

Truro Historical Commission Remote Public Hearing and Meeting Agenda

Thursday, April 20, 2023, at 5:00pm

Please join the meeting from your computer, tablet or smartphone

<https://meet.goto.com/219950149>

You can also dial in using your phone

1-877-309-2073 Access Code: 219-950-149

AGENDA TOPICS:

1. Public Hearing for demolition and proposed replacement of a substantial portion of the residence at 69 Old County Road, Truro, MA, Map 54, Parcel 43
2. Approve Minutes of February 21, 2023, Historical Commission Meeting
3. Review ATM *Warrant Article 29: Amend General Bylaws 7-2: Community Preservation Committee* that would change allocations of CPA funding
4. ATM/CPC Updates
5. Town Planner Updates
6. New Business
7. Adjourn



TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666


Tel: 508-349-7004 , Extension: 110 or 124 Fax: 508-349-5505

TOWN OF TRURO
TRURO HISTORICAL COMMISSION
REMOTE PUBLIC HEARING
April 20, 2023, at 5:00pm

The Truro Historical Commission will hold a remote Public Hearing on Thursday, April 20, 2023, at 5:00PM to review demolition and proposed replacement of a substantial portion of the residence designed by Charlie Zehnder at 69 Old County Road, Truro, MA, Map 54, Parcel 43. This Public Hearing is subject to review under the General Bylaws, Chapter VI Preserving Historic Properties. All interested parties are urged to attend the meeting via the GoToMeeting information below. Please join the meeting from your computer, tablet or smartphone via <https://meet.goto.com/219950149> . You can also dial in using your phone: 1-877-309-2073 Access Code: 219-950-149.

Matthew Kiefer, Chair
Truro Historical Commission

Building Permit Application – Main House:

Building Permit Application Massachusetts State Building Code, 780 CMR, 9 th Edition		 TOWN OF TRURO Building Department	
Permit #: 23-046 Fee: \$50.00		24 Town Hall Rd. PO Box 2030 Truro, MA 02666 Tel (508) 349-7004 x131 Fax (508) 349-5508	
SITE INFORMATION			
Project Site: 69 Old County Road, Truro MA 02666 MAIN HSE.			
Assessors Map & Parcel: 54-43		Zoning District: R	
<input checked="" type="checkbox"/> Outside Flood Zone		<input type="checkbox"/> Inside Flood Zone – Specify:	
Setbacks: Front: 67'4"	Left Side: 27'4"	Right Side: 34'2"	Rear: 78'5"
Lot Area (sq. ft.) 36,107		Frontage: 137.58 sf	
Water Supply: <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public		Subject to Policy 28: Curb Cut? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If Yes, please attach a copy of the approval to this application.	
SUBJECT TO NHESP/MESA REVIEW? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.			
PROPERTY OWNERSHIP			
Owner of Record: Paul Berman & Laura Dickinson			
Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815			
Phone: 508-432-6360		E-mail: paulberman@gwu.edu	
Property Owner Authorization			
Signature: see attached		Date: 1/9/2023	
PROJECT INFORMATION			
<input checked="" type="checkbox"/> 1 & 2 Family Home	<input type="checkbox"/> Commercial / Other than 1 & 2 Family Home*	<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> DEMO - Subject to Chapter VI: Historic Properties Bylaw? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.			
<input type="checkbox"/> New Dwelling: # of units _____		<input type="checkbox"/> Commercial Building	
<input checked="" type="checkbox"/> Addition	<input checked="" type="checkbox"/> Alteration	<input type="checkbox"/> Mechanical	
<input type="checkbox"/> Accessory Structure: (type) _____		Other: _____	
Detailed Description of Proposed Work: Replaces Bath 22-344 Chg of Contractor			
Lift main house and dining room. Demo and rebuild living room. Front addition, new footings and foundation, new flooring system, new windows, doors, and skylights. Replace roofing, replace all decking, rebuild front shed, remodel kitchen and all bathrooms. Replace insulation and siding.			



Estimated Construction Cost: \$1,469,444.50 \$1,718,921.85		Debris Disposal: MA Frazier (Landfill or Company Name)	
Floor Area: (Proposed Work Only)		Basement: <input checked="" type="checkbox"/> unfinished 1947 <input type="checkbox"/> finished _____	
1 st flr: 1947 sqft	2 nd flr: —	Porch/Deck:	Other: 2000 sf
#fireplaces: 1	#chimneys: 1	#bathrooms: existing 2 proposed 2.5	
#bedrooms: existing 3 proposed 2			
Type of Heating System: HEAT PUMP		Type of Cooling System: HEAT PUMP	
CONTRACTOR INFORMATION*			
*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)			
Contractor Name: LaBarge Engineering & Contracting, Inc			
Address: 237 Route 28, West Harwich, MA 02671			
Phone: 508-432-6360		Email: office@labargehomes.com	
CSL#: 068313 exp. 2/7/24		HIC # 149496 exp 4/21/23	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review <u>no change in BR count from original review.</u>			
<u>2BR house</u>			
Signature: <u>AD</u>		Date: <u>1/19/2023</u>	
Other Comments: _____			

BUILDING COMMISSIONER Review & Approval: _____			

Signature:		Issuance Date:	

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.
PO Box 2030
Truro, MA 02666
Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

23-046

Fee:

50.00

CHANGE OF
CONT. FEE

SITE INFORMATION

HEALTH DEPARTMENT
TOWN OF TRURO

Project Site: 69 Old County Road, Truro MA 02666

JAN 12 2023

Assessors Map & Parcel: 54-43

Zoning District: R

RECEIVED BY:

Outside Flood Zone

Inside Flood Zone - Specify:

Setbacks:

Front: 57'

Left Side: 27'

Right Side: 34'2"

Rear: 78'5"

Lot Area (sq. ft.) 36,107

Frontage: 137.58'

Water Supply:

Private

Public

Subject to Policy 28: Curb Cut? Y N

If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N

* IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815

Phone: 508-432-6360

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: see attached

Date: 1/9/2023

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than
1 & 2 Family Home*

Change of
Use

DEMO - Subject to Chapter VI:
Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116).
ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____


Detailed Description of Proposed Work:

PERMIT # 22-344

PLEASE CONSIDER THIS A REQUEST TO TRANSFER
PERMITS FROM OWNER TO LABARGE ENGINEERING + CONTRACTING, INC.
(SEE ATTACHED LETTER)

REQUEST TO AMMEND SAID PERMIT TO INCLUDE NEW FOUNDATION

Building Permit Application – Guest Cottage/Studio:

<p>Building Permit Application Massachusetts State Building Code, 780 CMR, 9th Edition</p>		 <p>TOWN OF TRURO Building Department</p> <p>24 Town Hall Rd. PO Box 2030 Truro, MA 02666 Tel (508) 349-7004 x131 Fax (508) 349-5508</p>	
<p>Permit #: 23-045 Fee: \$50.00</p>		<p style="color: blue; font-size: 1.2em; font-weight: bold;">Change of Contractor</p>	
<p>SITE INFORMATION</p>			
<p>Project Site: 69 Old County Road, Truro MA 02666</p>			
<p>Assessors Map & Parcel: 54-43</p>		<p>Zoning District: R</p>	
<p><input checked="" type="checkbox"/> Outside Flood Zone</p>		<p><input type="checkbox"/> Inside Flood Zone – Specify:</p>	
<p>Setbacks: Front: 25'</p>	<p>Left Side: 26'10"</p>	<p>Right Side: 112'4"</p>	<p>Rear: 25'</p>
<p>Lot Area (sq. ft.) 36,107</p>		<p>Frontage: 137.58 sf</p>	
<p>Water Supply: <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public</p>		<p>Subject to Policy 28: Curb Cut? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If Yes, please attach a copy of the approval to this application.</p>	
<p>SUBJECT TO NHESP/MESA REVIEW? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.</p>			
<p>PROPERTY OWNERSHIP</p>			
<p>Owner of Record: Paul Berman & Laura Dickinson</p>			
<p>Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815</p>			
<p>Phone: 508-432-6360</p>		<p>E-mail: paulberman@gwu.edu</p>	
<p>Property Owner Authorization</p>			
<p>Signature: see attached</p>		<p>Date: 1/9/2023</p>	
<p>PROJECT INFORMATION</p>			
<p><input checked="" type="checkbox"/> 1 & 2 Family Home</p>		<p><input type="checkbox"/> Commercial / Other than 1 & 2 Family Home*</p>	
<p><input type="checkbox"/> Change of Use</p>		<p><input checked="" type="checkbox"/> DEMO - Subject to Chapter VI: Historic Properties Bylaw? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p>	
<p>* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.</p>			
<p><input type="checkbox"/> New Dwelling: # of units _____</p>		<p><input type="checkbox"/> Commercial Building</p>	
<p><input type="checkbox"/> Addition</p>		<p><input checked="" type="checkbox"/> Alteration</p>	
<p><input type="checkbox"/> Accessory Structure: (type) _____</p>		<p>Other: _____</p>	
<p>Detailed Description of Proposed Work: Guest Cottage</p>			
<p>Roofing, siding, windows, doors and skylights. Remodel kitchen and bathroom. Replace insulation. replaces BP# 22-345</p>			



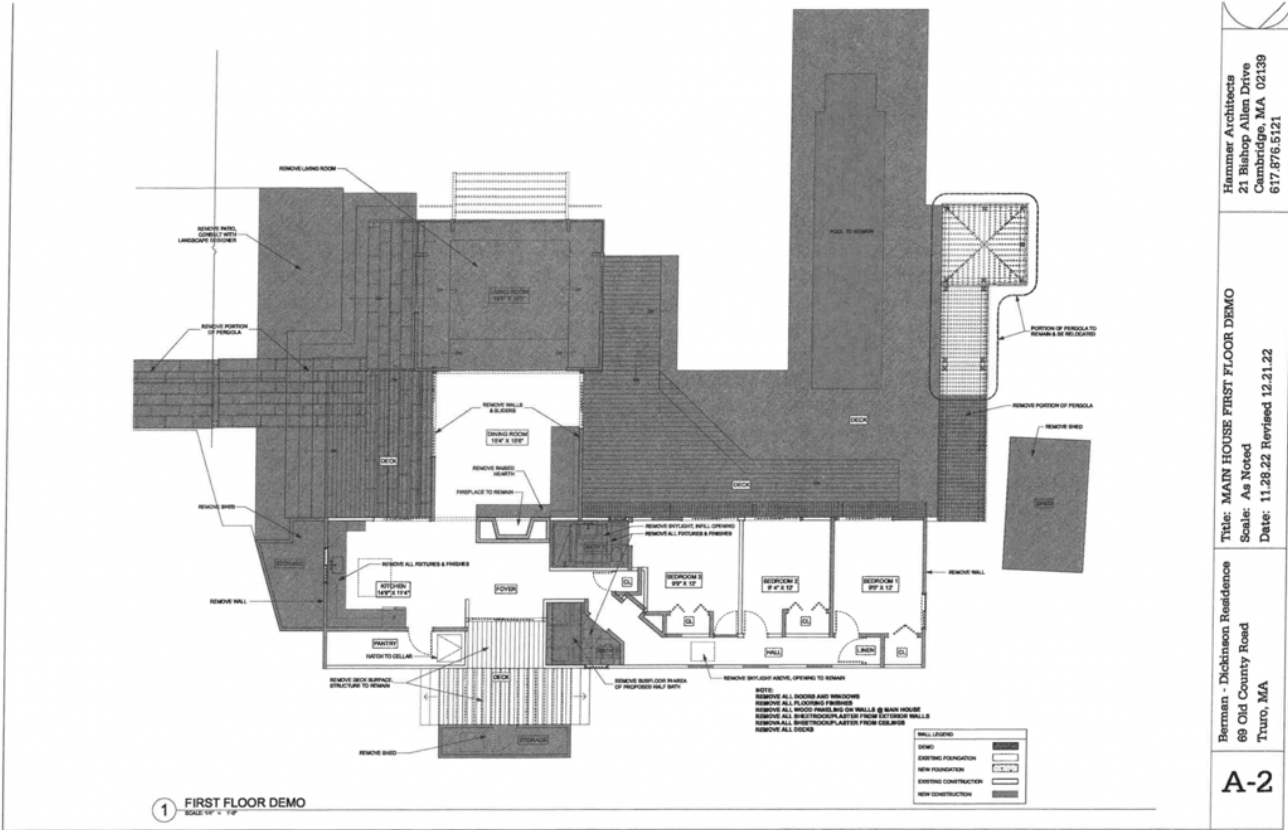
Estimated Construction Cost: \$859,597.40		Debris Disposal: (Landfill or Company Name) MA Frazier	
Floor Area: (Proposed Work Only)		Basement: <input type="checkbox"/> unfinished <u>Crawlspace</u> <input type="checkbox"/> finished _____	
1 st flr: 1012 sqft	2 nd flr: 408 sqft	Porch/Deck: 276 Other: _____	
#fireplaces: 0	#chimneys: 0	#bathrooms: existing 1.5 proposed 2.5	
#bedrooms: existing 1 proposed 2			
Type of Heating System: HEAT PUMP		Type of Cooling System: HEAT PUMP	
CONTRACTOR INFORMATION*			
*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)			
Contractor Name: LaBarge Engineering & Contracting, Inc			
Address: 237 Route 28, West Harwich, MA 02671			
Phone: 508-432-6360		Email: office@labargehomes.com	
CSL#: 068313 exp. 2/7/24		HIC # 149496 exp 4/21/23	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review <u>no change in floor plans from first review.</u>			
<u>1 BR studio.</u>			
Signature: <u>AD</u>		Date: <u>1/19/2023</u>	
Other Comments: _____			

BUILDING COMMISSIONER Review & Approval: <u>*QUESTION "KITCHEN" IN STUDIO! NO STOVE THEN OK.</u>			

Signature: <u>[Signature]</u>		Issuance Date: <u>1-24-23</u>	

BUILDING DEPARTMENT
TOWN OF TEUROC
JAN 18 2023
RECEIVED BY _____

Demolition Plans:

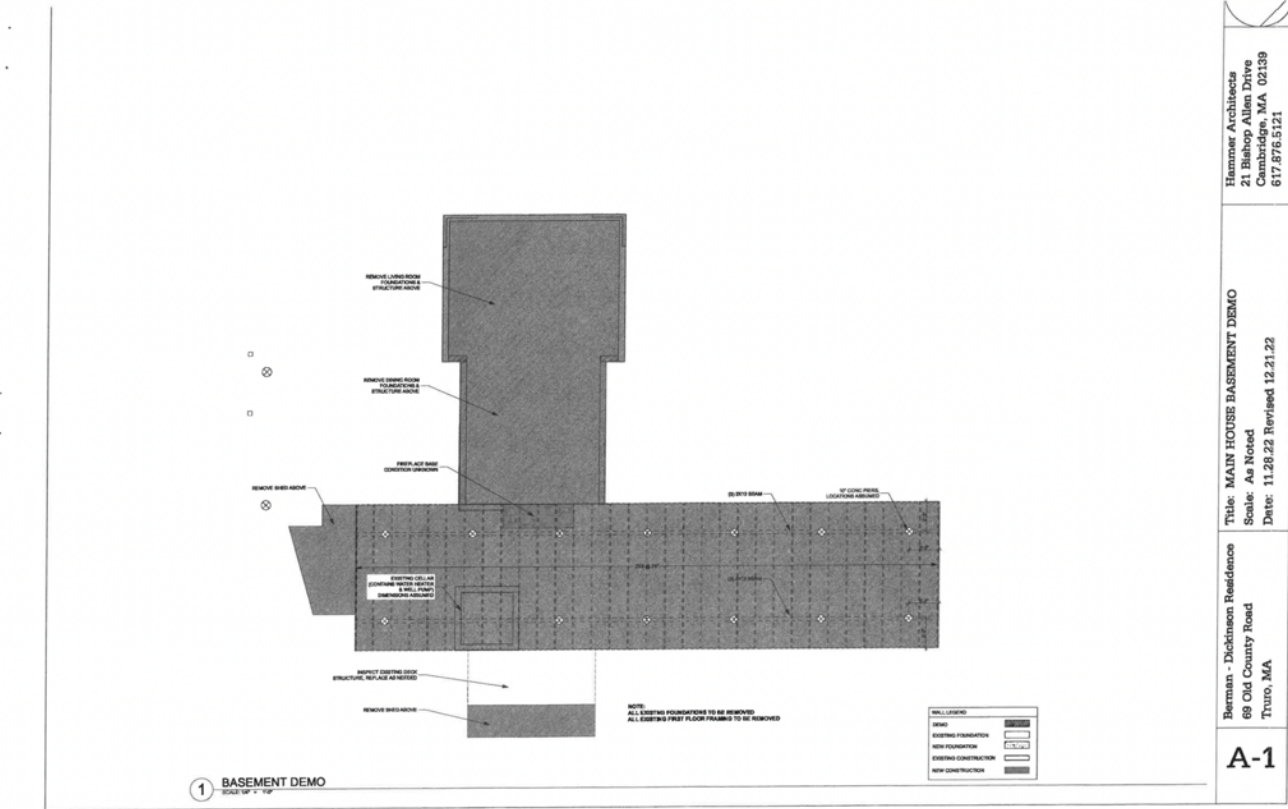


Hammer Architects
 21 Bishop Allen Drive
 Cambridge, MA 02139
 617.876.5121

Title: MAIN HOUSE FIRST FLOOR DEMO
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
 69 Old County Road
 Truro, MA

A-2

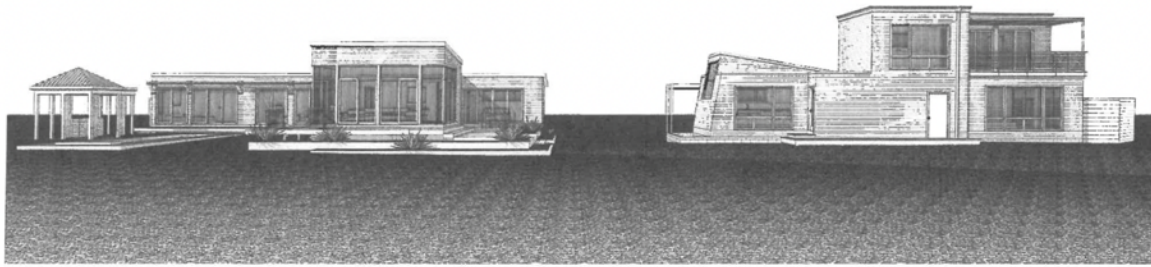


Hammer Architects
 21 Bishop Allen Drive
 Cambridge, MA 02139
 617.876.5121

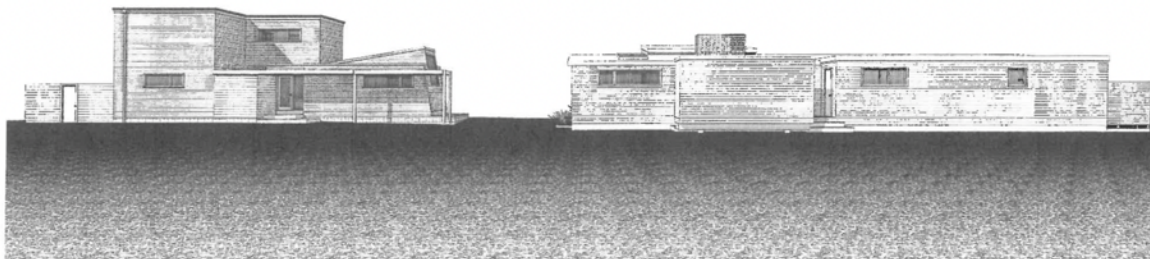
Title: MAIN HOUSE BASEMENT DEMO
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
 69 Old County Road
 Truro, MA

A-1



1 SITE VIEW LOOKING EAST
SCALE: 1/8" = 1'-0"



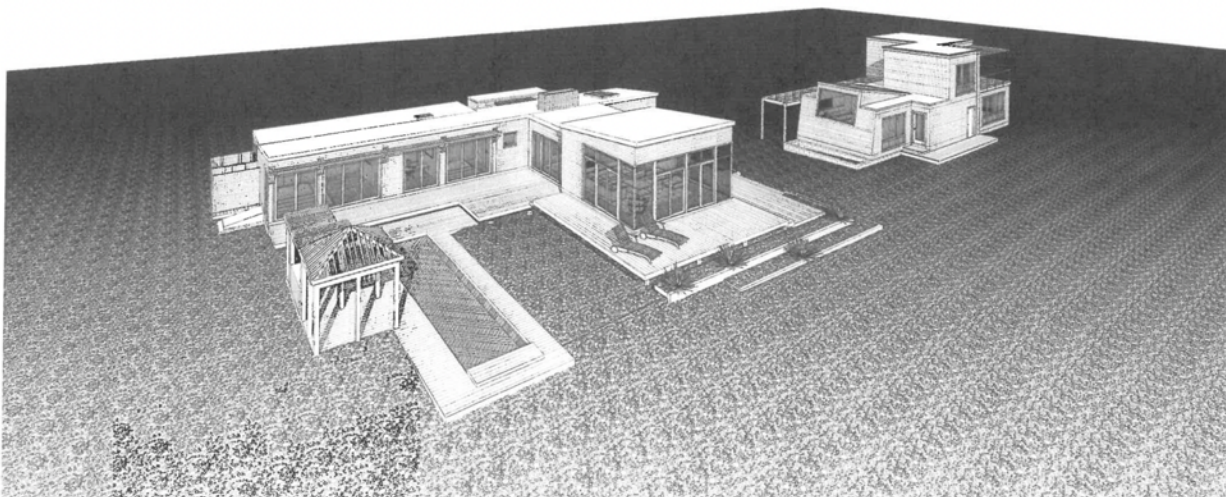
2 SITE VIEW LOOKING WEST
SCALE: 1/8" = 1'-0"

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
69 Old County Road
Truro, MA

3D-2



1 BIRDSEYE VIEW MAIN HOUSE
SCALE: 1/8" = 1'-0"

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
69 Old County Road
Truro, MA

3D-3

Photos of Pre-Demolition Main House and Studio:



(Source: Truro Assessor)



(Source: Truro Assessor)



(Source: Peter McMahon CCMHT)



(Source: Peter McMahon CCMHT)

Before and After Demolition Photos:



Before (Source: Truro Assessor)



After (Source: Peter McMahon CCMHT)



Before (Source: Peter McMahon CCMHT)



After (Source: Peter McMahon CCMHT)



Before (Source: Truro Assessor)



After (Source: Peter McMahon CCMHT)

Emails:

From: Rich Stevens <rstevens@truro-ma.gov>
Sent: Tuesday, March 21, 2023 10:57 AM
To: office@labargehomes.com; Mark Hammer <mhammer@hammerarchitects.com>
Cc: Lynne Budnick <LBudnick@truro-ma.gov>; Nina Richey <nrichey@truro-ma.gov>; Kiefer, Matthew J. <MKiefer@GOULSTONSTORRS.com>
Subject: 69 Old County Road

Good Morning,

It has been brought to my attention that the work being done on this permit should have gone before the Historic Commission for review.

After reviewing your permit application I do not note any mention of " Demolition " on the application but I do note that the section asking if this project required historic review was checked " NO " .

The plans do show removal of some sections of roof and walls and I am at fault in that regard for not asking more questions.

This house was a design by the architect Charles Zehender and is therefore architecturally significant and required review.

I am a bit surprised that Mr. Hammer would not have been aware of that item.


I am requesting you " STOP WORK " until we can sort this out.

I will be posting the house today.

Regards,

Richard Stevens
Building Commissioner

This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act

From: Lynne Budnick LBudnick@truro-ma.gov 
Subject: 69 Old County Rd - Main & Guest Houses - Required Historical Review
Date: March 21, 2023 at 11:35 AM
To: Matthew Kiefer mkiefer@goulstonstorrs.com, Chuck Steinman c.e.steinman@comcast.net
Cc: Rich Stevens rstevens@truro-ma.gov, Barbara Carboni bcarboni@truro-ma.gov, Elizabeth Sturdy ESturdy@truro-ma.gov, office@labargehomes.com



Good afternoon,

Attached you will find the applications and plans for address: **69 Old County Rd.**
The Building Commissioner has placed a “Stop Work” order at the property.

Thank you.

Best regards,

Lynne G. Budnick

Lynne G Budnick

Principal Office Assistant/Building/Conservation/Health
Town of Truro
P.O. Box 2030
24 Town Hall Road
Truro, MA 02666
Phone: (508) 349-7004, ext. 131
Direct Line: (508) 214-0920
Fax: (508) 349-5508



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Information Act 69 Old County
Rd - Hi...iew.pdf

(Note: The Referenced Building Department Applications and Plans follow MHC Form B Below.)

From: Mark Hammer <mhammer@hammerarchitects.com>
Sent: Wednesday, March 22, 2023 1:31 PM
To: Rich Stevens <rstevens@truro-ma.gov>
Cc: office@labargehomes.com; Lynne Budnick <LBudnick@truro-ma.gov>; Nina Richey <nrichey@truro-ma.gov>; Kiefer, Matthew J. <MKiefer@GOULSTONSTORRS.com>; Don DiRocco <ddirocco@hammerarchitects.com>; Todd LaBarge <todd@labargehomes.com>
Subject: Re: 69 Old County Road

Rich,

I apologize for the delayed response, I am away on vacation this week.

We and our clients certainly understand the architectural and historic significance of the house, however the intent of our plans is to preserve the house, stabilize the structure and enlarge it with small additions at each end. We clearly had no intent to request permission for demolition. There is one small section that is being partially demolished, where a living room was completed as a later addition. A second section housing the dining room is being removed and replaced because of structural concerns. Aside from that, the original house is to remain and be upgraded.

It was our understanding that the work in our permit drawings would not involve an application for demolition or a review by the historical commission. It does not seem to meet the standards for review in the bylaws. If this had been seen as a condition for issuance of a building permit we would have been happy to comply with any necessary review process. We would welcome the opportunity to review our plans with members of the commission now if that will help resolve any concerns. Please let us know how we can be of assistance

Sent from my iPad

Mark D. Hammer
Hammer Architects LLC
617-876-5121
www.hammerarchitects.com

From: Rich Stevens <rstevens@truro-ma.gov>
Sent: Wednesday, March 29, 2023 8:17 AM
To: Kiefer, Matthew J. <MKiefer@GOULSTONSTORRS.com>
Cc: Lynne Budnick <LBudnick@truro-ma.gov>; Nina Richey <nrichey@truro-ma.gov>; Barbara Carboni <bcarboni@truro-ma.gov>
Subject: RE: 69 Old County Road

Good Morning Matt,
This E-Mail is confirmation that, " YES " ,
69 Old County Road is subject to Historic Review.
Lynne has contacted the parties involved and they are aware of the requirement.
I hope all else is well.
Regards,

Rich

From: Kiefer, Matthew J. MKiefer@GOULSTONSTORRS.com
Subject: 69 Old County Road
Date: March 29, 2023 at 4:51 AM
To: Rich Stevens rstevens@truro-ma.gov, Lynne Budnick LBudnick@truro-ma.gov
Cc: Chuck Steinman (steinmanchuck1@gmail.com) steinmanchuck1@gmail.com, Barbara Carboni bcarboni@truro-ma.gov



Rich

I'm writing in response to your March 21, 2023 email to the applicants concerning demolition and other work on structures located at 69 Old County Road, which you copied me on. We assume you intend this email to constitute a referral to the Historical Commission under Section 6-5-1 of the Preserving Historic Properties Bylaw. Please be advised that, pursuant to Section 6-5-2 of the Bylaw, the Chair and Vice Chair of the Historical Commission have determined that the structure(s) on that property are "historically or architecturally significant in terms of period, style, method of building construction, or association with a famous architect." The house and studio buildings were designed by noted Outer Cape designer Charlie Zehnder and are good examples of mid-20th century modern design. The project is therefore subject to Historical Commission review at a public hearing under the Preserving Historic Properties Bylaw.

Acting on behalf of the Historical Commission, Town staff has been unable to confirm the applicant's availability for a hearing on April 20, 2023. The applicant's counsel evidently suggested to Town staff that there is some question as to the status of the application for demolition, and/or the referral of the project to the Historical Commission.

Accordingly, would you kindly confirm that the below March 21, 2023 email constitutes the Building Department's referral of the project to the Historical Commission pursuant to the Bylaw and that you will authorize no further demolition work pending the outcome of the Historical Commission's hearing process?

Thank you

Matthew Kiefer, Chair
Truro Historical Commission



Lynne Budnick <LBudnick@truro-ma.gov>

FW: 69 Old County Rd

To: Matt Kiefer <mkiefer@goulstonstorrs.com>, Chuck Steinman <c.e.steinman@comcast.net> Cc: & 2 more

Inbox - Comcast March 31, 2023

Good morning, Matt and Charles

I am forwarding you the email from Ben Zehnder regarding the April 20, 2023, Historic Commission Meeting.

Best regards,

Lynne G. Budnick

Lynne G Budnick

Principal Office Assistant/Building/Conservation/Health

Town of Truro

P.O. Box 2030

24 Town Hall Road

Truro, MA 02666

Phone: (508) 349-7004, ext. 131

Direct Line: (508) 214-0920

Fax: (508) 349-5508



From: Benjamin Zehnder <bzehnder@zehnderllc.com>

Sent: Friday, March 31, 2023 10:29 AM

To: Lynne Budnick <LBudnick@truro-ma.gov>

Cc: office@labargehomes.com; Rich Stevens <rstevens@truro-ma.gov>; Noelle Scoullar <nscoullar@truro-ma.gov>; Nicole Tudor <ntudor@truro-ma.gov>; Barbara Carboni <bcarboni@truro-ma.gov>; Elizabeth Sturdy <ESturdy@truro-ma.gov>; Charlie Zehnder <czehnder@zehnderllc.com>

Subject: RE: 69 Old County Rd

Hello Lynne:

Thank you for the below email. I will handle obtaining an abutters list and notifying parties by certified mail. Please schedule the meeting for April 20.

I am in the process of putting together a detailed description of the project for review by the Commission. I am hopeful that this will be completed in time for the April 20 meeting, and I will keep you and the Commission posted.

Please note that my clients will attend and participate in the process while reserving their rights to assert that this project does not constitute demolition as defined in the Historic Review bylaw. I will present the completed project description to Rich Stevens and ask that he make a formal determination whether the project constitutes demolition subject to Commission review.

Thank you for your attention.

My regards,

Ben

Please note new email and contact information below and update your address book:

Benjamin E. Zehnder

Benjamin E. Zehnder, LLC

62 Route 6A, Unit B

Orleans, MA 02653

508.255.7766 – Office

508.246.4064 – Mobile

bzehnder@zehnderllc.com

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1964 Building Permit Application by Charlie Zehnder for the Sherman Sass Residence
(Drawings and plans of main house missing from Building Department):

54-43 Health Permit # 9

TOWN OF TRURO

BUILDING PERMIT

Case No. N^o 550

Planning Board Board of Health Fire Department

Owner's Name SHERMAN SASS Date APRIL 16 1964

Location of Property OLD COUNTY ROAD Adjacent to S. TRURO CHURCH SITE

Non-resident Address 85 MARLBOROUGH ST. BOSTON, MASS

Builder's Name and Address CONSTRUCTION-DESIGN ASSOCIATES
CHARLES ZEHNDER WELFLEET

Type of Building New Alteration Residence Business

Distance of Building from Street 60' (MIN) (25' min), from nearest lotline 25' (25' min)

Estimated Cost \$ 12,000.

Remarks BUILDING WILL COMPLY WITH ALL TRURO BY LAWS

Type of Cesspool 6x6 CONC. BLOCK w/ HOLES PER MFG. K. ROSE, WELFLEET.

Distance from Cesspool to

nearest lotline	<u>10'</u>	(10' min)
water supply	<u>51' (MIN)</u>	(50' min)
nearest bldg	<u>20'</u>	(20' min)
nearest street	<u>170'</u>	(20' min)

Remarks

Type of Chimney ANTIQUE BRICK w/ FLUES Type of Fire Stops WOOD, CONC. BLOCK, BRICK.

Draw a diagram below showing Lot Size, Streets, Building on lot, Water Supply, Cesspool.

This Permit is issued by the Town of Truro in accordance with the Truro By-Laws. However if the lot is within the boundaries of the Cape Cod National Seashore Park, the applicant is advised to clear this permit with the National Park Service in Eastham before starting construction.

Lot # 3
A = .83 AC.
OLD COUNTY RD 137'

NOTE: NO POINT OF BUILDING LESS THAN 25' FROM LOT LINES.

CESSPOOL TO BE AT LEAST 50' FROM WELL, 20 FEET FROM HOUSES, 10 FEET FROM LOT LINE

SUB DIVISION WELFLEET REAL ESTATE, C. FRAZIER, R. LESSER. LAND COURTED.

I certify that the above statements are correct and that all work done will comply with the above information and with all By-Laws, Board of Health Regulations, and Fire Engineers Regulations of the Town of Truro.

Charlie Zehnder Signature of Applicant or Agent

Lloyd H. Rose Clerk of Planning Board

A. S. Bitencourt Planning Board Inspector Date Aug. 11, 1964

54-43

Email from Barbara Sass, former owner, verifies that the additions were designed by Charlie Zehnder (Drawings and plans for the 1975 Living Room and Deck additions are missing from the Building Department):

From: Barbara Sass [REDACTED]
Date: March 31, 2023 at 7:32:36 AM PDT
To: Chuck Steinman <steinmanchuck1@gmail.com>
Subject: Re: Public Hearing for 69 Old County Road Partial Demolition and Reconstruction

Dear Chuck, With regard to your emails re:69 Old County Rd. and original plans for its remodeling in 1975: I am searching for these plans now. The house was sold in 2021 and all records about the house and its remodeling history were sent to a nearby storage facility. I am now attempting to locate them.

I will tell you that the '75 project was entirely designed and directed by Charles Zehnder and involved altering and adding decks and new living room to existing building; plus creating an entirely new studio building and environs. It did not entail any demolition of existing house. The later (date?) altering of original house decks and adding of swimming pool was begun by Charlie but interrupted by his death in '86(?) and finally designed and built by another Boston architect. I will search for these plans and related records.

I hope I have been helpful. Barbara Sass
 3/31/23

Assessor's Data Cards

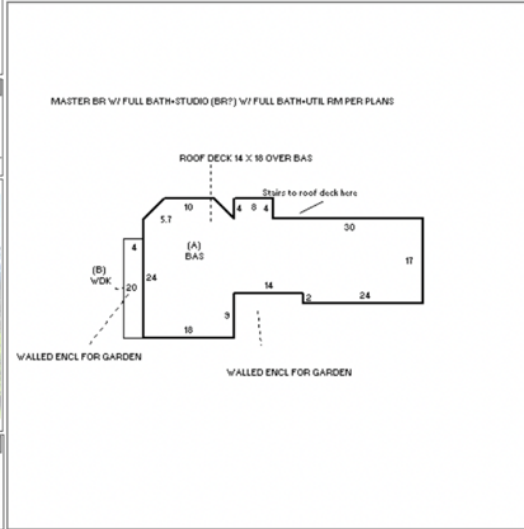
Key: 3277		Town of TRURO - Fiscal Year 2023										9/1/2022		6:23 pm		SEQ #: 3.384		
L E G A L	CURRENT OWNER		PARCEL ID				LOCATION				CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD
	BERMAN PAUL & DICKINSON LAURA 24 HESKETH ST CHEVY CHASE, MD 20815		54-43-0				69 OLD COUNTY RD				1090	100	MULTIPLE HSES			1	1	of 2
	TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%			
		BERMAN PAUL & DICKINSON L	12/02/2021	QS	2,005,000	(228444)	03-001	01/06/2003	3	REPAIR/REMOD								
		69 OLD COUNTY RD 2019 RL	09/27/2019	F		(172796)	96-183	11/01/1996	6	SHED	2,000	04/28/2004	JN	100	100			
		SASS BETH H & SALLY C	04/27/2004	99		(172796)	90-088	07/16/1990	10	ALL OTHERS	20,000	05/17/1991	BT	100	100			
L A N D	CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf13	Lpl	VC	CREDIT AMT	ADJ VALUE					
	100	A	0.775 15 1.00	1	1.00	1	1.00	939.300	1.00	1	1.00	V13	3.00	727.960				
	300	A	0.055 15 1.00	1	1.00	1	1.00	71.700	1.00	1	1.00	V13	3.00	3.940				
TOTAL		36.155 SF		ZONING	RES	FRNT	138	ASSESSED	CURRENT	PREVIOUS								
				Nbhd	SOUTH TRURO	N FY11=VW INCR PER FIELD REV-DISTANT		LAND	731.900	630.900								
				Inf1	NO ADJ	O PANORAMIC SLIGHTLY OBSTRUCTED. FY11 - RMVD		BUILDING	500.600	286.300								
				Inf2	NO ADJ	T LAND CODE 200		DETACHED	9.300	8.900								
						E		OTHER	349.600	240.400								
								TOTAL	1,591.400	1,166.500								
D E T A I L C H E D	TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO 05/09/2019									
	SPV	G	1.18 A	0.75 8*32	1991	256	32.36	6,200										
	GZB	A	1.00 A	0.75 8*8	1991	64	21.11	1,000										
B U I L D I N G	SHF	A	1.00 A	0.75 8*14	2003	112	15.18	1,300										
	PTD	G	1.18 A	0.75 12*12		144	2.60	300										
	PTD	A	1.00 A	0.75 14*20*6*8		328	2.20	500										
BUILDING		CD	ADJ	DESC	MEASURE	5/9/2019	LG	BLDG COMMENTS										
MODEL		1		RESIDENTIAL	LIST	7/9/2010	EST											
STYLE		8	1.10	CONTEMPORARY [100%]	REVIEW	12/10/2010	MR											
QUALITY		G	1.30	GOOD [100%]														
FRAME		1	1.00	WOOD FRAME [100%]														
N E T A R E A	YEAR BLT	1965	SIZE ADJ	1.020	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	715.087
	NET AREA	1,560	DETAIL ADJ	1,000	FOUNDATION			1.00	A	BAS	L	BAS AREA	1,560	1965	368.15	574,315	CONDITION ELEM	CD
	\$NLA(RCN)	\$458	OVERALL	1,100	EXT. COVER	2	CLAPBOARD	1.00	B	UST	N	UTILITY STORAGE	80		134.05	10,724		
CAPACITY		UNITS	ADJ	ROOF SHAPE	4	FLAT/SHED	1.00	C	OPA	N	OPEN PORCH	40		139.81	5,592			
STORIES(FAR)		1	1.00	ROOF COVER	7	ROLL	1.00	+	WDK	N	ATT WOOD DECK	1,882		55.68	104,793			
ROOMS		0	1.00	FLOOR COVER	3	W/W CARPET	1.00	E	ASH	N	ATT SHED	40		51.78	2,071			
BEDROOMS		3	1.00	INT. FINISH	4	WALL BOARD	1.00	F11	O	FPL 1S 1OP		1		13,391.40	13,391			
BATHROOMS		2	1.00	HEATING/COOLING	1	FORCED AIR	1.00											
FIXTURES		6	\$4,200	FUEL SOURCE	1	OIL	1.00											
UNITS		0	1.00															
EFF. YR/AGE		1990 / 31																
COND		30 30 %																
FUNC		0																
ECON		0																
DEPR		30 % GD																
RCNLD		\$500,600																

Key: 3277

Town of TRURO - Fiscal Year 2023

9/1/2022 6:23 pm SEQ #: 3.385

CURRENT OWNER		PARCEL ID	LOCATION				CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD				
BERMAN PAUL & DICKINSON LAURA 24 HESKETH ST CHEVY CHASE, MD 20815		54-43-0	69 OLD COUNTY RD				1090	100	MULTIPLE HSES			2	2	2 of 2				
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %					
CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE						
TOTAL		ZONING	FRNT	ASSESSED		CURRENT	PREVIOUS											
Nbhd	Inf1	Inf2	N O T E		LAND BUILDING DETACHED OTHER	349,600												
TOTAL																		
TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO 05/09/2019										
BUILDING		CD	ADJ	DESC		MEASURE	5/9/2019	LG	BLDG COMMENTS									
MODEL	1	RESIDENTIAL		LARGE ART STUDIO W/UTIL SINK PLUS BEDROOM, FULL BATH & ROOF DECK. CHECK FOR KITCH (NONE PER PLANS)+UTIL RM (UNFIN?) IN NEXT CYCLICAL.		LIST	7/9/2010	EST										
STYLE	8	1.10	CONTEMPORARY (100%)			REVIEW	12/10/2010	MR										
QUALITY	G	1.30	GOOD (100%)															
FRAME	1	1.00	WOOD FRAME (100%)															
YEAR BLT	1975	SIZE ADJ	1.040	ELEMENT		CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	472,408
NET AREA	1,138	DETAIL ADJ	1,000	FOUNDATION			1	1.00	A	BAS	L	BAS AREA	1,138	1975	389.84	443,636	CONDITION ELEM CD	
SNLA(RCN)	\$415	OVERALL	1,120	EXT. COVER			1	1.00	B	WDK	N	ATT WOOD DECK	80		88.64	7,091		
CAPACITY				UNITS	ADJ	ROOF SHAPE		1.00		WDK	N	ATT WOOD DECK	252		69.37	17,480		
STORIES(FAR)				1	1.00	ROOF COVER		1.00										
ROOMS				2	1.00	FLOOR COVER		1.00										
BEDROOMS				2	1.00	INT. FINISH		1.00										
BATHROOMS				2	1.00	HEATING/COOLING		1.02										
FIXTURES				6	\$4,200	FUEL SOURCE		1.00										
UNITS				0	1.00													
EFF. YR/AGE 1995 / 26																		
COND 26 26 %																		
FUNC 0																		
ECON 0																		
DEPR 26 % GD 74																		
RCNLD \$349,600																		



Additional Attachments:

1. Truro MHC Form B Historic Survey Document for *OldCountyRd_69, TRU.1101.pdf*
2. Application and Plans Sent by Building Department for *69 Old County Rd – Historic Review*

MAIN HOUSE



Town of Truro Building Permit

24 Town Hall Rd, Truro MA 02666

P: 508-349-7004 x131 F: 508-349-5508

Building Permit #: 23-046	Map: 54	Parcel: 43
Street Location: 69 OLD COUNTY ROAD		
Owner: BERMAN/DICKINSON		
Type of Work: COMPLETE 100% REMODEL	HIC: 149496	
Builder: LABARGE	CSL: 068313	
Date of Issue: 1-24-23		

This card shall be posted in a conspicuous place and shall not be covered or removed until all work associated with this permit, is completed. Work shall be in compliance with 780 CMR and all applicable laws and by-laws of the Town of Truro. Approved plans shall be available on the job site. Where a Certificate of Occupancy is required, the building shall not be occupied until after the final inspection and after the Certificate of Occupancy has been issued.

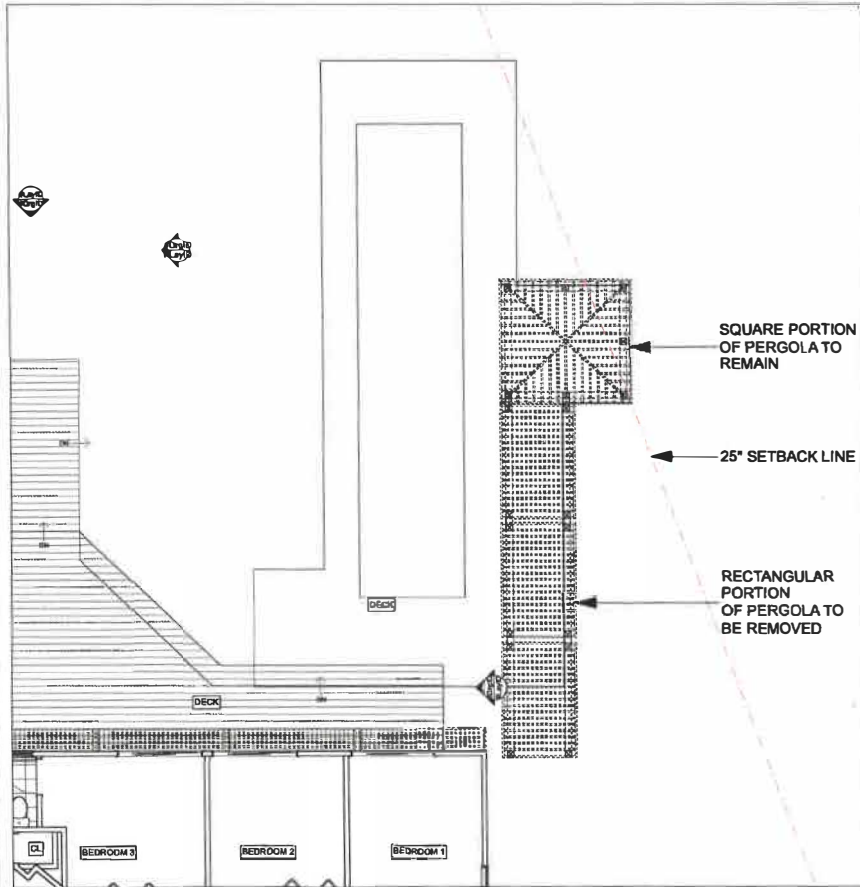
BUILDING OFFICIAL: 

REQUIRED INSPECTIONS

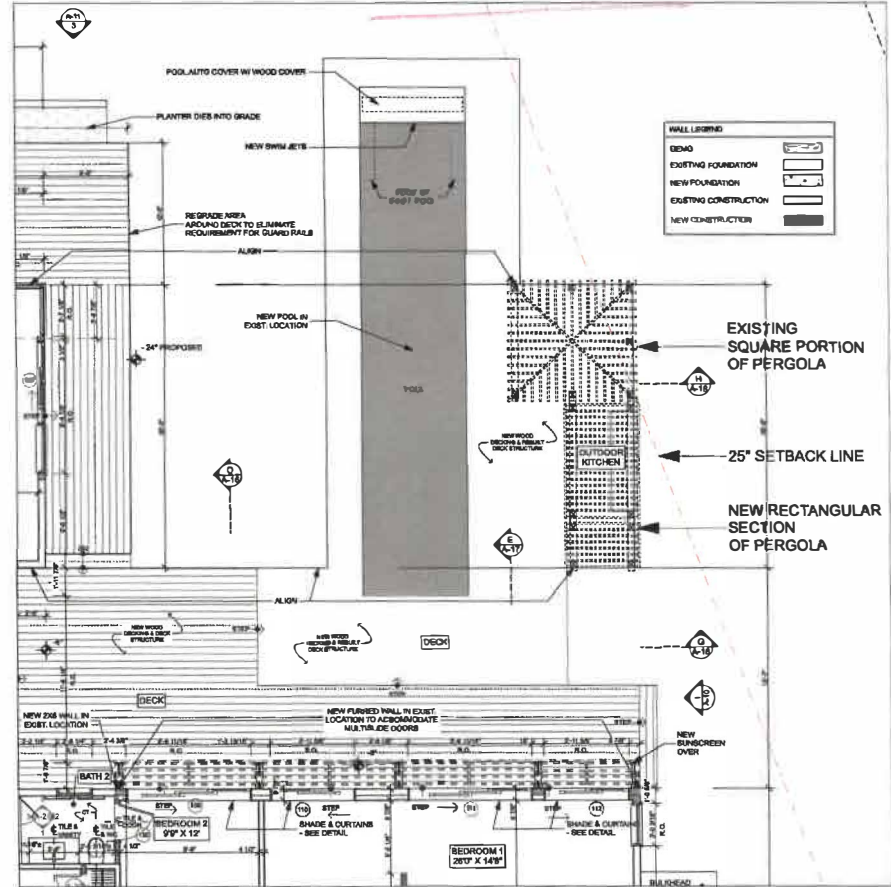
Footing - Rebar		Electrical Service		Final Gas	
Inspector	Date	Inspector	Date	Inspector	Date
_____		_____		_____	
Foundation - Rebar		Rough Wiring		Smoke/Fire Alarm	
_____		_____		_____	
Inspector	Date	Inspector	Date	Inspector	Date
Final Foundation		Final Wiring		Oil Furnace	
_____		_____		_____	
Inspector	Date	Inspector	Date	Inspector	Date
Cert. Foundation Plan		Low Voltage Rough		Sprinkler System	
_____		_____		_____	
Inspector	Date	Inspector	Date	Pressure	Date
Wind Connections		Low Voltage Final		Alarm	Date
_____		_____		_____	
Inspector	Date	Inspector	Date	Energy	
Frame		Underground Plumbing		_____	
_____		_____		Duct Test	
Inspector	Date	Inspector	Date		Date
Insulation		Rough Plumbing		Blower Door	
_____		_____		_____	
Inspector	Date	Inspector	Date	Final Building	
Air Barrier		Final Plumbing		Inspector	Date
_____		_____		_____	
Inspector	Date	Inspector	Date	Cert. Of Occupancy	
Chimney/Woodstove		Rough Gas		Inspector	Date
_____		_____		_____	
Inspector	Date	Inspector	Date	Special Conditions:	
_____		_____		REPLACES BP#22-344	
_____		_____		CHANGE OF CONTRACTOR	

FEB 01 2023

RECEIVED BY:



1 PERGOLA EXISTING



PERGOLA PROPOSED

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: PERGOLA PLANS
Scale: As Noted
Date: 11.28.22 Revised 01.25.23

Berman - Dickinson Residence
69 Old Country Road
Thuro, MA

Rich Stevens

From: Mark Hammer <mhammer@hammerarchitects.com>
Sent: Tuesday, January 24, 2023 11:36 AM
To: Rich Stevens
Cc: Lynne Budnick; Nina Richey
Subject: Re: 69 Old County

Rich,

The existing pool deck is an on-grade wood boardwalk structure (see attached photos).

