.
  - a. 20 feet to each side of measured from center
  - b. We have 25-foot setbacks from side of road
  - c. It is required by state – not limiting or hurting people
5. Simplification always good objective
6. Important to know how many new building lots could/would be created

What are potential changes that could address the problems identified? – deferred to future meeting

1. Don't need to eliminate 40-foot-wide requirement
2. Existing definition has protected rural character, need to continue to do that
3. Change can both clarify/simplify AND protect rural character of Truro
  - a. Maintain rural character and have definition that is easy to understand
  - b. Protect rural character of Truro AND have clear definition with little/no ambiguity for Building Commissioner, fewer referrals to ZBA
4. Go back to MGL
5. Changing exemptions could be way to protect rural character while evening out things

#### Planner Report

- DRI Public Hearing on Hortons Campground should be held by end of February

#### Draft Planning Board Perspective for the LCPC

- Discussion and addition of section on stormwater management concerns

Motion to approve as amended: 7-0

Moved: Jack Riemer; Second: Paul Kiernan

Aye: Steve Sollog, Bruce Boleyn, Ellery Althaus, Rich Roberts, Jack Riemer, Paul Kiernan, Anne Greenbaum

#### Potential Warrant Articles for 2022

- Possible definitions to look at – Mean Grade Elevation – does it address what it was intended to address. Rich Roberts will do draft of potential change.
- Use table does not include Apartment, Duplex, 2 Family, 3 Family or Multi Family

#### Minutes:

November 4, 2020

- Attach copy of Covenant Form D for Schirmer property to minutes

Motion to approve as revised: 5-0-2

Moved: Jack Riemer; Second: Steve Sollog

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum

Not voting: Ellery Althaus, Rich Roberts



October 28, 2020

Motion to approve as revised: 5-0-2

Moved: Jack Riemer; Second: Bruce Boleyn

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum

Not voting: Ellery Althaus, Rich Roberts

November 18, 2020

Motion to approve as revised: 5-0-2

Moved: Paul Kiernan; Second: Bruce Boleyn

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum

Not voting – Ellery Althaus, Rich Roberts

December 2, 2020

Motion to approve as revised: 5-0-2

Moved: Bruce Boleyn; Second: Paul Kiernan

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum

Not voting: Ellery Althaus, Rich Roberts

December 16, 2020

Motion to approve as revised: 5-0-2

Moved: Steve Sollog; Second: Bruce Boleyn

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum

Not voting: Ellery Althaus, Rich Roberts

Next Meeting: Kevin Kuechler – Water and Planning

Motion to Adjourn: 7-0

Moved: Jack Riemer; Second: Bruce Boleyn

Aye: Steve Sollog, Jack Riemer, Paul Kiernan, Bruce Boleyn, Anne Greenbaum, Ellery Althaus, Rich Roberts

Respectfully Submitted

Anne Greenbaum