Most of the deck will need to be rebuilt in its current condition when the pool is replaced.

Let me know if you have any further questions.

Thank you

LABARGE

HOMES

January 4, 2023

Mr. Richard Stevens
Building Commissioner
24 Town Hall Rd.
Truro, MA 02666

BUILDING DEPARTMENT
TOWN OF TRURO

JAN 12 2023

RECEIVED BY:

Re: BP#22-344 & BP#22-345

Dear Mr. Stevens,

Please see the attached request to transfer the above referenced Building Permits for the property located at 69 Old County Road, from Paul Berman (owner) to LaBarge Engineering & Contracting, Inc.

Thank you for your attention to this matter.

Sincerely,



Todd A. LaBarge

12/31/22

TO: THE TOWN OF TRURO
BUILDINGS DEPT.

BUILDING DEPARTMENT
TOWN OF TRURO

FROM: PAUL BERMAN

JAN 12 2023

RECEIVED BY

RE: BUILDING PERMIT FOR
69 OLD COUNTY ROAD

BY THIS LETTER I HEREBY
AUTHORIZE YOU TO TRANSFER
THE BUILDING PERMIT FOR THE
ABOVE-NAMED PROPERTY TO
LABERGE ENGINEERING & CONTRACT



PAUL BERMAN

LEC

The Commonwealth of Massachusetts
Office of Consumer Affairs & Business Regulation
HOME IMPROVEMENT CONTRACTOR

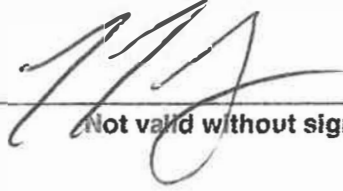
TYPE: Corporation
Registration Expiration
149496 04/21/2023

LABARGE ENGINEERING & CONTRACTING INC

Registration valid for individual use only
before the expiration date. If found return to:
Office of Consumer Affairs and Business Regulation
1000 Washington Street - Suite 710
Boston, MA 02118

TODD A. LABARGE
237 MAIN ST - RT 28
W HARWICH, MA 02671

Edmund C. Gallozzi
Undersecretary


Not valid without signature

BUILDING DEPARTMENT
TOWN OF TUBURON
JAN 12 2023
RECEIVED BY



Commonwealth of Massachusetts
Division of Occupational Licensure
Board of Building Regulations and Standards
Construction Supervisor

CS-068313

Expires: 02/07/2024

TODD A LABARGE
237 MAIN ST RT 28
WEST HARWICH MA 02671



Commissioner *Gayla R. D'Amico*

BUILDING DEPARTMENT
TOWN OF TUBURON
JAN 12 2023
RECEIVED BY



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

BUILDING DEPARTMENT
 TOWN OF TRURO

JAN 12 2023

RECEIVED BY:

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers.
 TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business/Organization/Individual): LaBarge Engineering & Contracting, Inc.

Address: 237 Route 28, West Harwich, MA 02671

City/State/Zip: W. Harwich, MA 02671 Phone #: 508-432-6360

Are you an employer? Check the appropriate box:

1. I am an employer with _____ employees (full and/or part-time).*
2. I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]
3. I am a homeowner doing all work myself. [No workers' comp. insurance required.]†
4. I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.
5. I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance.‡
6. We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]

Type of project (required):

7. New construction
8. Remodeling
9. Demolition
10. Building addition
11. Electrical repairs or additions
12. Plumbing repairs or additions
13. Roof repairs
14. Other foundati @

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attached an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: Associated Employers Insurance Co.

Policy # or Self-ins. Lic. #: Wcc-500-5024919-2022A Expiration Date: 4/15/23

Job Site Address: 69 Old County Road City/State/Zip: Truro, MA 02666

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: _____ Date: 1/9/2023

Phone #: 508-432-6360 1/9/2023

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):

1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
 6. Other _____

Contact Person: _____ Phone #: _____



I am reviewing 69 Old County , again, and had a question about the side yard setbacks at the pool deck. I know we had a discussion about setbacks back in August but don't recall addressing the rebuilt deck.

Is this going to be an actual " above grade deck " or an on grade patio situation?

Thanks for your help.

Regards,

Richard Stevens

Building Commissioner

This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Rich Stevens

From: Mark Hammer <mhammer@hammerarchitects.com>
Sent: Tuesday, January 24, 2023 11:36 AM
To: Rich Stevens
Cc: Lynne Budnick; Nina Richey; Arozana Davis; office@labargehomes.com
Subject: Re: 69 Old County

Rich

There is presently a cooktop in the guest studio, that is indicated to be removed on drawing A-4. If you refer to drawing A-8, you can see there is no cooking appliance in the proposed renovation.

Let me know if you have any further questions.

Thank you

Mark D. Hammer AIA
Hammer Architects LLC

19 Bishop Allen Drive
Cambridge, MA 02139
tel. 617-876-5121

PO Box 1026
Truro, MA 02666
tel. 508-349-7525

www.hammerarchitects.com

On Jan 24, 2023, at 9:29 AM, Rich Stevens <rstevens@truro-ma.gov> wrote:

Good morning again,

Another issue I just noticed is that there is a full kitchen with stove in the Guest Cottage.

This constitutes two dwellings on one lot which is " NOT " allowed under zoning. The assessors card also notes from a 2019 inspection that they could not determine the presence of a kitchen or not.

The only instance where two dwellings are allowed is through the ADU which has restrictions regarding size and the requirement for a year round lease.

A " habitable studio " is allowed but with no cooking facilities.

Your thoughts?

Regards,

Richard Stevens
Building Commissioner

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Rich Stevens

From: Rich Stevens
Sent: Wednesday, January 25, 2023 8:27 AM
To: Mark Hammer
Cc: Lynne Budnick; Nina Richey
Subject: RE: 69 Old County

Good Morning Mark,

Thank you for the rapid response. I thought we had a prior conversation about this and I will consider this a pool apron and a landscape feature.

Another question however, what is the status of the gazebo? Is that existing? It appears that it is also in the setback and should comply. I see notes regarding that it is to be moved...is that the case?

And finally, My other e-mail regarding the stove in the cottage?

Hope you are well.

Regards,

Richard Stevens
Building Commissioner

From: Mark Hammer <mhammer@hammerarchitects.com>
Sent: Tuesday, January 24, 2023 11:36 AM
To: Rich Stevens <rstevens@truro-ma.gov>
Cc: Lynne Budnick <LBudnick@truro-ma.gov>; Nina Richey <nrichey@truro-ma.gov>
Subject: Re: 69 Old County

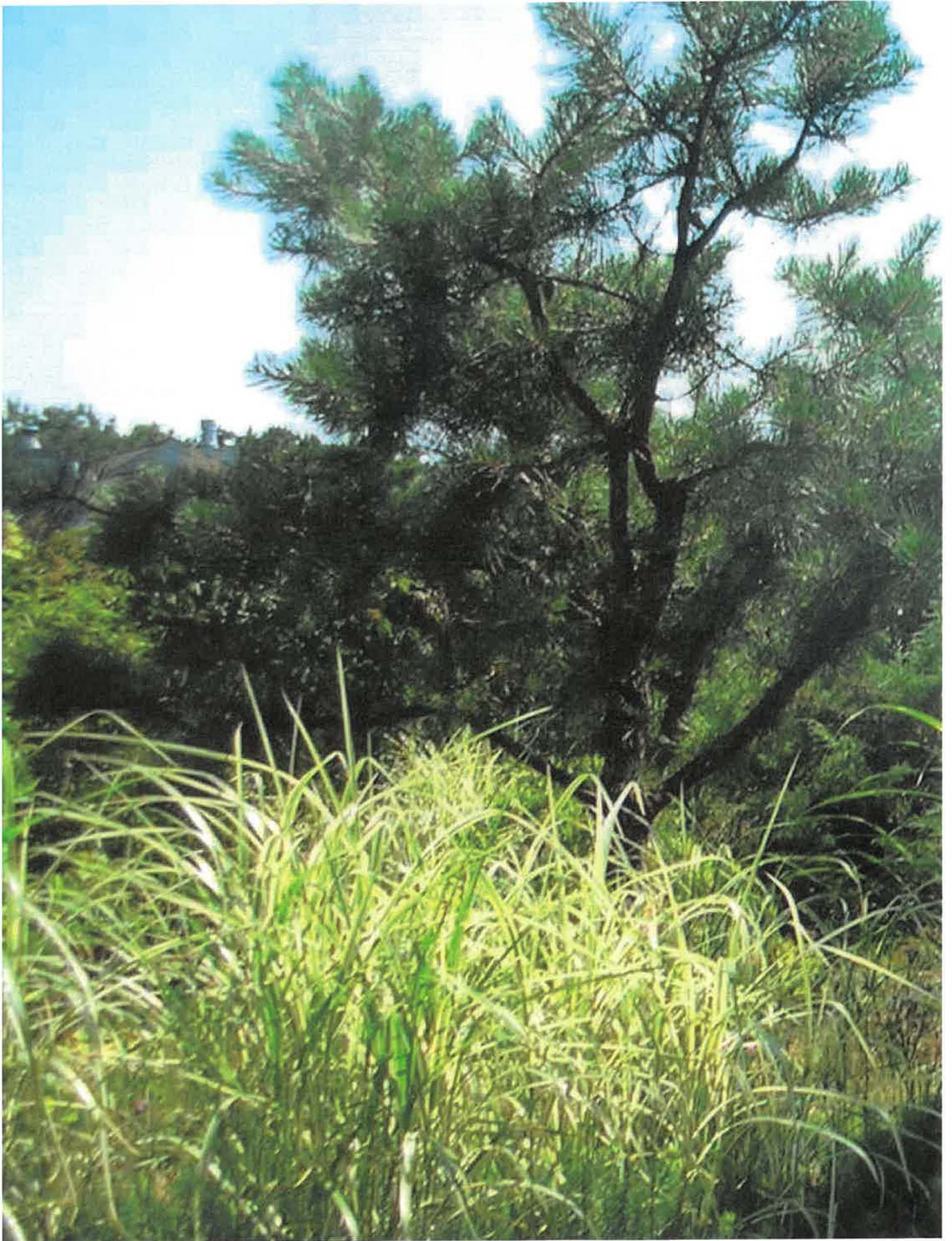
Rich,

The existing pool deck is an on-grade wood boardwalk structure (see attached photos).

Most of the deck will need to be rebuilt in its current condition when the pool is replaced.

Let me know if you have any further questions.

Thank you



I am reviewing 69 Old County , again, and had a question about the side yard setbacks at the pool deck. I know we had a discussion about setbacks back in August but don't recall addressing the rebuilt deck.

Is this going to be an actual " above grade deck " or an on grade patio situation?

Thanks for your help.

Regards,

Richard Stevens

Building Commissioner

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Rich Stevens

From: Mark Hammer <mhammer@hammerarchitects.com>
Sent: Monday, August 29, 2022 11:05 AM
To: Rich Stevens
Cc: Berman Paul Schiff; Laura Dickinson; DiRocco Don
Subject: revised drawings for 69 Old County Rd
Attachments: 69 OLD COUNTY PERMIT SET REVISED 08.26.22.pdf

Rich,

Attached please find the revised permit set for 69 Old County Rd.

As discussed, we have removed the storage shed on the end of the main house which violated the side yard setback. Additionally we have corrected the location of the guest house on drawing L-2. The previous drawing was drawn on an incorrect base survey.

Let me know if you have any questions and if you would like us to transmit hard copies of these drawings for you records.

Thank you

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mark D. Hammer AIA
Hammer Architects LLC

19 Bishop Allen Drive
Cambridge, MA 02139
tel. 617-876-5121

PO Box 1026
Truro, MA 02666
tel. 508-349-7525

www.hammerarchitects.com

Rich Stevens

From: noreply-tpbus.mobility@bl.comcast.net
Sent: Tuesday, August 23, 2022 12:36 PM
To: Rich Stevens
Subject: Comcast Business voicemail from 8579284185
Attachments: voicemail.wav



Comcast Business Voicemail from 8579284185.

35 seconds

Richard good afternoon this is Mark Hammer from Hammer architects I'm calling about the berman-dickinson(?) property at 6090 County Road that you just flagged up on the denial on for a reorder-it(?) says that violation. I think I understand what you're referring to I just wanna confirm that we're in agreement about where the violation is can you call me back. My mobile number is 857-928-4185. Thanks very much.

This is a service-related email. Comcast will occasionally send you service-related emails to inform you of service upgrades or new benefits. Services and features are subject to Comcast's standard terms and conditions of service and are subject to change.

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One Comcast Center
1701 JFK Blvd
Philadelphia, PA 19103-2838
Attn: Comcast Interactive Media



CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Rich Stevens

From: Rich Stevens
Sent: Tuesday, January 24, 2023 8:58 AM
To: Mark Hammer
Cc: Lynne Budnick; Nina Richey
Subject: 69 Old County

Good Morning Mark,

I am reviewing 69 Old County , again, and had a question about the side yard setbacks at the pool deck. I know we had a discussion about setbacks back in August but don't recall addressing the rebuilt deck.

Is this going to be an actual " above grade deck " or an on grade patio situation?

Thanks for your help.

Regards,

Richard Stevens
Building Commissioner

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.

PO Box 2030

Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

23-046

Fee:

\$50.00

Chg. of Contractor

SITE INFORMATION

Project Site: 69 Old County Road, Truro MA 02666

MAIN HSE.

Assessors Map & Parcel: 54-43

Zoning District: R

Outside Flood Zone

Inside Flood Zone – Specify:

Setbacks: Front: 67'4"

Left Side: 27'4"

Right Side: 34'2"

Rear: 78'5"

Lot Area (sq. ft.) 36,107

Frontage: 137.58 sf

Water Supply: Private

Public

Subject to Policy 28: Curb Cut? Y N

If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N

* IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815

Phone: 508-432-6360

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: see attached

Date: 1/9/2023

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than 1 & 2 Family Home*

Change of Use

DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work:

Replaces BPH 22-34A Chg of Contractor

Lift main house and dining room. Demo and rebuild living room. Front addition, new footings and foundation, new flooring system, new windows,

doors, and skylights. Replace roofing, replace all decking, rebuild front shed, remodel kitchen and all bathrooms. Replace insulation and siding.

Estimated Construction Cost: \$1,469,444.50 \$1,778,027.85		Debris Disposal: (Landfill or Company Name) MA Frazier	
Floor Area: (Proposed Work Only)		Basement: <input checked="" type="checkbox"/> unfinished 1947 <input type="checkbox"/> finished _____	
1 st flr: 1947 sqft	2 nd flr: —	Porch/Deck:	Other: 2000 sf
#fireplaces: 1	#chimneys: 1	#bathrooms: existing 2 proposed 2.5	
#bedrooms: existing 3 proposed 2			
Type of Heating System: HEAT PUMP		Type of Cooling System: HEAT PUMP	
CONTRACTOR INFORMATION*			
*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)			
Contractor Name: LaBarge Engineering & Contracting, Inc			
Address: 237 Route 28, West Harwich, MA 02671			
Phone: 508-432-6360		Email: office@labargehomes.com	
CSL#: 068313 exp. 2/7/24		HIC # 149496 exp 4/21/23	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review no change in BR count from original reviews.			
2BR house			
Signature: AD		Date: 1/19/2023	
Other Comments: _____			

BUILDING COMMISSIONER Review & Approval: _____			

Signature:		Issuance Date:	

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PO Box 2030

Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

23-046

Fee:

50.00

CHANGE OF
CONT. FEE

SITE INFORMATION

HEALTH DEPARTMENT
TOWN OF TRURO

Project Site: 69 Old County Road, Truro MA 02666

Assessors Map & Parcel: 54-43

Zoning District: R

JAN 12 2023

Outside Flood Zone

Inside Flood Zone - Specify:

RECEIVED BY

Setbacks:

Front: 57'

Left Side: 27'

Right Side: 34'2"

Rear: 78'5"

Lot Area (sq. ft.) 36,107

Frontage: 137.58'

Water Supply:

Private

Public

Subject to Policy 28: Curb Cut? Y N

If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N

* IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815

Phone: 508-432-6360

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: see attached

Date: 1/9/2023

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than
1 & 2 Family Home*

Change of
Use

DEMO - Subject to Chapter VI:
Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116).
ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work:

PERMIT# 22-344

PLEASE CONSIDER THIS A REQUEST TO TRANSFER

PERMITS FROM OWNER TO LABARGE ENGINEERING + CONTRACTING, INC.
(SEE ATTACHED LETTER)

REQUEST TO AMMEND SAID PERMIT TO INCLUDE NEW FOUNDATION

Lynne Budnick

From: Casey Furnas <Casey@LaBargeHomes.com>
Sent: Tuesday, January 17, 2023 3:50 PM
To: Lynne Budnick; Rich Stevens
Cc: Tony Addonizio
Subject: 69 Old County Rd Permits
Attachments: Main House permit first page.pdf; Cottage permit first page.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon,

Attached are corrected first pages for each permit as requested.

Thank you,



Casey Furnas

c: 508-241-6733

o: 508-432-6360

LaBargeHomes.com

casey@LaBargeHomes

237 Main St Rte 28

West Harwich MA

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

GUEST COTTAGE



Town of Truro Building Permit

24 Town Hall Rd, Truro MA 02666

P: 508-349-7004 x131 F: 508-349-5508

Building Permit #: 23-045	Map: 54	Parcel: 43
Street Location: 69 OLD COUNTY - GUEST COTTAGE		
Owner: BERMAN - DICKINSON		
Type of Work: COMPLETE 100% REMODEL	HIC: 149496	
Builder: LABARGE	CSL: 068313	
Date of Issue: 1-24-2023		

This card shall be posted in a conspicuous place and shall not be covered or removed until all work associated with this permit, is completed. Work shall be in compliance with 780 CMR and all applicable laws and by-laws of the Town of Truro. Approved plans shall be available on the job site. Where a Certificate of Occupancy is required, the building shall not be occupied until after the final inspection and after the Certificate of Occupancy has been issued.

BUILDING OFFICIAL: 

REQUIRED INSPECTIONS:

Footing - Rebar		Electrical Service		Final Gas	
Inspector	Date	Inspector	Date	Inspector	Date
Foundation - Rebar		Rough Wiring		Smoke/Fire Alarm	
Inspector	Date	Inspector	Date	Inspector	Date
Final Foundation		Final Wiring		Oil Furnace	
Inspector	Date	Inspector	Date	Inspector	Date
Cert. Foundation Plan		Low Voltage Rough		Sprinkler System	
Inspector	Date	Inspector	Date	Pressure	Date
Wind Connections		Low Voltage Final		Alarm	Date
Inspector	Date	Inspector	Date	Energy	
Frame		Underground Plumbing		Duct Test	Date
Inspector	Date	Inspector	Date	Blower Door	
Insulation		Rough Plumbing		Final Building	Date
Inspector	Date	Inspector	Date	Inspector	
Air Barrier		Final Plumbing		Cert. Of Occupancy	Date
Inspector	Date	Inspector	Date	Inspector	
Chimney/Woodstove		Rough Gas		Date	
Inspector	Date	Inspector	Date	Special Conditions:	
NO STOVE					

REPLACES BP# 22-345

Building Permit Application

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TOWN OF TRURO

Building Department

24 Town Hall Rd.

PO Box 2030

Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

23-045

Fee:

\$50.00

Change of Contractor

SITE INFORMATION

Project Site: 69 Old County Road, Truro MA 02666

Assessors Map & Parcel: 54-43

Zoning District: R

Outside Flood Zone

Inside Flood Zone – Specify:

Setbacks: Front: 25'

Left Side: 26'10"

Right Side: 112'4"

Rear: 25'

Lot Area (sq. ft.) 36,107

Frontage: 137.58 sf

Water Supply: Private

Public

Subject to Policy 28: Curb Cut? Y N

If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N

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PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD 20815

Phone: 508-432-6360

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: see attached

Date: 1/9/2023

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than 1 & 2 Family Home*

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New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work:

Guest Cottage

Roofing, siding, windows, doors and skylights. Remodel kitchen and bathroom. Replace insulation.

replaces BP# 22-345

Estimated Construction Cost: \$859,597.40		Debris Disposal: (Landfill or Company Name) MA Frazier	
Floor Area: (Proposed Work Only)		Basement: <input type="checkbox"/> unfinished <u>Crawlspace</u> <input type="checkbox"/> finished _____	
1 st flr: 1012 sqft	2 nd flr: 408 sqft	Porch/Deck: 276sqft Other: _____	
#fireplaces: 0	#chimneys: 0	#bathrooms: existing 1.5 proposed 2.5	
#bedrooms: existing 1 proposed 2			
Type of Heating System: HEAT PUMP		Type of Cooling System: HEAT PUMP	
CONTRACTOR INFORMATION*			
*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)			
Contractor Name: LaBarge Engineering & Contracting, Inc			
Address: 237 Route 28, West Harwich, MA 02671			
Phone: 508-432-6360		Email: office@labargehomes.com	
CSL#: 068313 exp. 2/7/24		HIC # 149496 exp 4/21/23	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review <u>no change in floor plans from first review.</u>			
<u>1 BR studio.</u>			
Signature: <u>AD</u>		Date: <u>1/19/2023</u>	
Other Comments: _____			

BUILDING COMMISSIONER Review & Approval: <u>*QUESTION "KITCHEN" IN STUDIO! NO STOVE THEN OK.</u>			

Signature: <u>[Signature]</u>		Issuance Date: <u>1-24-23</u>	

BUILDING DEPARTMENT
TOWN OF TEHRON

JAN 18 2023
RECEIVED BY _____

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.

PO Box 2030

Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

23-045

Fee:

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Right Side: 112'5"

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Lot Area (sq. ft.) 36,107

Frontage: 137.58'

Water Supply:



Private



Public

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Phone: 508-432-6360

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: see attached

Date: 1/9/2023

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New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work:

PERMIT # 22-345

PLEASE CONSIDER THIS A REQUEST TO TRANSFER PERMITS FROM OWNER TO LABARGE ENGINEERING + CONTRACTING, INC (see attached letter)

HEALTH DEPARTMENT
TOWN OF TRURO

JAN 12 2023

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LABARGE
HOMES

January 4, 2023

Mr. Richard Stevens
Building Commissioner
24 Town Hall Rd.
Truro, MA 02666

Re: BP#22-344 & BP#22-345

BUILDING DEPARTMENT
TOWN OF TRURO

JAN 12 2023

RECEIVED BY

Dear Mr. Stevens,

Please see the attached request to transfer the above referenced Building Permits for the property located at 69 Old County Road, from Paul Berman (owner) to LaBarge Engineering & Contracting, Inc.

Thank you for your attention to this matter.

Sincerely,



Todd A. LaBarge

12/31/22

TO: THE TOWN OF TIRUO
BUILDINGS DEPT.

FROM: PAUL BERMAN

RE: BUILDING PERMIT FOR
69 OLD COUNTY ROAD

BY THIS LETTER I HEREBY
AUTHORIZE YOU TO TRANSFER
THE BUILDING PERMIT FOR THE
ABOVE-NAMED PROPERTY TO
LABARGE ENGINEERING & CONTRACT



PAUL BERMAN

BUILDING DEPARTMENT
TOWN OF TIRUO

JAN 12 2023

RECEIVED BY

LEC

The Commonwealth of Massachusetts
Office of Consumer Affairs & Business Regulation

HOME IMPROVEMENT CONTRACTOR

TYPE: Corporation

Registration Expiration

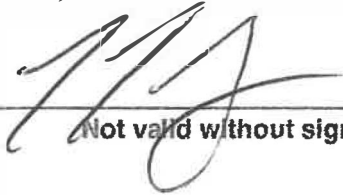
149496 04/21/2023

LABARGE ENGINEERING & CONTRACTING INC

Registration valid for individual use only
before the expiration date. If found return to:
Office of Consumer Affairs and Business Regulation
1000 Washington Street - Suite 710
Boston, MA 02118

TODD A. LABARGE
237 MAIN ST - RT 28
W HARWICH, MA 02671

Edward G. Pallareschi
Undersecretary


Not valid without signature



Commonwealth of Massachusetts
Division of Occupational Licensure
Board of Building Regulations and Standards
Construction Supervisor

CS-068313

TODD A LABARGE
237 MAIN ST RT 28
WEST HARWICH MA 02671

Expires: 02/07/2024

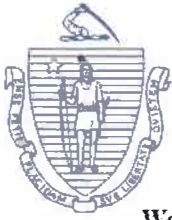


Commissioner *Sayfa R. Bembea*

BUILDING DEPARTMENT
TOWN OF TEURO

JAN 12 2023

RECEIVED BY:



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers.
 TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business/Organization/Individual): LaBarge Engineering & Contracting, Inc.

Address: 237 Route 28, West Harwich, MA 02671

City/State/Zip: W. Harwich, MA 02671

Phone #: 508-432-6360

BUILDING DEPARTMENT
TOWN OF TRURO

Are you an employer? Check the appropriate box:

1. I am an employer with _____ employees (full and/or part-time).*
2. I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]
3. I am a homeowner doing all work myself. [No workers' comp. insurance required.] †
4. I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.
5. I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡
6. We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]

Type of project (required):

7. New construction
8. Remodeling
9. Demolition
10. Building addition
11. Electrical repairs or additions
12. Plumbing repairs or additions
13. Roof repairs
14. Other foundation

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attached an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: Associated Employers Insurance Co.

Policy # or Self-ins. Lic. #: Wcc-500-5024919-2022A Expiration Date: 4/15/23

Job Site Address: 69 Old County Road City/State/Zip: Truro, MA 02666

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: _____ Date: 1/9/2023

Phone #: 508-432-6360 1/9/2023

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):

1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
 6. Other _____

Contact Person: _____ Phone #: _____

Rich Stevens

From: Rich Stevens
Sent: Tuesday, January 24, 2023 9:29 AM
To: Mark Hammer
Cc: Lynne Budnick; Nina Richey; Arozana Davis; office@labargehomes.com
Subject: 69 Old County

Good morning again,

Another issue I just noticed is that there is a full kitchen with stove in the Guest Cottage.

This constitutes two dwellings on one lot which is " NOT " allowed under zoning. The assessors card also notes from a 2019 inspection that they could not determine the presence of a kitchen or not.

The only instance where two dwellings are allowed is through the ADU which has restrictions regarding size and the requirement for a year round lease.

A " habitable studio " is allowed but with no cooking facilities.

Your thoughts?

Regards,

Richard Stevens
Building Commissioner

Berman - Dickinson Residence

69 Old County Road

Truro, MA

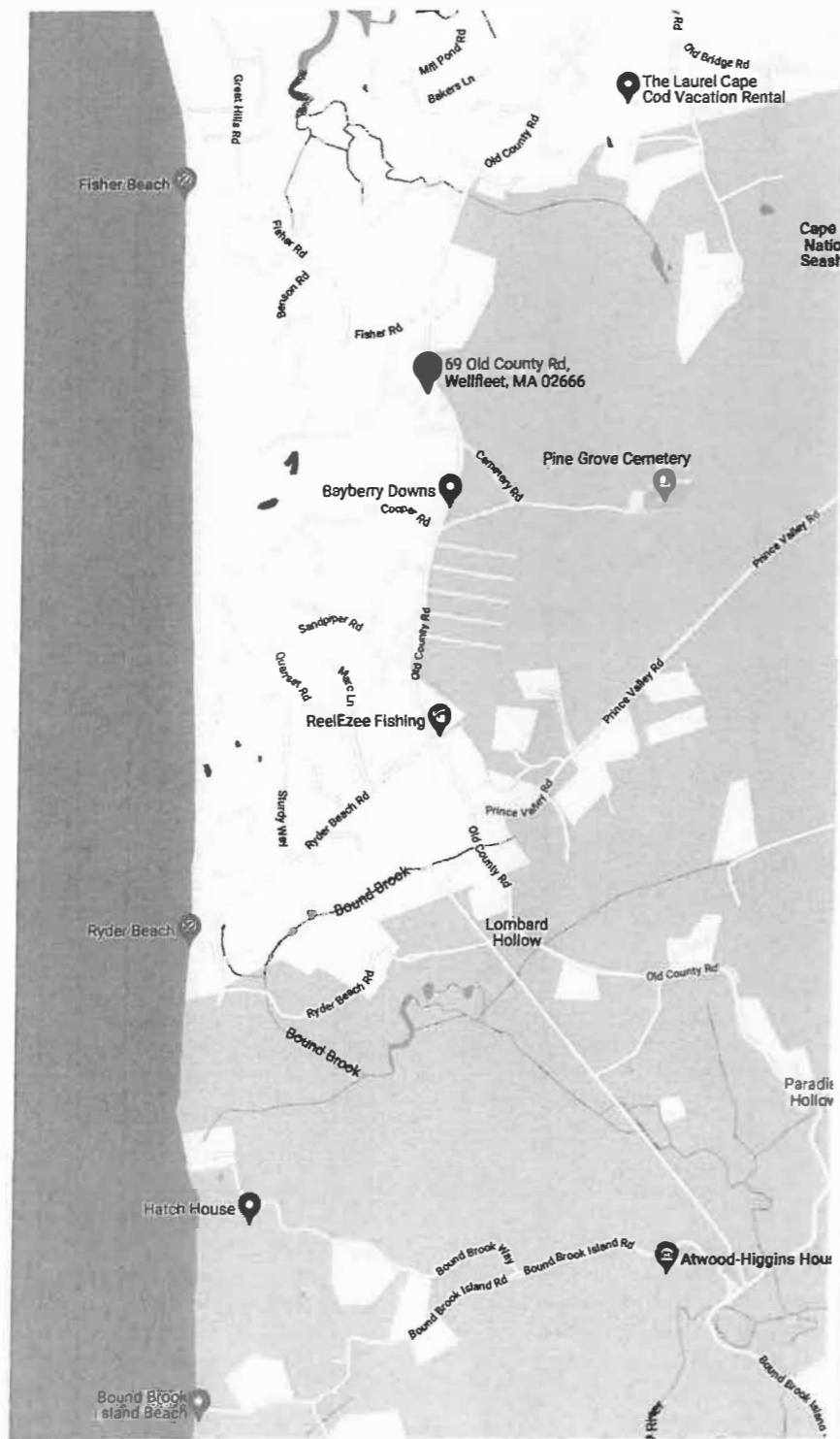
HEALTH DEPARTMENT
TOWN OF TRURO

JAN 11 2023

RECEIVED BY


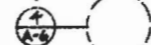











Owners	Mr. Paul Berman & Ms. Laura Dickinson 24 Hesketh Street Chevy Chase, MD
Architects	Hammer Architects LLC 21 Bishop Allen Drive Cambridge, MA 02139 617.876.5121
Interior Designer	LST Design LLC 80 Central Park West, 19B New York, NY 10023 212.580.0122
Structural Engineers	Webb Structural Services 670 Main Street Reading, MA 021867 781.779.1330
	Construction Set 11.28.22 Revised 12.21.22

LOCATION MAP



LIST OF SYMBOLS

Symbols

-  Detail Reference, Different Sheet
-  Detail Reference, Enlarged
-  Detail Reference, Same Sheet
-  Door Number
-  Drawing Number
-  Glass Type
-  Grid Lines
-  Interior Elevations
-  Partition Type
-  Room Number
-  Section Number
-  Vertical Elevations
-  Window or Louver Type

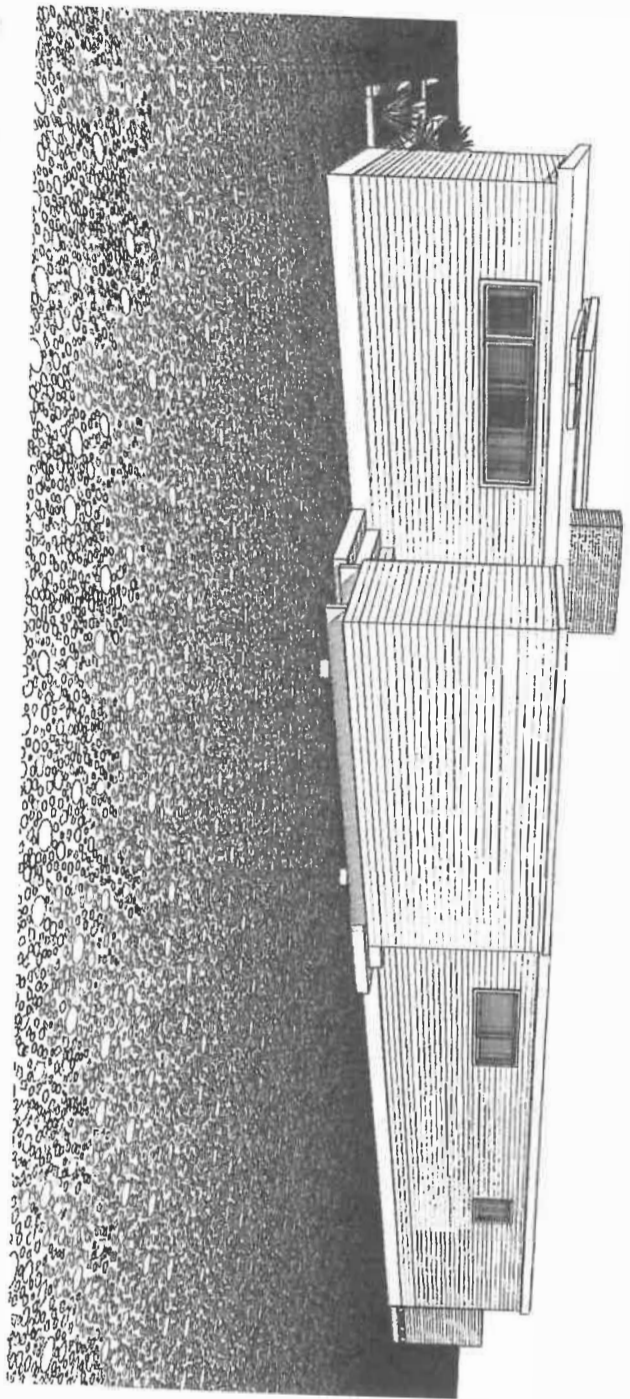
LIST OF DRAWINGS

- G-1 GENERAL NOTES & SPECIFICATIONS
- G-2 GENERAL NOTES & SPECIFICATIONS
- L-1 EXISTING SITE & SEWER PLAN
- L-2 PROPOSED SITE PLAN
- L-3 SEWER PLAN
- L-4 SEWER PLAN
- A-1 MAIN HOUSE BASEMENT DEMO
- A-2 MAIN HOUSE FIRST FLOOR DEMO
- A-3 MAIN HOUSE ROOF DEMO
- A-4 STUDIO FIRST FLOOR & ROOF DEMO
- A-5 MAIN HOUSE BASEMENT PLAN
- A-6 MAIN HOUSE FIRST FLOOR
- A-7 MAIN HOUSE ROOF PLAN
- A-8 STUDIO PLANS
- A-9 STUDIO PLANS
- A-10 MAIN HOUSE ELEVATIONS
- A-11 MAIN HOUSE ELEVATIONS
- A-12 STUDIO ELEVATIONS
- A-13 SECTIONS
- A-14 SECTIONS
- A-15 SECTIONS
- A-16 SECTIONS
- A-17 SECTIONS
- A-18 SECTIONS
- A-19 SECTIONS
- A-20 SECTIONS
- A-21 SECTIONS
- A-22 SECTIONS
- A-23 SECTIONS
- A-24 INTERIOR ELEVATIONS
- A-25 INTERIOR ELEVATIONS
- A-26 INTERIOR ELEVATIONS
- A-27 INTERIOR ELEVATIONS
- A-28 INTERIOR ELEVATIONS
- A-29 INTERIOR ELEVATIONS
- A-30 MISC. DETAILS
- A-31 MISC. DETAILS
- A-32 MISC. DETAILS
- A-33 BASEMENT R.C.P.
- A-34 FIRST FLOOR R.C.P.
- A-35 STUDIO R.C.P.s
- A-36 SCHEDULES
- A-37 SCHEDULES
- S-0 MAIN HOUSE FOUNDATION PLAN
- S-1 MAIN HOUSE 1ST FLOOR FRAMING PLAN
- S-2 MAIN HOUSE ROOF FRAMING PLAN
- S-3 STUDIO FDN & 1ST FLR FRAMING PLAN
- S-4 STUDIO 2ND FLR & ROOF FRAMING PLAN
- S-5 MAIN HOUSE DETAILS
- S-6 MAIN HOUSE DEATILS - BRACE FRAME
- S-7 STUDIO DETAILS

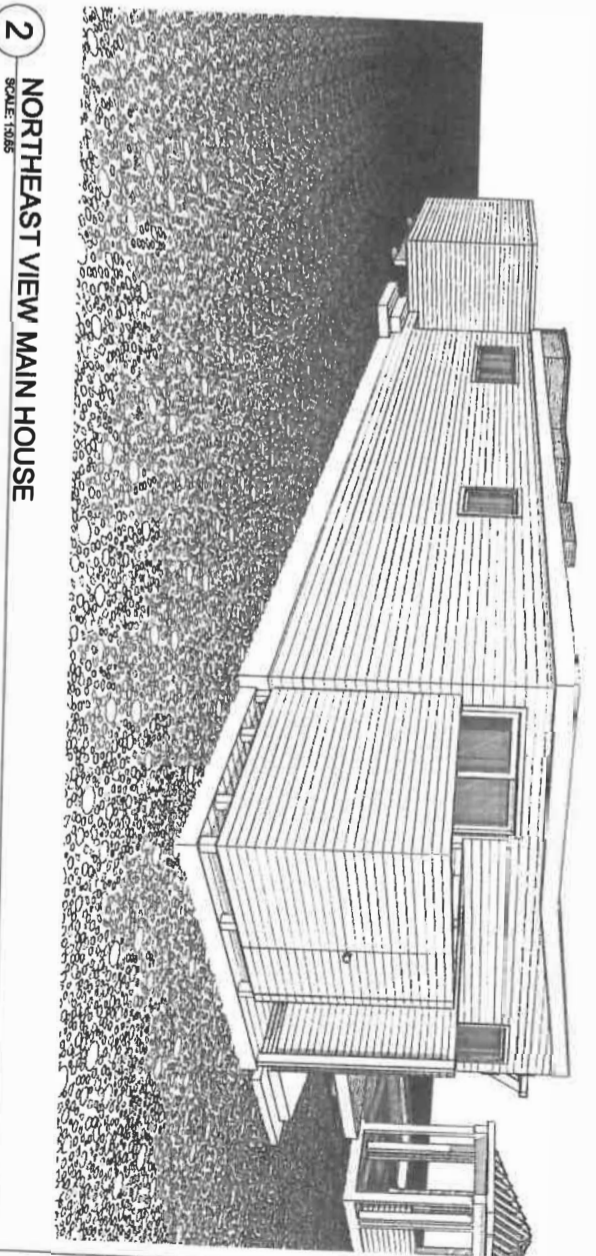
Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: LIST OF DRAWINGS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

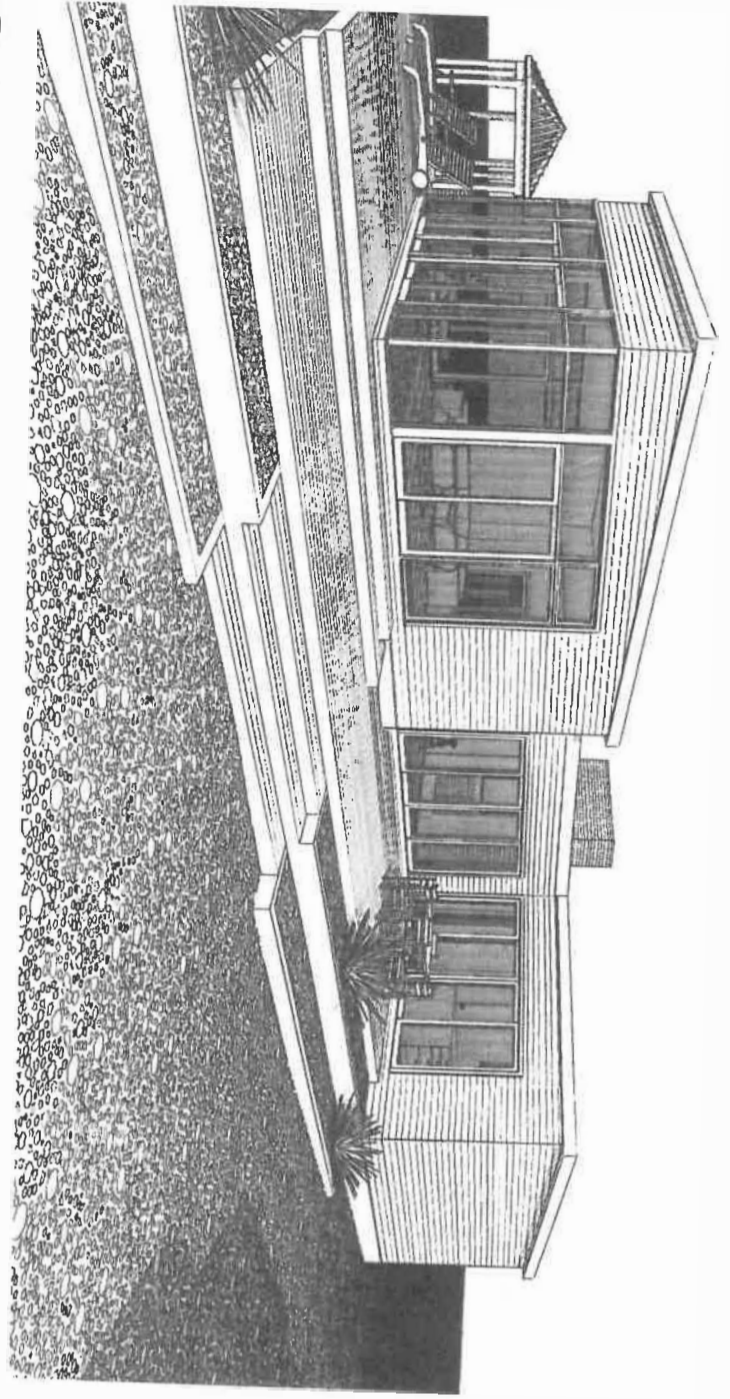
Berman - Dickinson Residence
69 Old County Road
Truro, MA



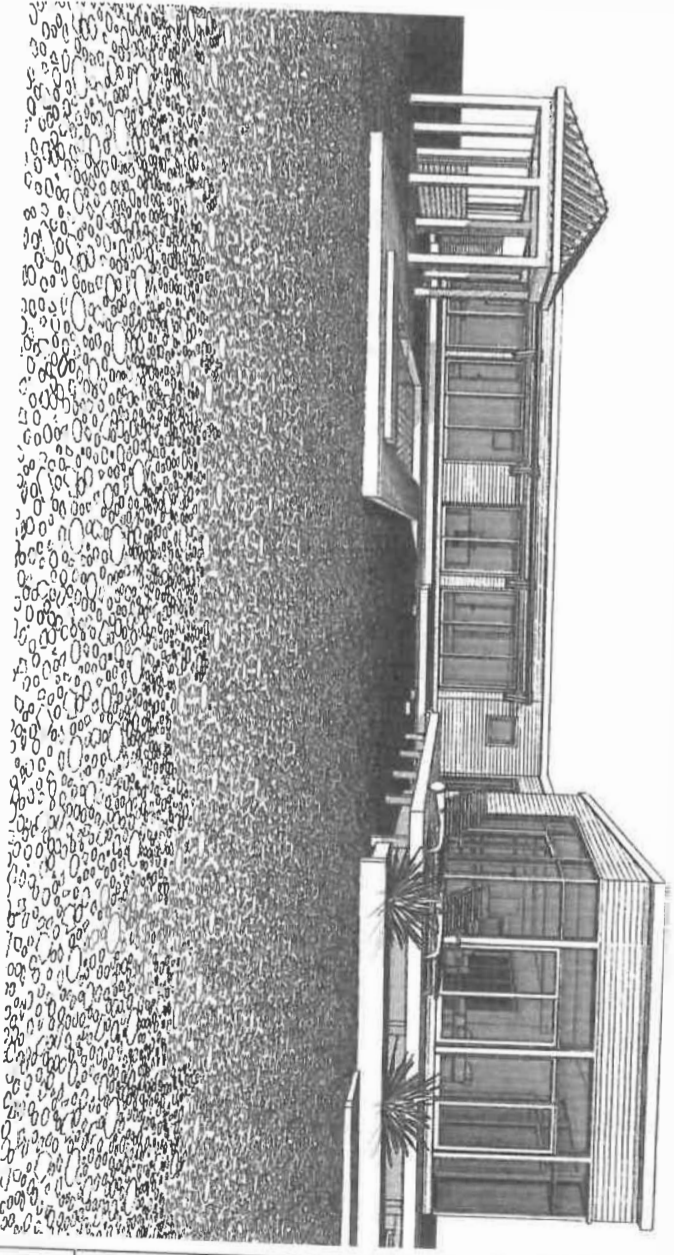
1
SCALE: 1/8"=1'-0"



2
SCALE: 1/8"=1'-0"



3
SCALE: 1/8"=1'-0"



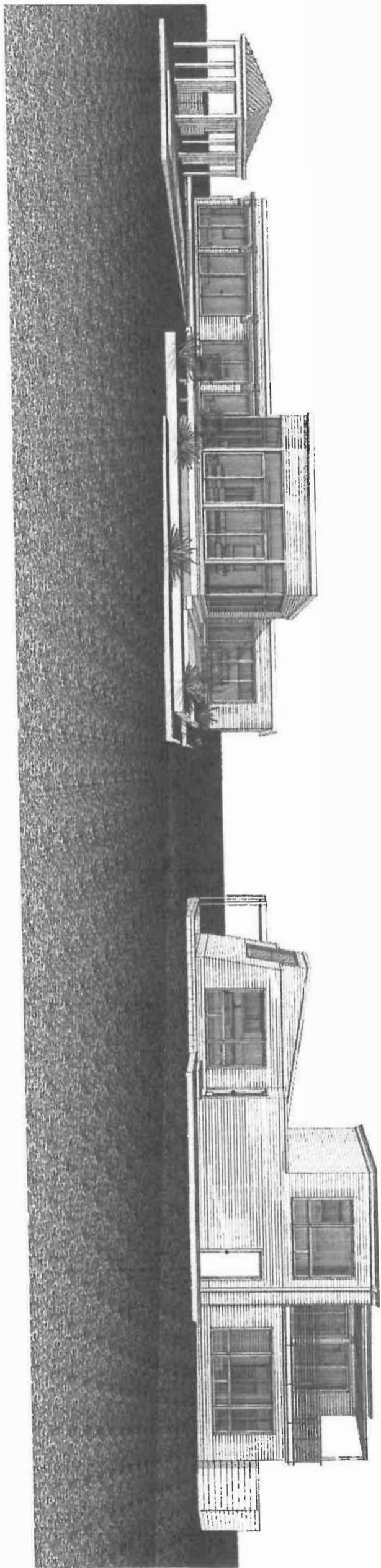
4
SCALE: 1/8"=1'-0"

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

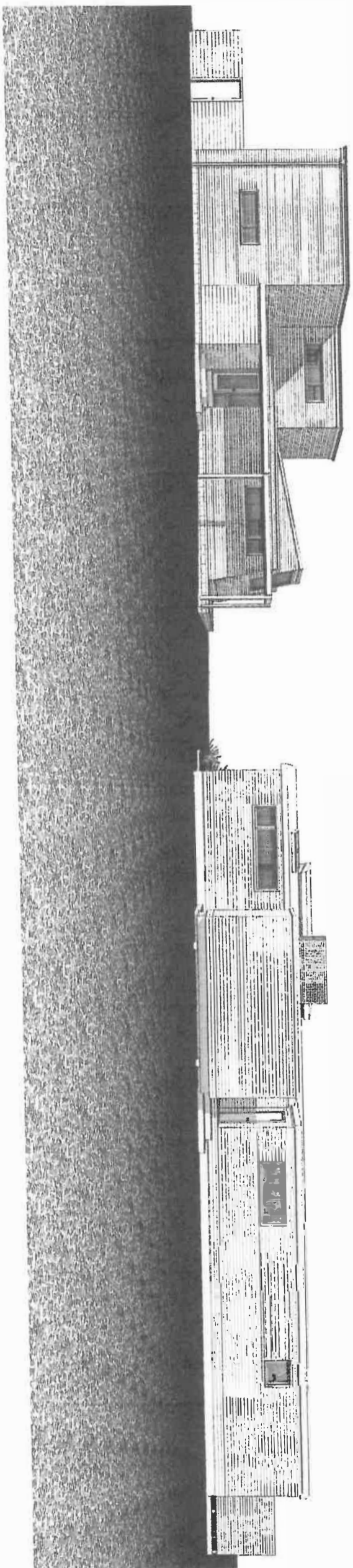
Berman - Dickinson Residence
69 Old County Road
Truro, MA

3D-1



1
SCALE 1/32" = 1'-0"

SITE VIEW LOOKING EAST



2
SCALE 1/32" = 1'-0"

SITE VIEW LOOKING WEST

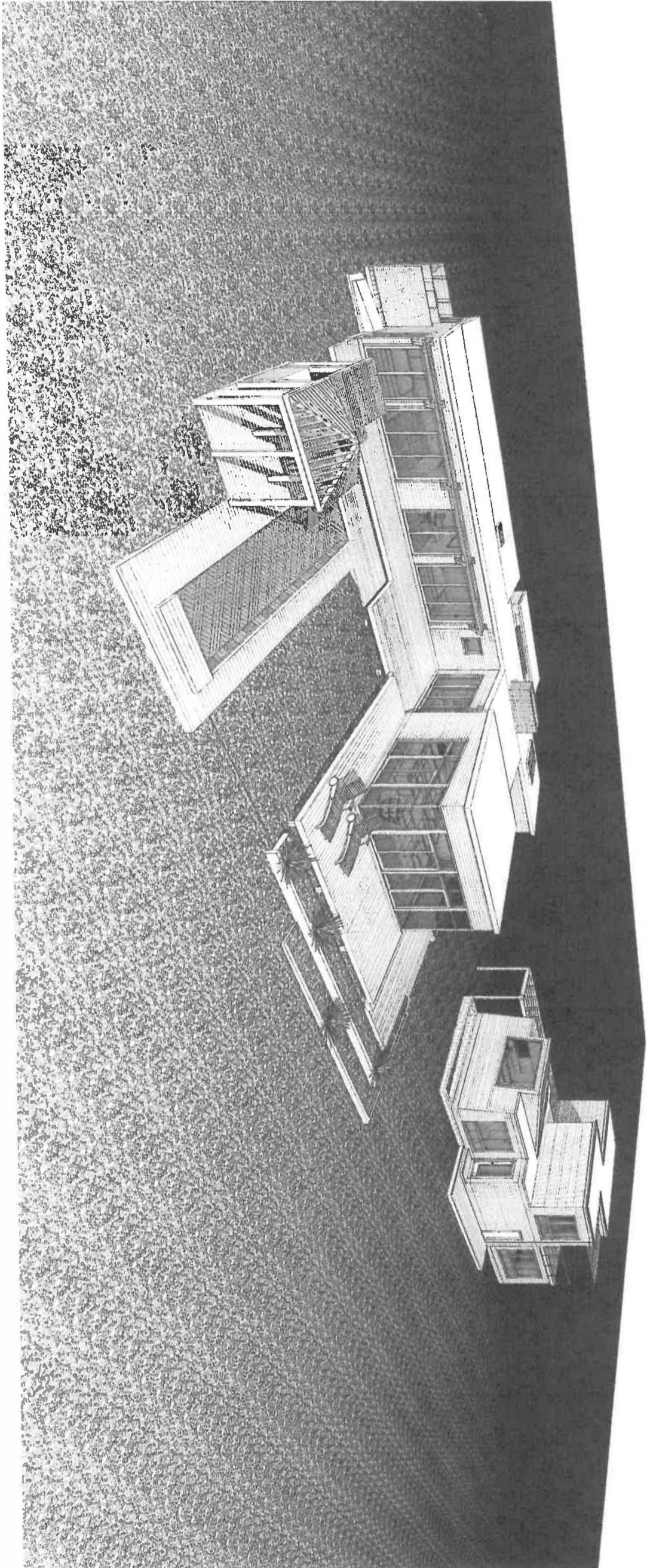
3D-2

Berman - Dickinson Residence
69 Old County Road
Truro, MA

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

1 BIRDSEYE VIEW MAIN HOUSE
SCALE: 1/8"=1'-0"



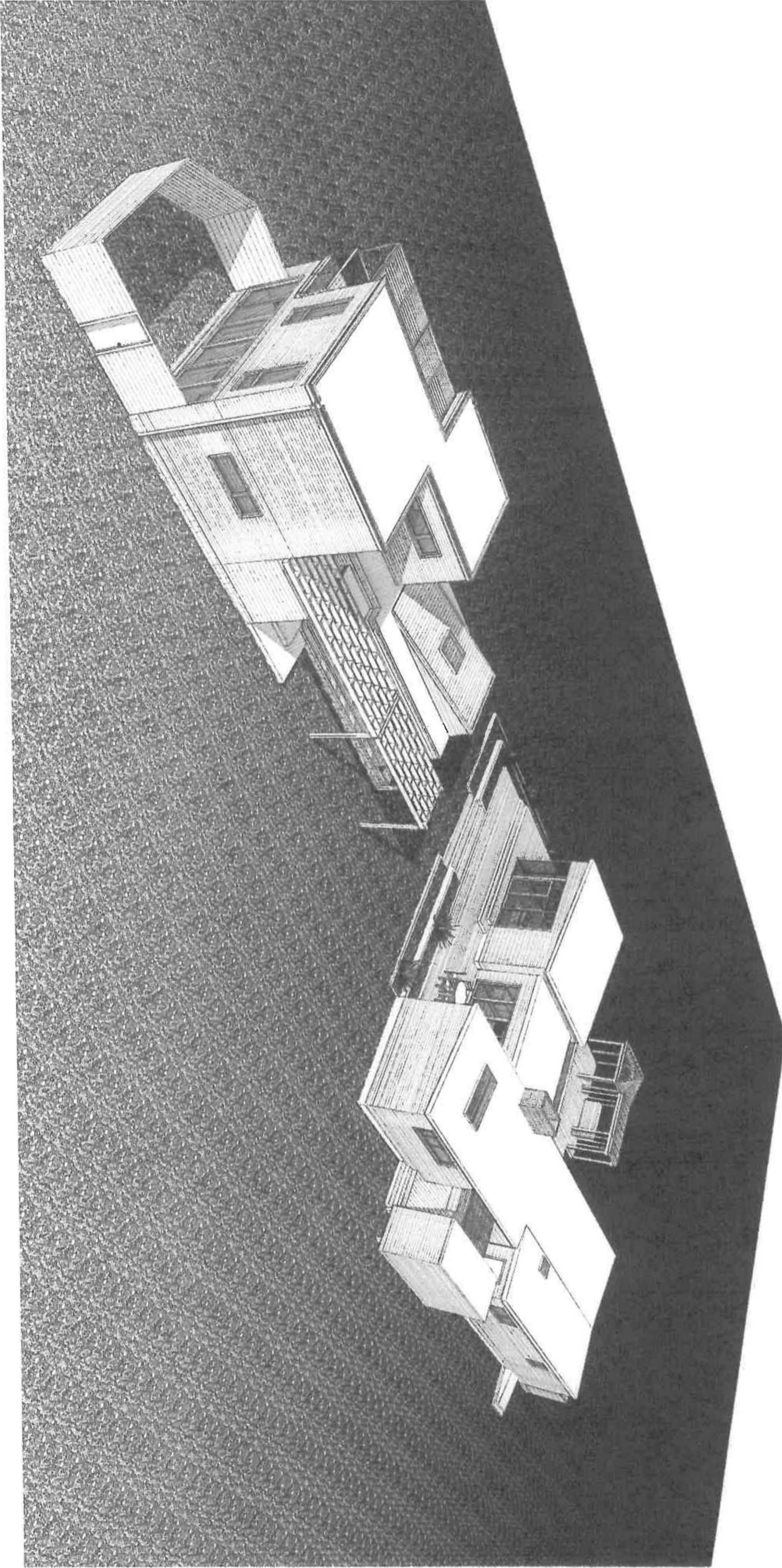
3D-3

Berman - Dickinson Residence
69 Old County Road
Truro, MA

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

1 BIRDSEYE FROM SE
SCALE: 1/8"=1'-0"



3D-4

Berman - Dickinson Residence
69 Old County Road
Truro, MA

Title: VIEWS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

GENERAL NOTES & TECHNICAL SPECIFICATIONS
BERMAN-DICKINSON RESIDENCE
69 OLD COUNTY ROAD
TRURO, MASSACHUSETTS

Additional notes and specifications are provided within the Drawings. The following should not be considered all-inclusive.

DIVISION 1 - GENERAL REQUIREMENTS

01000 - PROJECT REQUIREMENTS

1. The Contractor shall supervise and direct the execution of the work, and be responsible for construction means and methods. Unless otherwise noted, the Contractor shall pay for all labor, materials, and equipment, building permits, and utility company charges required for the proper execution and completion of the work.
2. Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.
3. All work is to be performed in accordance with all applicable building codes and laws governing each trade, including but not limited to The Massachusetts State Building Code 780 CMR, and the IRC 2015 & IEBC 2015, pertaining to residential construction.
4. All work shall be performed in a professional and workmanlike manner, in compliance with all manufacturers' product literature and instructions.
5. Except where otherwise noted, the Contractor shall secure and pay for all permits required by the Town of Truro, Massachusetts as well as all other governmental agencies with jurisdiction over the construction of the project.
6. Within ten (10) calendar days after execution of the General Contract the Contractor shall prepare and submit to the Architect and the Owner a detailed schedule of construction activities. Contractor shall indicate schedule of submittals and shop drawings, commencement times and anticipated completion times for all elements of the work and shall ensure that such dates are established for the efficient progress and timely completion of the work required under the Contract.
7. It is the Contractor's responsibility to submit samples, shop drawings, and catalog cuts in a timely manner to ensure the construction schedule is met. The Architect will review submittals only for general conformance to the Contract Documents. All approvals are to be received by the Contractor prior to purchase and installation.
8. The Contractor is responsible for field measurement, coordination and ultimately, conformance to the contract documents. All dimensions shown are finished dimensions unless otherwise noted. The Contractor shall verify all dimensions in the field and inform the Architect of any discrepancies prior to proceeding with the work. No additional compensation will be allowed because of differences between actual measurements and dimensions indicated on the Drawings.
9. All products shall be as indicated on the Contract Documents. Any substitutions shall be permitted only after written approval of the Architect and Owner, whose decisions shall be final. If the Contractor proposes to use material which, while suitable for the intended use, deviates in any way from the detailed requirements of the Contract Documents, the Contractor shall inform the Architect in writing of the nature of such deviations at the time the materials is submitted for approval, and shall request written approval of the deviation from the requirements of the Contract Documents.
10. Inspect all substrates and report unsatisfactory conditions in writing. Do not proceed until unsatisfactory conditions have been corrected.
11. The Contractor shall arrange and attend regular meetings at the site with the Architect, the Owner and other participants the Architect may wish to have present.
12. The Premises shall be kept broom clean at all times. At completion of the work all areas affected during construction shall be completely cleaned. The contractor on a regular basis shall remove all debris.
13. The Contractor shall store materials under cover in a location secure from damage or theft.
14. The Contractor shall protect the premises at all times. The Contractor at no additional cost to the Owner shall repair any damage to the building caused as a result of the construction.
15. The Contractor shall be responsible for providing water, electricity and sanitary facilities. The Contractor shall provide temporary enclosures, lighting, and staging. Construction personnel shall not enter the Owner's facilities outside the limit-of-work lines without expressed permission.
16. Any damage caused to existing conditions while executing the new work shall be repaired or replaced by the Contractor at no additional cost to the Owner.
17. The Contractor shall be responsible for enforcing a no-smoking policy for all workers in the building.
18. The Contractor shall provide positive methods and apply dust control materials during cutting or other operations which produce dust to minimize raising dust and to provide positive means to prevent airborne dust from dispersing into the adjacent areas of the building or atmosphere.
19. The Contractor shall control the spread of fumes and adhesive odors from Construction activities.
20. Upon completion, the Contractor shall provide the Owner with Operation and Maintenance manuals and warranties for all equipment supplied on the project.
21. For General Conditions, refer to the latest edition of AIA Document A201, which is hereby to be considered part of the Contract Documents.

01010 - CONTRACT FORMS

1. Owner-Contractor Agreement Form: AIA A101-2007, Owner-Contractor Agreement Form - Stipulated Sum.
2. Insurance Limits: Insurance limits as standard with Contractor and as acceptable to the Owner.
3. General Conditions: AIA A201, General Conditions of the Contract for Construction.

01011 - PROJECT CLOSEOUT

1. Prepare a punchlist for remaining work for review by the Architect and Owner.
2. Complete punchlist items promptly at no additional expense to the Owner.
3. Submit operating manuals, maintenance manuals, and warranty information.
4. Obtain and submit copy of occupancy permits.
5. Remove temporary facilities and provide final cleaning and touch-up.
6. Restore portions of building, site improvements, landscaping and other items damaged by construction operations to the satisfaction of the Architect and Owner at no additional expense to the Owner.

DIVISION 1 - SUPPLEMENTARY GENERAL CONDITIONS

01020 - MASSACHUSETTS STRETCH ENERGY CODE

1. Contractor to prepare and complete the Energy Star for Homes Thermal Checklist.

01030 - BID ALTERNATES

Submit price for each alternate. Include cost of modifications to other work to accommodate alternate. Owners will determine which alternates are selected for inclusion in the Project.

ALTERNATE NUMBER ONE - GUEST HOUSE SECOND FLOOR

1. State the amount to be deducted from the Contract price to omit the proposed second floor addition of the guest house as indicated on drawings A-8 and A-9. The existing stair and roof deck shall be repaired. The existing skylights are to be removed and the roof is to be receive a new EPDM membrane in order to allow the solar PV array to be mounted on the existing roof.

ALTERNATE NUMBER TWO - SCREENED PORCH

1. State the amount to be deducted from the Contract price to omit the entire screened porch and replace with exterior deck. Omit the two folding accordion doors #102 and #103 and replace them with two 4-panel sliding doors to match door #108, as indicated on drawings A-5 and A-6.

DIVISION 2 - SITEWORK

02000 - SITE WORK

1. Refer to Landscape drawings.
2. The use of Chromated Copper Arsenate (CCA) treated wood is prohibited. Alkaline Copper Quaternary or equivalent treated wood shall be used.
3. All building or construction debris shall be deposited into a suitable dumpster or be removed off site on a daily basis.
4. Care shall be taken not to disturb existing trees during construction, except as otherwise agreed upon by Contractor and Owner.

DIVISION 3 - CONCRETE

1. Refer to Structural drawings for additional notes and information.
2. All exposed concrete walls shall be cast with smooth formwork to achieve the desired architectural finish.
3. Repair holidays and patch ties holes.

DIVISION 4 - MASONRY

04400 - INTERIOR STONE

1. Install kitchen and bath countertops, sidesplashes and backsplashes as indicated.
2. Countertops to be stone slab, purchased by owner, installed by contractor.
3. Install owner supplied stone fireplace surround as indicated on the drawings
4. Coordinate work with cabinetmaker and other trades.

DIVISION 6 - WOOD & PLASTICS

06100 - ROUGH CARPENTRY AND SIDING

1. Provide all necessary blocking, fasteners, and miscellaneous framing required for the work, as indicated on drawings or as required by field conditions. Wood shall be free from checks, splits, warping and cracks. Moisture Content: 15 percent
2. Refer to Structural Drawings and Specifications for additional requirements.
3. Furnish and install kiln-dried clear vertical grain heart red cedar trim where indicated.
4. Furnish and install kiln-dried clear vertical grain heart red cedar clapboard siding as indicated.
5. Lumber Standards and Grade Stamps: DOC PS 20, American Softwood Lumber Standard and inspection agency grade stamps
6. Construction Panel Standards: DOC PS 1, U.S. Product Standard for Construction and Industrial Plywood; APA FRP-108.
7. Plywood shall comply with applicable recommendations contained in APA Form No. E30K, "APA Design/Construction Guide: Residential & Commercial"
8. All decking and exterior stair treads shall be select mahogany or IPE as indicated.
9. Preservative Treatment: AWPAC2 for lumber and AWPAC9 for plywood; waterborne pressure treatment. Provide for wood in contact or within eight inches of grade with soil, concrete, masonry, roofing, flashing, dampproofing and waterproofing.
10. Fire-Retardant Treatment: AWPAC20 for lumber and AWPAC27 for plywood; noncorrosive type. Provide at building interior where required by code.
11. Indoor Air Quality: Interior products must contain no urea-formaldehyde.
12. Nails shall be stainless steel or aluminum of suitable capacity for each intended purpose.
13. All exterior joist hangers to be stainless steel.
14. All exposed structural posts at screen porches to use Simpson CPTZ connectors when connecting to dimensional lumber or LVLs, and Simpson CBT4Z when connecting to timber beams.

06200 - FINISH CARPENTRY

1. Furnish and install new running trim, baseboard, wood railing caps, stair, door and window trim as indicated.
2. Furnish and install new painted shelving as indicated.
3. Wood for opaque finish shall be custom grade pine or birch.
4. Backprime work before installation.
5. Install work plumb, level and in proper alignment.

06300 - ARCHITECTURAL WOODWORK

1. Fabricate and install all custom millwork required to complete the work as indicated. Material shall be premium grade quality standard of the Architectural Woodwork Institute.
2. New cabinetry and built-in units in bathrooms shall be premium grade birch plywood to receive Formica Color Core 2 veneers as indicated. (color:923C-58 Surf; matte texture). Cabinet interiors are to be shop sprayed in a color match
3. New cabinetry and built-in units in kitchen and dining room shall be premium grade birch to receive Formica Fenix veneers as indicated. Cabinet interiors are to be shop sprayed in a durable color match.
4. New shelving shall be premium grade birch plywood as indicated with solid wood edge banding for shop painted finish.
5. Shelving and walls in closets shall be premium grade birch veneer plywood with solid birch edge banding for paint finish.
6. Field verify all millwork dimensions prior to fabrication.
7. Include all cabinet hardware, hinges, slides, pulls, etc.
8. Submit shop drawings for approval prior to fabrication of all millwork items.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

07100 - WATERPROOFING AND DAMPROOFING

1. Provide mastic dampproofing as indicated and as required to complete the work.
 2. Manufacturers: Carlisle Coatings and Waterproofing, W. R. Grace, W. R. Meadows, Henry Co., or approved equal
 3. Spray-Applied Membrane: Single-component rubberized-asphalt
 4. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction; coordinate with other work.
 5. Provide vapor barriers under all new concrete slabs.
- 07190 - VAPOR BARRIERS / RETARDANTS**
1. Provide Solitex UM house wrap at all exterior walls as indicated.
 2. Provide Intello Plus vapor retarder at all interior side of exterior walls, and at all roofs as indicated.

07200 - BUILDING INSULATION

1. Provide mineral wool insulation, full cavity at exterior walls as indicated and as required to conform to Building Code requirements.
2. Seal all wall sheathing seams, sills, plates, and any openings/penetrations with spray foam insulation prior to installing mineral wool insulation.
3. Install closed cell spray foam insulation and rigid insulation at roofs as indicated and as required to conform to all applicable Building Codes.
4. Install materials and systems using a licensed installer in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction.
5. Coordinate with work of other sections.
6. Install insulation to required thicknesses over entire area, tightly fitting around penetrations.
7. Provide fire-safing insulation and firestops as required to meet indicated fire ratings.
8. Provide extruded polystyrene, rigid insulation at basement walls as indicated and as required to conform to Building Code requirements.
9. Insulation shall conform to IECC 2009, and meet the following minimum requirements.
Roof - R38 Min.
Walls - R13
Walls below grade - R15

07400 - ELASTOMERIC MEMBRANE ROOFING

1. Furnish and install .045 in. ASTM D 4637, Type 1 EPDM sheet rubber membrane roof as manufactured by Carlyle, Firestone or approved equal and as indicated.
2. Installation shall be in strict accordance with manufacturer's printed instructions.
3. Include all flashings, curbs, metal accessories and expansion joints.
4. Refer to Structural Drawings for design wind speed and exposure.
5. Submit product data, shop drawings, ten year warranty, maintenance data.

07900 - FLASHINGS AND SEALANTS

1. Flashings at roof copings and parapets shall be zinc-coated copper. Self-adhered bituminous wall tape as shown on the drawings may be used at penetrations and intersections.
2. Exterior sealant shall be "Contractors SCS 1000" by General Electric or approved equal installed as indicated including at all perimeters and joints between exterior window and door frames and siding.
3. All joints, openings & penetrations in the building envelope that may be a source of air leakage to be sealed to achieve a minimum HERS rating of 70.

DIVISION 8 - DOORS & WINDOWS

08210 - INTERIOR WOOD DOORS

1. Furnish all interior swing wood doors and related items as scheduled and required to complete the work as indicated.
2. Interior swing doors shall be solid core flush as manufactured by Masonite, or approved equal.

08610 - WOOD WINDOWS AND EXTERIOR DOORS

1. New wood casement, fixed and awning windows are to be as manufactured by Loewen Inc.
2. Exterior swing and sliding wood patio doors are to be manufactured by Loewen Inc.
3. Windows and doors shall have primed wood interior and aluminum clad exterior with factory painted silver finish.
4. Install, flash, and seal all doors and windows per manufacturer's instructions.
5. Provide insulated Low-E Heat Smart Plus at all windows and doors.
6. Provide screens for all operable windows and full screens for patio doors.
7. Provide screen doors as specified for all hinged exterior doors.
8. Provide window hardware in satin nickel finish at all operable windows.
9. Supply pole operator hardware manufactured by Truth Hardware for Norwood awning and casement windows with sill height above 7' from finish floor.
10. Provide tempered safety glass at windows below eighteen inches AFF, and as required by all applicable codes.
11. Provide window crank hardware "Contemporary" in Satin Nickel finish at all operable windows.
12. Provide multi-point "Verona" handle hardware in Satin Nickel finish at all hinged terrace doors, and "Botticelli" handle hardware in Satin Nickel finish at all sliding patio doors, and "Twin Point Lock Handle" in Brushed Stainless at all BiFold doors.
13. Submit window schedule and shop drawings to the Architect for approval prior to ordering any windows.
14. All exterior glazed doors, sliders, and windows to have plywood panels, numbered and stored on site to meet all necessary codes.

08710 - FINISH HARDWARE

1. All new and existing interior doors to receive new finish hardware, including hinges.
2. Furnish and install all finish hardware in accordance with the requirements indicated on the door schedule.
3. Locks shall be keyed in accordance with the requirements of the Owner.
4. Products shall be as manufactured by Baldwin Hardware.
5. Levers shall be 5162 Estate Lever with type 5006 rose in Lifetime Satin Nickel finish.
6. Provide keyed deadbolt set at any new entry doors.
7. Provide sliding and pocket door hardware and lockset at pocket doors.
8. Provide door stops at floors as indicated or required.
9. Hardware finish on all door hardware to be F056 Lifetime (PVD) Satin Nickel.
10. Provide top mounted magnetic door catches at all double closet doors.

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Title: GENERAL NOTES & SPECIFICATIONS

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69 Old County Road

Truro, MA

G-1

DIVISION 9 - FINISHES

09250 - PLASTER BASEBOARD & FINISH

1. Furnish all materials and install plaster baseboard construction and related work to complete the work as indicated on the Drawings. Include suspension system for ceilings, wallboard for partitions, fascias, etc.
2. All drywall work shall be plaster baseboard with skim coat unless otherwise noted.
3. Plaster shall be two-coat veneer, high-strength ASTM C 587.
4. All plaster baseboard shall be mold resistant except where cementitious backer board is indicated.
5. Install gypsum board for veneer plaster finish in compliance with ASTM C 844.
6. Install gypsum board assemblies true, plumb, level and in proper relation to adjacent surfaces.
7. Install cementitious backer board behind tile at bathtubs, showers and other wet areas. Moisture and mold resistant board is acceptable behind tile at dry locations.
8. Provide insulation at partitions where indicated and at ceilings below bathrooms. Provide acoustical sealant at both faces at top and bottom runner tracks, wall perimeters, openings, and expansion and control joints.
9. Do not begin work of this Section until building is fully enclosed and a temperature of not less than 55°F is maintained during and up to completion of the work of this Section.
10. Install boards vertically. Do not allow butt-to-butt joints and joints that do not fall over framing members.
11. Provide fire-rated systems where indicated and where required by authorities having jurisdiction

09300 - CERAMIC TILE

1. Furnish and install all ceramic floor and wall tile as indicated and scheduled and as required to complete the work of the Contract.
2. Floor & wall tile at bathrooms shall be 12 X 24 "wide chalk" as manufactured Adko: 22 W 21st Street, New York, NY 10010, 646.273.3912, www.akdo.com
3. Install wall tile over cementitious backer board substrate.
4. Install shower floor tile over Quick-Drain membrane or approved equal.
5. Plaster board abutting tile is to be installed to be in the same plane as the face of the tile, with a hairline gap between tile and plaster finish
6. Provide sealant joints where recommended by TCA and approved by Architect.
7. Lay tile in grid pattern as specified. Layout tile to provide uniform 1/16" joint widths and minimize cutting. Do not use less than 1/2 tile units.
8. Prepare surfaces and install tile in accordance with Tile Council of America recommendations.

09560 - ENGINEERED WOOD FLOORING

1. Furnish and install engineered wood flooring as scheduled and indicated on the drawings.
2. Flooring shall be San Peire 7 1/2" wide x 5/8" thick prefinished European Oak by Duchateau Flooring Company in San Diego CA, 888-382-4283.
3. Installation shall be in accordance with manufacturer's printed instructions.

09900 - PAINTING

4. Provide all painting and finishing of new and existing surfaces to complete the work as indicated.
5. The Contractor shall prepare all new surfaces for painting. Existing surfaces to be repainted shall be prepared prior to priming.
6. Interior surfaces: All materials shall be best grade products as manufactured by Benjamin Moore or Sherwin-Williams, premium or superior lines.
7. Exterior painting shall be one primer coat and two finish coats of exterior grade latex house paint. Materials to be as manufactured by Cabot Stains Co or Benjamin Moore.
8. All exposed wood trim shall be back primed, all end cuts shall be primed.
9. Inspect surfaces, report unsatisfactory conditions in writing; beginning work means acceptance of substrate.
10. Color(s) shall be as selected by the Architect & Owner from Manufacturer's full range.
11. Painting Schedule:
 - A. Exterior Clapboard Siding for Stained Finish:
 - System: 1 coat mildew cleaner, 2 coats stain, oil base by Cabots, Sikkens or Benjamin Moore or approved equal.
 - Exterior Cedar Shingle Siding:
 - To be left natural, do not stain
 - B. Interior and Exterior Ferrous Metals:
 - Gloss: Satin
 - System: 1 coat rust-inhibiting primer, 2 coats latex enamel
 - C. Interior and Exterior Galvanized Metal:
 - Gloss: Flat
 - System: 2 coats galvanized metal primer
 - D. Interior Gypsum Drywall and Plaster Walls:
 - Gloss: Eggshell
 - System: 1 coat latex primer, 2 coats latex finish
 - E. Interior Gypsum Drywall Walls to Receive Wall Covering:
 - System: 1 coat latex primer
 - F. Interior Gypsum Drywall and Plaster Ceilings:
 - Gloss: Flat
 - System: 1 coat latex primer, 2 coats latex finish
 - G. Interior Wood for Transparent Finish:
 - Gloss: Satin
 - System: 1 coat water base sealer, 2 coats water base polyurethane
 - H. Interior Wood for Painted Finish:
 - Gloss: Semi
 - System: 1 coat latex primer, 2 coats latex finish. **All interior wood to be painted will have brush or spray applied paint. Paint is not to be applied with roller.**

DIVISION 10 - SPECIALTIES

10300 - FIREPLACES

1. Provide prefabricated gas fireplace insert unit in existing fireplace with vent as indicated and as scheduled.

10800 - TOILET ACCESSORIES

1. Install all toilet and bath accessories as manufactured as scheduled.
2. Provide wood blocking for all wall-mounted toilet and bath accessories.
3. Installation shall be in accordance with manufacturer's instructions and approved submittals.
4. Install materials and systems in proper relation with adjacent construction and with uniform appearance.
5. Coordinate with work of other sections.

DIVISION 11 - EQUIPMENT

11451 - DOMESTIC EQUIPMENT

1. Contractor is to install all Owner supplied kitchen and laundry equipment as scheduled and as indicated.
2. Coordinate work with all related trades.

DIVISION 13 - SPECIAL CONSTRUCTION

13770 - SOUND AND VIBRATION CONTROL

1. Provide full cavity mineral wool insulation at all new interior room partitions and at all new interior ceilings between floors.

DIVISION 15 - MECHANICAL

15400 - PLUMBING; DESIGN-BUILD WORK

1. The work of this section includes furnishing all material labor and equipment to complete the work as indicated and as required by all applicable codes.
2. Provide all plumbing fixtures as indicated and scheduled. Substitutions shall be permitted after written approval of the Architect and Owner.
3. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials in proper relation with adjacent construction and with uniform appearance for exposed work. Coordinate with work of other sections. Comply with applicable regulations and building code requirements
4. Provide hot and cold water domestic supply system and sanitary waste and vent system.
5. Install shutoff valves on each piece of equipment on both hot and cold water supply
6. Clearly label all valves and components
7. Provide capability for seasonal shut off and draining of all plumbing.

15600 - HEATING AND AIR CONDITIONING; DESIGN-BUILD WORK

1. Prior to commencing any work, the Contractor shall submit for review by the Architect drawings and calculations in full accordance with these performance specifications. The work covered consists of all labor and materials necessary to install, complete and ready for continuous operation, the heating systems and equipment.
2. All equipment and materials furnished under the HVAC Subcontracts and labor performed herein shall be in complete accordance with the Massachusetts State Building Codes, the Town of Truro, National Fire Protection Association, and insurance regulations and requirements governing such work.
3. Permits required for installation of any and all material should be obtained as part of the work of the Specification, including all fees or expenses incurred.
4. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials in proper relation with adjacent construction and with uniform appearance for exposed work. Coordinate with work of other sections.
5. Prior to installation, the contractor shall submit for review by the Architect and Owner the location(s), configuration and the design of all exterior and interior intakes, vents, louvers and grills.
6. All floor registers @ wood flooring to be flush-mount wood "egg crate" style in oak to match flooring. All other floor registers to be brushed aluminum. Contractor to supply Architect with register samples for review.
7. All wall and ceiling registers to be "Linear" grill pattern from Pacific Register Company, or approved equal.
8. Provide programmable, WIFI enable thermostat.
9. The Owner shall be instructed regarding the operation and maintenance of the system. Operation and maintenance manuals shall be provided.
10. Guarantee all materials and equipment in writing for one (1) year from the date of acceptance of the building by the Owner.
11. Exterior dryer vents shall be Seibo SFZC series; all bath exhaust vents to be Seibo SFZC series.

A. SCOPE

Provide new heating & cooling system to allow for the following:

1. Provide energy recovery ventilators (ERV) as necessary to meet Massachusetts stretch code. Unit shall be a packaged static plate enthalpic-energy recovery ventilator. The energy recovery cores shall be certified by ARI under its Standard 1060 for Energy Recovery Ventilators. ARI published certifications shall confirm manufacturers published performance for airflow, static pressure, temperature and total effectiveness, purge air (OACF) and exhaust air leakage (EATR). Manufacturer shall be able to verify a maximum flame spread index (FSI) of 25 and a maximum smoke developed index (SDI) of 50 thereby meeting NFPA 90A and NFPA 90B requirements for materials in a compartment handling air intended for circulation through a duct system.
2. Provide make-up air as required by code at kitchen ventilator.
3. Provide ducted electric heat pump heating & cooling distribution system for entire house.
4. Provide ducted electric heat pump heating & cooling distribution system for entire guest house / studio.
5. Test, adjust and balance all systems and make all adjustments as required to make them operate as specified.

DIVISION 16 - ELECTRICAL

1. Refer to Drawings for schedules and locations of electrical circuits, switches, receptacles and fixtures. Installation shall be as indicated and as required by all applicable codes. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
2. Arrangement indicated on the drawings is diagrammatic, and indicates the minimum requirements for the electrical work. Site conditions and code requirements shall determine the actual arrangement of conduits, boxes, and similar items. Take field measurements before fabrication
3. Provide new 200 amp electrical panel and service in compliance with all applicable codes.
4. All electrical meters and related equipment to be installed on the side of the house. Do not pace any electrical equipment on the front of the house.
5. Include primary service, transformers, distribution center, grounding, power and lighting panels, wiring, outlet boxes, receptacles, switches, conduits, and raceways and all accessories.
6. Provide all lighting fixtures as scheduled. Substitutions shall be permitted only after written approval of the Architect and Owner.
7. Provide smoke detectors at each bedroom, stair landing and as otherwise required.
8. Provide Carbon Monoxide detectors as indicated and as required by applicable codes.
9. Provide cable and telephone outlets as indicated or as directed by the Owner. Connect to cable system furnished by Owner.
10. All data lines to be CAT6 or superior cabling.
11. All lighting to be dimmer controlled with Lutron Diva Preset Dimmers or approved equal.
12. Kitchen receptacles and switches shall be mounted horizontally.
13. All power outlets mounted in cabinetry to be Sillites #5CR outlets. Confirm color with Architects.
14. All floor-mounted power outlets to be Sillites #5CR outlets with #FR rings. Confirm color with Architects.
15. Exterior waterproof receptacles shall be Low Profile "IN BOX" from Arlington Industries, or equivalent; any substitutions are to be submitted for approval.

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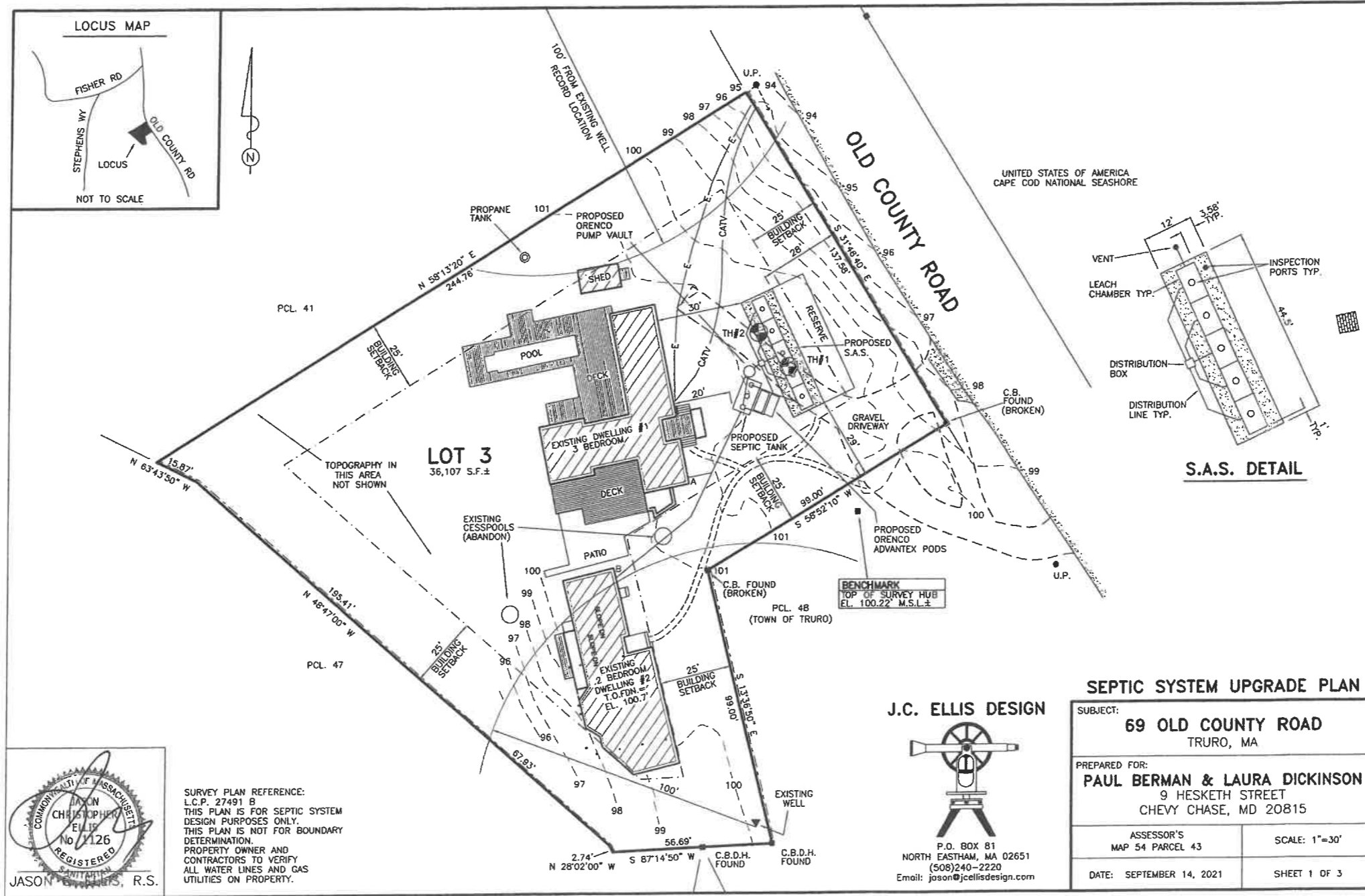
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence

69 Old County Road
Truro, MA

G-2

SEPTIC WORK IS COMPLETE PROVIDED FOR INFORMATION ONLY



1 EXISTING SITE & SEWER PLAN
SCALE: 1" = 20'

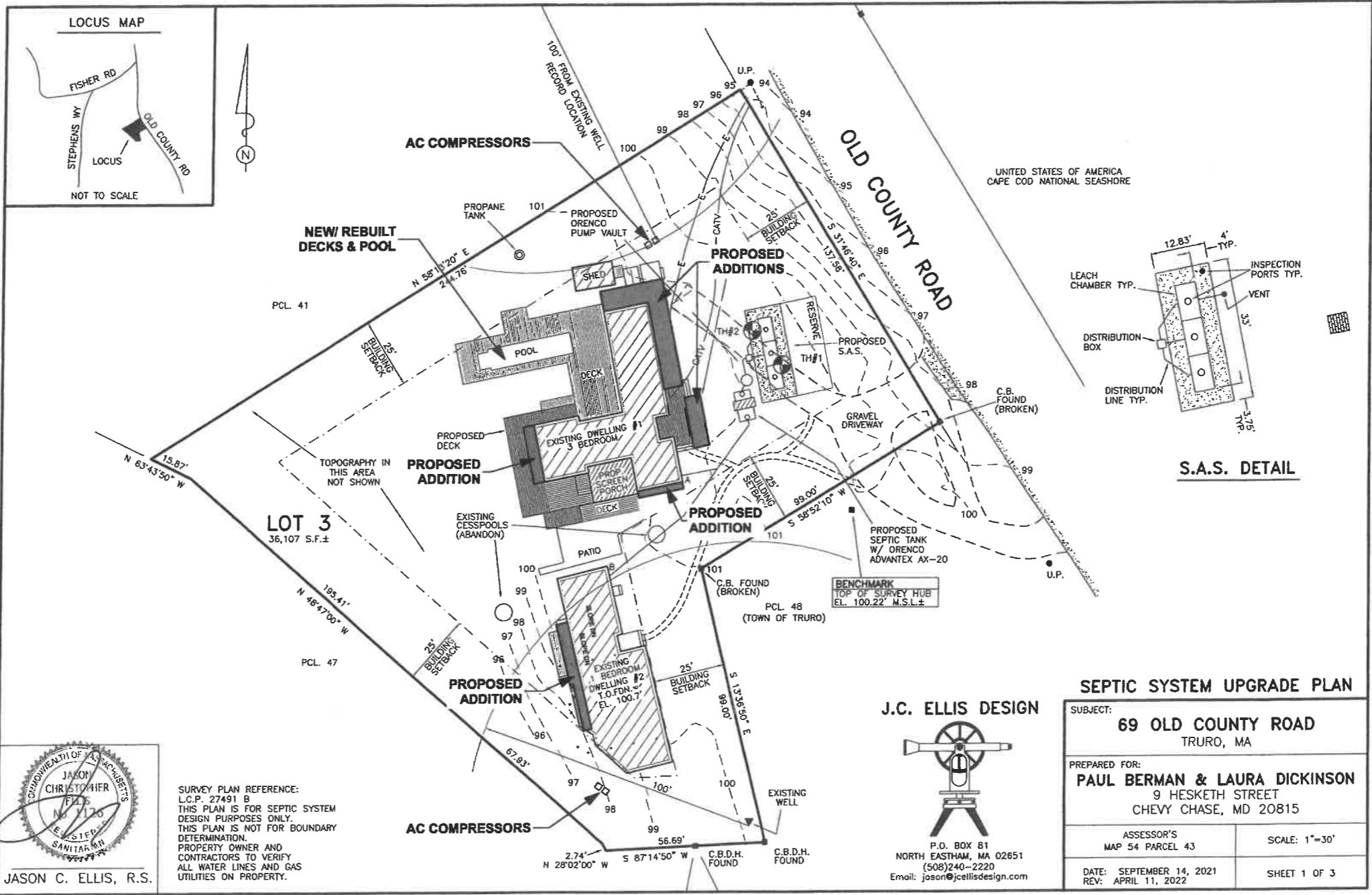
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Title: EXISTING SITE & SEWER PLAN
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
69 Old County Road
Truro, MA

L-1

SEPTIC WORK IS COMPLETE PROVIDED FOR INFORMATION ONLY



1 PROPOSED SITE PLAN
SCALE: 1" = 30'

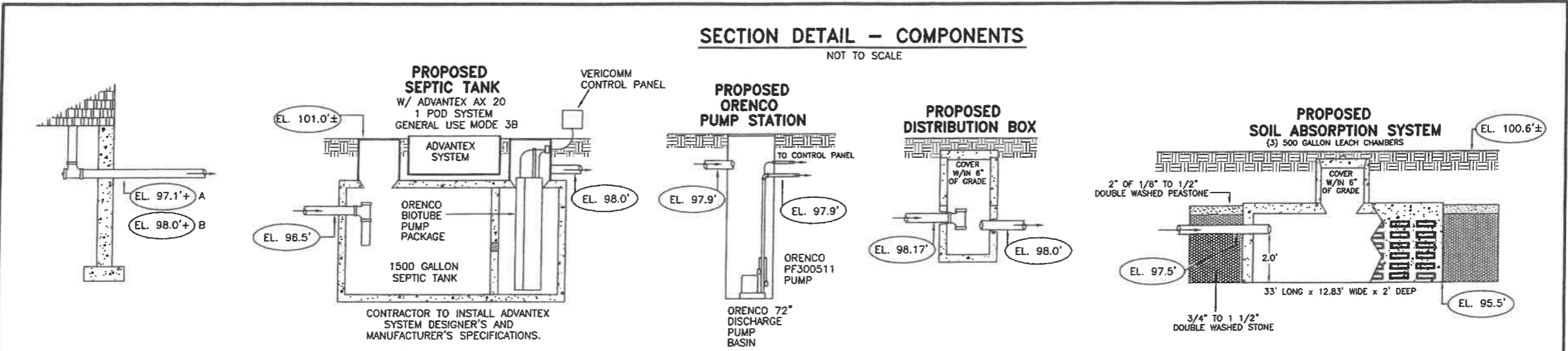
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Title: PROPOSED SITE PLAN
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
69 Old County Road
Truro, MA

L-2

SEPTIC WORK IS COMPLETE PROVIDED FOR INFORMATION ONLY



DEEP HOLE DATA

PERFORMED BY: JASON C. ELLIS, R.S., S.E.
WITNESSED BY: AROZANA DAVIS, TRURO BOH
TEST DATE: SEPTEMBER 14, 2021

#1		#2	
DEPTH	ELEV.	DEPTH	ELEV.
0.00'	100.7'	0.00'	100.6'
0.75'	99.95'	1.0'	99.6'
2.66'	98.04'	2.83'	97.7'
10.25'	90.45'	10.0'	90.6'
NO WATER ENCOUNTERED		NO WATER ENCOUNTERED	

NOTES

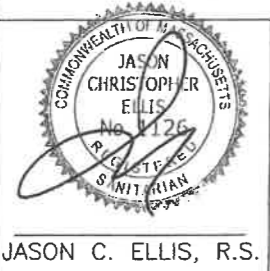
- ALL PRECAST COMPONENTS LOCATED UNDER DRIVEWAY TO BE H-20 RATED.
- ELEVATION DATUM IS M.S.L.±.
- MUNICIPAL WATER IS NOT AVAILABLE.
- ALL CONSTRUCTION TO CONFORM WITH 310 CMR 15.000 AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- INSTALLER/CONTRACTOR TO REVIEW & VERIFY ALL ELEVATIONS AND DETAILS AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION OR ASSUME ALL RESPONSIBILITY.
- INSTALLER/CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SAFE WORK AREA, VERIFYING ALL UTILITIES AND NOTIFYING DIG SAFE PRIOR TO CONSTRUCTION.
- ANY CHANGES TO OR DEVIATIONS FROM THIS PLAN MUST BE APPROVED IN WRITING BY J.C. ELLIS DESIGN CO. AND BOARD OF HEALTH.
- FINISH COVER OVER COMPONENTS IS NOT TO EXCEED 3' PER 310 CMR 15.000.
- ALL ABANDONED SEPTIC SYSTEM COMPONENTS TO BE PUMPED DRY AND FILLED WITH CLEAN SAND OR REMOVED AND REPLACED WITH CLEAN SAND.
- ALL COMPONENTS TO BE PROVIDED WITH WATERTIGHT ACCESS PORTS WITHIN 6" OF FINISH GRADE.
- ALL SEPTIC TANKS, DISTRIBUTION BOXES AND PIPING TO BE INSTALLED WATERTIGHT.
- NO KNOWN WELLS EXIST WITHIN 100' OF PROPOSED LEACH AREA.
- LEACH AREA TO BE PROVIDED WITH AT LEAST ONE INSPECTION PORT CONSISTING OF A PERFORATED FOUR INCH PIPE PLACED VERTICALLY DOWN INTO THE STONE TO THE NATURALLY OCCURRING SOIL OR SAND FILL BELOW THE STONE. THE PIPE SHALL BE CAPPED WITH A SCREW TYPE CAP AND ACCESSIBLE WITHIN 3" OF GRADE.
- CONTRACTOR TO TAKE ALL MEANS NECESSARY TO LOCATE ALL EXISTING BUILDING SEWERS AND RELOCATE, ONLY IF NECESSARY, TO LOCATIONS AND ELEVATIONS SPECIFIED.
- CONTRACTOR TO TAKE ALL MEANS NECESSARY TO LOCATE ALL EXISTING CESSPOOLS. ALL EXISTING CESSPOOLS TO BE PUMPED AND FILLED WITH CLEAN SAND.
- INSTALL VENT WITH CHARCOAL FILTER ON S.A.S. ALL EXISTING CESSPOOLS. ALL EXISTING CESSPOOLS TO BE

DESIGN CALCULATIONS

FLOW RATE:
3 BEDROOM DWELLING #1 = 330 G/P/D REQUIRED
1 BEDROOM DWELLING #2 = 110 G/P/D REQUIRED
TOTAL FLOW = 440 G/P/D REQUIRED
(110 G/P/D PER BEDROOM x 4 BEDROOMS)
NO GARBAGE GRINDER ALLOWED

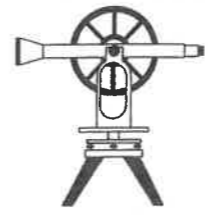
PROPOSED SEPTIC TANK:
440 G/P/D x 2 = 880 G/P/D REQUIRED
USE PROPOSED 1500 GALLON 2 COMPARTMENT ORENCO ADVANTEK SEPTIC TANK

PROPOSED SOIL ABSORPTION SYSTEM:
PERC RATE = <2 MIN/IN - CLASS 1 SOIL
SIDEWALL = (33 + 12.83)(2)(2) = 183.32 S.F.
BOTTOM: (33)(12.83) = 423.39 S.F.
(183.32 + 423.39)(0.74) = 448.96 G/P/D PROVIDED
USE: (3) 500 GALLON LEACH CHAMBERS W/ STONE AS SHOWN IN DETAIL.



JASON C. ELLIS, R.S.

J.C. ELLIS DESIGN



P.O. BOX 81
NORTH EASTHAM, MA 02651
(508)240-2220
jcellisdesign@verizon.net

SEPTIC SYSTEM UPGRADE PLAN

SUBJECT: 69 OLD COUNTY ROAD TRURO, MA	
PREPARED FOR: PAUL BERMAN & LAURA DICKINSON 9 HESKETH STREET CHEVY CHASE, MD 20815	
ASSESSOR'S MAP 54 PARCEL 43	
DATE: SEPTEMBER 14, 2021 REV: APRIL 11, 2022	SHEET 2 OF 3

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

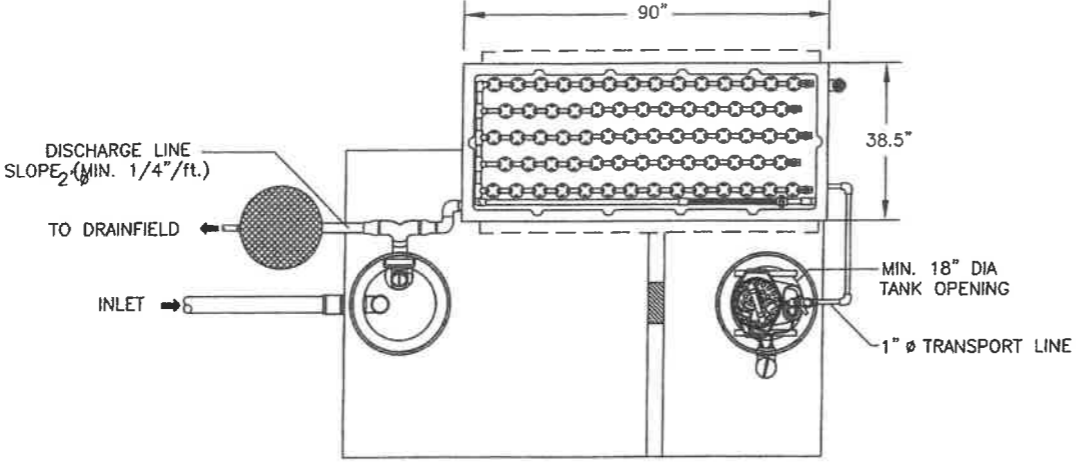
Title: SEWER PLAN
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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69 Old County Road
Truro, MA

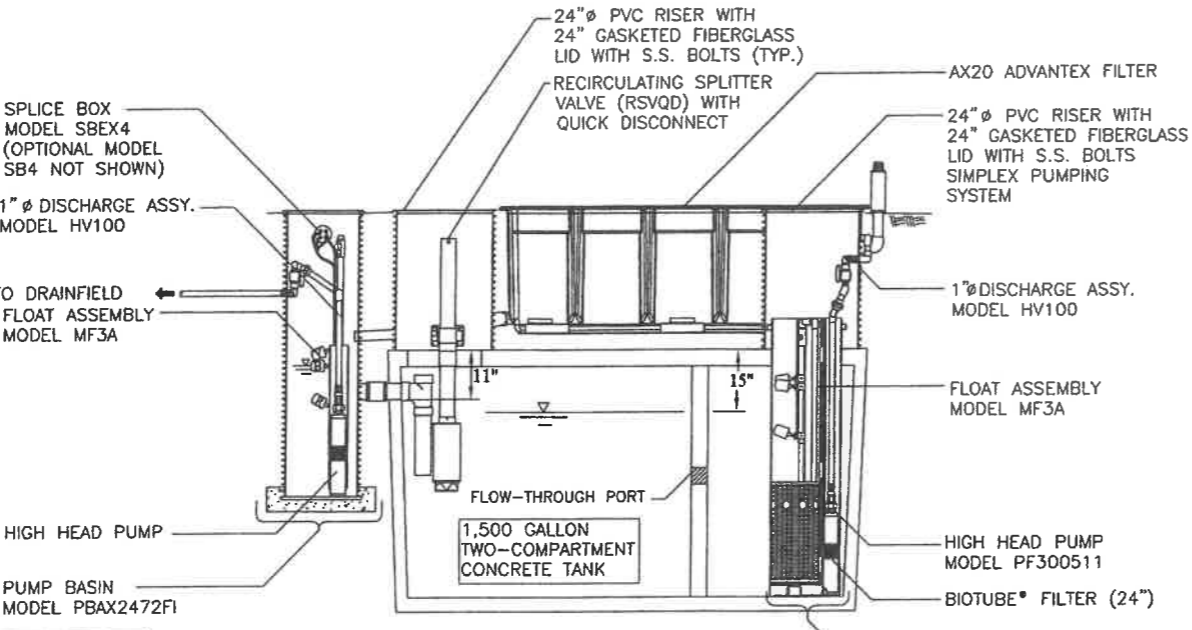
L-3

SEPTIC WORK IS COMPLETE PROVIDED FOR INFORMATION ONLY

ADVANTEX® AX20 MODE 3B



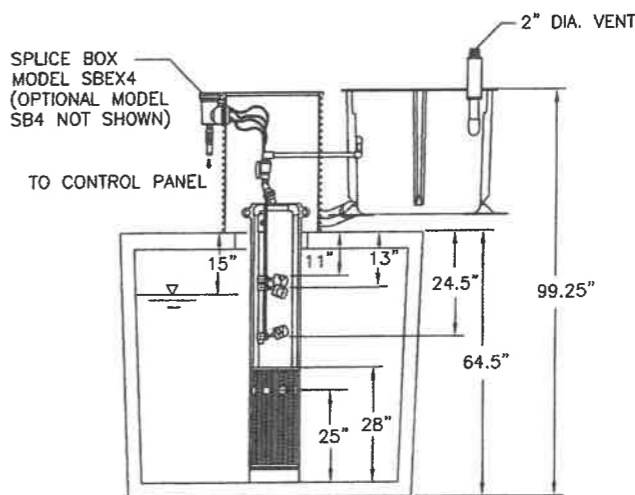
TOP VIEW
NOT TO SCALE



SIDE VIEW
NOT TO SCALE

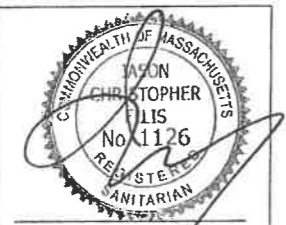
DESIGN NOTES

FOR RESIDENTIAL STRENGTH WASTE UP TO 4-BEDROOMS
 INSTALLATION TO BE PERFORMED BY AN ADVANTEX AUTHORIZED INSTALLER ONLY.
 START-UP AND SERVICE TO BE PERFORMED BY AN ADVANTEX AUTHORIZED SERVICE PROVIDER ONLY.



END VIEW
NOT TO SCALE

FLOAT FUNCTIONS	
Y	HIGH LEVEL ALARM
G	OVERRIDE TIMER ON/OFF
W	LLA/RO
B	PUMP ON
R	PUMP OFF



JASON C. ELLIS, R.S.

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 NORTH EASTHAM, MA 02651
 (508)240-2220
 jason@jcellisdesign.com

ADVANTEX AX20 1 POD MODE 3B

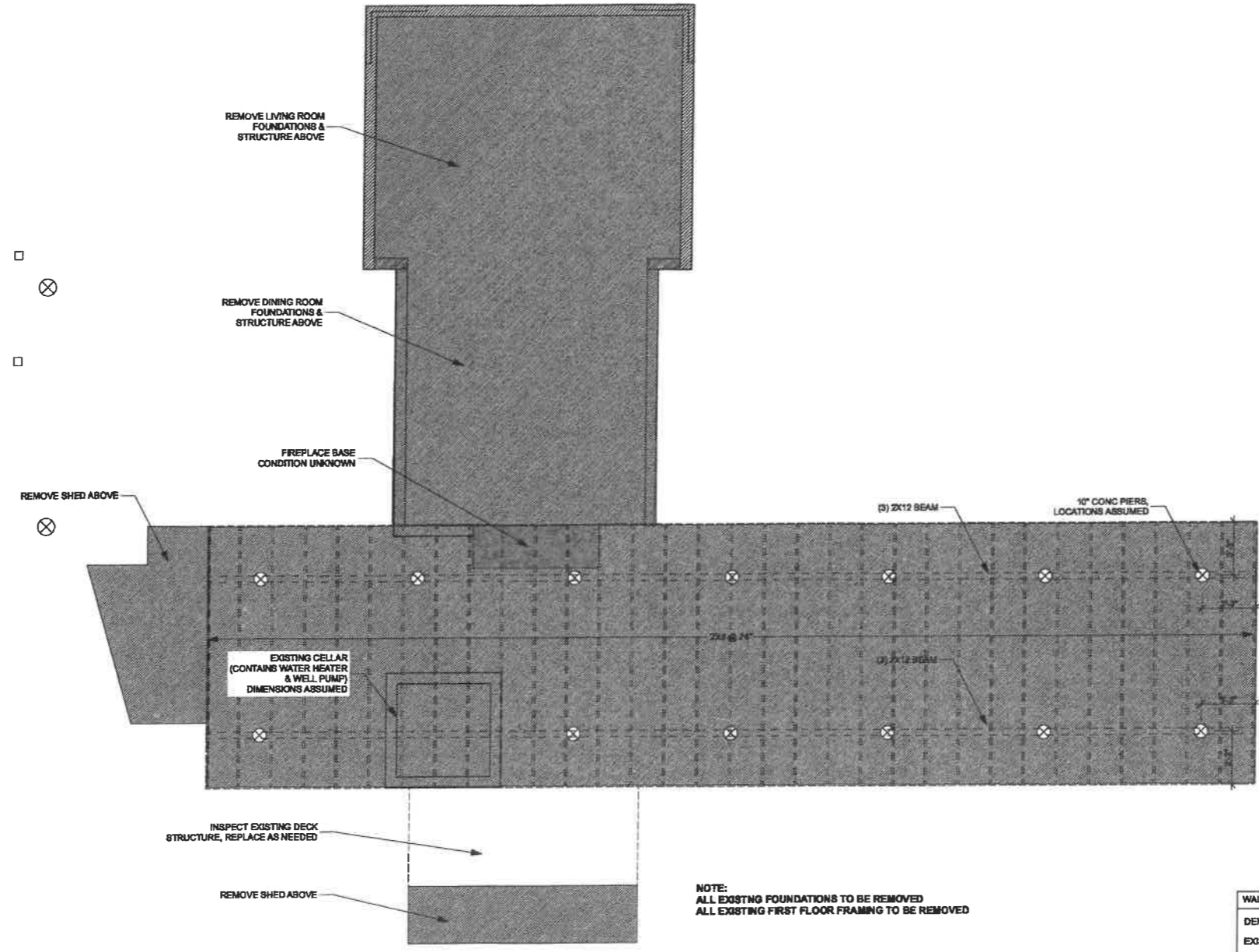
SUBJECT:	
69 OLD COUNTY ROAD TRURO, MA	
PREPARED FOR:	
PAUL BERMAN & LAURA DICKINSON 9 HESKETH STREET CHEVY CHASE, MD 20815	
ASSESSOR'S MAP 54 PARCEL 43	
DATE: SEPTEMBER 14, 2021 REV: APRIL 11, 2022	SHEET 3 OF 3

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 617.876.5121

Title: SEWER PLAN
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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L-4



WALL LEGEND	
DEMO	
EXISTING FOUNDATION	
NEW FOUNDATION	
EXISTING CONSTRUCTION	
NEW CONSTRUCTION	

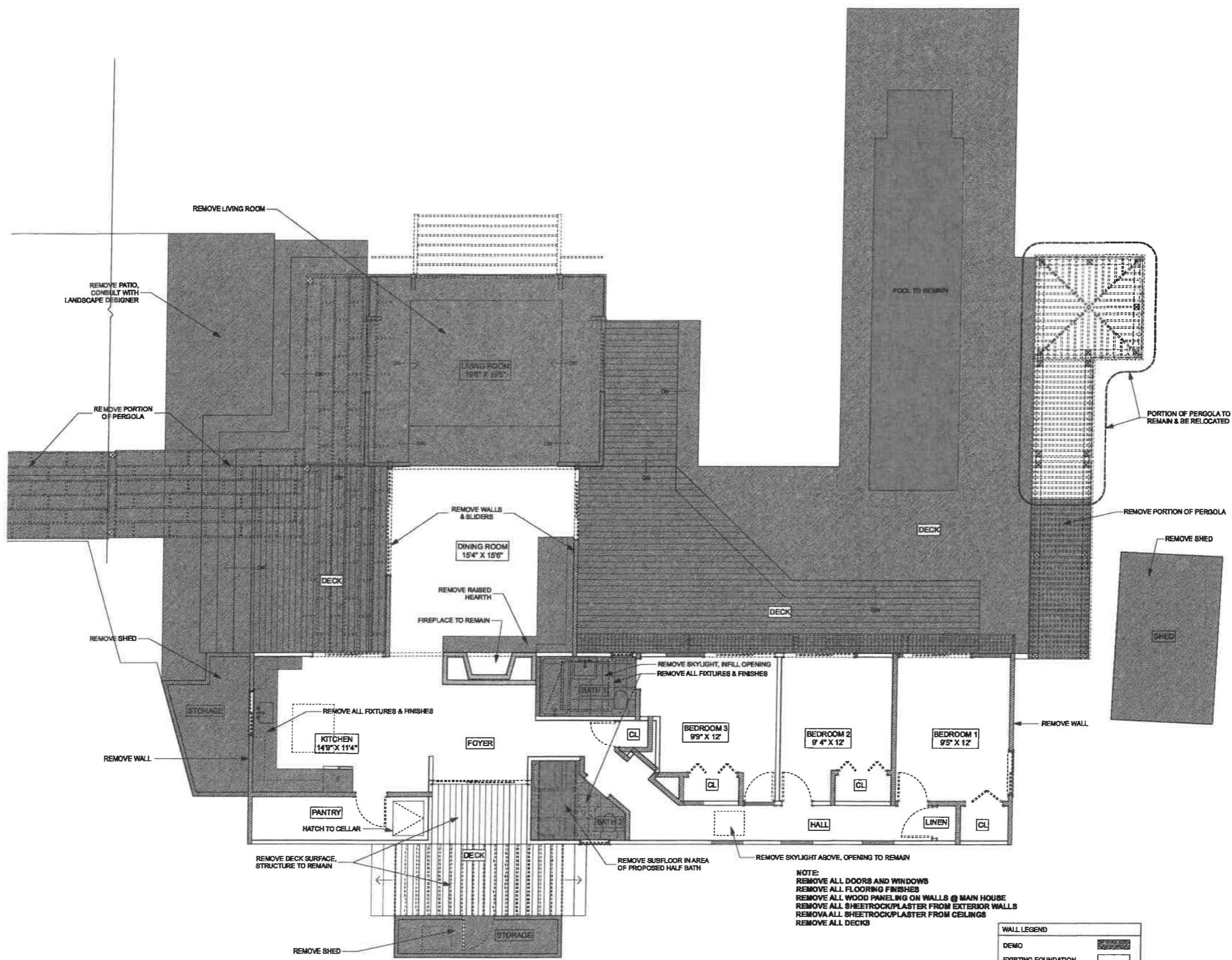
1 BASEMENT DEMO
SCALE: 1/4" = 1'-0"

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: MAIN HOUSE BASEMENT DEMO
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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A-1

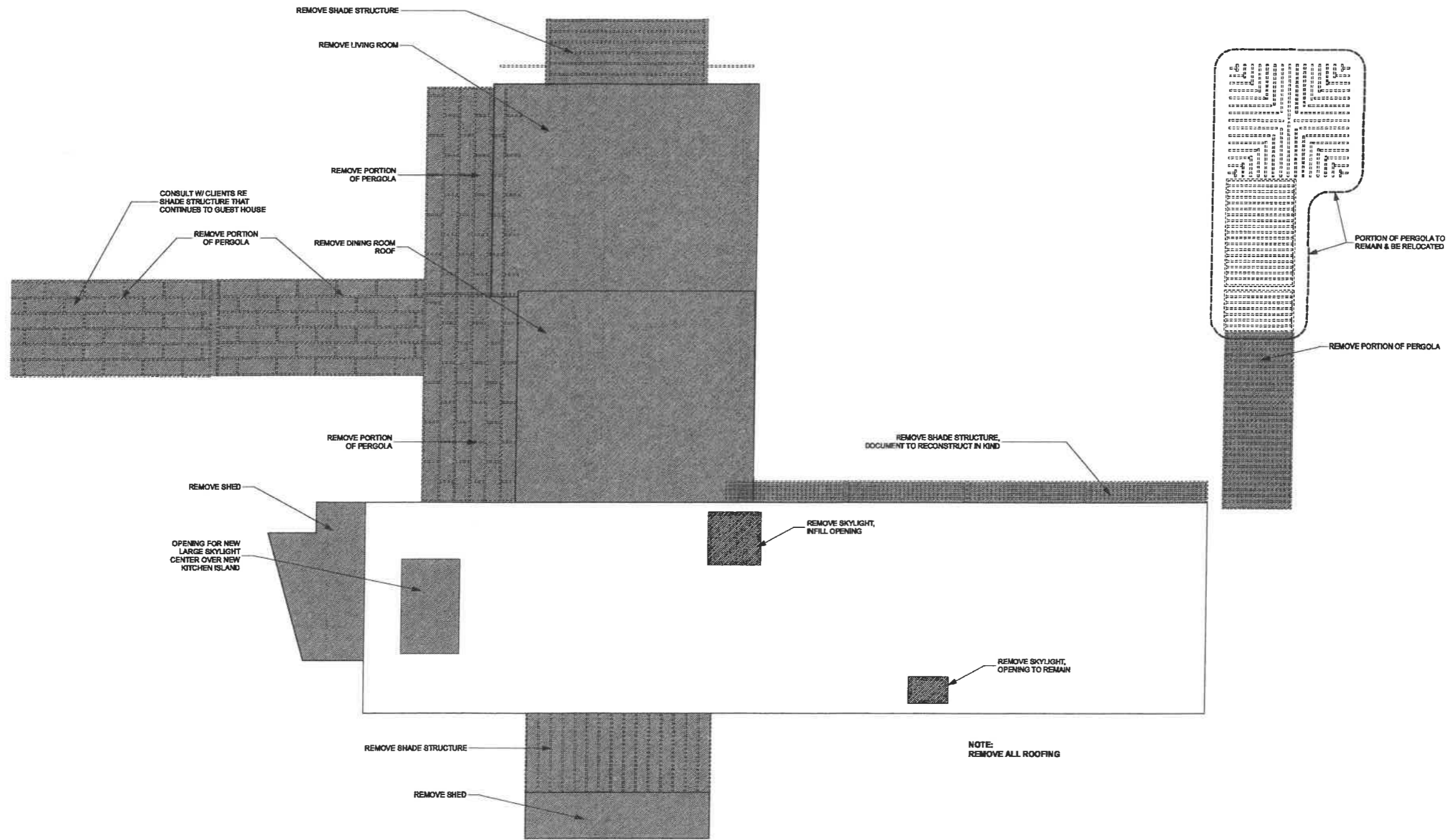


1 FIRST FLOOR DEMO
SCALE: 1/4" = 1'-0"

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21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

Title: MAIN HOUSE FIRST FLOOR DEMO
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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Truro, MA



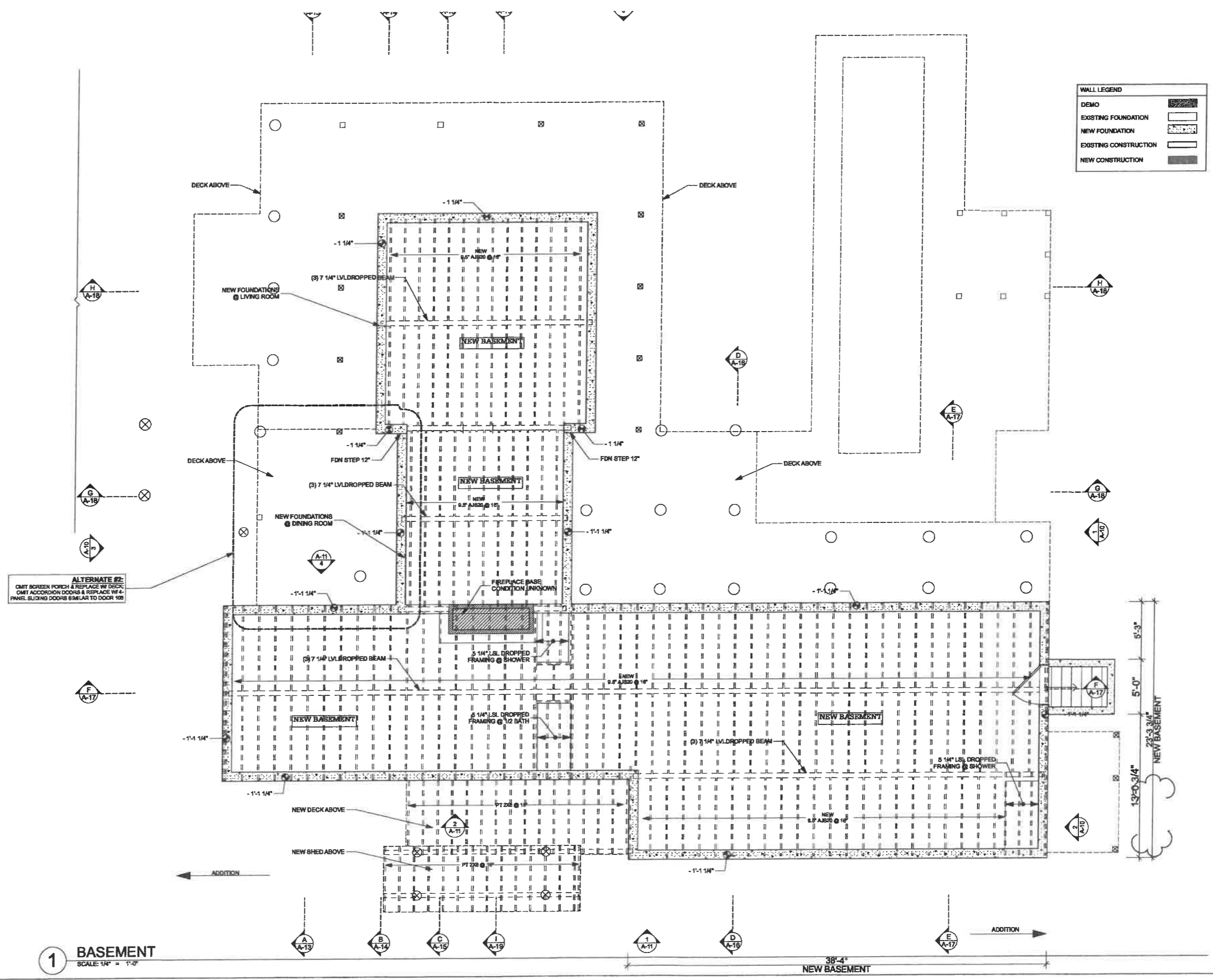
1 ROOF DEMO
SCALE: 1/4" = 1'-0"

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Title: MAIN HOUSE ROOF DEMO
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
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Truro, MA

A-3



WALL LEGEND

DEMO	
EXISTING FOUNDATION	
NEW FOUNDATION	
EXISTING CONSTRUCTION	
NEW CONSTRUCTION	

ALTERNATE #2:
 OMIT SCREEN PORCH & REPLACE W/ DECK;
 OMIT ACCORDION DOORS & REPLACE W/ 4-
 PANEL SLIDING DOORS SIMILAR TO DOOR 109

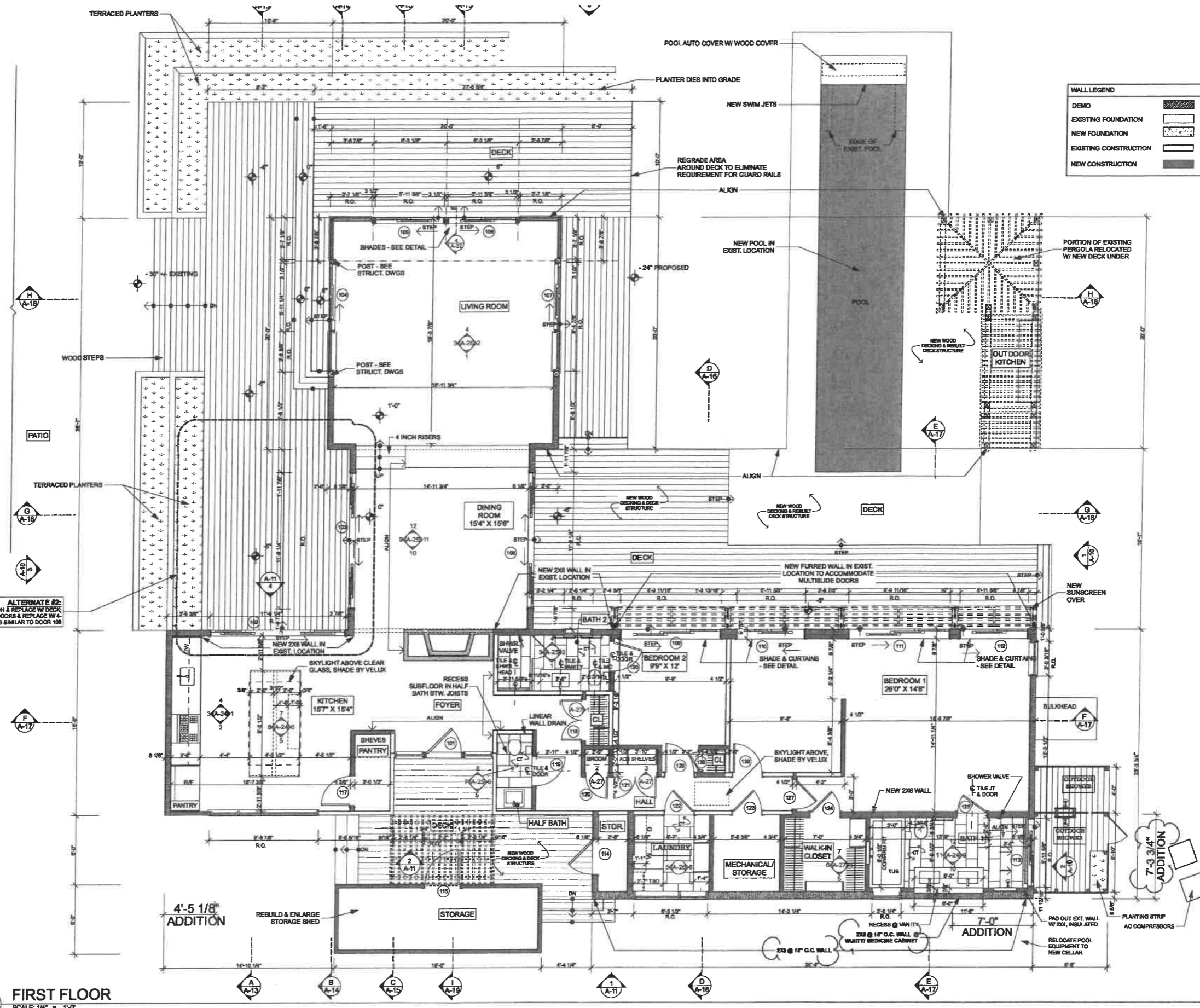
1 BASEMENT
 SCALE: 1/4" = 1'-0"

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Title: MAIN HOUSE BASEMENT PLAN
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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A-5



2 FIRST FLOOR ALT. #2
SCALE: 1/4" = 1'-0"

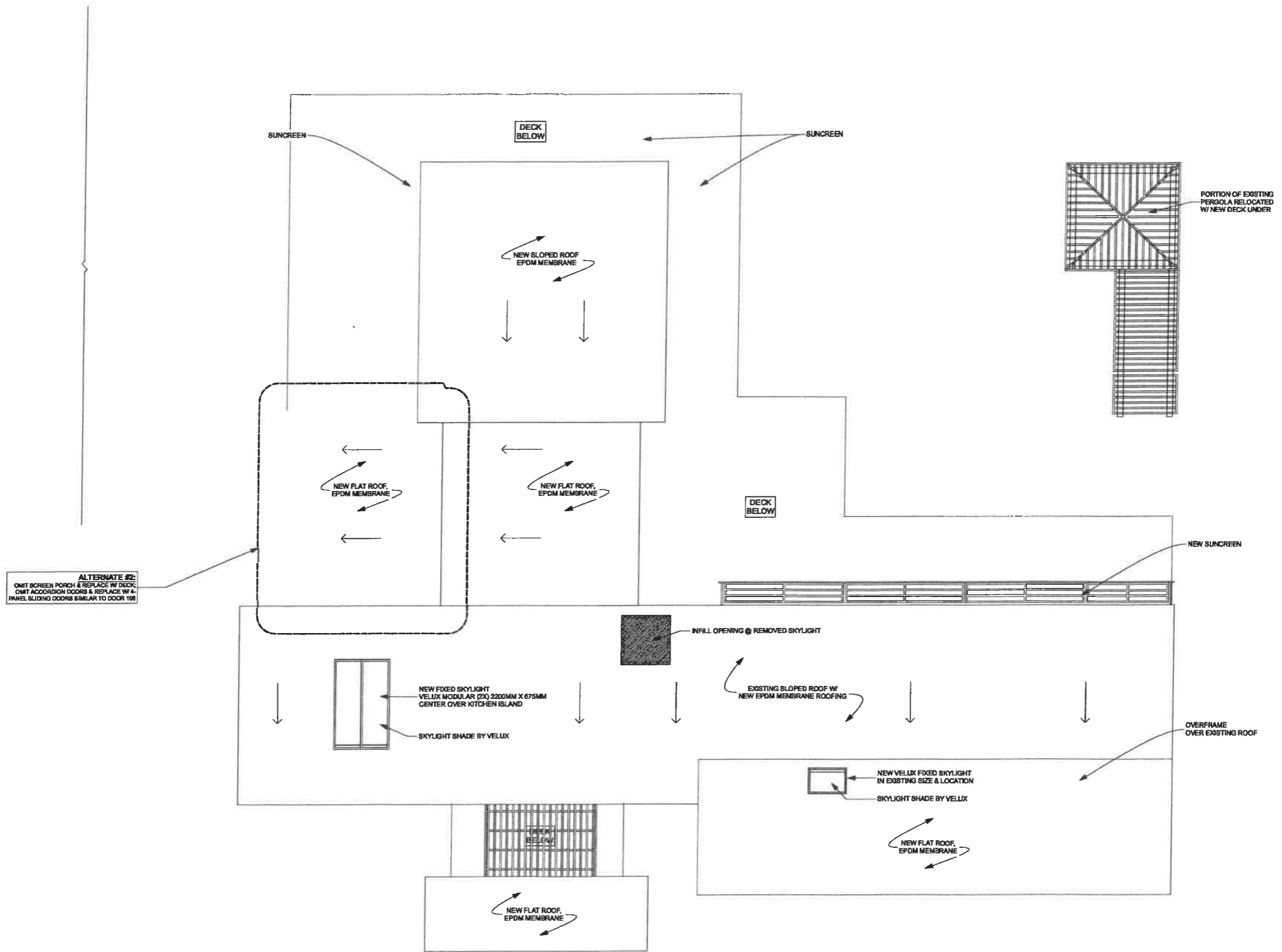
1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

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Title: MAIN HOUSE FIRST FLOOR
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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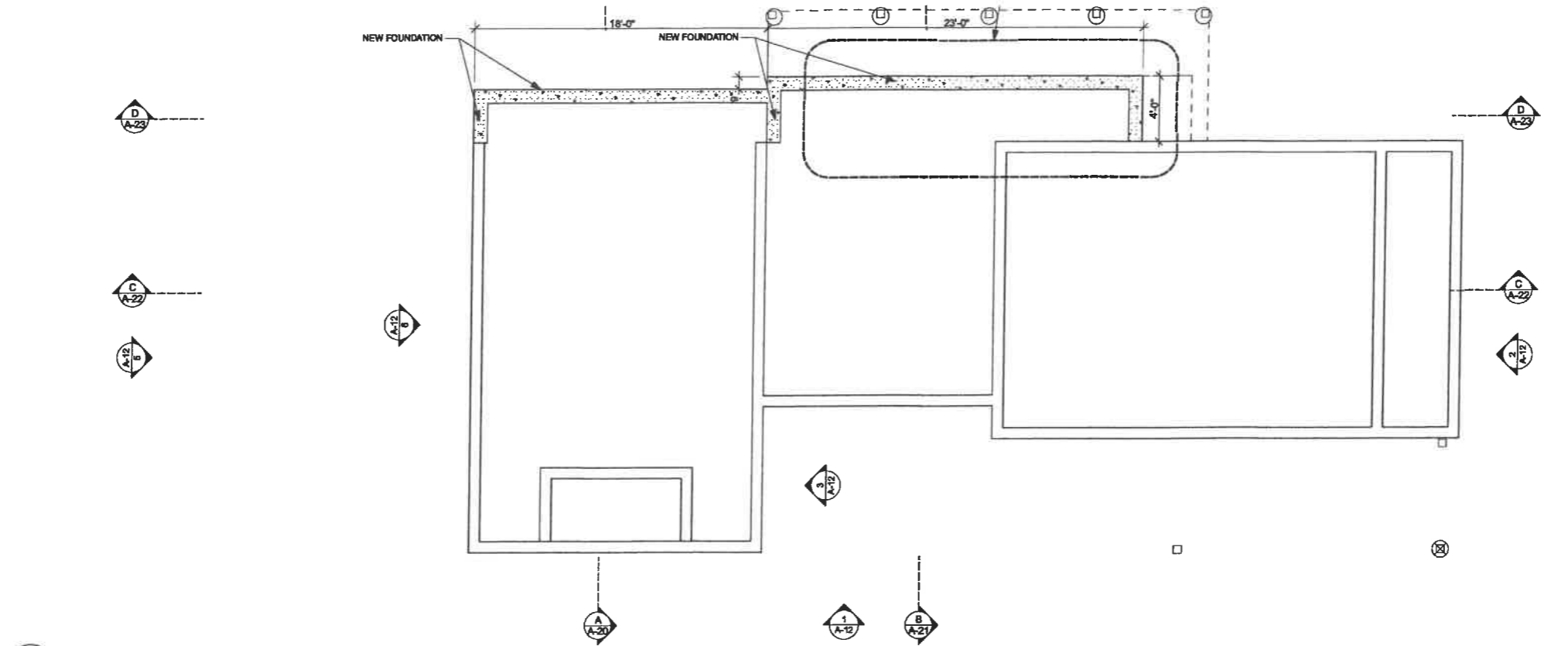
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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617.876.5121

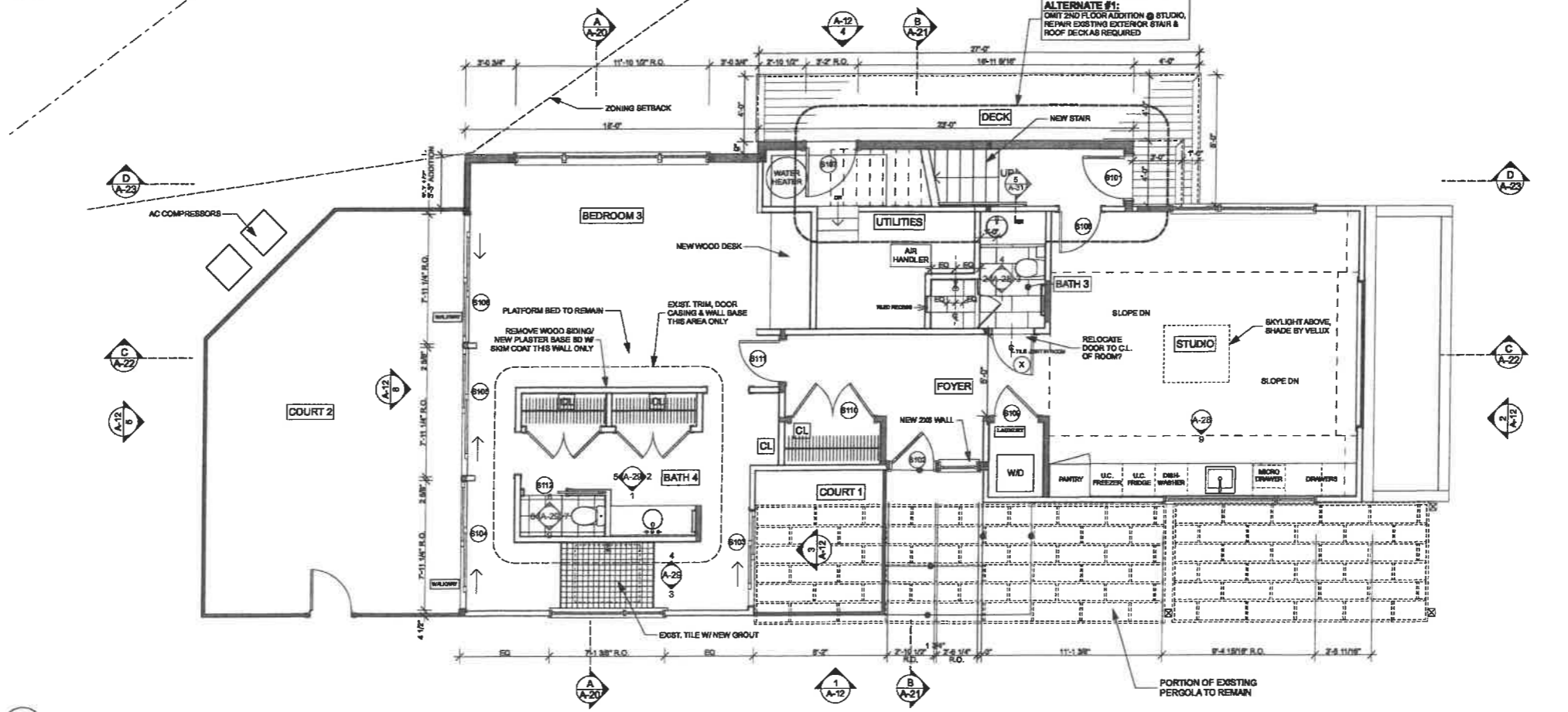
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Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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Truro, MA

A-7



1 SCALE: 1/4" = 1'-0"



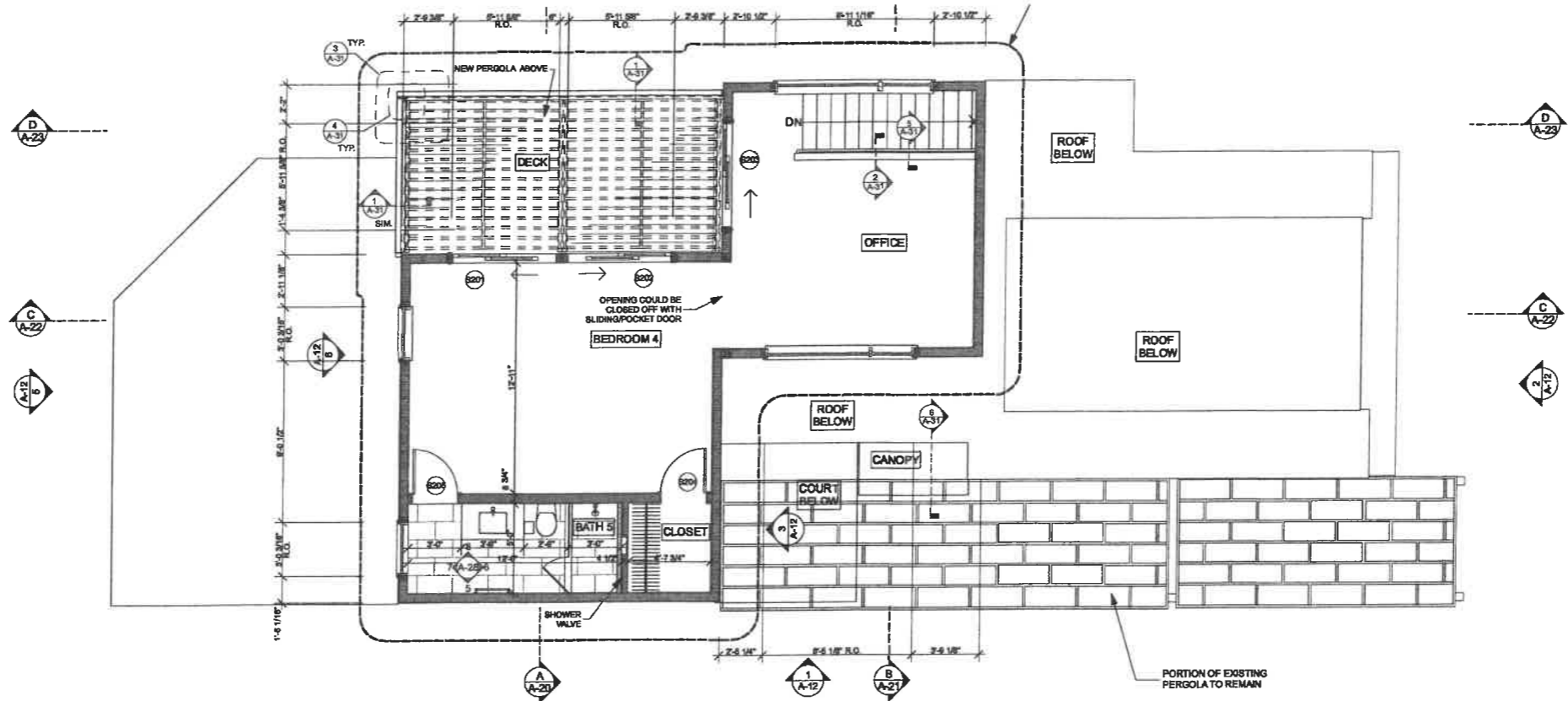
2 SCALE: 1/4" = 1'-0"

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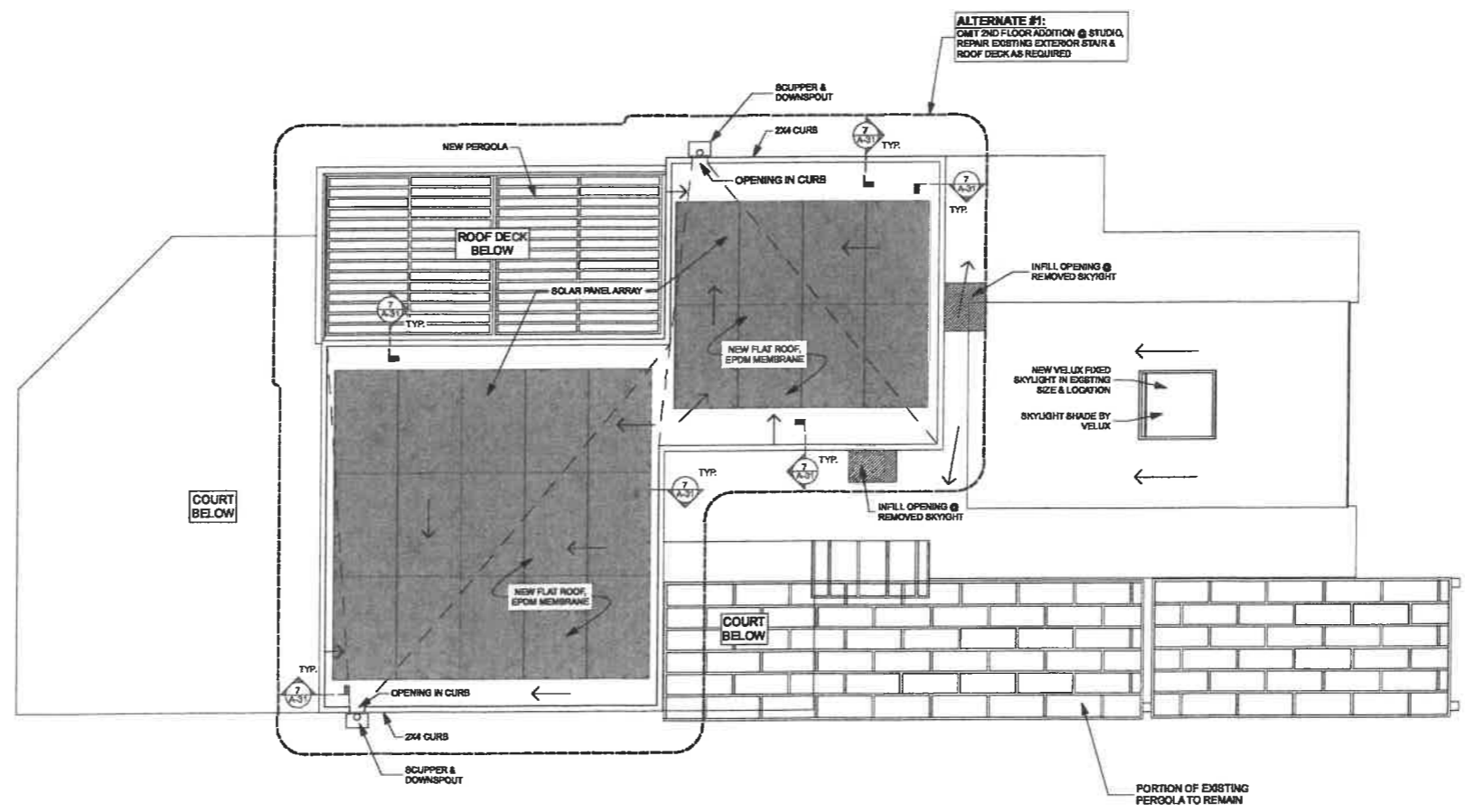
Title: STUDIO PLANS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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A-8



1 SCALE: 1/4" = 1'-0"



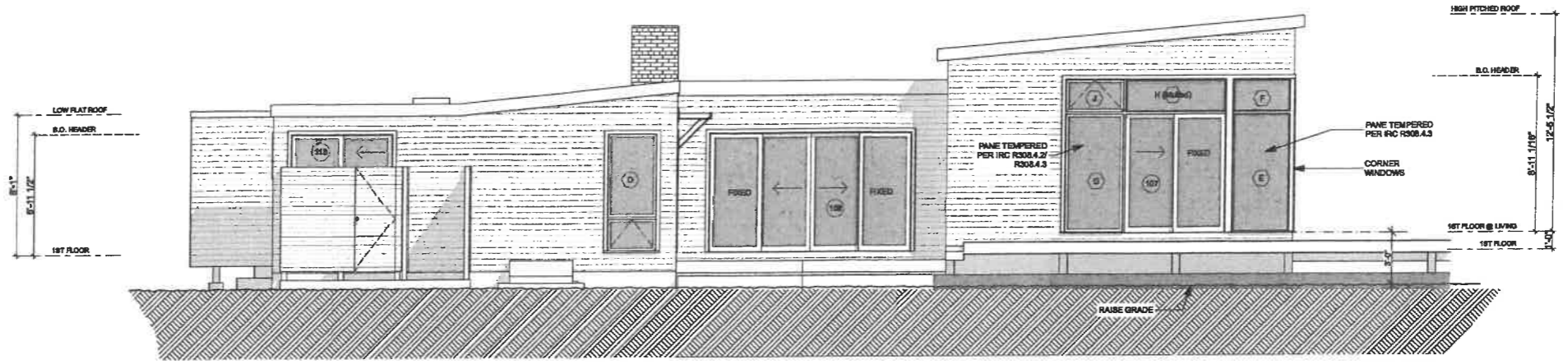
2 SCALE: 1/4" = 1'-0"

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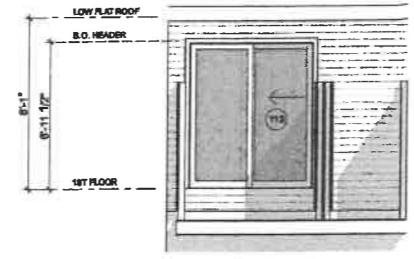
Title: STUDIO PLANS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
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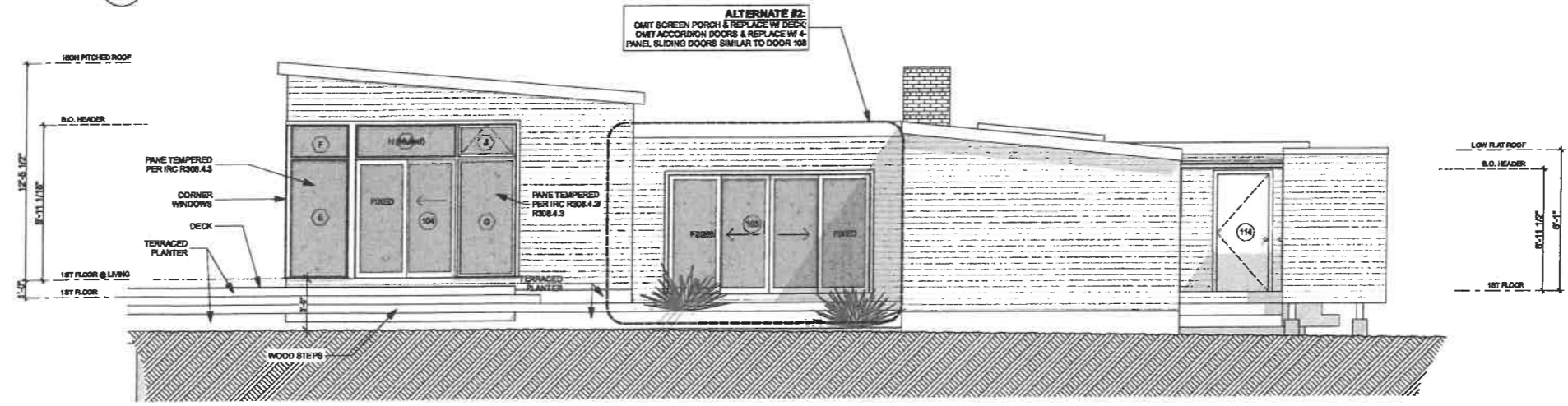
A-9



1 MAIN HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 HIDDEN NORTH ELEVATION
SCALE: 1/4" = 1'-0"

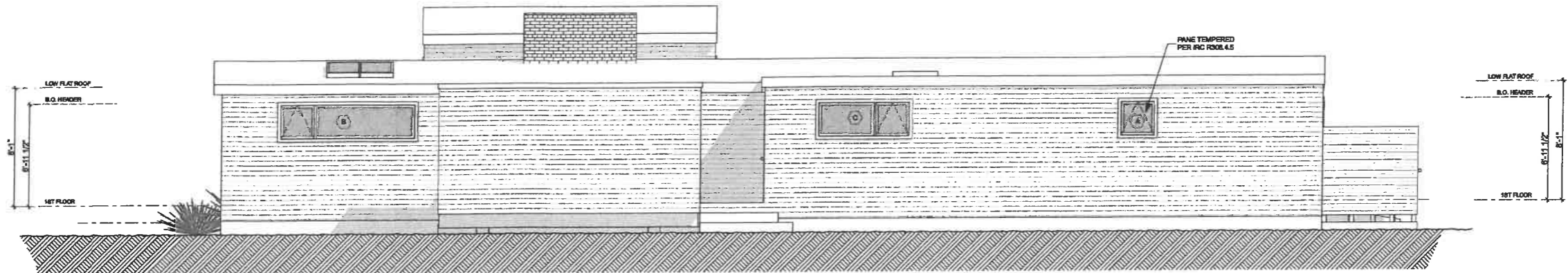


3 MAIN HOUSE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

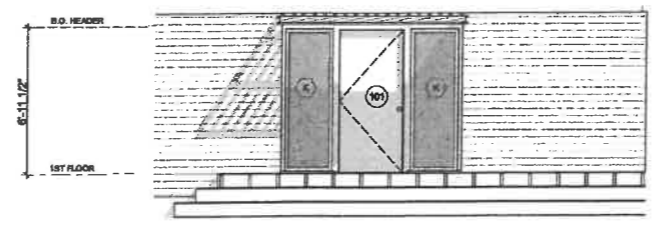
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Title: MAIN HOUSE ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

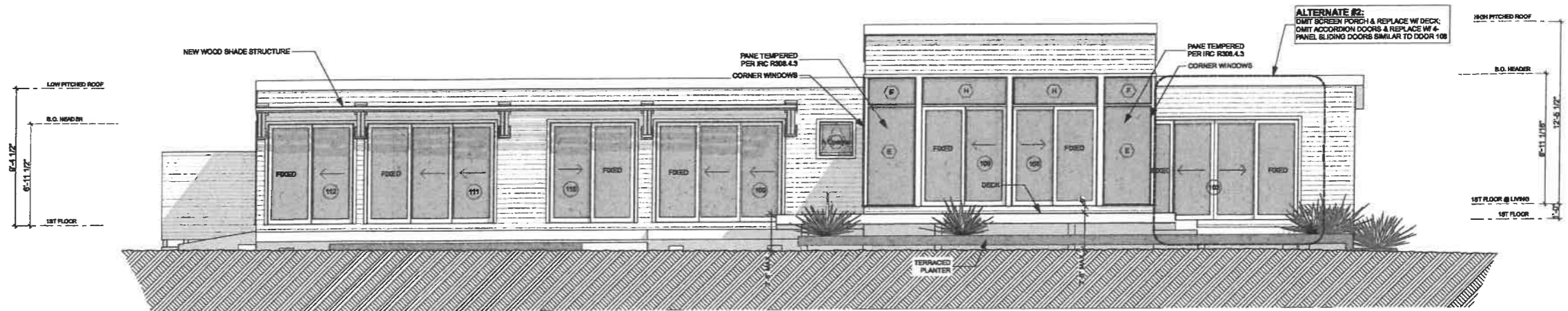
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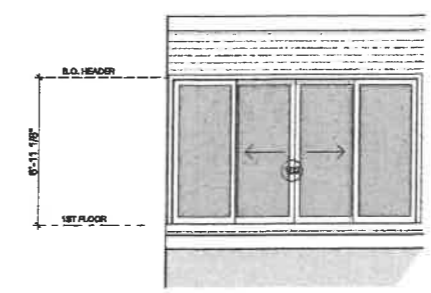
1 MAIN HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 HIDDEN EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 MAIN HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"

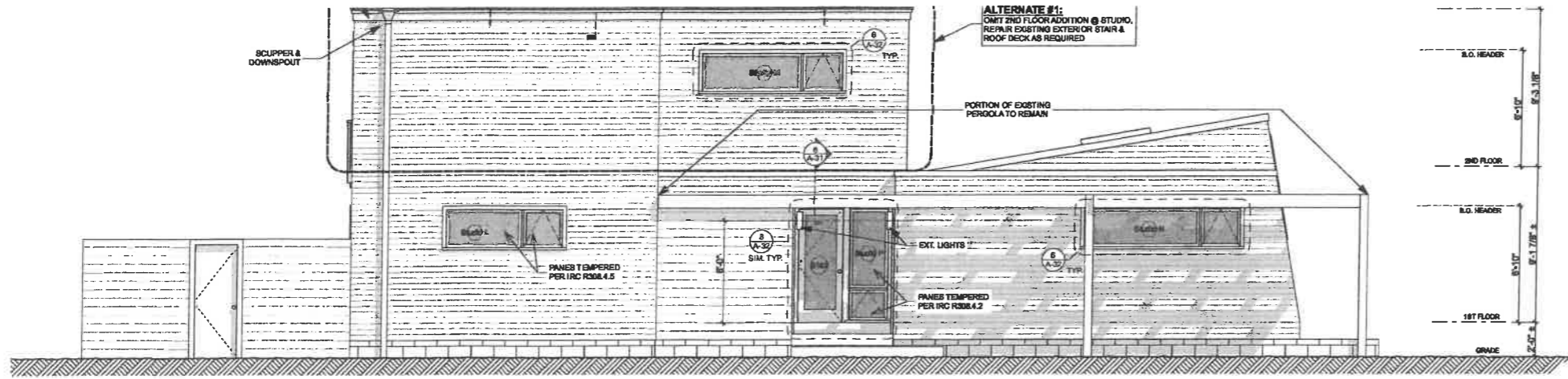


4 HIDDEN WEST ELEVATION
SCALE: 1/4" = 1'-0"

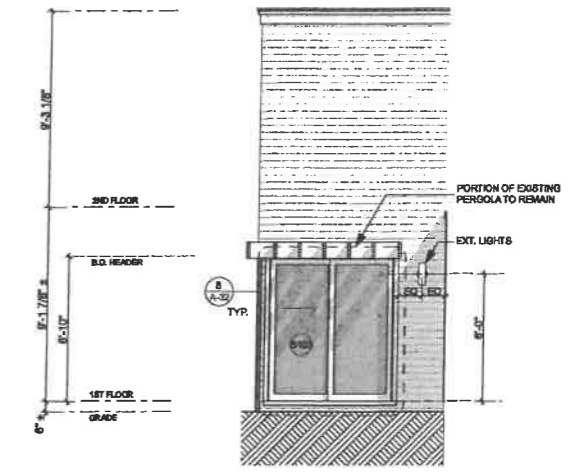
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Title: MAIN HOUSE ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

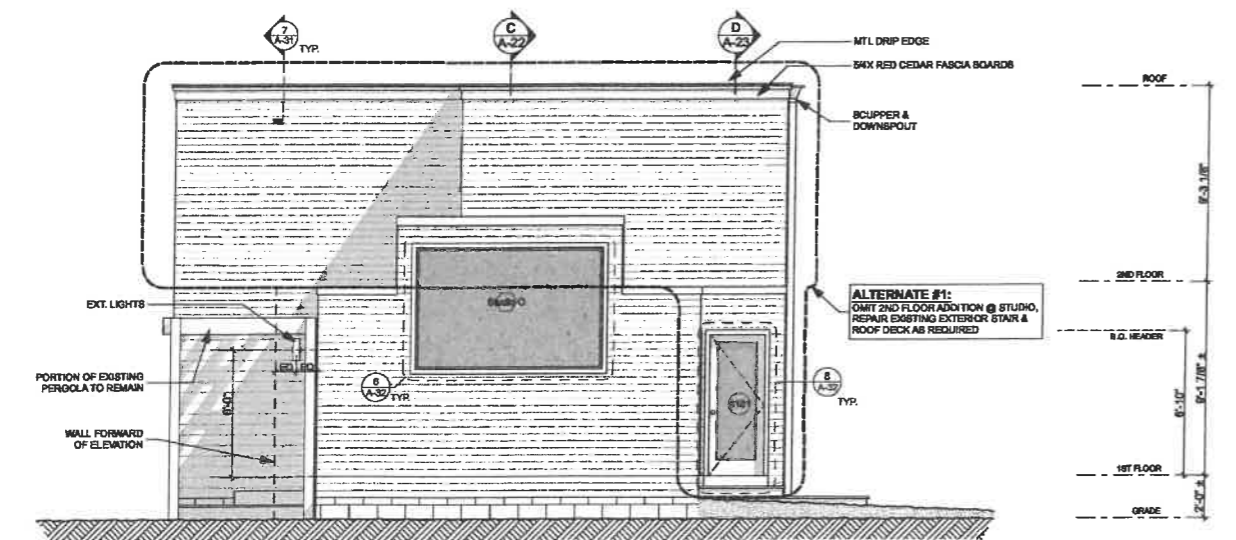
Berman - Dickinson Residence
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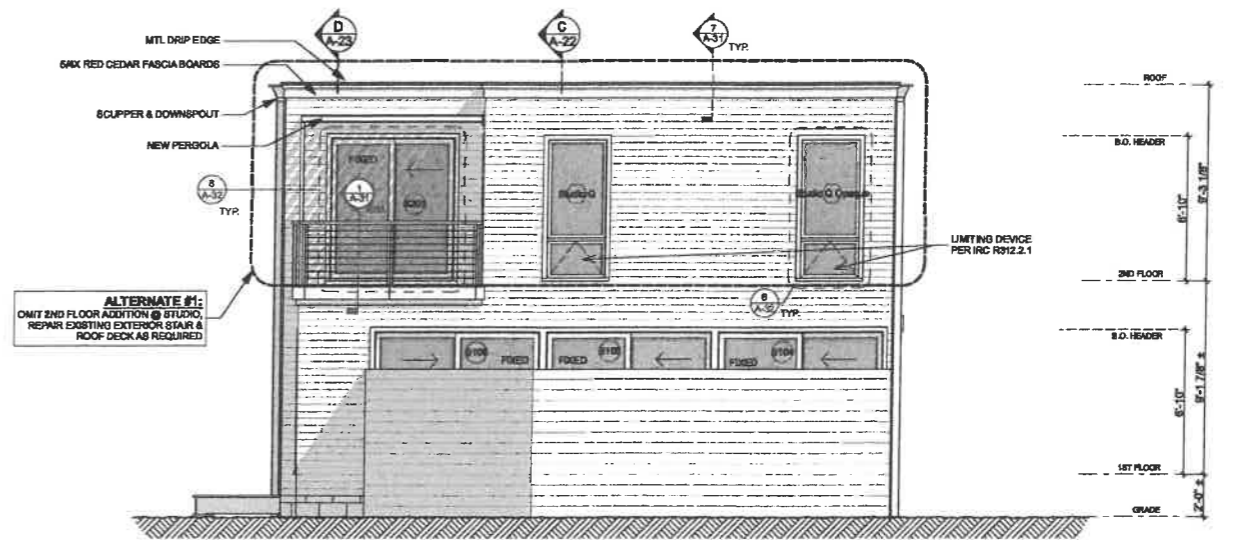
1 STUDIO EAST ELEVATION
SCALE: 1/4" = 1'-0"



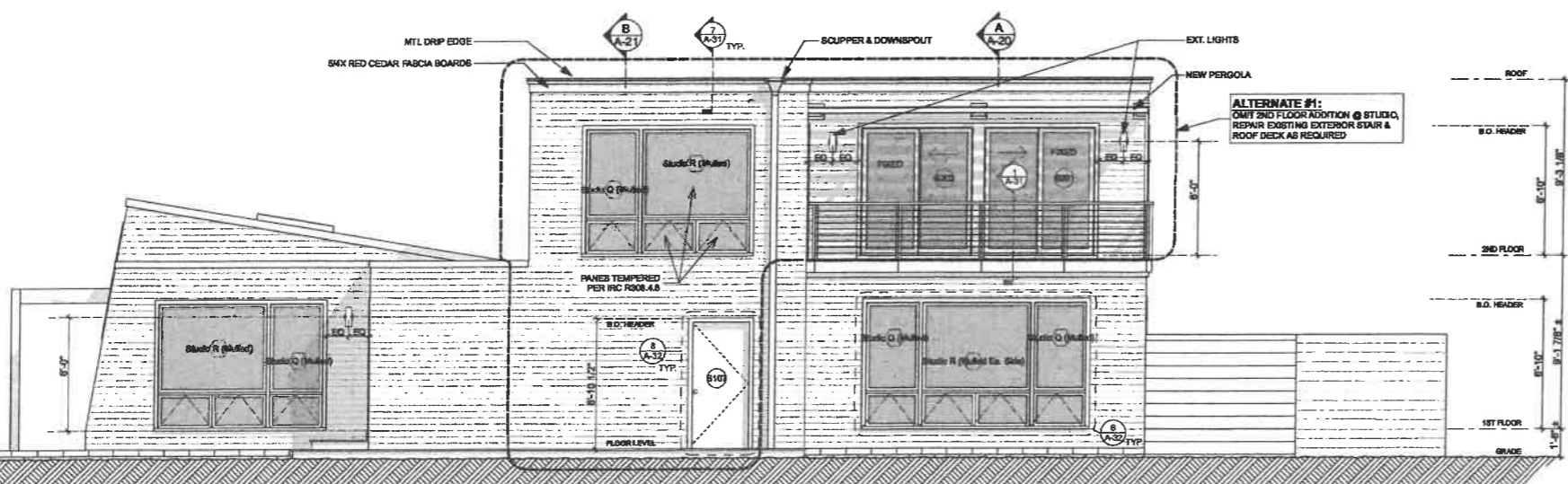
3 HIDDEN STUDIO NORTH ELEV.
SCALE: 1/4" = 1'-0"



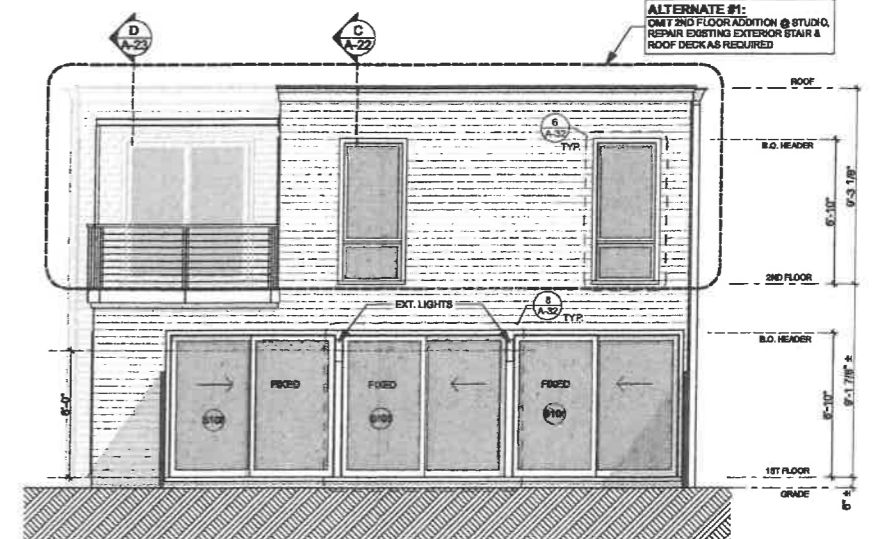
2 STUDIO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



5 STUDIO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 STUDIO WEST ELEVATION
SCALE: 1/4" = 1'-0"

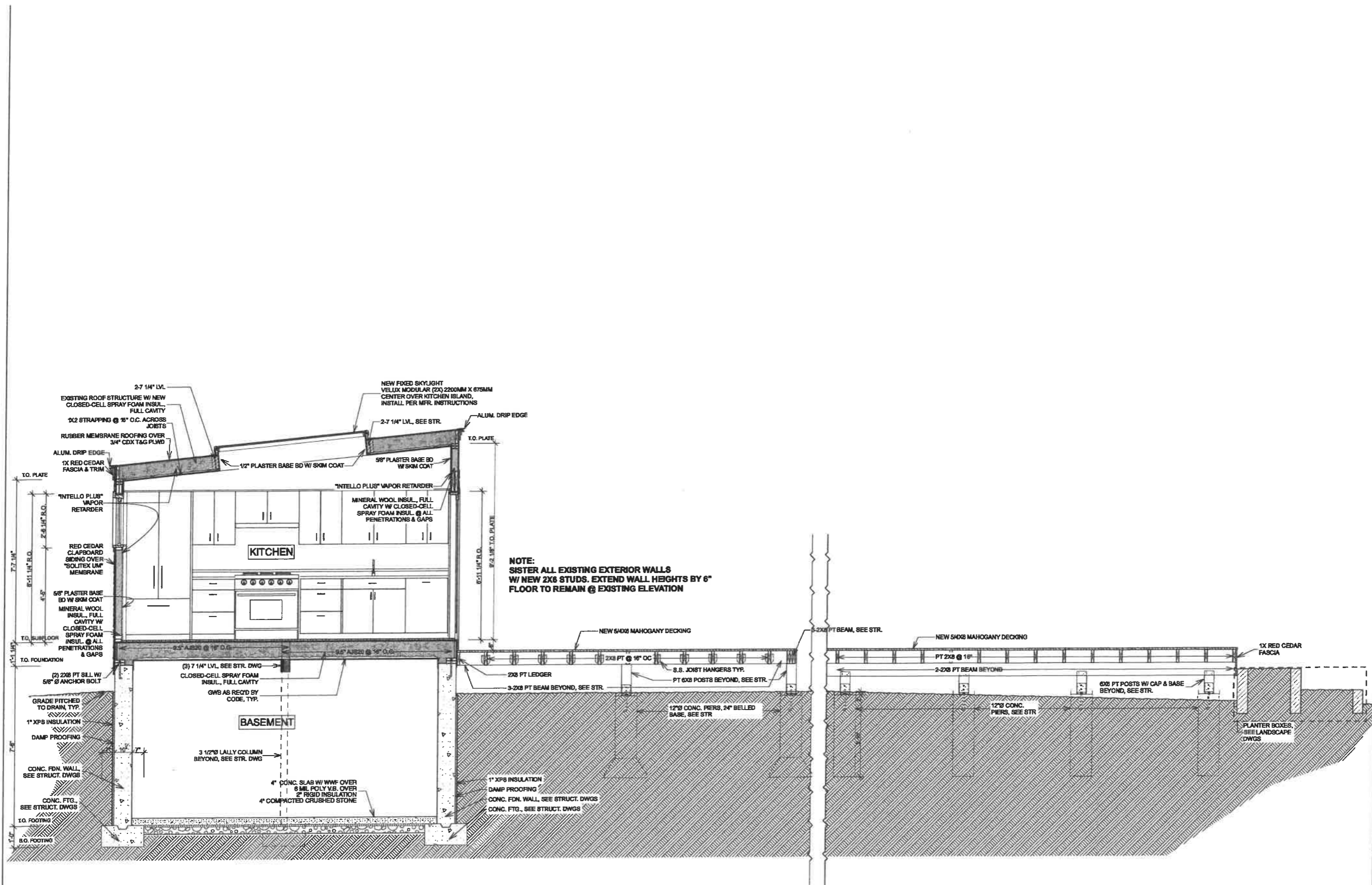


6 HIDDEN STUDIO SOUTH ELEV.
SCALE: 1/4" = 1'-0"

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Title: STUDIO ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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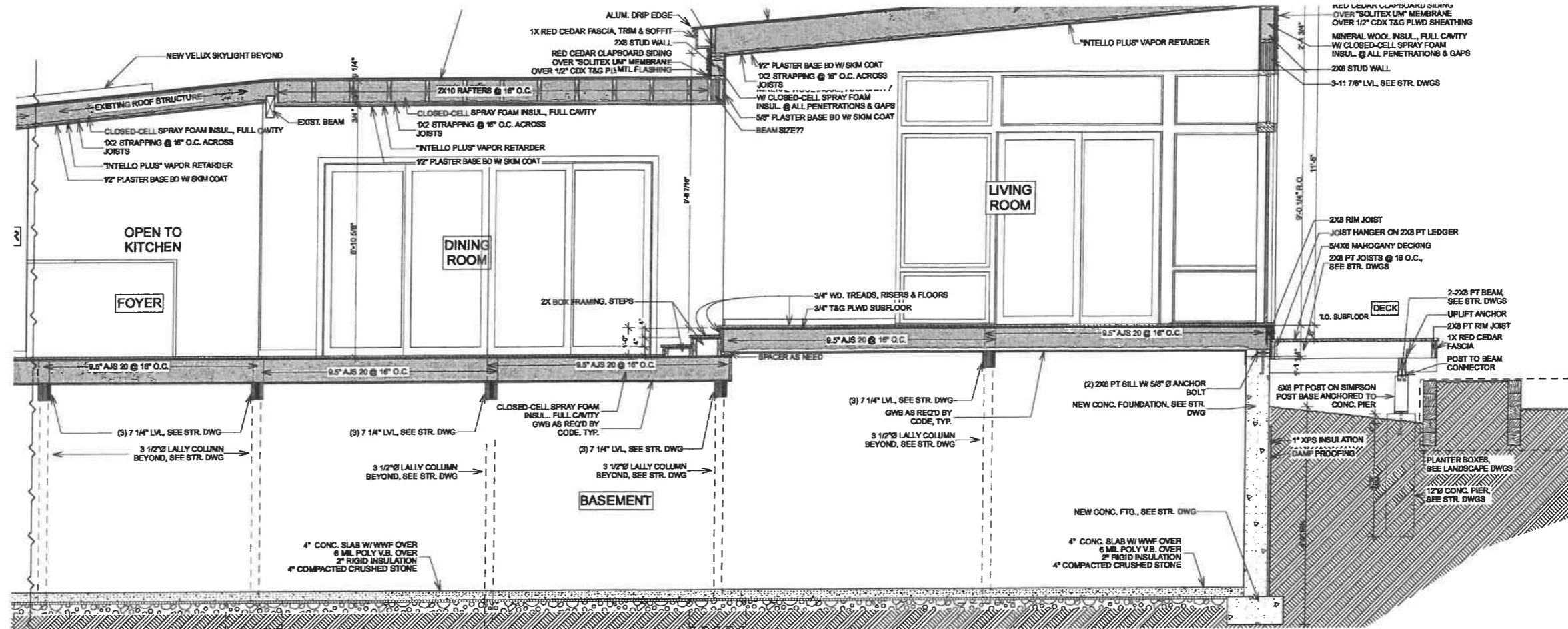
1 WALL SECTION AA
SCALE: 1/2" = 1'-0"

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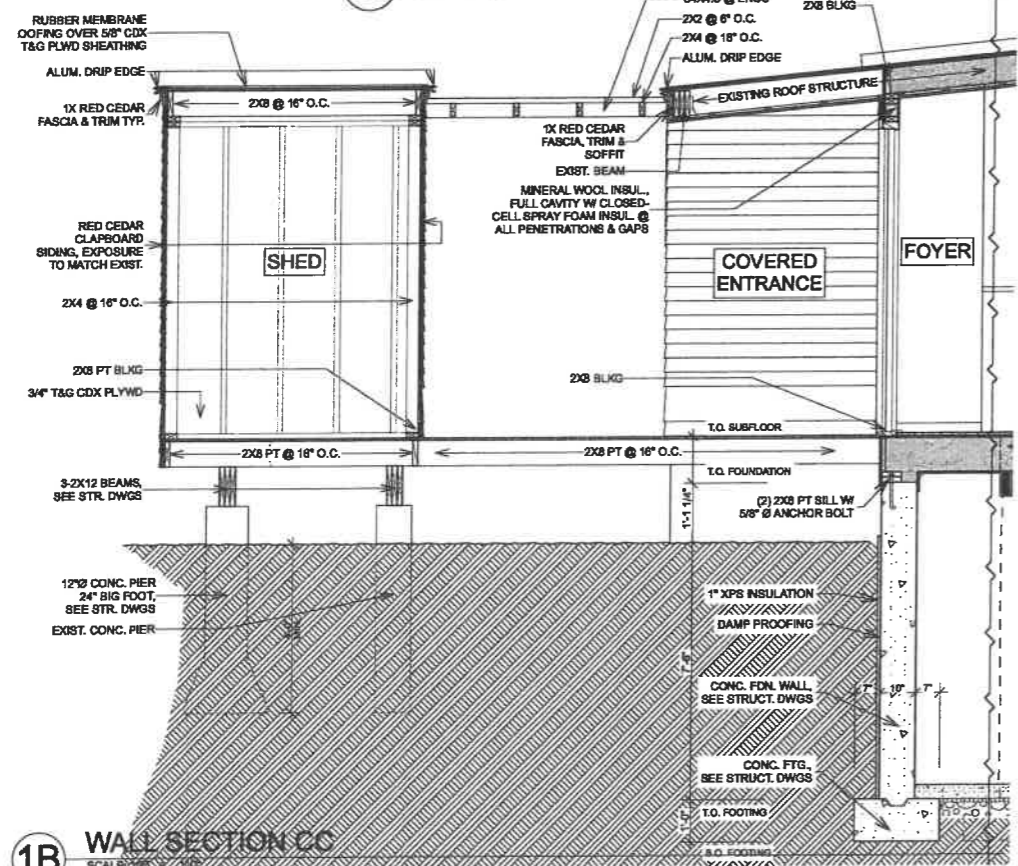
Title: SECTIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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A-13



1A WALL SECTION CC
SCALE: 1/2" = 1'-0"

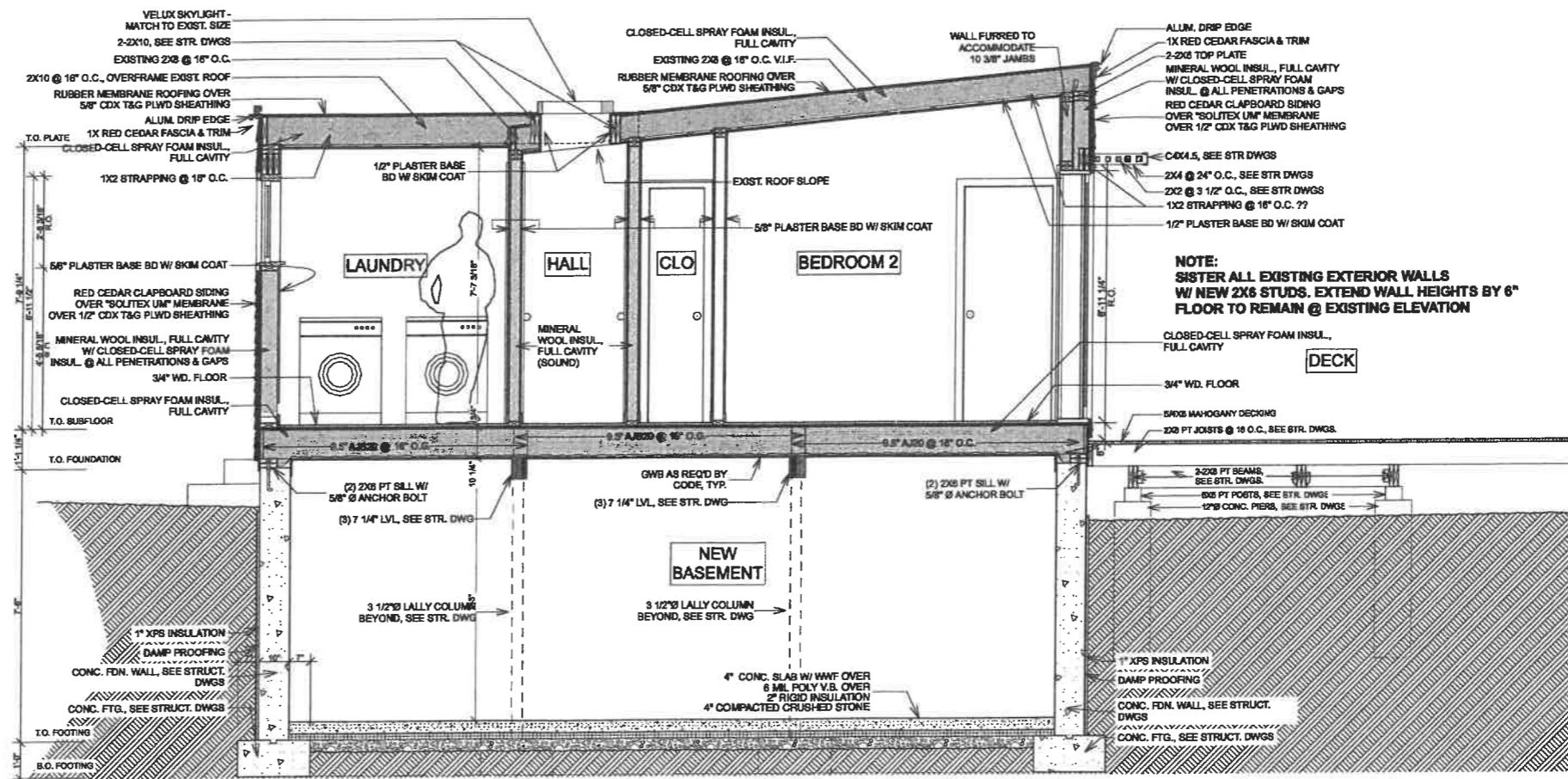


1B WALL SECTION CC
SCALE: 1/2" = 1'-0"

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Title: SECTIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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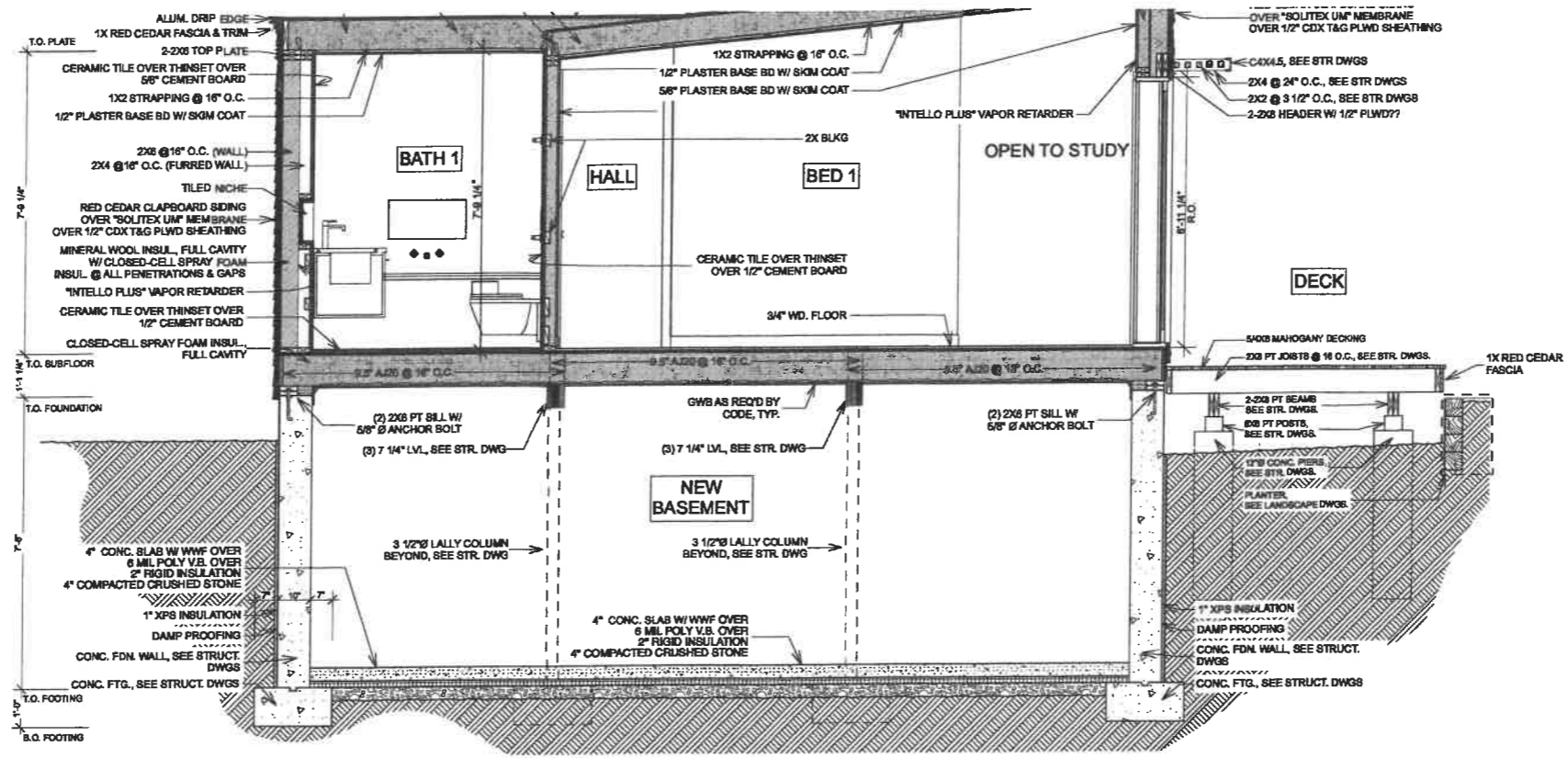


1 WALL SECTION DD
SCALE: 1/2" = 1'-0"

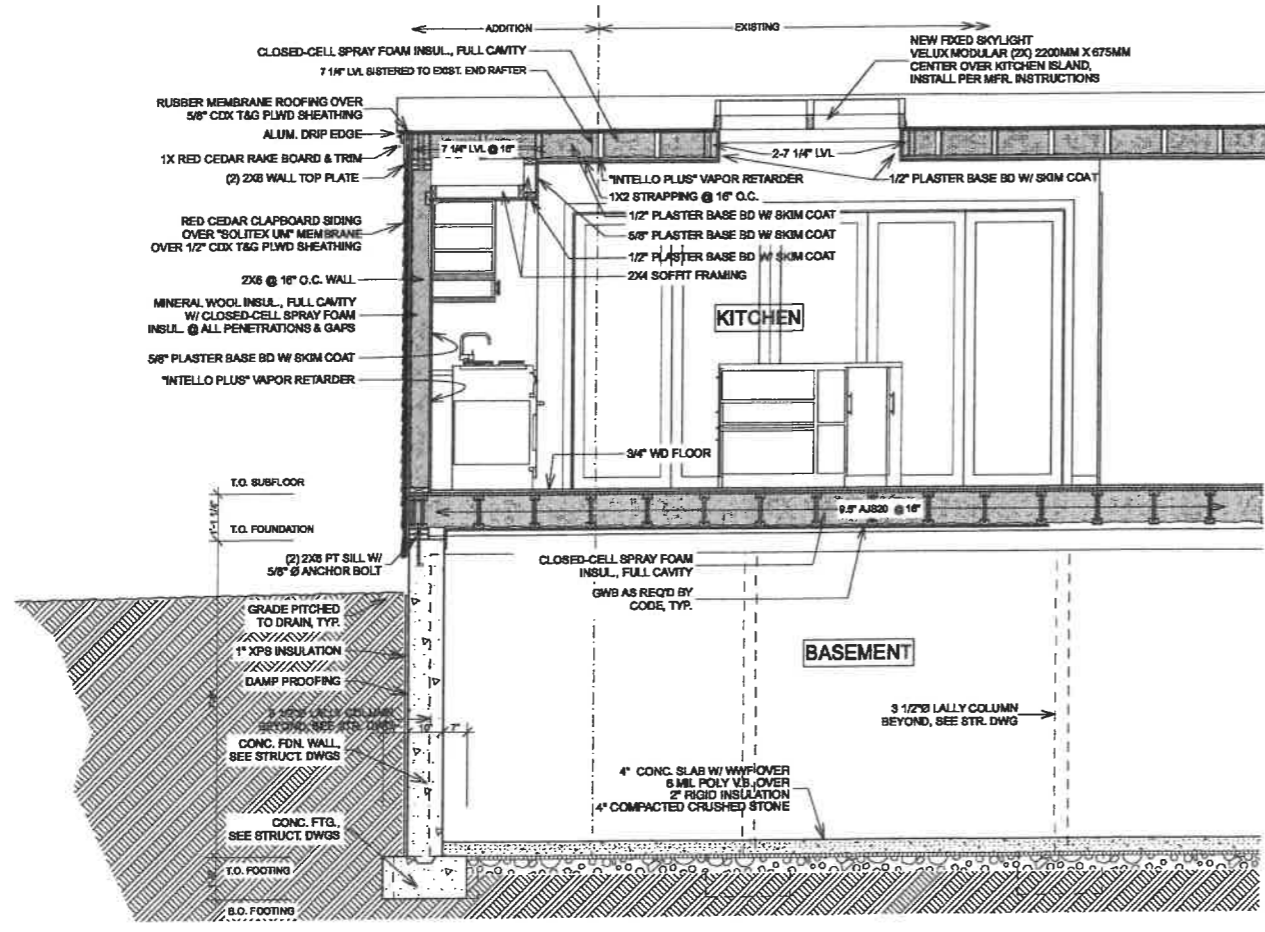
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Title: SECTIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

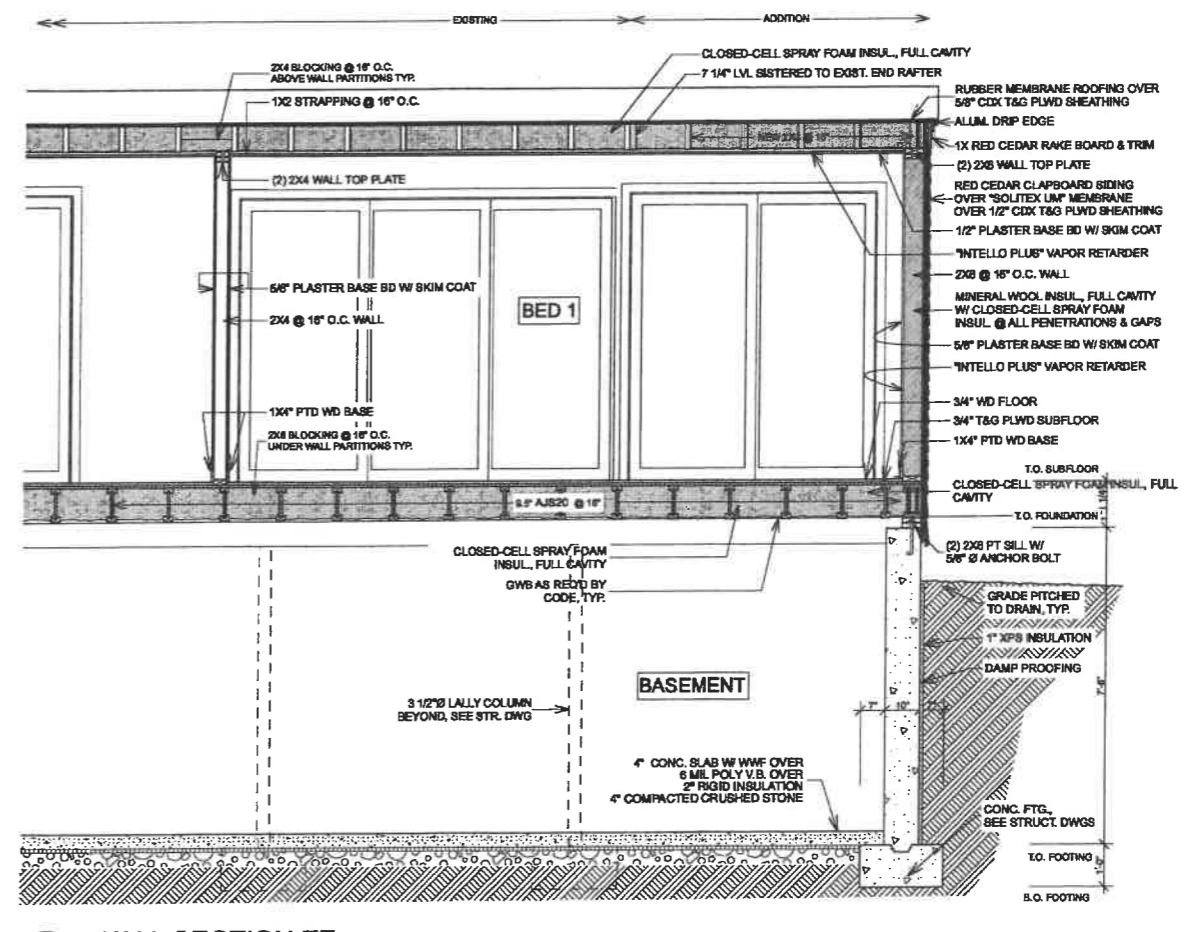
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69 Old County Road
Truro, MA



1 WALL SECTION EE
SCALE: 1/2" = 1'-0"



2 WALL SECTION FF
SCALE: 1/2" = 1'-0"

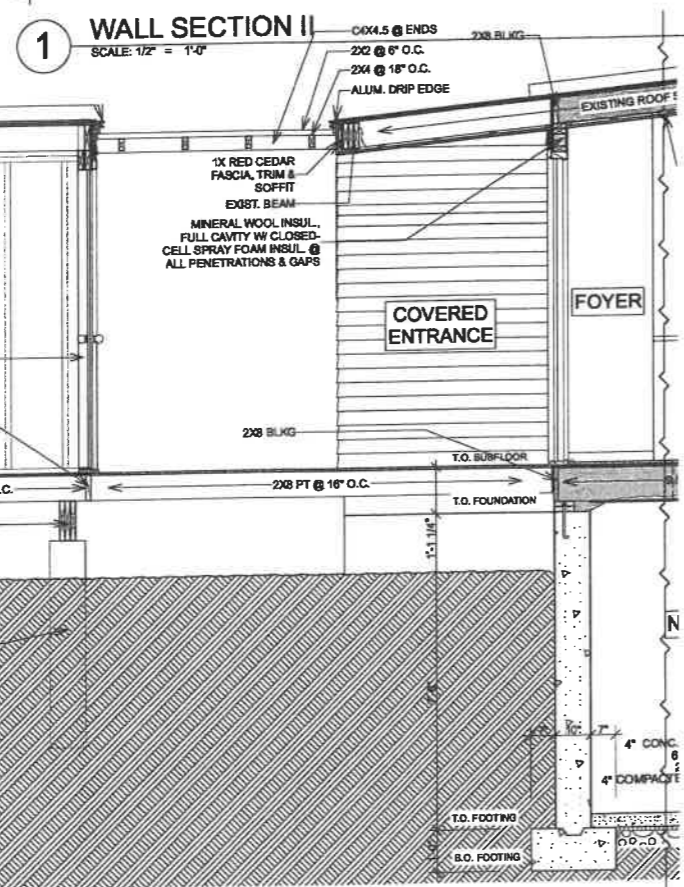
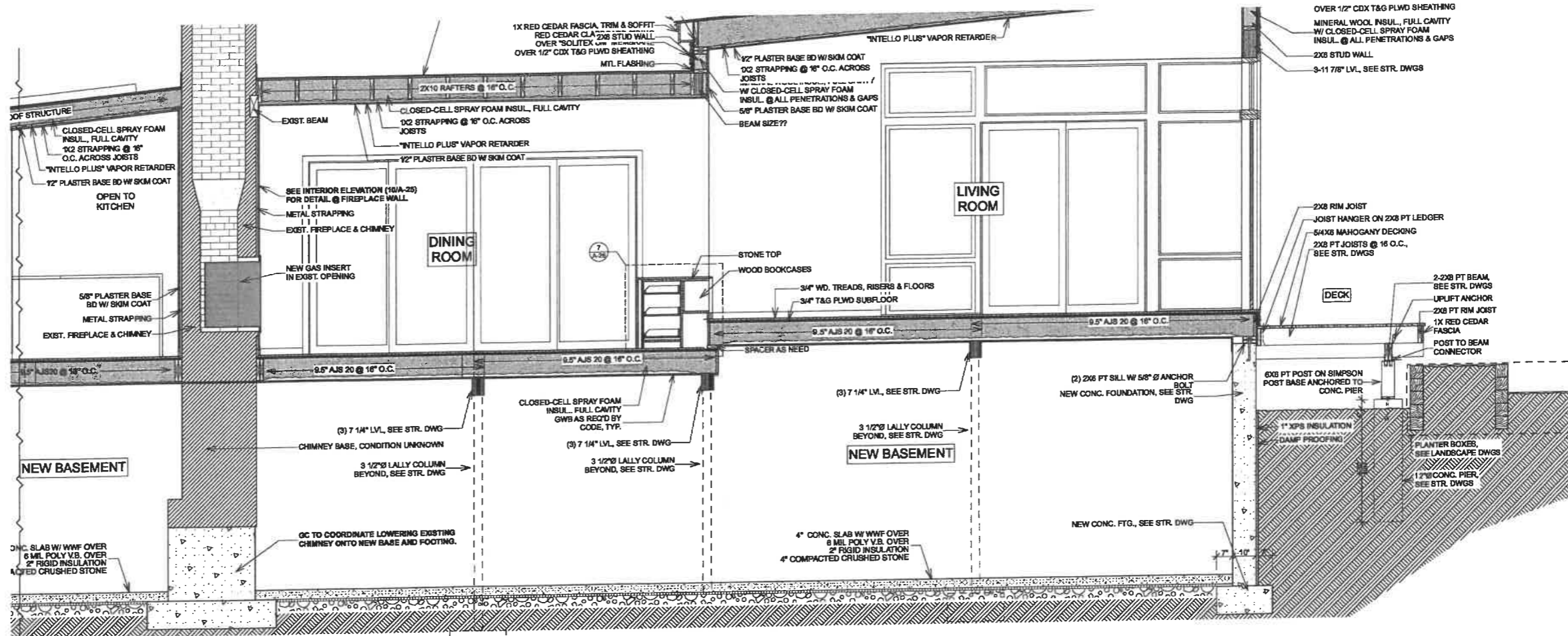


3 WALL SECTION FF
SCALE: 1/2" = 1'-0"

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Title: SECTIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

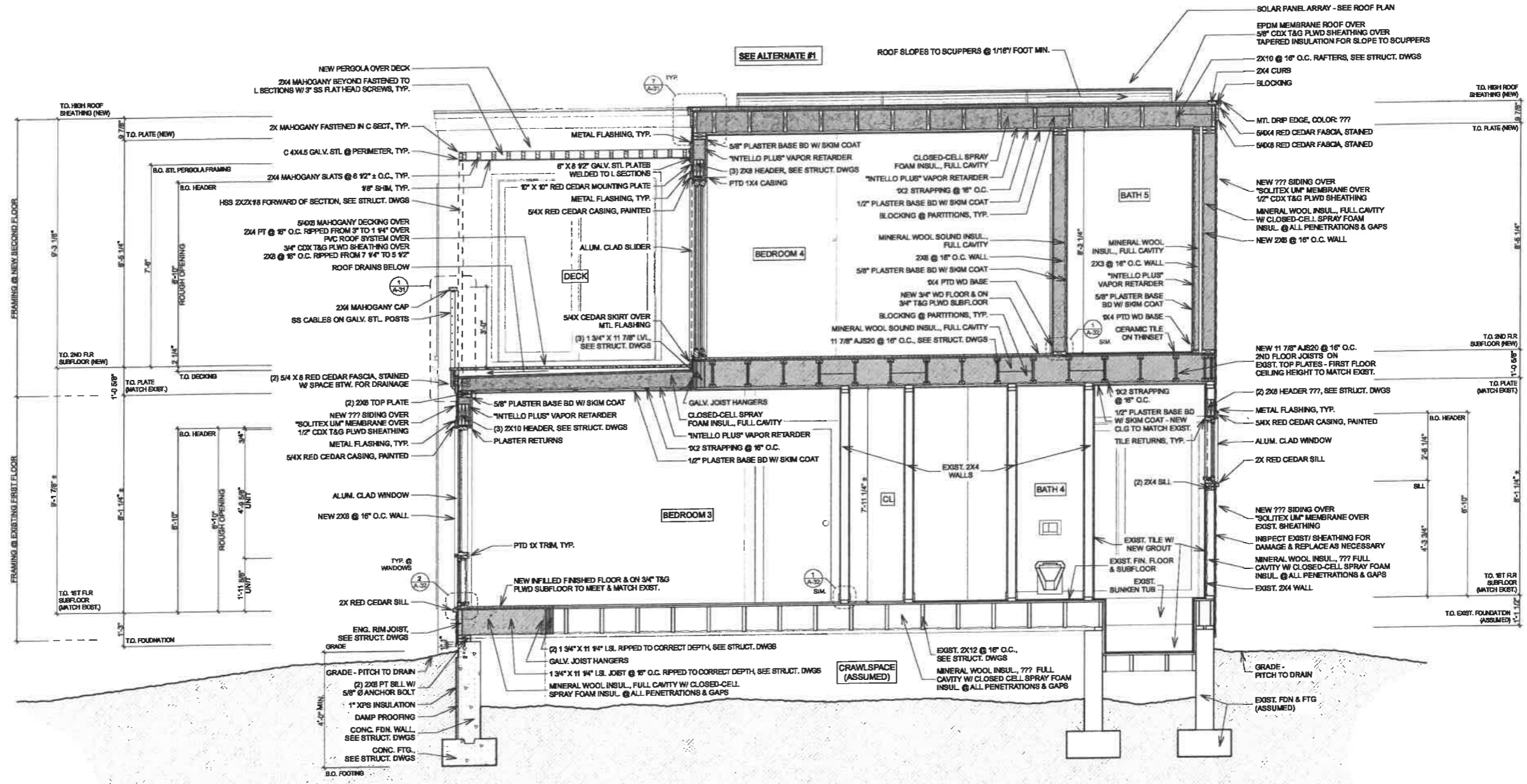
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Title: SECTIONS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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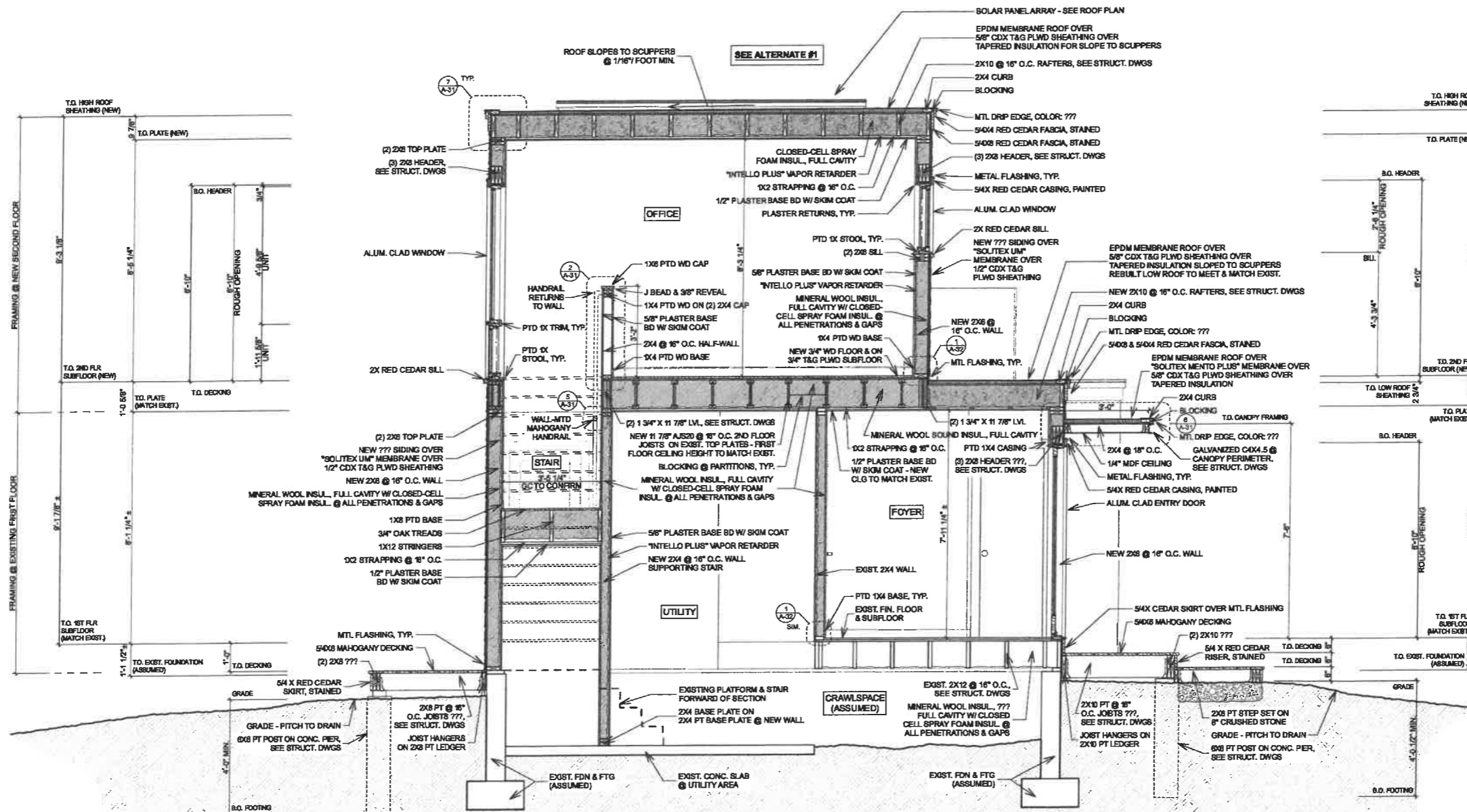


1 STUDIO WALL SECTION AA
 SCALE: 1/2" = 1'-0"

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Title: SECTIONS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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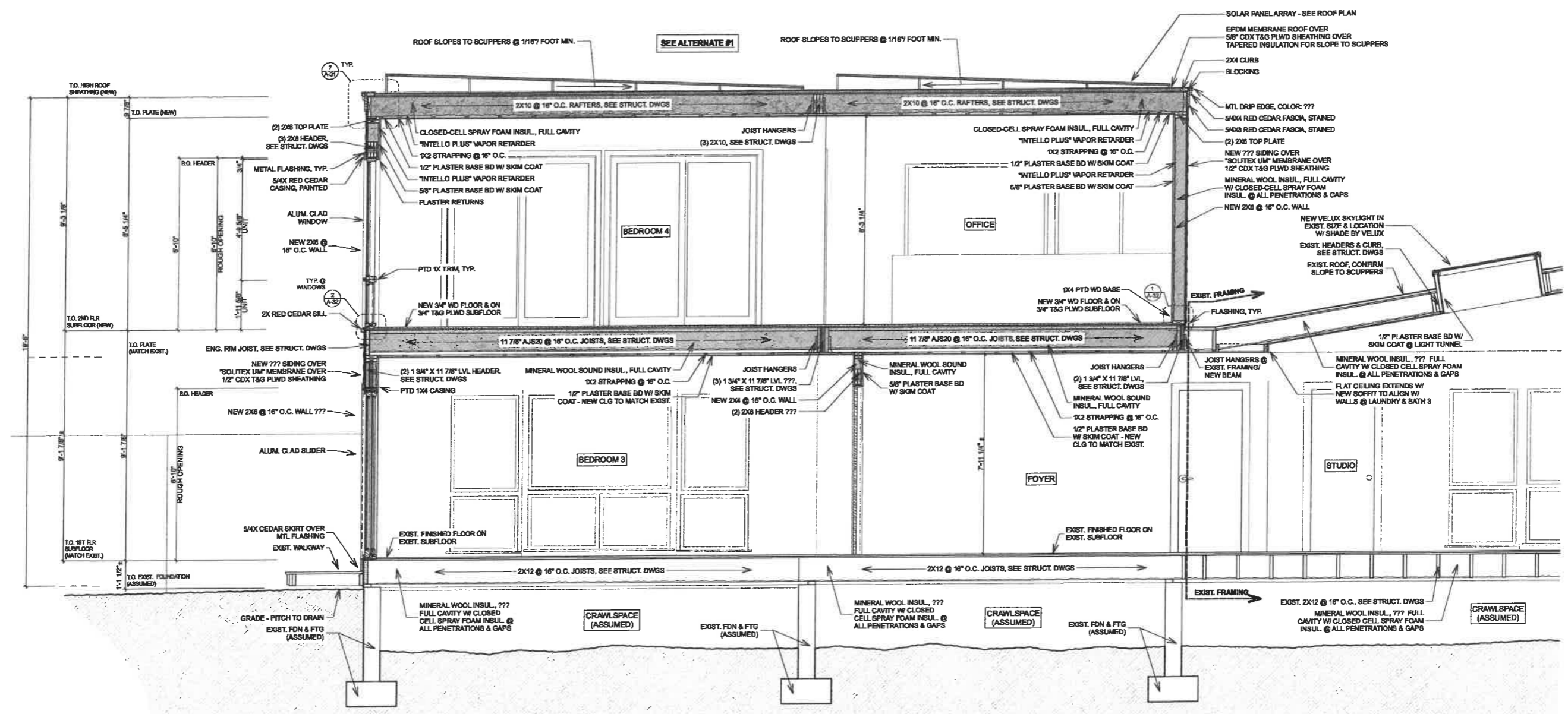
1 STUDIO WALL SECTION BB
SCALE: 1/2" = 1'-0"

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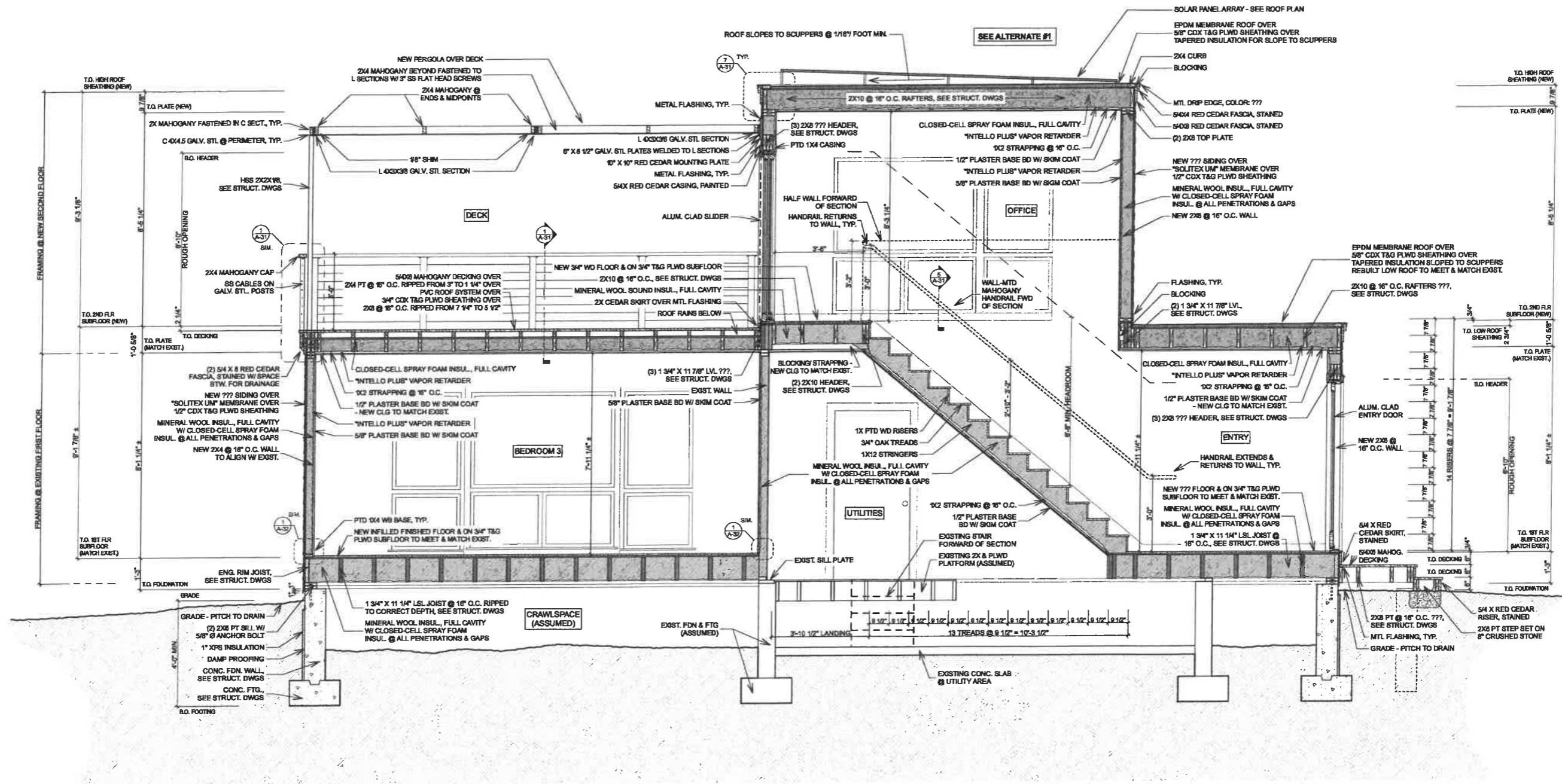
Title: SECTIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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A-21



1 STUDIO WALL SECTION CC
 SCALE 1/2" = 1'-0"



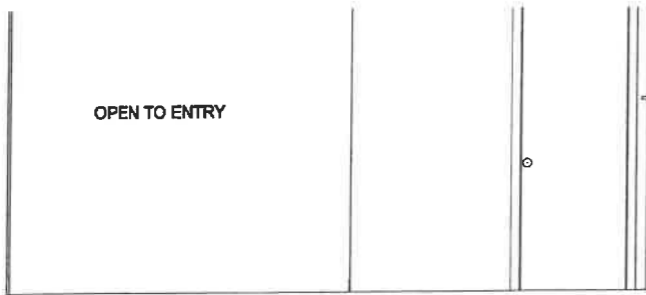
1 STUDIO WALL SECTION DD
SCALE 1/2" = 1'-0"

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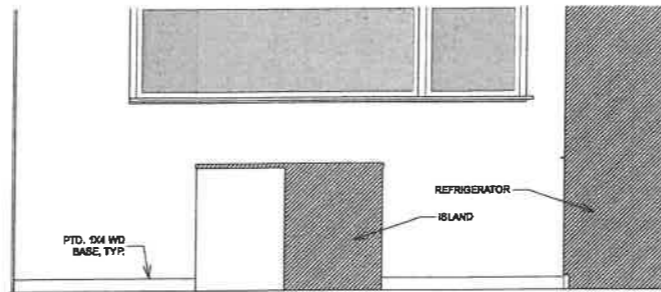
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Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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Truro, MA

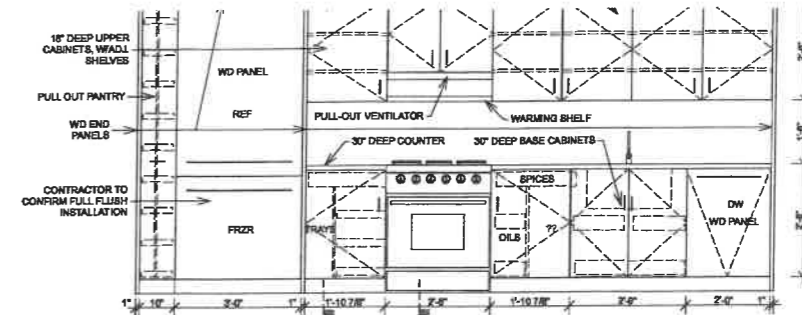
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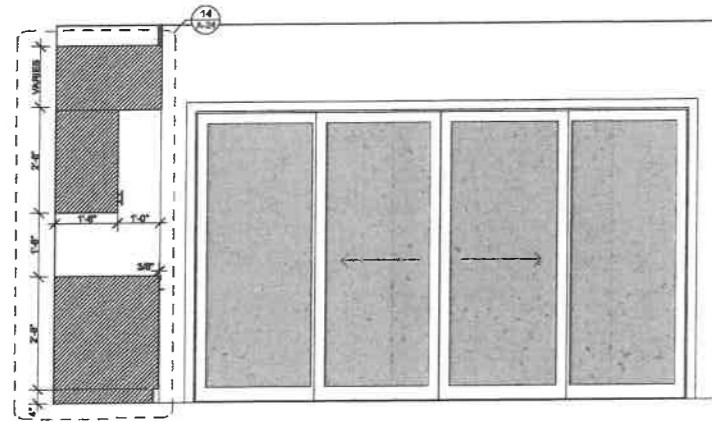
1 KITCHEN LOOKING NORTH
SCALE: 1/2" = 1'-0"



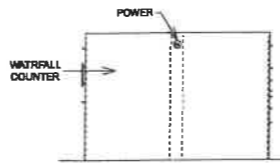
2 KITCHEN LOOKING EAST
SCALE: 1/2" = 1'-0"



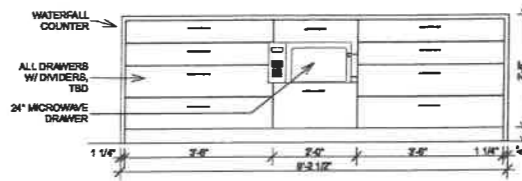
3 KITCHEN LOOKING SOUTH
SCALE: 1/2" = 1'-0"



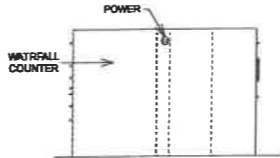
4 KITCHEN LOOKING WEST
SCALE: 1/2" = 1'-0"



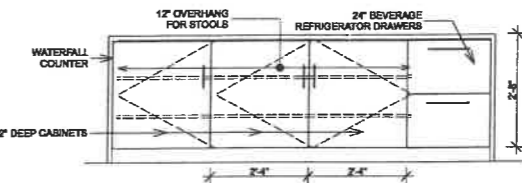
5 KITCHEN ISLAND LOOKING E.
SCALE: 1/2" = 1'-0"



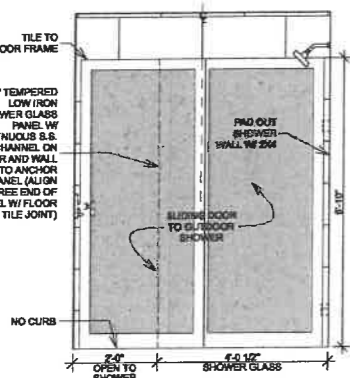
6 KITCHEN ISLAND LOOKING N.
SCALE: 1/2" = 1'-0"



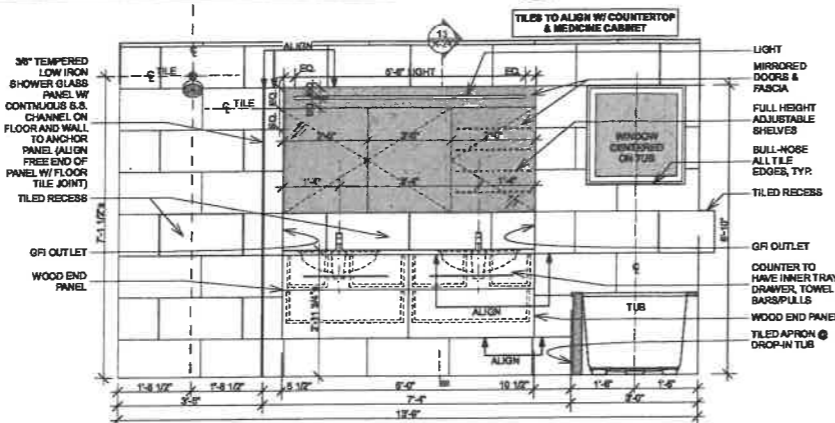
7 KITCHEN ISLAND LOOKING W.
SCALE: 1/2" = 1'-0"



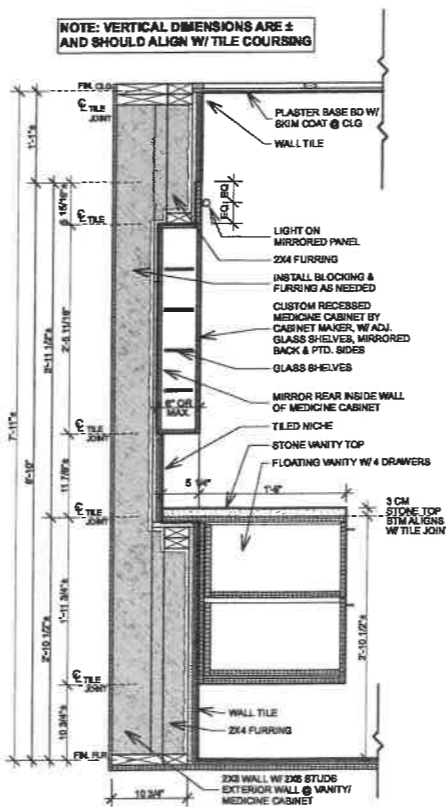
8 KITCHEN ISLAND LOOKING S.
SCALE: 1/2" = 1'-0"



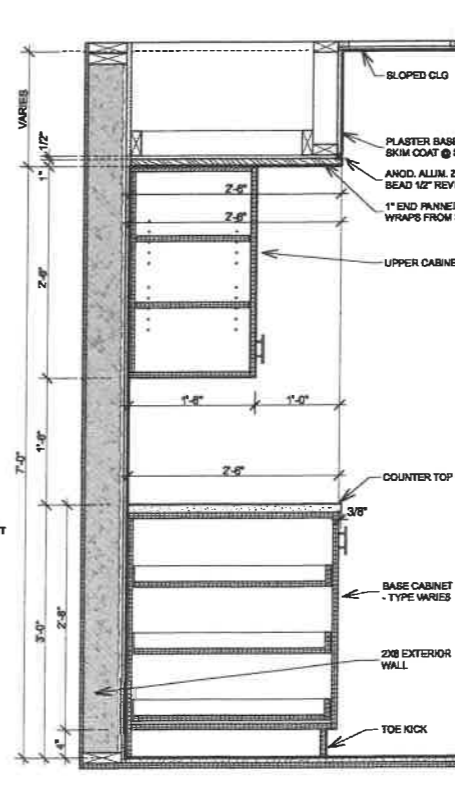
9 BATH 1 LOOKING N.
SCALE: 1/2" = 1'-0"



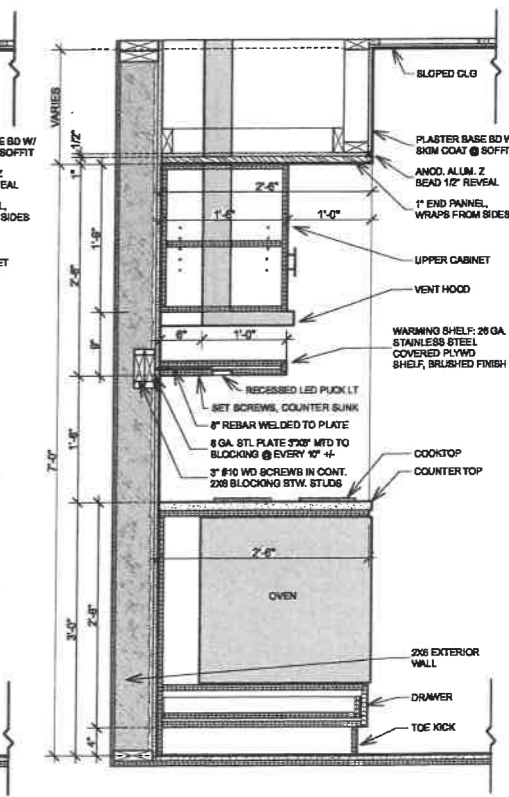
10 BATH 1 LOOKING E.
SCALE: 1/2" = 1'-0"



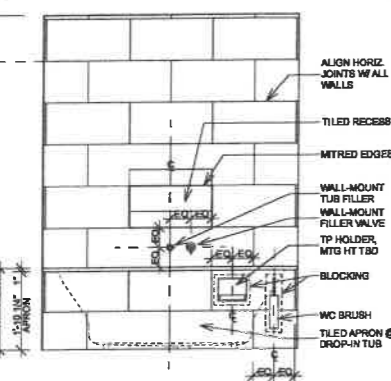
13 BATH 1 VANITY DETAIL
SCALE: 1" = 1'-0"



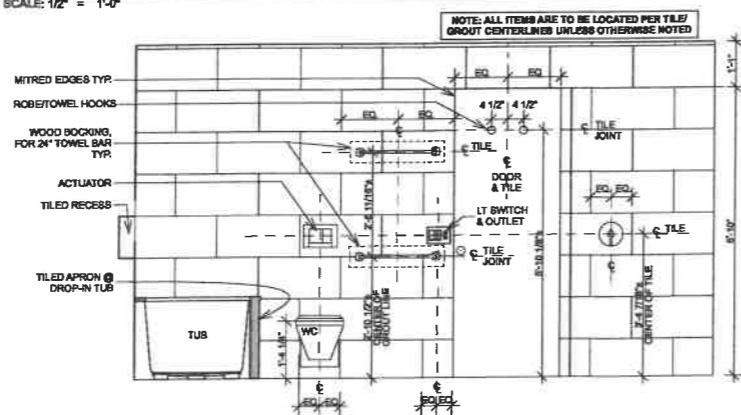
14 KITCHEN CABINET DETAIL
SCALE: 1" = 1'-0"



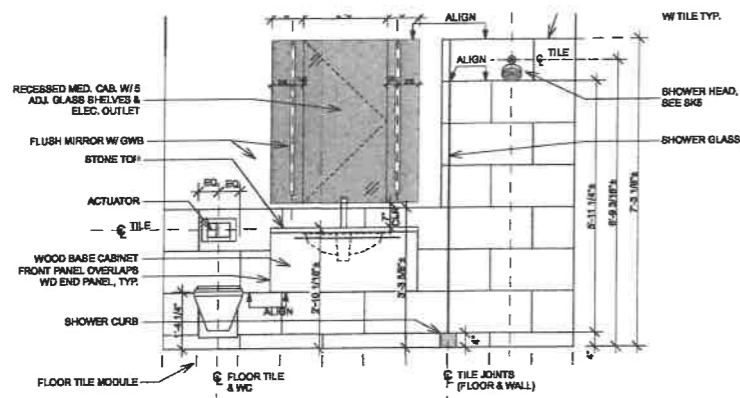
15 KITCHEN DETAIL @ OVEN
SCALE: 1" = 1'-0"



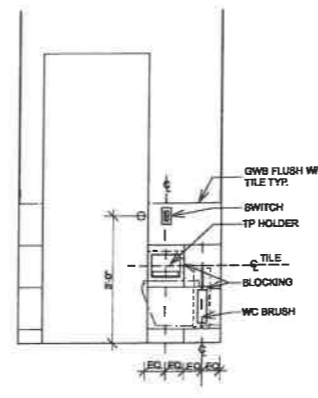
11 BATH 1 LOOKING S.
SCALE: 1/2" = 1'-0"



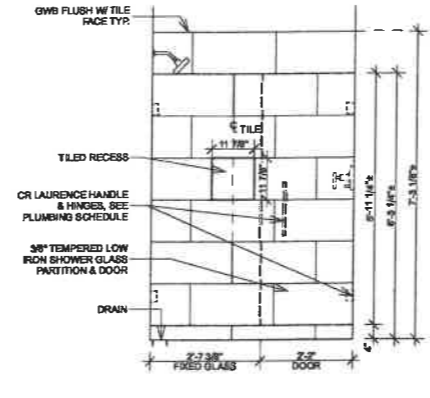
12 BATH 1 LOOKING W.
SCALE: 1/2" = 1'-0"



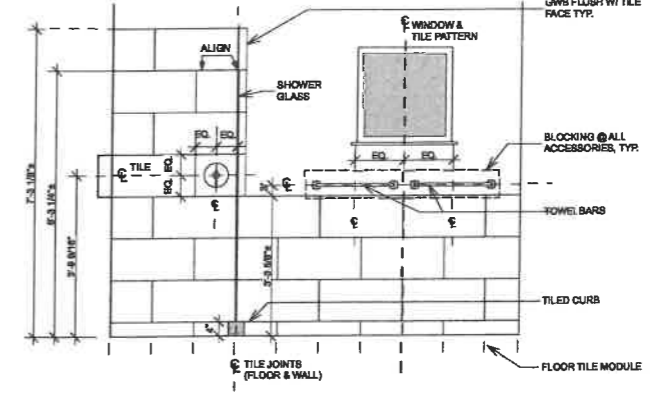
1 BATH 2 LOOKING E.
SCALE: 1/2" = 1'-0"



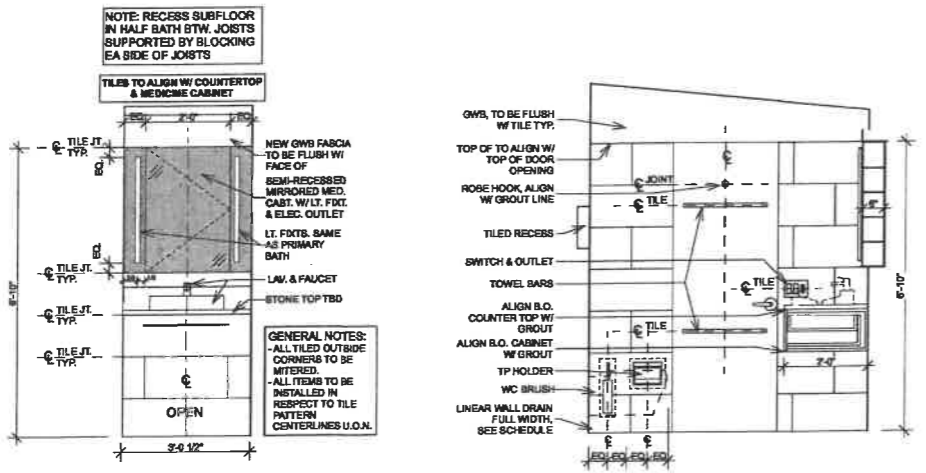
2 BATH 2 LOOKING N.
SCALE: 1/2" = 1'-0"



3 BATH 2 LOOKING S.
SCALE: 1/2" = 1'-0"

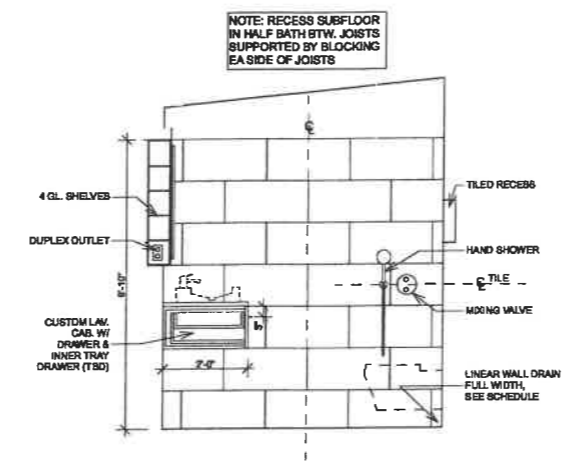


4 BATH 2 LOOKING W.
SCALE: 1/2" = 1'-0"

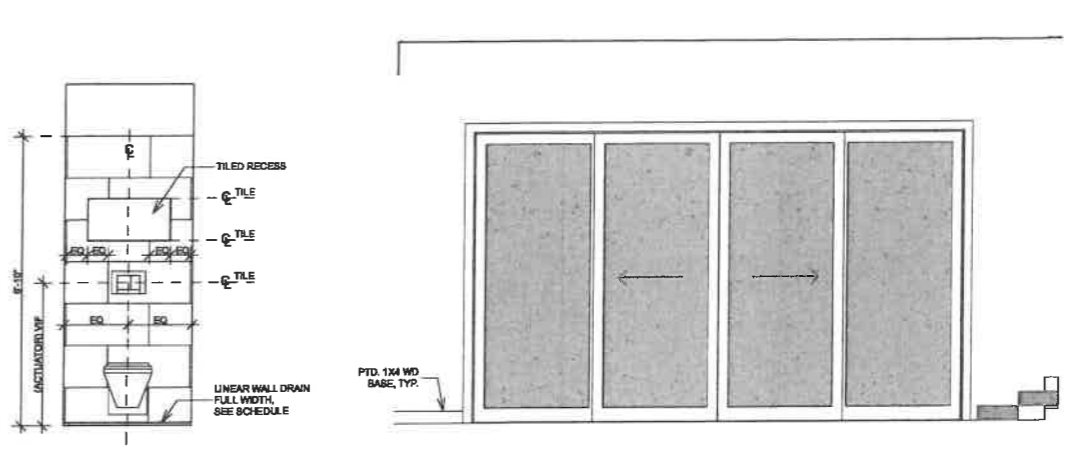


5 1/2 BATH E.
SCALE: 1/2" = 1'-0"

6 1/2 BATH N.
SCALE: 1/2" = 1'-0"

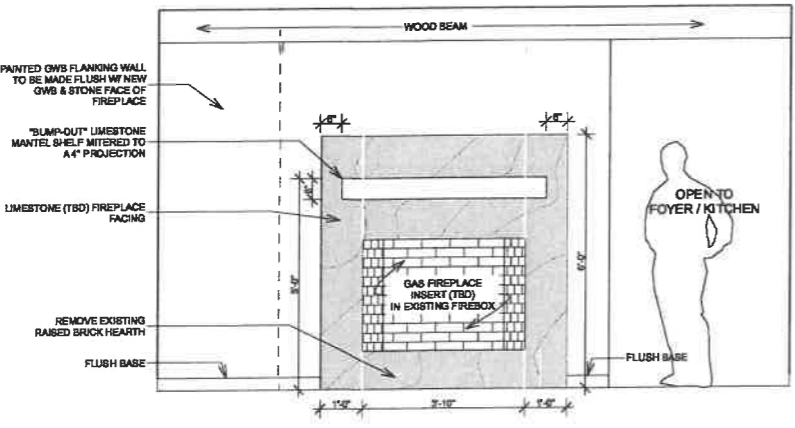


7 1/2 BATH S.
SCALE: 1/2" = 1'-0"

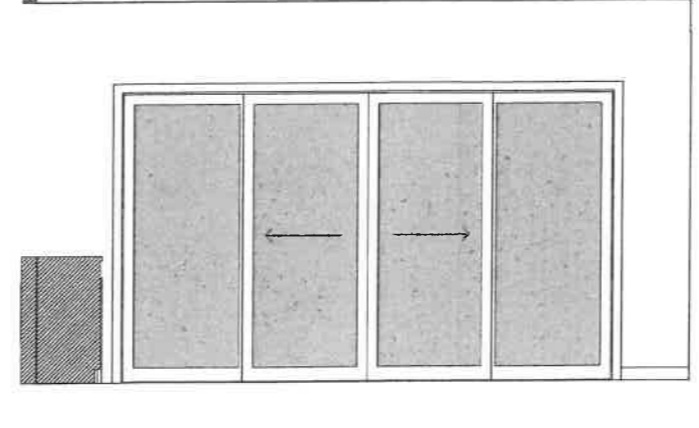


8 1/2 BATH W.
SCALE: 1/2" = 1'-0"

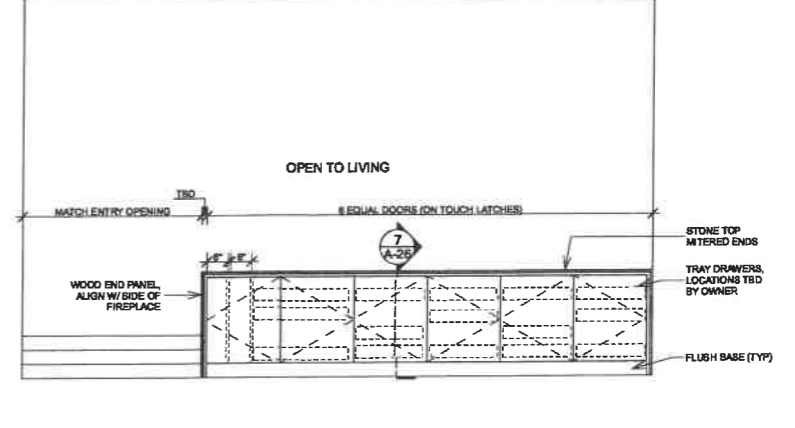
9 DINING ROOM LOOKING S.
SCALE: 1/2" = 1'-0"



10 DINING ROOM LOOKING E.
SCALE: 1/2" = 1'-0"



11 DINING ROOM LOOKING N.
SCALE: 1/2" = 1'-0"



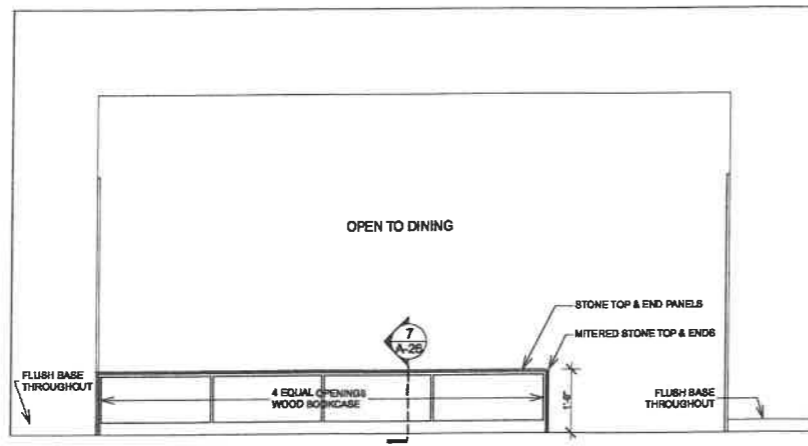
12 DINING ROOM LOOKING W.
SCALE: 1/2" = 1'-0"

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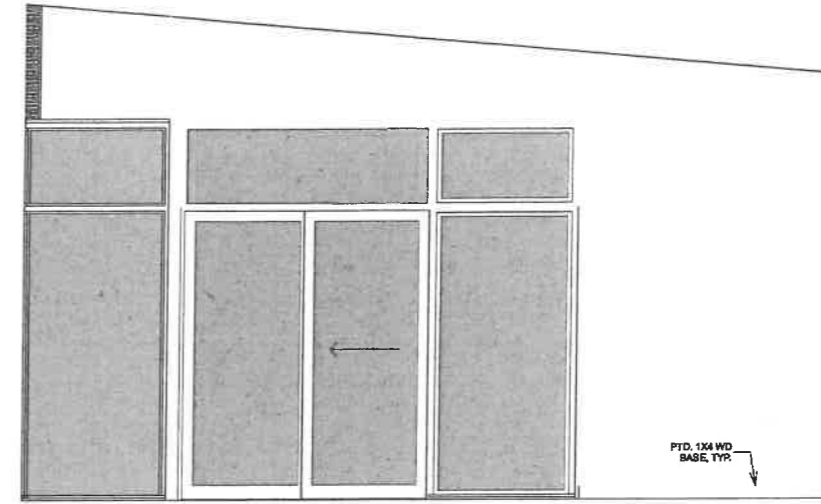
Title: INTERIOR ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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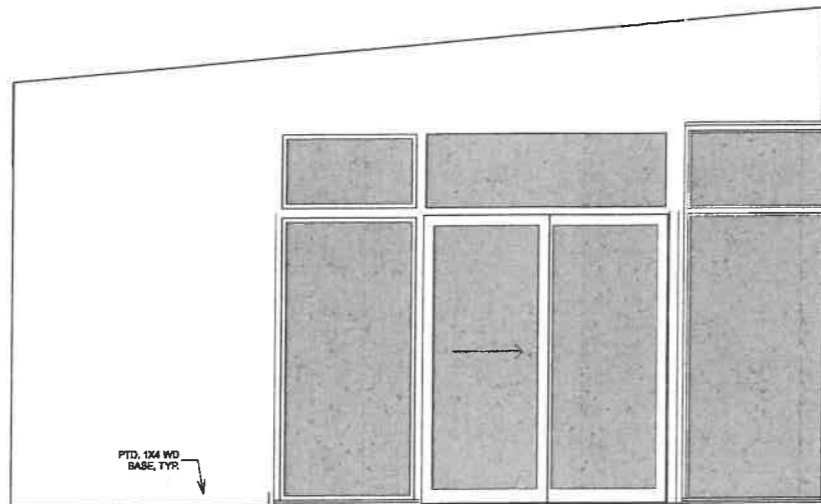
A-25



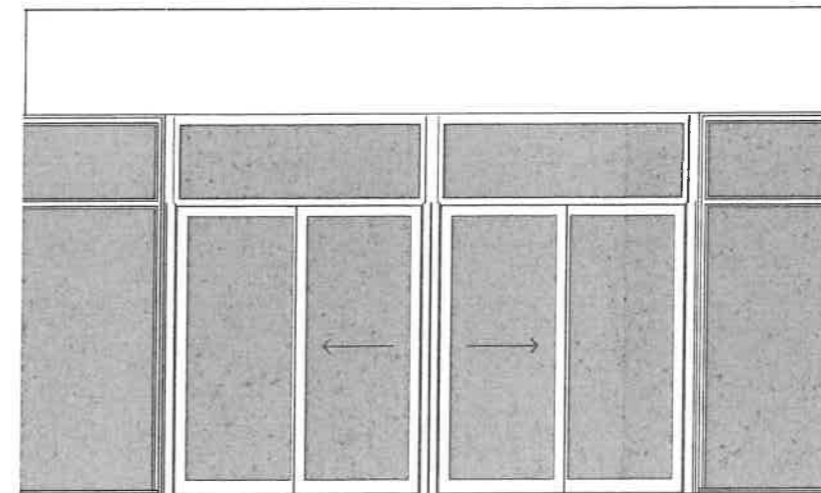
1 LIVING ROOM LOOKING E.
SCALE: 1/2" = 1'-0"



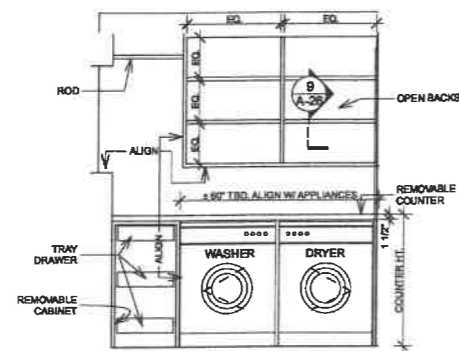
2 LIVING ROOM LOOKING N.
SCALE: 1/2" = 1'-0"



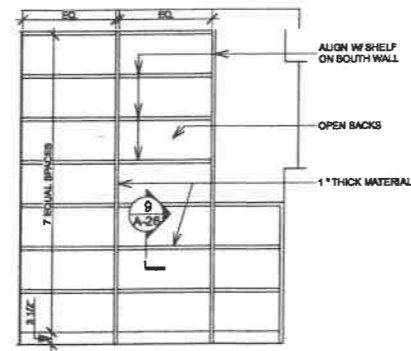
3 LIVING ROOM LOOKING S.
SCALE: 1/2" = 1'-0"



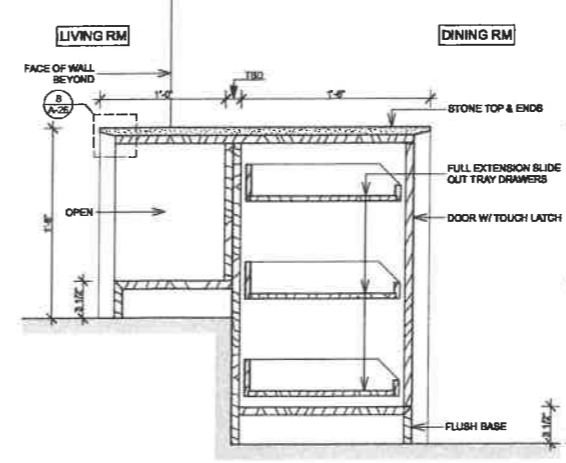
4 LIVING ROOM LOOKING W.
SCALE: 1/2" = 1'-0"



5 LAUNDRY LOOKING S
SCALE: 1/2" = 1'-0"



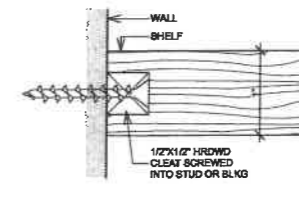
6 LAUNDRY LOOKING N
SCALE: 1/2" = 1'-0"



7 BENCH/CABINET DETAIL AT LIVING/DINING
SCALE: 1 1/2" = 1'-0"



8 BENCH/CABINET EDGE DETAIL
SCALE: 5" = 1'-0"



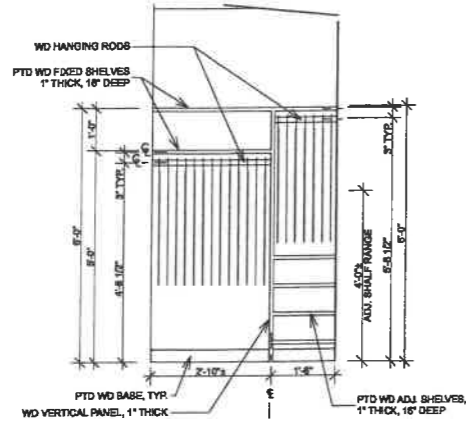
9 LAUNDRY SHELF REAR SUPPORT DETAIL
SCALE: 1" = 1'-0"

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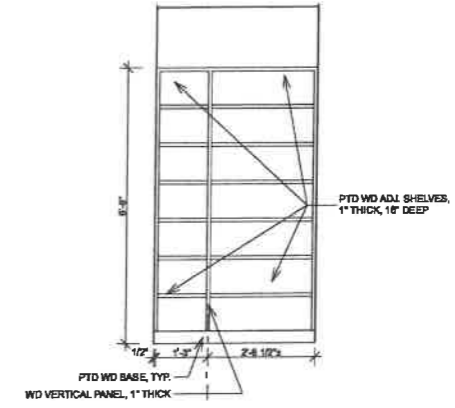
A-26



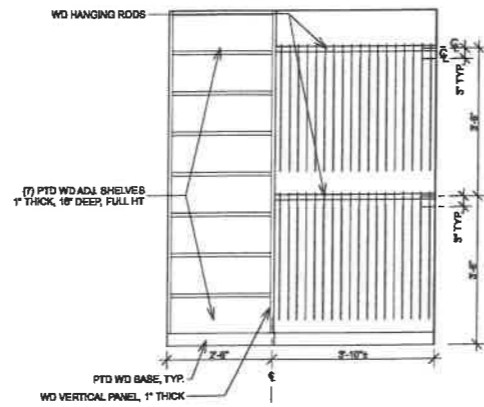
1 COAT CLOSET (DOOR 118) LOOKING N
SCALE: 1/2" = 1'-0"



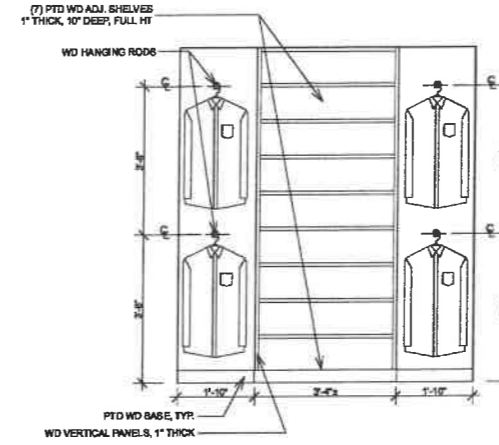
2 BROOM CLOSET (DOOR 120) LOOKING W
SCALE: 1/2" = 1'-0"



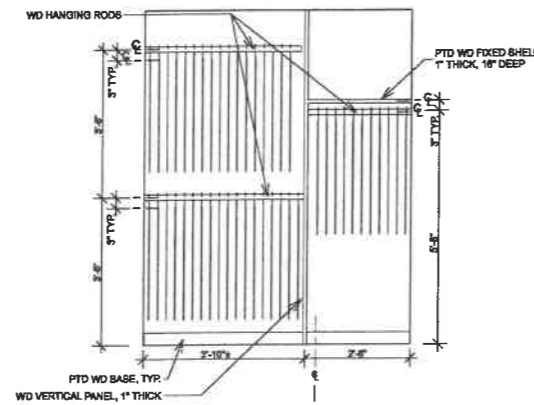
3 SHELF CLOSET (DOOR 121) LOOKING W
SCALE: 1/2" = 1'-0"



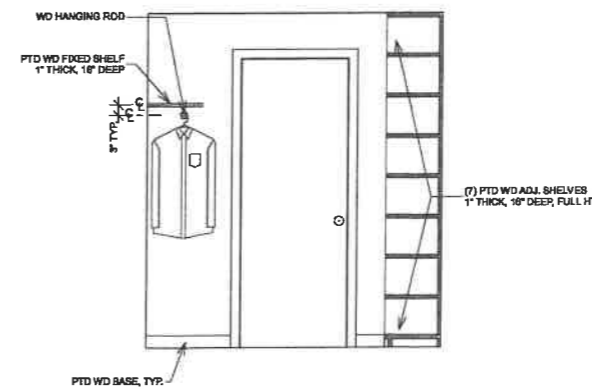
4 WALK-IN CLOSET (BEDROOM 1) LOOKING N
SCALE: 1/2" = 1'-0"



5 WALK-IN CLOSET (BEDROOM 1) LOOKING E
SCALE: 1/2" = 1'-0"



6 WALK-IN CLOSET (BEDROOM 1) LOOKING S
SCALE: 1/2" = 1'-0"

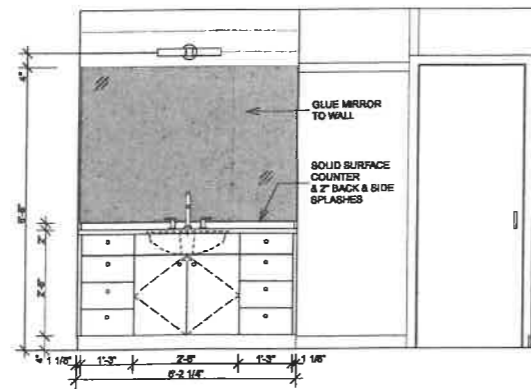


7 WALK-IN CLOSET (BEDROOM 1) LOOKING W
SCALE: 1/2" = 1'-0"

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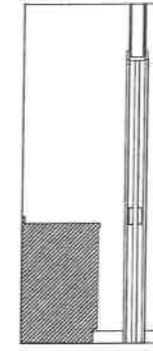
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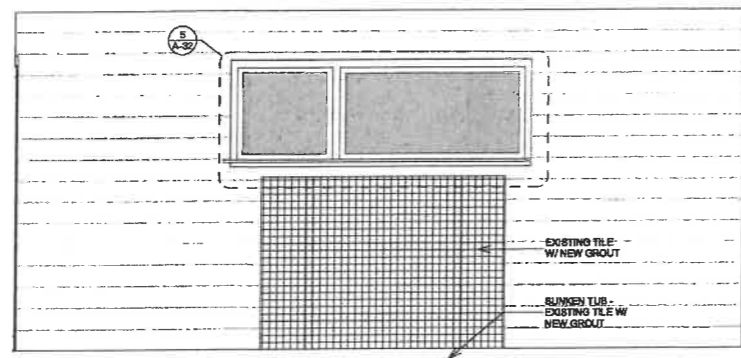
1 STUDIO BATH 4 E.
SCALE: 1/2" = 1'-0"



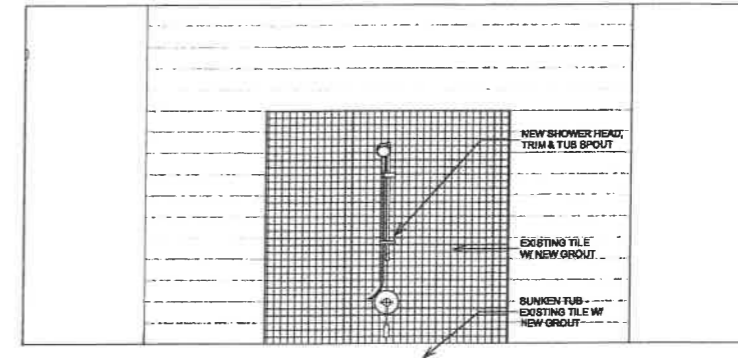
2 STUDIO BATH 4 N.
SCALE: 1/2" = 1'-0"



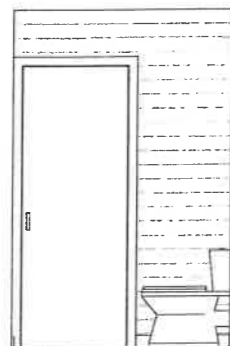
5 STUDIO BATH 4 S.
SCALE: 1/2" = 1'-0"



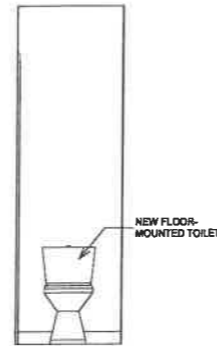
3 STUDIO BATH 4 SHWR E.
SCALE: 1/2" = 1'-0"



4 STUDIO BATH 4 SHWR W.
SCALE: 1/2" = 1'-0"



6 STUDIO BATH 4 TOILET E.
SCALE: 1/2" = 1'-0"



7 STUDIO BATH 4 TOILET N.
SCALE: 1/2" = 1'-0"



8 STUDIO BATH 4 TOILET S.
SCALE: 1/2" = 1'-0"

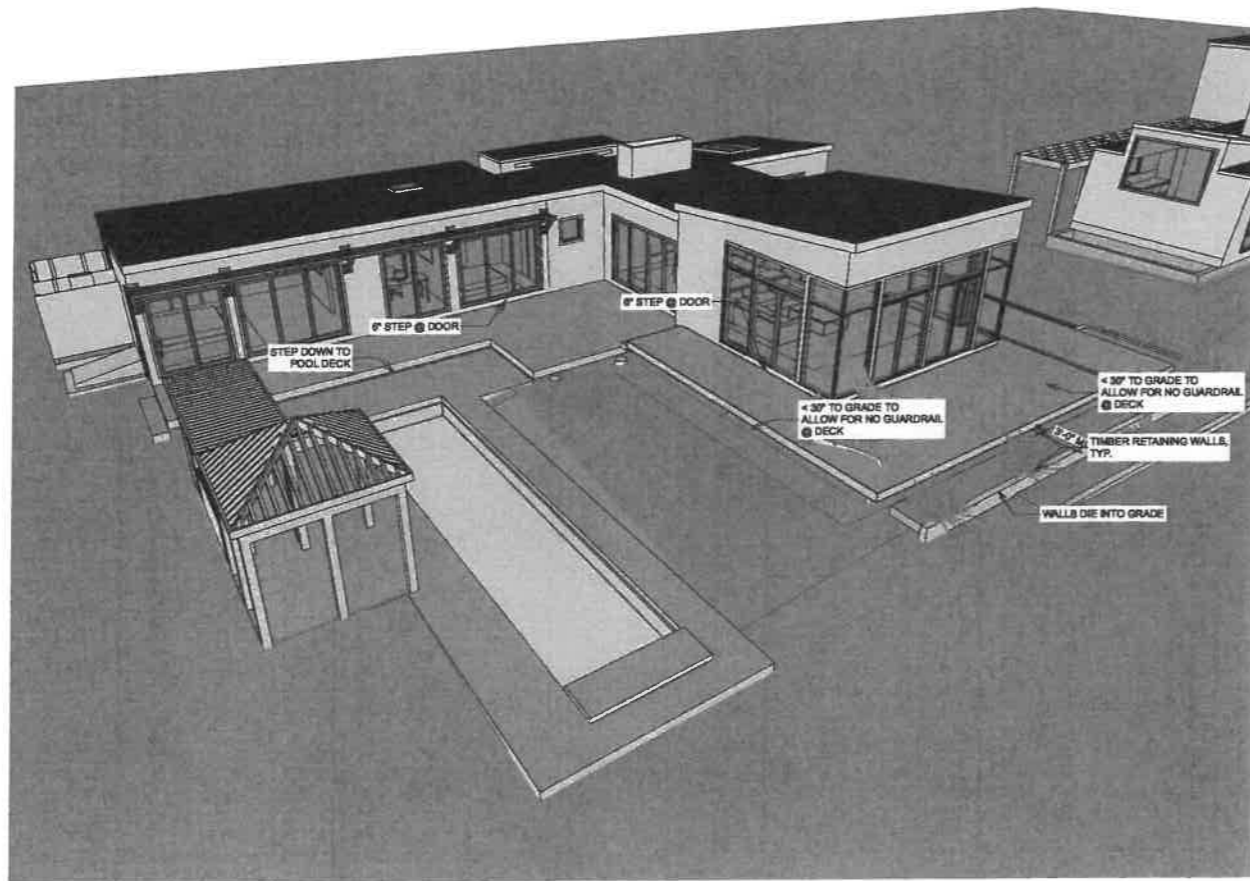


9 STUDIO BATH 4 TOILET W.
SCALE: 1/2" = 1'-0"

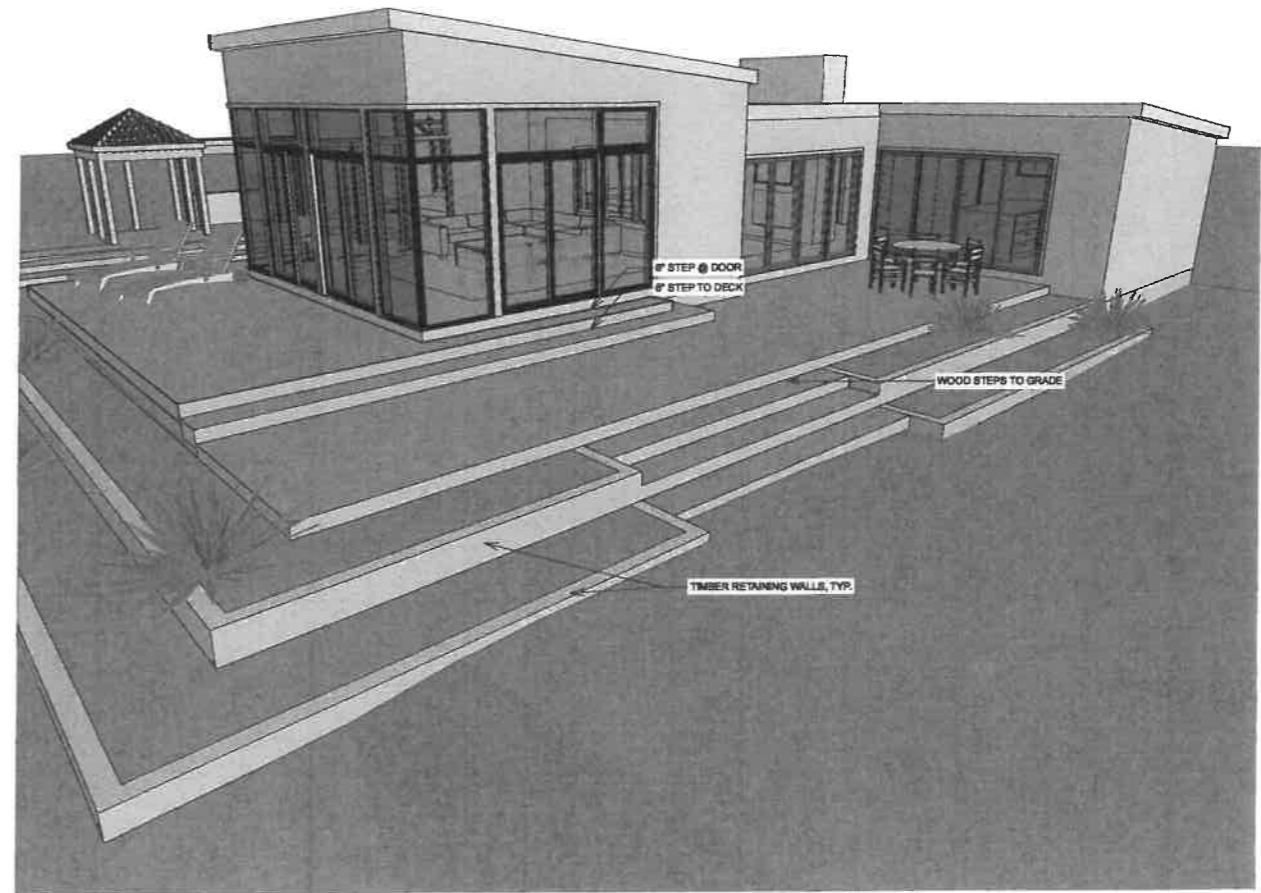
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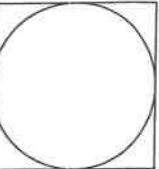
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1 DECK DETAIL NORTH



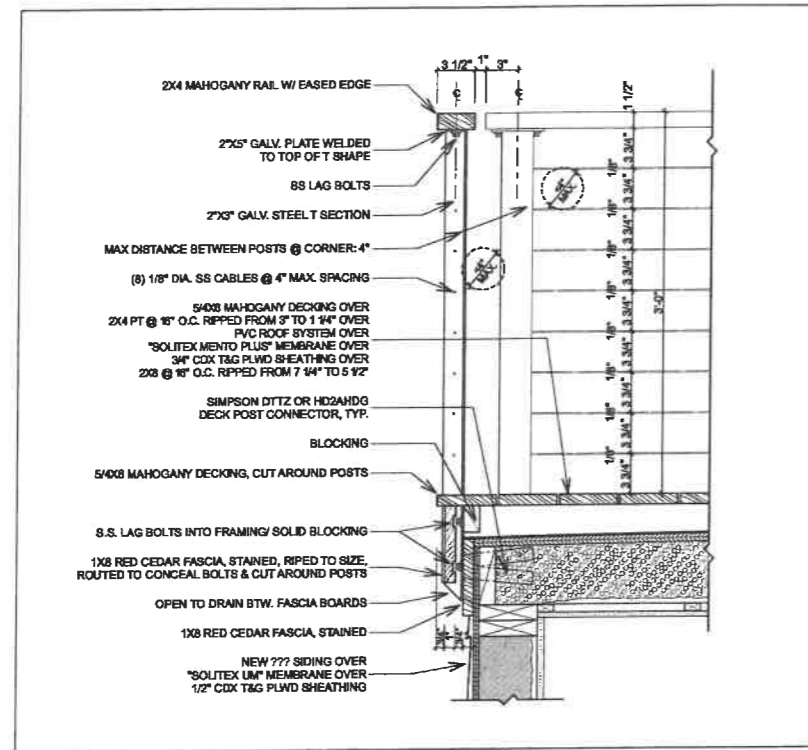
2 DECK DETAIL SOUTH



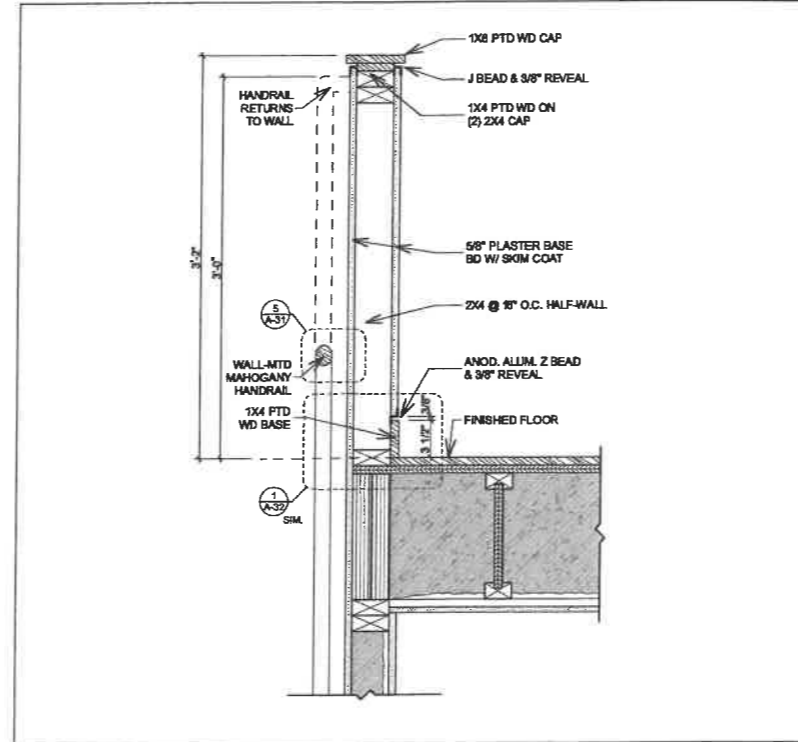
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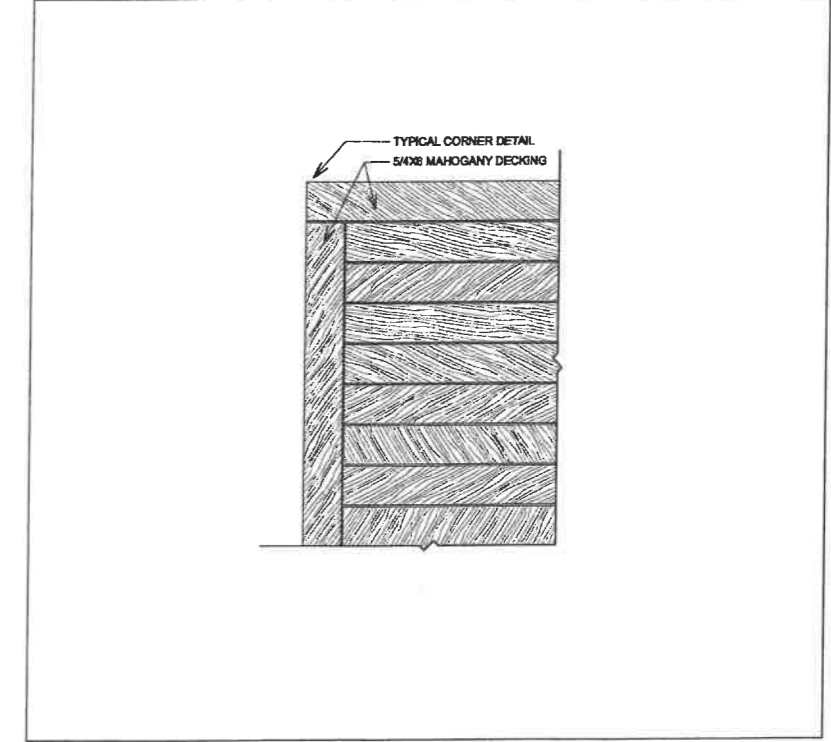
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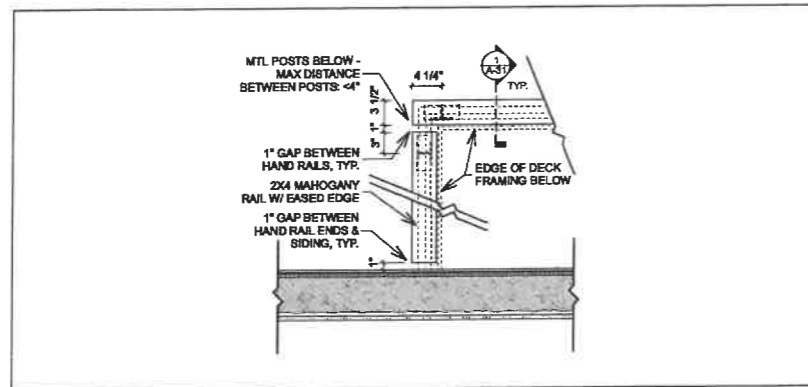
1 STUDIO DECK CABLE RAIL DETAIL
SCALE: 1 1/2" = 1'-0"



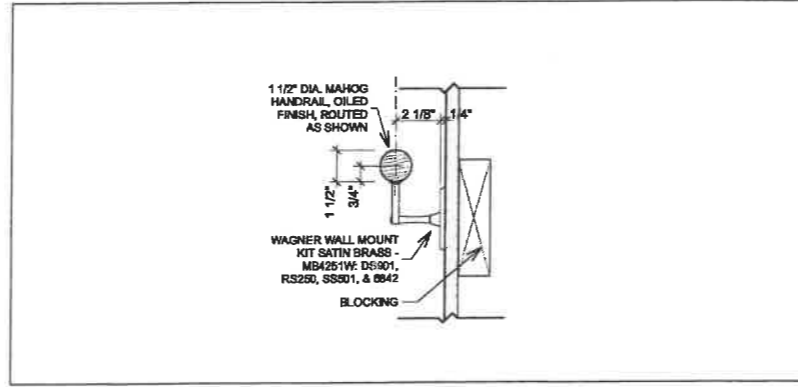
2 STUDIO HALF-WALL DETAIL
SCALE: 1 1/2" = 1'-0"



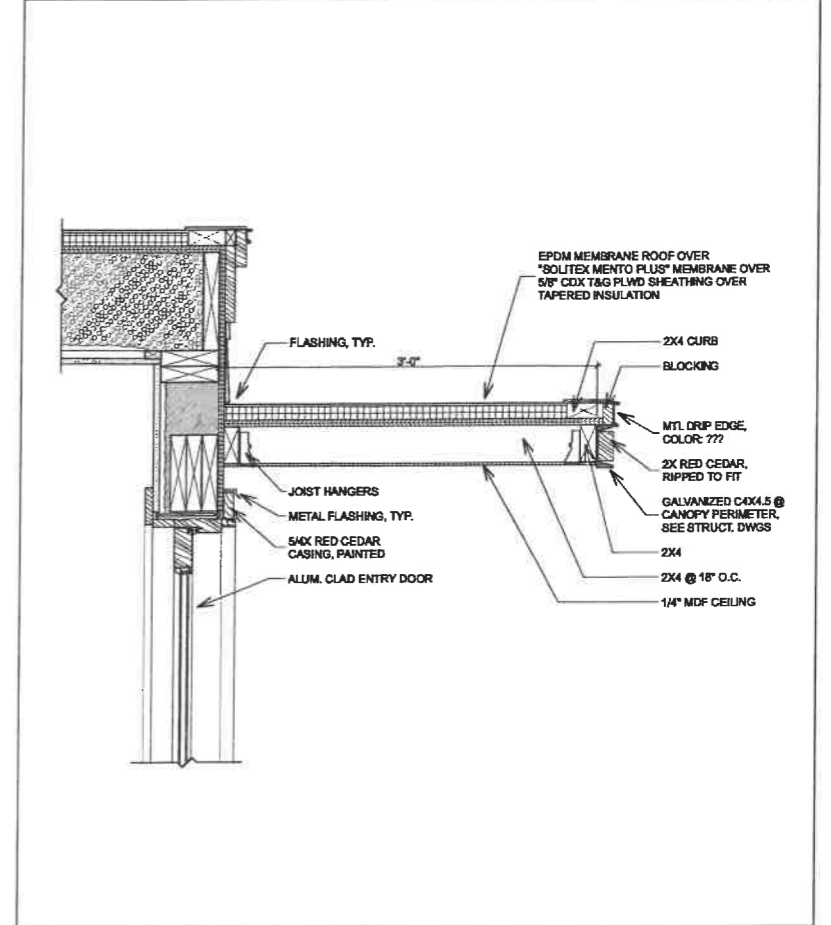
3 STUDIO DECK EDGE DETAIL
SCALE: 1" = 1'-0"



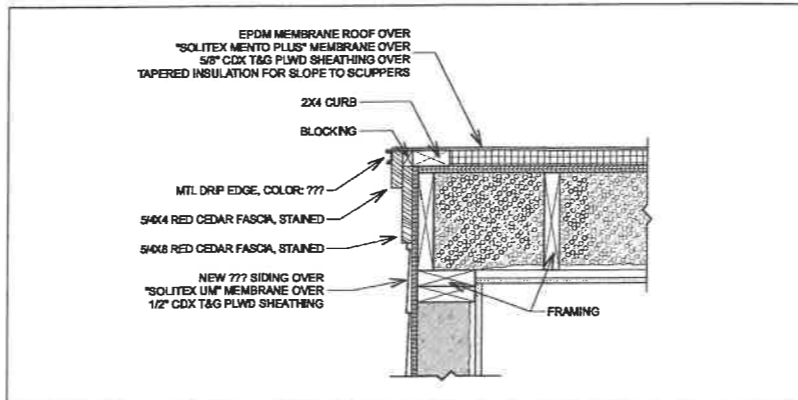
4 STUDIO CABLE RAIL END DETAIL
SCALE: 1" = 1'-0"



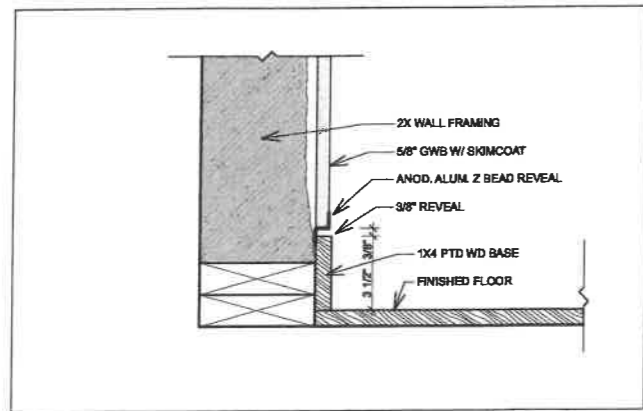
5 STUDIO WALL-MTD RAIL DTL
SCALE: 3" = 1'-0"



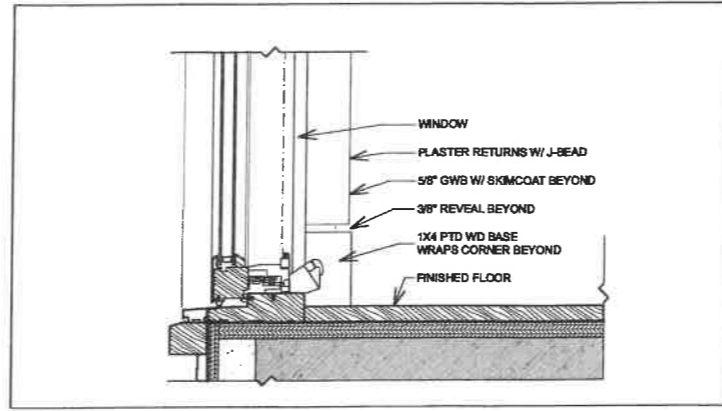
6 STUDIO CANOPY DETAIL
SCALE: 1 1/2" = 1'-0"



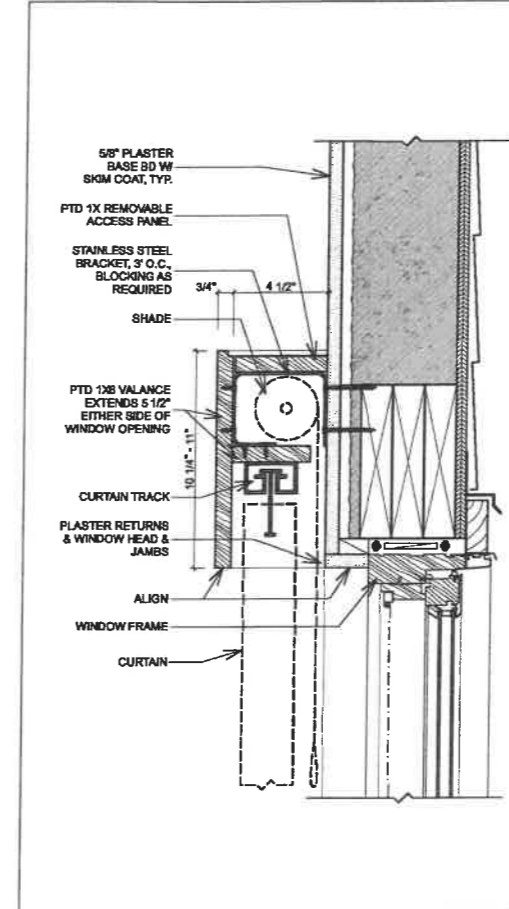
7 STUDIO EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



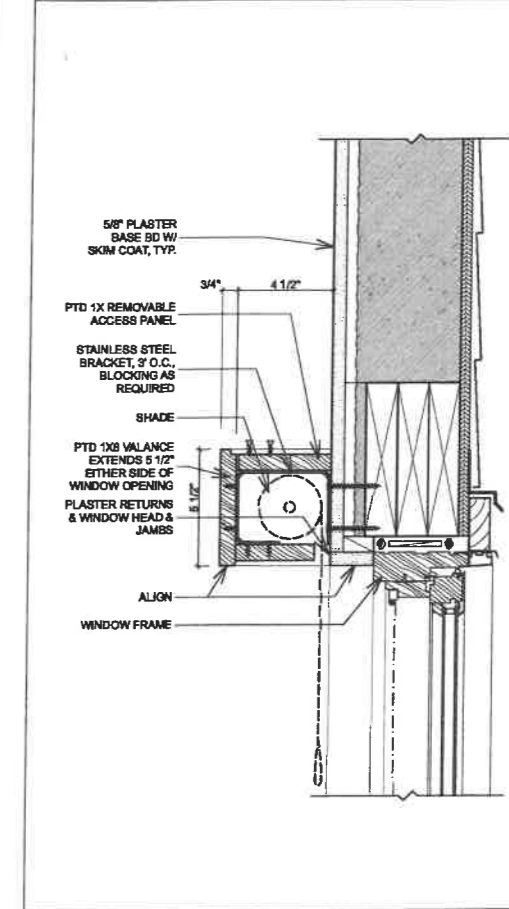
1 WALL BASE DETAIL
SCALE: 3/4" = 1'-0"



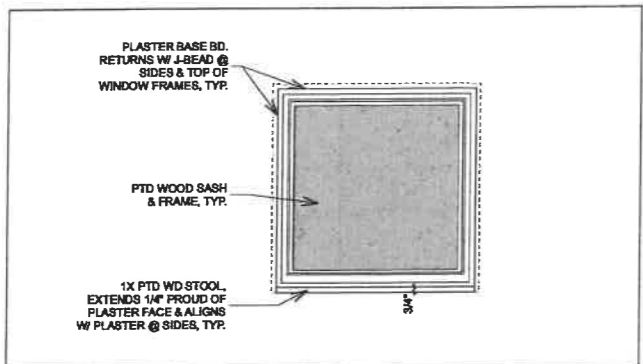
2 WALL BASE DTL @ WINDOW
SCALE: 3/4" = 1'-0"



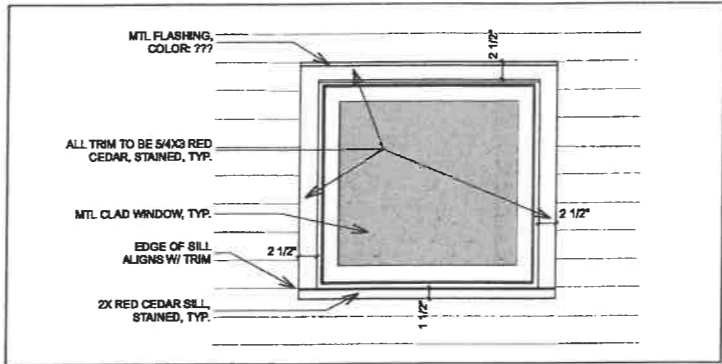
3 VALANCE DTL W/ CURTAIN
SCALE: 3/4" = 1'-0"



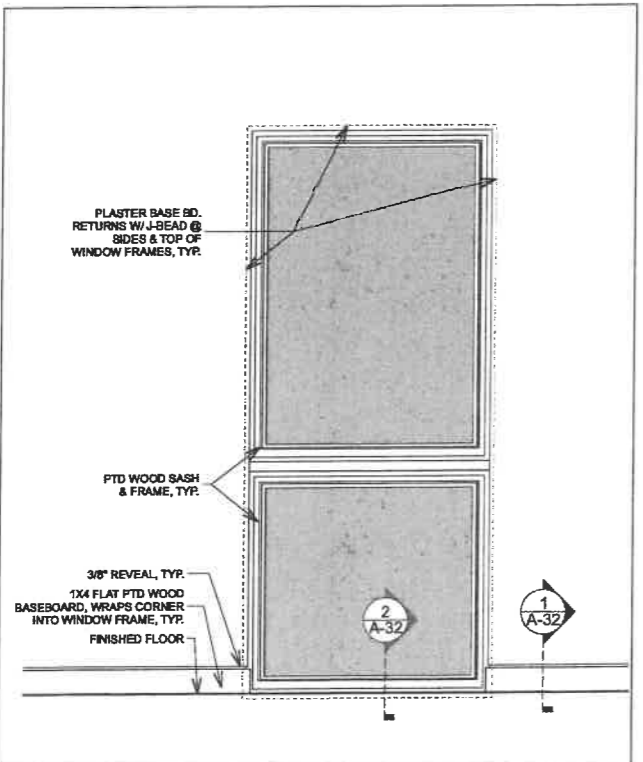
4 VALANCE DTL W/O CURTAIN
SCALE: 3/4" = 1'-0"



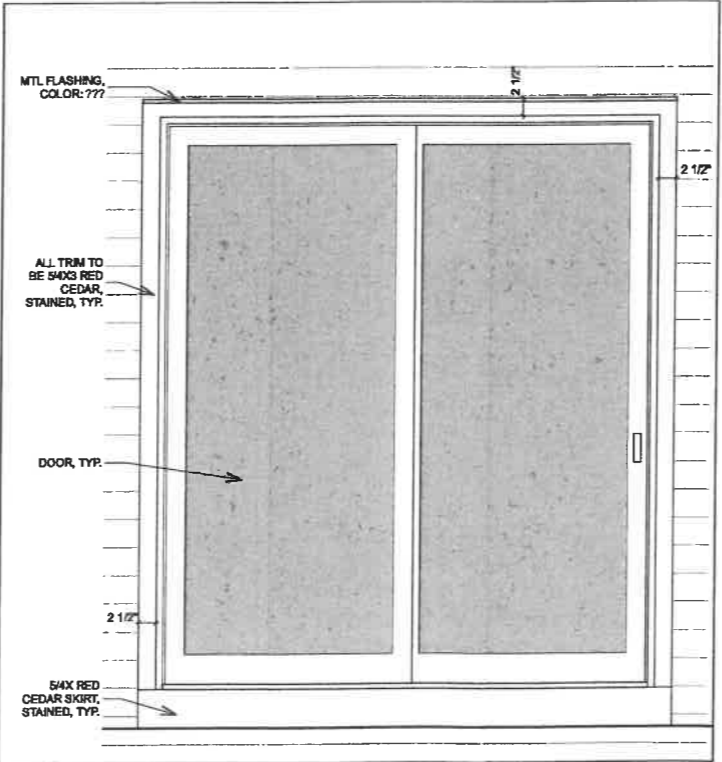
5 INTERIOR WINDOW CASING DTL W/ SILL
SCALE: 1" = 1'-0"



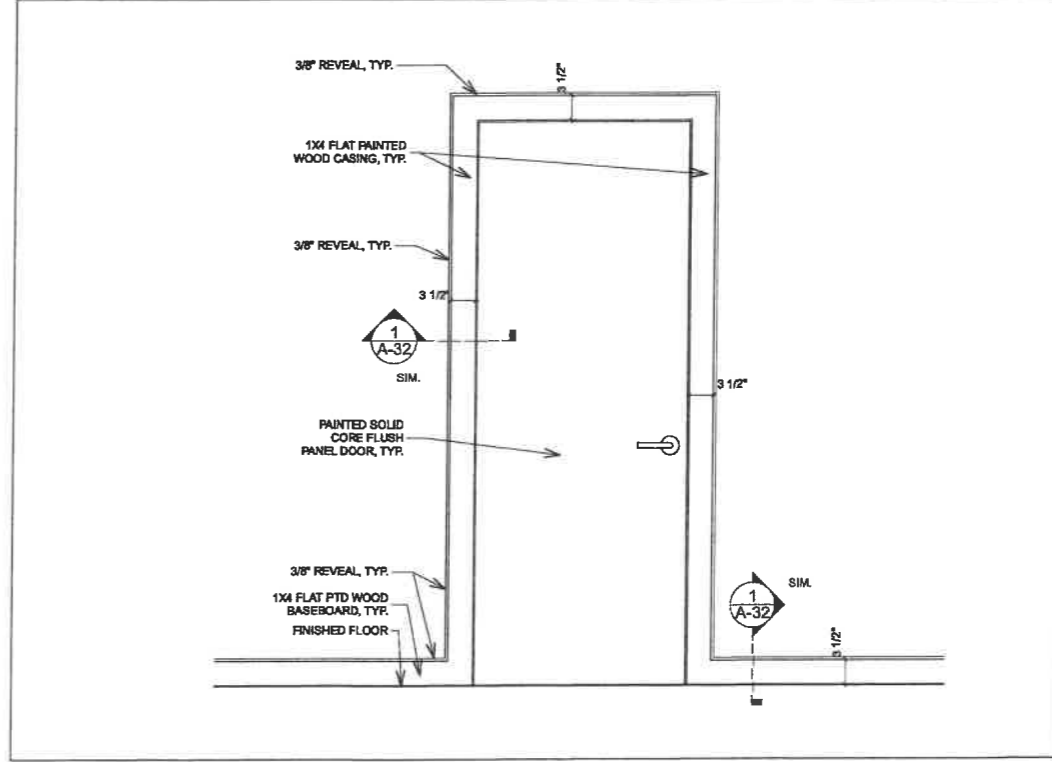
6 STUDIO EXTERIOR WINDOW CASING DTL
SCALE: 1" = 1'-0"



7 STUDIO INTERIOR WINDOW CASING DTL
SCALE: 1" = 1'-0"



8 STUDIO EXTERIOR DOOR CASING DTL
SCALE: 1" = 1'-0"



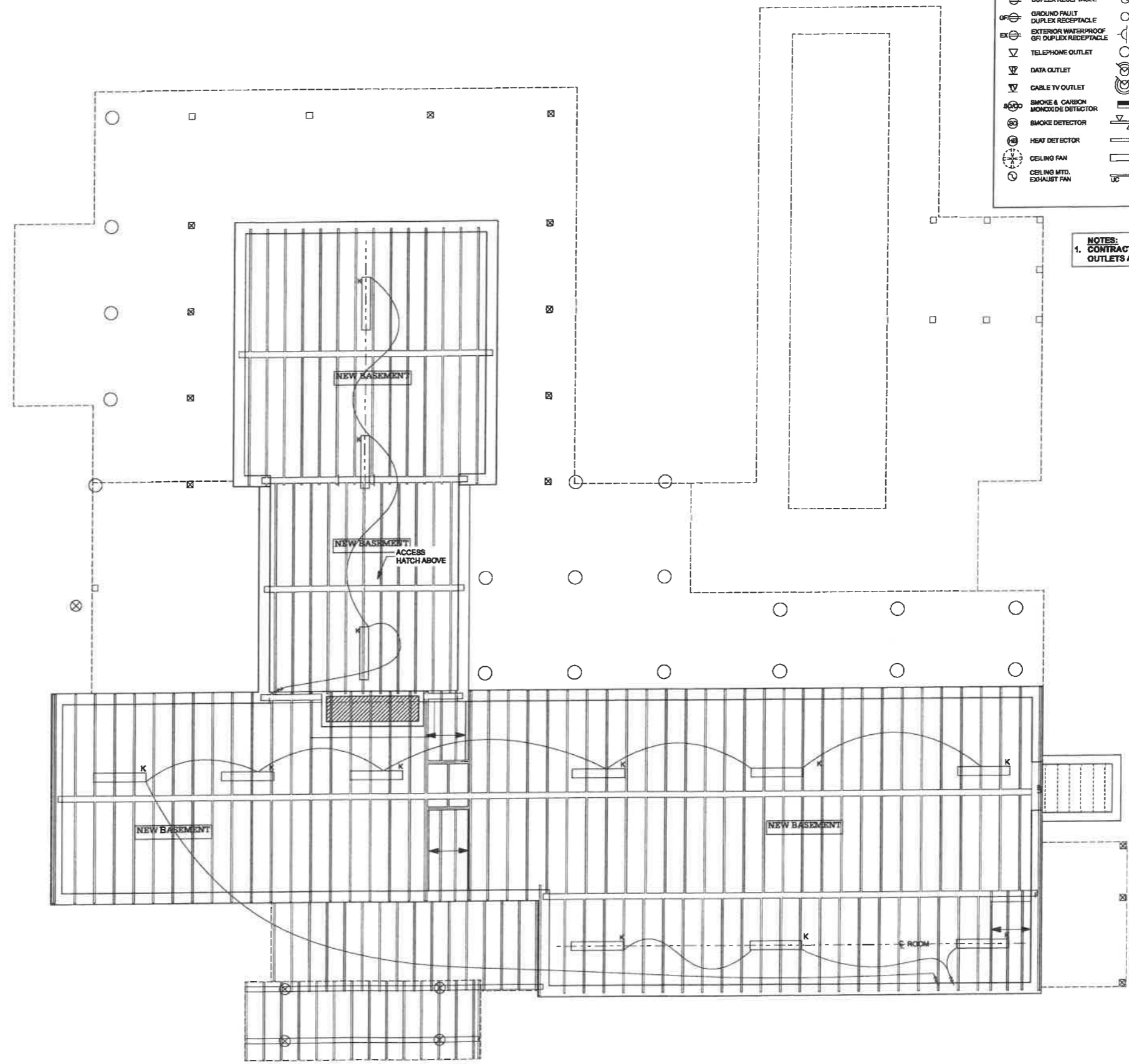
9 INTERIOR DOOR CASING DTL
SCALE: 1" = 1'-0"

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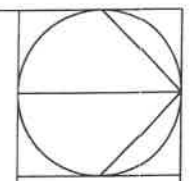


LEGEND OF SYMBOLS

SWITCH	RECESSED LIGHT
3-WAY SWITCH	RECESSED LIGHT W/ WALL WASHER TRIM
DUPLEX RECEPTACLE	MONOPOINT W/ TRACKLIGHT
GROUND FAULT DUPLEX RECEPTACLE	CEILING SURFACE MTD.
EXTERIOR WATERPROOF GFI DUPLEX RECEPTACLE	WALL BOUNCE
TELEPHONE OUTLET	WELL UP LIGHT
DATA OUTLET	DECK LIGHT, 8"
CABLE TV OUTLET	DECK LIGHT, 2 1/2"
SMOKE & CARBON MONOXIDE DETECTOR	RECESSED EXTERIOR STEP LIGHT
HEAT DETECTOR	TRACK LIGHT
CEILING FAN	CLOSET FLUORESCENT
CEILING MTD. EXHAUST FAN	CEILING SURFACE MTD. LINEAR FIXTURE
	UNDER CABINET LED STRIP LIGHT
	DB DOOR BELL DC DOOR CHIME

NOTES:
1. CONTRACTOR TO PLACE POWER OUTLETS AS REQUIRED BY CODE

1 BASEMENT R.C.P.
SCALE: 1/4" = 1'-0"

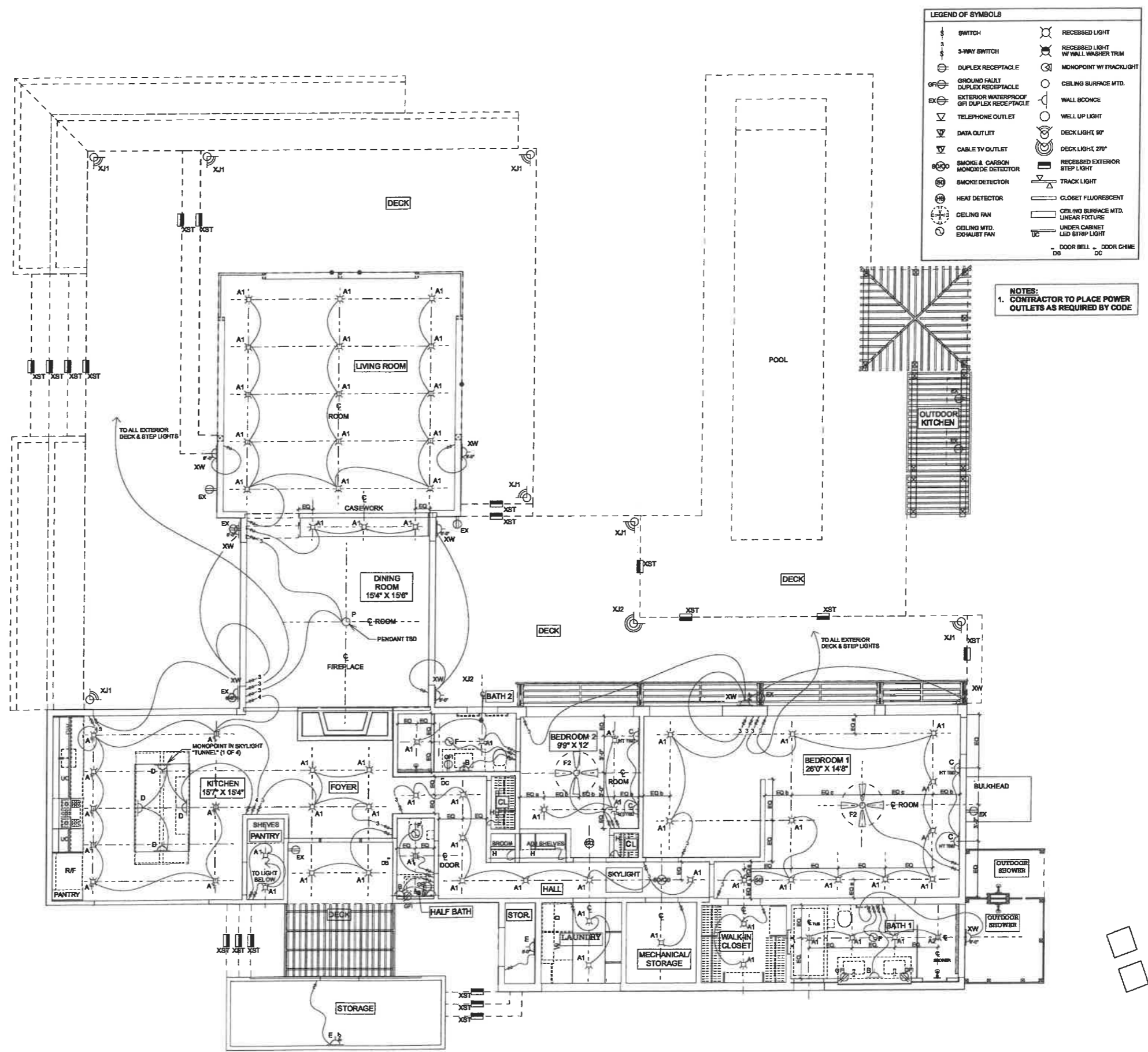


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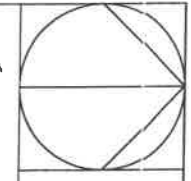


LEGEND OF SYMBOLS

SWITCH	RECESSED LIGHT
3-WAY SWITCH	RECESSED LIGHT W/ WALL WASHER TRIM
DUPLEX RECEPTACLE	MONOPOINT W/ TRACKLIGHT
GROUND FAULT DUPLEX RECEPTACLE	CEILING SURFACE MTD.
EXTERIOR WATERPROOF GFI DUPLEX RECEPTACLE	WALL SCONCE
TELEPHONE OUTLET	WELL UP LIGHT
DATA OUTLET	DECK LIGHT, 9"
CABLE TV OUTLET	DECK LIGHT, 27"
SMOKE & CARBON MONOXIDE DETECTOR	RECESSED EXTERIOR STEP LIGHT
SMOKE DETECTOR	TRACK LIGHT
HEAT DETECTOR	CLOSET FLUORESCENT
CEILING FAN	CEILING SURFACE MTD. LINEAR FIXTURE
CEILING MTD. EXHAUST FAN	UNDER CABINET LED STRIP LIGHT
	DOOR BELL DB
	DOOR CHIME DC

NOTES:
 1. CONTRACTOR TO PLACE POWER OUTLETS AS REQUIRED BY CODE

1 FIRST FLOOR R.C.P.
 SCALE: 1/8" = 1'-0"

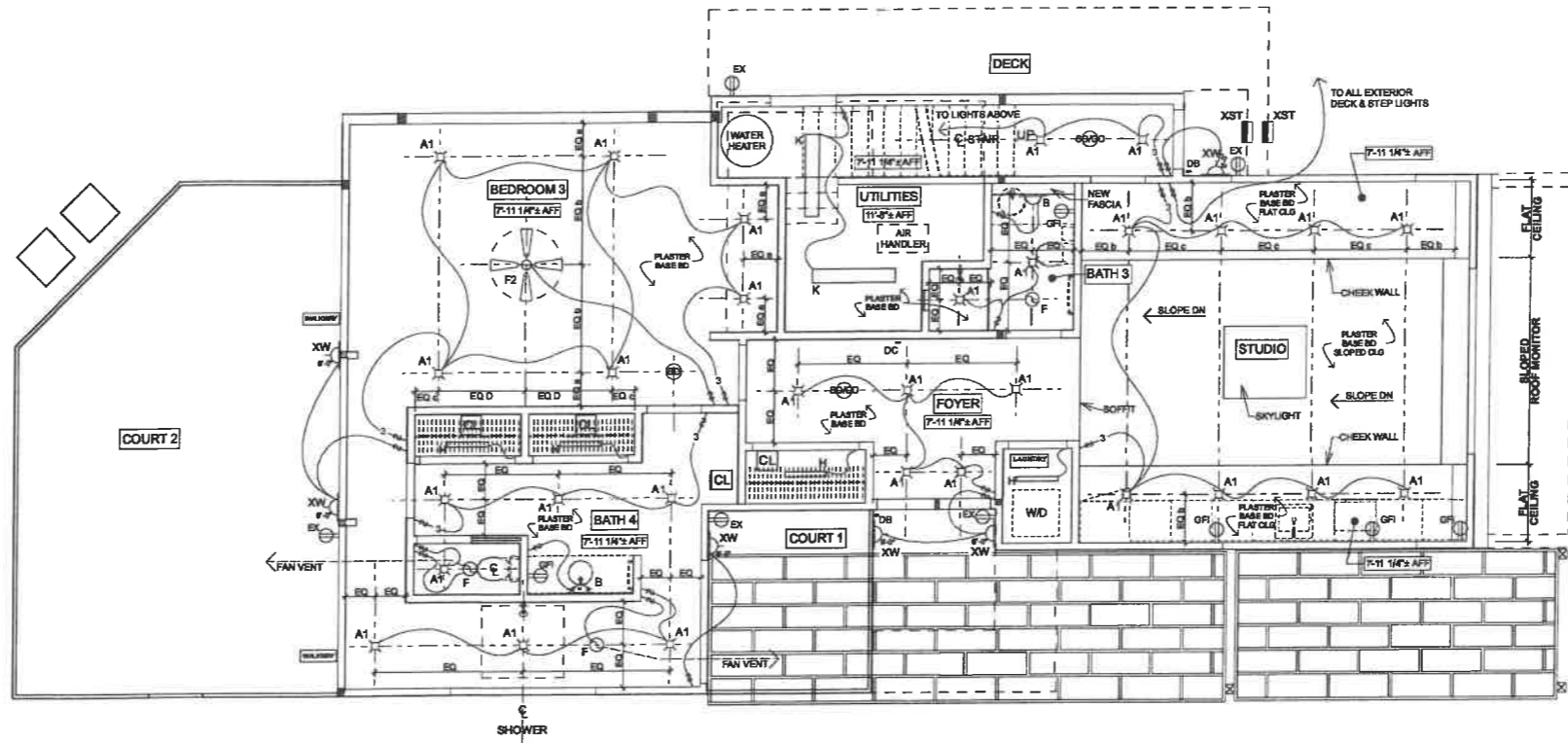


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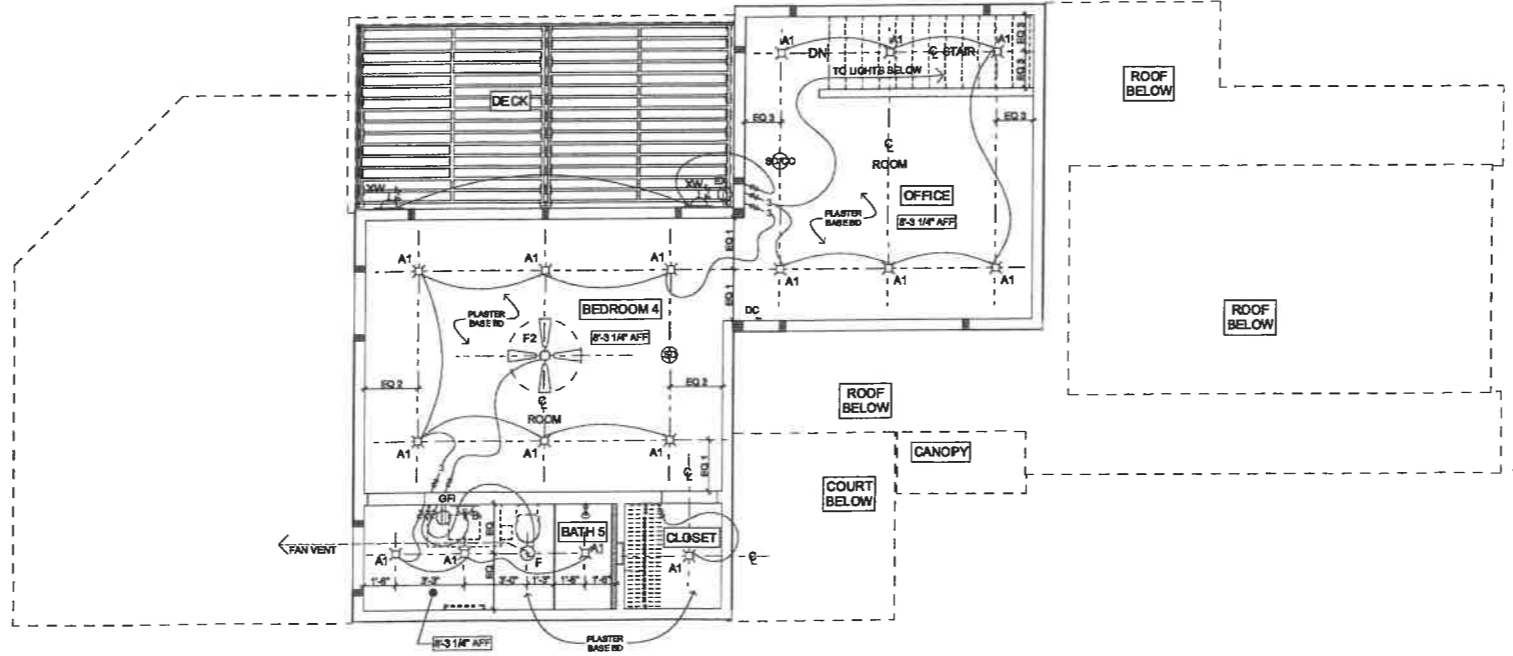
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Scale: As Noted
Date: 11.28.22 Revised 12.21.22

Berman - Dickinson Residence
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1 SCALE: 1/4" = 1'-0"

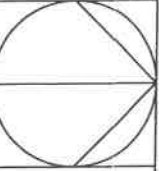


2 SCALE: 1/4" = 1'-0"

LEGEND OF SYMBOLS

SWITCH	RECESSED LIGHT
3-WAY SWITCH	RECESSED LIGHT W/ WALL W/ASHER TRIM
DUPLEX RECEPTACLE	MONOPOINT W/ TRACK LIGHT
GROUND FAULT DUPLEX RECEPTACLE	CEILING SURFACE MTD.
EXTERIOR WATERPROOF GFI DUPLEX RECEPTACLE	WALL BOUNCE
TELEPHONE OUTLET	WELL UP LIGHT
DATA OUTLET	DECK LIGHT, 90°
CABLE TV OUTLET	DECK LIGHT, 270°
SMOKE & CARBON MONOXIDE DETECTOR	RECESSED EXTERIOR STEP LIGHT
SMOKE DETECTOR	TRACK LIGHT
HEAT DETECTOR	CLOSET FLUORESCENT
CEILING FAN	CEILING SURFACE MTD. LINEAR FIXTURE
CEILING MTD. EXHAUST FAN	UNDER CABINET LED STRIP LIGHT
	DOOR BELL - DOOR CHIME
	DB DC

NOTES:
1. CONTRACTOR TO PLACE POWER OUTLETS AS REQUIRED BY CODE



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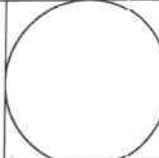
A-35

EXTERIOR DOOR SCHEDULE									
ID	Type	R.L. W X H	Thickness	Manufacturer	Model	Material	Hardware Set	Note/Remarks	VIEW
001	Swing Entry Door (Recessed)	3'-0" x 6'-11 1/2"	1 3/4"	Simpson	48900 3'-0" x 6'-0" Leaf Solid Flush Exterior Door	Mahogany (Sapele)	Keyed Entry Lockset	w/ WaterBarrier Technology	
101	Swing Entry Door (Front Door)	3'-2" x 6'-11 1/2"	1 3/4"	Simpson	48900 3'-0" x 6'-0" Leaf Solid Flush Exterior Door	Mahogany (Sapele)	Keyed Entry Lockset	w/ WaterBarrier Technology	
102	Sliding Patio Door	11'-9 1/4" x 6'-11 1/2"	2 3/16"	Loewen	WP4 3621 OXOX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
103	Sliding Patio Door	11'-9 1/4" x 6'-11 1/2"	2 3/16"	Loewen	WP4 3621 OXOX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
104	Sliding Patio Door	7'-11 1/4" x 6'-10 11/16"	2 3/16"	Loewen	WP2 1821 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
106	Sliding Patio Door	7'-11 5/8" x 6'-10 11/16"	2 3/16"	Loewen	WP2 1821 XO	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
106	Sliding Patio Door	7'-11 5/8" x 6'-10 11/16"	2 3/16"	Loewen	WP2 1821 CX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
107	Sliding Patio Door	7'-11 1/4" x 6'-10 11/16"	2 3/16"	Loewen	WP2 1821 XO	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
108	Sliding Patio Door	11'-9 1/4" x 6'-11 1/2"	2 3/16"	Loewen	WP4 3621 OXOX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
109	Multiside Narrow Sills Sliding Door	8'-9 11/16" x 6'-11 1/2"	2 3/16"	Loewen	Custom Height COX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior, 10 3/8" Jamb	
110	Sliding Patio Door	7'-11 5/8" x 6'-11 1/2"	2 3/16"	Loewen	WP2 1821 XO	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
111	Multiside Narrow Sills Sliding Door	8'-9 11/16" x 6'-11 1/2"	2 3/16"	Loewen	Custom Height COX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior, 10 3/8" Jamb	
112	Sliding Patio Door	7'-11 5/8" x 6'-11 1/2"	2 3/16"	Loewen	WP2 1821 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Triple Pane, Black Exterior	
113	Sliding Patio Door	7'-11 5/8" x 6'-11 1/2"	2 3/16"	Loewen	WP2 1821 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
114	Swing Entry Door (to Storage)	3'-2" x 6'-11 1/2"	1 3/4"	Simpson	48900 3'-0" x 6'-0" Leaf Solid Flush Exterior Door	Mahogany (Sapele)	Keyed Entry Lockset	w/ WaterBarrier Technology	
115	Swing Entry Door (to Storage)	3'-2" x 6'-11 1/2"	1 3/4"	Simpson	48900 3'-0" x 6'-0" Leaf Solid Flush Exterior Door	Mahogany (Sapele)	Keyed Entry Lockset	w/ WaterBarrier Technology	

EXTERIOR DOOR SCHEDULE (CONTINUED)									
ID	Type	R.L. W X H	Thickness	Manufacturer	Model	Material	Hardware Set	Note/Remarks	VIEW
8101	Terrace Door	2'-10 1/2" x 6'-10"	1 3/4"	Loewen	TD1 0821 R	Clad Exterior/ Primed Interior	Keyed Entry Lockset	Black Exterior	
8102	Terrace Door	2'-10 1/2" x 6'-10"	1 3/4"	Loewen	TD1 0821 L	Clad Exterior/ Primed Interior	Keyed Entry Lockset	Black Exterior	
8103	Sliding Patio Door	6'-11 5/8" x 6'-10"	2 3/16"	Loewen	WP2 1868 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8104	Sliding Patio Door	7'-11 1/4" x 6'-10"	2 3/16"	Loewen	WP2 2468 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8105	Sliding Patio Door	7'-11 1/4" x 6'-10"	2 3/16"	Loewen	WP2 2468 CX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8106	Sliding Patio Door	7'-11 1/4" x 6'-10"	2 3/16"	Loewen	WP2 2468 XO	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8107	Swing Entry Door (to Utility)	3'-2" x 6'-10 1/2"	1 3/4"	Simpson	48900 3'-0" x 6'-0" Leaf Solid Flush Exterior Door	Mahogany (Sapele)	Keyed Entry Lockset	w/ WaterBarrier Technology	
8201	Sliding Patio Door	6'-11 5/8" x 6'-10"	2 3/16"	Loewen	WP2 1868 OX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8202	Sliding Patio Door	6'-11 5/8" x 6'-10"	2 3/16"	Loewen	WP2 1868 XO	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	
8203	Sliding Patio Door	6'-11 5/8" x 6'-10"	2 3/16"	Loewen	WP2 1868 CX	Clad Exterior/ Primed Interior	Entry Lockset, Slider	Black Exterior	

INTERIOR DOOR SCHEDULE							
ID	Type	Leaf Thickness	Material	Manufacturer	Model / Type	Hardware Set	Note/Remarks
117	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
118	3'-0" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Dummy	
119	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
120	1'-10" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Dummy	
121	3'-0" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Dummy	
122	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
123	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
124	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
125	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
126	1'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Dummy	
127	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
128	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
129	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
130	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
8108	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
8109	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
8110	3'-0" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Dummy	
8111	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
8112	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	
8204	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Passage	
8205	2'-6" x 6'-10"	1 3/8"	Wood		Flush, Solid-Core	Privacy	

WINDOW SCHEDULE									
ID	QTY	Type	Frame Dimensions (WxD)	Rough Opening	Manufacturer	Model Number	Finish	Note/Remarks	Exterior View
A	1	Awning	2'-6 1/2" x 2'-5 1/2"	2'-6 1/4" x 2'-6 1/4"	Loewen	AW1 7575	Clad Exterior/ Primed Interior	See Specs for Hardware, Tempered per IRC R308.4.5	
A Opaque	1	Awning	2'-6 1/2" x 2'-5 1/2"	2'-6 1/4" x 2'-6 1/4"	Loewen	AW1 7575	Clad Exterior/ Primed Interior	Triple Pane, See Specs for Hardware	
B	1	Awning/ Direct Set	6'-4 3/16" x 2'-5 1/2"	6'-4 15/16" x 2'-5 1/4"	Loewen	AW1 7575/ PS1 2175	Clad Exterior/ Primed Interior	See Specs for Hardware	
C	1	Direct Set/ Awning	6'-4 3/16" x 2'-5 1/2"	6'-5 1/2" x 2'-6 1/4"	Loewen	PS1 1275/ AW1 7575	Clad Exterior/ Primed Interior	See Specs for Hardware	
D	1	Custom Direct Set/ Awning	2'-11 7/16" x 6'-10 11/16"	3'-0 3/16" x 6'-11 1/2"	Loewen	PS1 09 Custom Over AW1 0606	Clad Exterior/ Primed Interior	See Specs for Hardware	
E	4	Custom Direct Set/ Corner Window	3'-4 3/4" x 6'-10 11/16"	3'-5 1/8" x 6'-10 11/16"	Loewen	PS1 Custom 21	Clad Exterior/ Primed Interior	Triple Pane, Tempered per IRC R308.4.3	
F	4	Custom Direct Set/ Corner Window	3'-4 3/4" x 1'-11 5/8"	3'-5 1/8" x 2'-0 3/8"	Loewen	PS1 Custom 06	Clad Exterior/ Primed Interior	Triple Pane	
G	2	Custom Direct Set	3'-5 1/4" x 6'-10 11/16"	3'-5 5/8" x 6'-10 11/16"	Loewen	PS1 Custom 21	Clad Exterior/ Primed Interior	Triple Pane, Tempered per IRC R308.4.2/ R308.4.5	
H	2	Direct Set	6'-10 7/8" x 1'-11 5/8"	6'-11 5/8" x 2'-0 3/8"	Loewen	PS1 1808	Clad Exterior/ Primed Interior	Triple Pane	
H (Muted)	2	Direct Set	6'-10 7/8" x 1'-11 5/8"	6'-11 1/4" x 2'-0 3/8"	Loewen	PS1 1808	Clad Exterior/ Primed Interior	Triple Pane	
J	2	Custom Awning	3'-5 1/4" x 1'-11 5/8"	3'-5 5/8" x 2'-0 3/8"	Loewen	AW1 Custom 06	Clad Exterior/ Primed Interior	Triple Pane, See Specs for Hardware	
K	2	Direct Set	2'-6 1/2" x 6'-10 11/16"	2'-6 1/4" x 6'-11 1/2"	Loewen	PS1 7521	Clad Exterior/ Primed Interior	Field-Verify Fit	
Studio L	1	Direct Set/ Awning	7'-0 5/8" x 2'-5 1/2"	7'-1 3/8" x 2'-6 1/4"	Loewen	PS1 1475/ AW1 7575	Clad Exterior/ Primed Interior	Push Out Hardware, Tempered per IRC R308.4.5	
Studio M	1	Direct Set/ Awning	8'-4 3/8" x 2'-5 1/2"	8'-5 1/8" x 2'-6 1/4"	Loewen	PS1 1875/ AW1 7575	Clad Exterior/ Primed Interior	Push Out Hardware	
Studio N	1	Direct Set/ Awning	6'-4 3/16" x 2'-5 1/2"	6'-4 15/16" x 2'-6 1/4"	Loewen	PS1 2175/ AW1 7575	Clad Exterior/ Primed Interior	Push Out Hardware	
Studio O	1	Custom Direct Set	6'-11 1/4" x 6'-11 1/4"	6'-0" x 6'-0"	Loewen	PS1 Custom - Verify Siza	Clad Exterior/ Primed Interior	Field-Verify Dimensions	
Studio P	1	Custom Direct Set/ Awning	2'-6 1/2" x 6'-9 1/4"	2'-6 1/4" x 6'-10"	Loewen	PS1 75 Custom Over AW1 7506	Clad Exterior/ Primed Interior	See Specs for Hardware, Tempered per IRC R308.4.2	
Studio Q	1	Custom Direct Set/ Awning	2'-11 7/16" x 6'-9 1/4"	3'-0 3/16" x 6'-10"	Loewen	PS1 09 Custom Over AW1 0606	Clad Exterior/ Primed Interior	See Specs for Hardware, w/ Limiting Device per IRC R312.2.1	
Studio Q (Muted)	4	Custom Direct Set/ Awning	2'-11 7/16" x 6'-9 1/4"	2'-11 13/16" x 6'-10"	Loewen	PS1 09 Custom Over AW1 0606	Clad Exterior/ Primed Interior	See Specs for Hardware	
Studio Q Opaque	1	Custom Direct Set/ Awning	2'-11 7/16" x 6'-9 1/4"	3'-0 3/16" x 6'-10"	Loewen	PS1 09 Custom Over AW1 0606	Clad Exterior/ Primed Interior	See Specs for Hardware, w/ Limiting Device per IRC R312.2.1	
Studio R (Clad Ex. Side)	1	Custom Direct Set/ Awning	6'-10 7/8" x 6'-9 1/4"	6'-10 7/8" x 6'-10"	Loewen	PS1 18 Custom Over AW2 1806	Clad Exterior/ Primed Interior	See Specs for Hardware	
Studio R (Muted)	2	Custom Direct Set/ Awning	6'-10 7/8" x 6'-9 1/4"	6'-11 1/4" x 6'-10"	Loewen	PS1 18 Custom Over AW2 1806	Clad Exterior/ Primed Interior	See Specs for Hardware, Tempered per IRC R308.4.6 (1 of 2)	



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Title: SCHEDULES
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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 69 Old County Road
 TRURO, MA

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ROOM FINISH SCHEDULE						
NAME	FLOOR	BASE	WALLS	FINISH	CEILING	REMARKS
MAIN HOUSE						
Hall / Foyer	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Kitchen	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Dining	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Living	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Bedroom 1	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Bedroom 2	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Study	Wood (Note 1)	Ptd Wood	Plaster Base Bd.	Paint	Plaster Base Bd.	Paint
Bath 1	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
Bath 2	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
1/2 Bath	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
Storage	None	None	Plaster Base Bd	Paint	Plaster Base Bd	Paint
Laundry	Tile (Note 2)	Ptd Wood	Plaster Base Bd	Paint	Plaster Base Bd	Paint
Screen Porch	Wood	None	Wood / Screen	None	Wood	Clear
STUDIO/GUEST						
Living	Wood (Note 1)	Ptd Wood	New Plaster Base Bd	Paint	New Plaster Base Bd	Paint
Foyer	Wood (Note 1)	Ptd Wood	New Plaster Base Bd	Paint	New Plaster Base Bd	Paint
Bed 3	Wood (Note 1)	Ptd Wood	Plaster Base Bd	Paint	Plaster Base Bd	Paint
Bed 4	Wood (Note 1)	Ptd Wood	Plaster Base Bd	Paint	Plaster Base Bd	Paint
Office	Wood (Note 1)	Ptd Wood	Plaster Base Bd	Paint	Plaster Base Bd	Paint
Bath 3	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
Bath 4 Toilet	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
Bath 4 Tub	Tile Existing	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
Bath 5	Tile (Note 2)	Ptd Wood	Plaster Base Bd / Tile (Note 2)	Paint	Plaster Base Bd	Paint
NOTE #						
Note 1	Eng. Wood	Duchateau San Peiro	7 1/2" wide x 5/8" thick		Prefinished	
Note 2	Ceramic Floor & Wall Tile (C1)	Adco Wide Chalk	12"x24"			

LIGHTING FIXTURE SCHEDULE				
ID	MANUF.	DESCRIPTION	SIZE	REMARKS
A1	USA1	Recessed Downlight, LED	B3SAL-25-15L2-27KS-25-S-WH-IC-120V-D19 Square Flangeless, Plaster-in Trim, Wet Rated	Include AL800 Accessory for flood beam in all halls and baths
B	Stang	Bath Vanity Light	PIPE Individual wall lamp, LPI GSA-LED, Matte Glass	Jack mounting bracket, flush socket.
C	Arimede	Reading Sconce	Tolomeo Classic Spot LED #A044758	LED w/ Integral Dimmer & switch
D	Bruck	Mono Point mounted in skylight	Z10 Xicato #137401-XTM19-10LM-27K-96-DA60-120V-??-MC-MPL-6	w/ Mono Point canopy
E	Shiplights	Interior Shad Light	Bulkhead Light w/ Cross Bar	Unlacquered Brass, Wet Location, Frosted Glass
F	Panasonic	Bath Fan, Ceiling Mount	FV-11VQ3 WhisperCeiling #10 CFM	Gelv. Duct to Exterior, w/Demper
F2	Hauku	Ceiling Fan	52-BC-04-02-C-01 52", Universal Mnt., Caramel, White, LED downlight	VERIFY FINISH WITH ARCHITECTS
H	Bartco	LED Closet Light, 2'	BLT205-2-30-ND-R-8-0-SM-AW	Or Equal
K	Columbia	Basement Light	Z' fluorescent	W4-1, W2-1 or Equal
UC		Under Cab LD Strip Light, 2700K		Dimmable
XW	Acuity Brands	Exterior Wall Light	Benton- 2/3LED16-27K-12-FL-CNS-C4-DNA	Natural Aluminum, Integral 12V Driver
XJ1	Hunza	90 Degree Deck Light	SLMPL1A-X-SS-2	Requires Remote Power Supply
XJ2	Hunza	270 Degree Deck Light	SLMPL3L-X-SS-2	Requires Remote Power Supply
XST	Hunza	Exterior Step Light	SLUSQL-X-SS-60-2-SLCAN	Requires Remote Power Supply
DB	Spore	Door Bell - Spore "True"	TDB-A-A	Aluminum/Amber
DC	Spore	Door Chime/Bell	BIG RING	Brushed Steel

EQUIPMENT SCHEDULE							
ITEM	MANUF.	MODEL #	SIZE	ELEC.	WATER	GAS	REMARKS
MAIN HOUSE							
Washer	LG	WM3600HWA	27"W x 39"H x 30 1/4"D	X	X		
Dryer	LG	DLE3600W	27"W x 39"H x 30 1/8"D	X			
Refrigerator	Thermador	T36IB905SP	36" W	X	X		Freedom Ref./ Freezer, Panel Ready, Masterpiece Handle #MS20HNDL20, W/ Wd Panel Installation
Dishwasher	Thermador	DWHD770WPR	24"	X	X		Sapphire Panel-Ready, Masterpiece Handle #MS20HNDL20, W/ Wd Panel
Cooktop	Thermador	CIT36YWB	36"	X			Freedom Induction Cooktop, Frameless, Dk Gray
Oven	Thermador	MED301WS	30"	X			Masterpiece Single Built-In Oven
Ventilator	Zephyr	ZPI-E3BGC	36"	X			Pisa Under-Cabinet Ventilator, Gelv. Duct to Exterior
Microwave	Thermador	MD24WS	24"	X			Masterpiece Microdrawer, Microwave Drawer
UC Refrigerator/Freezer	Thermador	T24UC905DP	24"	X	X		Freedom UC Double Drawer Refrigerator/ Freezer, Masterpiece Handle #MS20HNDL20, W/ Wood Panel
Fireplace				X		X	Propane
STUDIO/GUEST HOUSE							
Dishwasher	Thermador	DWHD770WPR	24"	X	X		Sapphire Panel-Ready, Masterpiece Handle #MS20HNDL20, W/ Wd Panel
Microwave	Thermador	MD24WS	24"	X			Masterpiece Microdrawer, Microwave Drawer
UC Refrigerator/Freezer	Thermador	T24UC905DP	24"	X	X		Under-Counter Double Drawer Refrigerator/ Freezer, Masterpiece Handle #MS20HNDL20, W/ Wood Panel
UC Refrigerator	Thermador	T24UR905DP	24"	X			Under-Counter Double Drawer Refrigerator, Masterpiece Handle #MS20HNDL20, W/ Wood Panel
Washer Dryer	LG	WKX200HWA					Single Unit Wash Tower

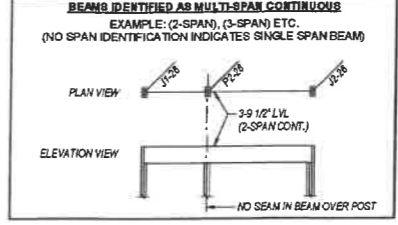
CABINET HARDWARE SCHEDULE							
Location	Application	Manufacturer	Model #	Type	Finish	Mounting	REMARKS
Kitchen	Upper Cabinet Door	Mockett	DP55A, 6 5/16"	Wire Pull	Stainless Steel	Vertical	Flat Ends
Kitchen	Upper Cabinet Door, Top Hinges	Mockett	DP55A, 6 5/16"	Wire Pull	Stainless Steel	Horizontal	Flat Ends
Kitchen	Lower Cabinet Door	Mockett	DP55A, 6 5/16"	Wire Pull	Stainless Steel	Vertical	Flat Ends
Kitchen	Cabinet Drawers	Mockett	DP55A, 6 5/16"	Wire Pull	Stainless Steel	Horizontal	Flat Ends
Kitchen	Refrigerator	Mockett	DP56B, 12"	Appliance Pull	Stainless Steel	Vertical	Flat Ends
Kitchen	Freezer Drawer	Mockett	DP56B, 12"	Appliance Pull	Stainless Steel	Horizontal	Flat Ends
Kitchen	Dishwasher	Mockett	DP56B, 12"	Appliance Pull	Stainless Steel	Horizontal	Flat Ends
Bath	Cabinet Doors	Mockett	DP55A, 7 9/16"	Wire Pull	Stainless Steel	Vertical	Flat Ends
Bath	Cabinet Drawers	Mockett	DP55A, 7 9/16"	Wire Pull	Stainless Steel	Horizontal	Flat Ends

PLUMBING SCHEDULE								Purchased by Owner	Purchased by Contractor
ROOM	MANUF.	DESCRIPTION	MODEL #	NAME	COLOR	REMARKS			
Bath 1	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
Bath 1	Duravit	Bidet Seat	612000011041320				X		
Bath 1	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 2	X		
Bath 1	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 2	X		
Bath 1	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 1	Dornbracht	Shower Rough				Thermostatic valve	X		
Bath 1	Hans Grohe	Shower Head	27488821	Radianco S	Brushed Nickel		X		
Bath 1	QuickDrain	Shower Drain System	PLDxx w/ Lines Cover	Linear Floor Drain		w/ Trough Extensions Wall-to-Wall	X		
Bath 1	Kohler	Bathtub	K-1836-GH	Underscore	White	Undermount	X		
Bath 1	Duravit	Tub Spout	13 801 660-06	Meta	Platinum Matte	Undermount	X		
Bath 1	Duravit	Shower Door Hardware	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 1	C.R. Laurence	Shower Door Hardware	LP6X8BN		Brushed Nickel	With Geneva Hinge	X		
Bath 1		Toilet Paper Holder					X		
Bath 1		Towel Bar				Qty 2	X		
Bath 1		Robe Hook				Qty 2	X		
Bath 2	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
Bath 2	Duravit	Bidet Seat	612000011041320				X		
Bath 2	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 1	X		
Bath 2	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 1	X		
Bath 2	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 2	Dornbracht	Shower Rough				Thermostatic valve	X		
Bath 2	Hans Grohe	Shower Head	27488821	Radianco S	Brushed Nickel		X		
Bath 2	QuickDrain	Shower Drain System	PLDxx w/ Lines Cover	Linear Floor Drain		w/ Trough Extensions Wall-to-Wall	X		
Bath 2	C.R. Laurence	Shower Door Hardware	LP6X8BN		Brushed Nickel	With Geneva Hinge	X		
Bath 2		Toilet Paper Holder					X		
Bath 2		Towel Bar				Qty 2	X		
Bath 2		Robe Hook				Qty 2	X		
1/2 Bath	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
1/2 Bath	Duravit	Bidet Seat	612000011041320				X		
1/2 Bath	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 1	X		
1/2 Bath	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 1	X		
1/2 Bath	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
1/2 Bath	Dornbracht	Shower Rough				Thermostatic valve	X		
1/2 Bath	Hans Grohe	Hand Shower Shower			Brushed Nickel		X		
1/2 Bath	QuickDrain	Shower Drain System	WALLD48	Linear Wall Drain		Confirm Vertical or Slide Drain Outlet	X		
1/2 Bath		Toilet Paper Holder					X		
1/2 Bath		Towel Bar				Qty 2	X		
1/2 Bath		Robe Hook				Qty 2	X		
Bath 3	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
Bath 3	Duravit	Bidet Seat	612000011041320				X		
Bath 3	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 1	X		
Bath 3	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 1	X		
Bath 3	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 3	Dornbracht	Shower Rough				Thermostatic valve	X		
Bath 3	Hans Grohe	Shower Head	27488821	Radianco S	Brushed Nickel		X		
Bath 3	QuickDrain	Shower Drain System	PLDxx w/ Lines Cover	Linear Floor Drain		w/ Trough Extensions Wall-to-Wall	X		
Bath 3	C.R. Laurence	Shower Door Hardware	LP6X8BN		Brushed Nickel	With Geneva Hinge	X		
Bath 3		Toilet Paper Holder					X		
Bath 3		Towel Bar				Qty 2	X		
Bath 3		Robe Hook				Qty 2	X		
Bath 4	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
Bath 4	Duravit	Bidet Seat	612000011041320				X		
Bath 4	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 1	X		
Bath 4	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 1	X		
Bath 4	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 4	Dornbracht	Shower Rough				Thermostatic valve	X		
Bath 4	Hans Grohe	Shower Head	27488821	Radianco S	Brushed Nickel		X		
Bath 4	Existing	Shower Drain System					X		
Bath 4		Toilet Paper Holder					X		
Bath 4		Towel Bar				Qty 2	X		
Bath 4		Robe Hook				Qty 2	X		
Bath 5	Duravit	Toilet	2510092092		White	w/ WD1022000091 in-wall tank	X		
Bath 5	Duravit	Bidet Seat	612000011041320				X		
Bath 5	Nameek's	Sink	5134	Teorema Scarabeo	White	Qty 1	X		
Bath 5	Dornbracht	Faucet	33 526 860-060010	Meta Slim	Platinum Matte	Qty 1	X		
Bath 5	Dornbracht	Shower Trim	36 425 970-060010	Series Specific	Platinum Matte		X		
Bath 5	Dornbracht	Shower Rough				Thermostatic valve	X		
Bath 5	Hans Grohe	Shower Head	27488821	Radianco S	Brushed Nickel		X		
Bath 5	QuickDrain	Shower Drain System	PLDxx w/ Lines Cover	Linear Floor Drain		w/ Trough Extensions Wall-to-Wall	X		
Bath 5	C.R. Laurence	Shower Door Hardware	LP6X8BN		Brushed Nickel	With Geneva Hinge	X		
Bath 5		Toilet Paper Holder					X		
Bath 5		Towel Bar				Qty 2	X		
Bath 5		Robe Hook				Qty 2	X		
Outdoor Shwr	American Standard	Shower Trim w/ Tub spout	TU43062.002	Borwick	Polished Chrome	Tub spout for foot wash	X		
Outdoor Shwr	American Standard	Shower Rough	R115SS			Pressure balance rough-in valve	X		
Outdoor Shwr	Moquette	Robe Hook	HK2A-SSS		Satin Steel	Qty 2	X		
Outdoor Shwr	Snedco	Shower Basket	DK 1031		Chrome	2 Level	X		
Kitchen	Bianco Grohe	Sink	Precision 512747		Stainless	Undermount	X		
Kitchen	Grohe	Faucet	Minta 32319DC3		SuperSteel	W/ pull out spray	X		
Guest House	Kohler	Sink	K-3821-NA		Stainless	Undermount	X		

DOOR STOP SCHEDULE						
Door #	Room/Location	Manufacturer	MODEL #	Finish	Mounting	REMARKS
MAIN HOUSE						
101	Entry	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper
117	Pantry	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper Qty 2
119	1/2 Bath	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper
122	Laundry	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper
123	Mechanical	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper
125	Bath 1	Deltana	UF85000U26D	Brushed Chrome	Floor	Bumper

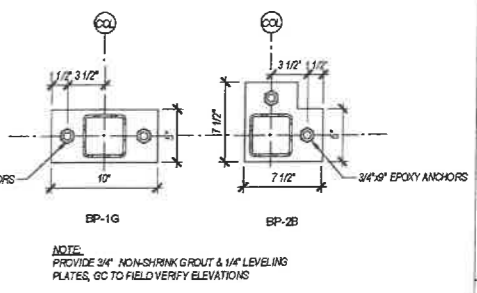
WEBB STRUCTURAL SERVICES, INC.
670 MAIN STREET
READING, MA 01867
(781-779-1330)

MULTIPLE SPAN BEAM LEGEND



POST LEGEND

BN = BEARING WALL
FVP = FLAT VALLEY PLATE
(E) = EXISTING
(J) SPAN = JOIST OR BEAM
PLNS CONTINUOUS OVER SUPPORTS FOR (J) SPANS
NUMBER OF STUDS IF APPLICABLE
SIZE OF STUD OR DIMENSION OF SOLID POST
TYPE OF POST: P = POST, J = JACK, VC = VERSA COLUMN, LC = LALLY COLUMN, HSS = HOLLOW STRUCTURAL SECTION



1 TYPICAL BASE PLATES
1 1/2" = 1'-0"

DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE

LIVE LOADS
GROUND SNOW LOAD: 25 PSF
INHABITABLE ATTICS WITHOUT STORAGE: 10 PSF
INHABITABLE ATTICS WITH LIMITED STORAGE: 20 PSF
HABITABLE ATTICS AND SLEEPING AREAS: 30 PSF
ALL OTHER AREAS: 40 PSF

WIND LOADS
MASSACHUSETTS STATE BUILDING CODE: 138 MPH EXPOSURE B

DEAD LOAD
WEIGHTS OF MATERIALS AND CONSTRUCTION

LATERAL FRAMING NOTES

- THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.3 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
- FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
- ALL EXTERIOR WALLS TO FOLLOW SHEARWALL SHEATHING CRITERIA.
SHEARWALLS CONSTRUCTION:
SHEATHING TO BE 1/2" APA RATED SHEATHING TO BE ATTACHED TO THE WALL STUDS WITH 8D NAILS @ 4" OC AROUND EDGES & 8" OC IN FIELDS.
- HOLDDOWNS TO BE HDUS BY SIMPSON AND SHALL BE ATTACHED TO A MIN OF 2x2 STUDS
- THREADED ROD TO BE 5/8" AND EPOXY SHALL BE SIMPSON SET-3P
- ALL PLYWOOD SEAMS IN A SHEARWALL SHALL BE BLOCKED WITH DIMENSIONAL LUMBER OF THE SAME SIZE AS THE WALL STUDS.
- REFER TO PLANS AND SECTIONS FOR STUD SIZES, STUDS SHALL BE SPACED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON PLAN.
- CARE SHOULD BE TAKEN TO ADJUST NAIL GUN PRESSURE SO AS TO NOT OVER DRIVE NAILS INTO PLYWOOD. NAIL HEADS SHOULD BE FLUSH WITH PLYWOOD FACE. OVER DRIVING NAILS GREATLY REDUCES THE EFFECTIVENESS OF THE SHEARWALL.
- FOR FRAMING SIZES REFER TO FRAMING PLANS.

GENERAL CONDITIONS

- G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED.
- FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INCREASING UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
- BACKFILL FOR FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 98% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING, DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

CONCRETE

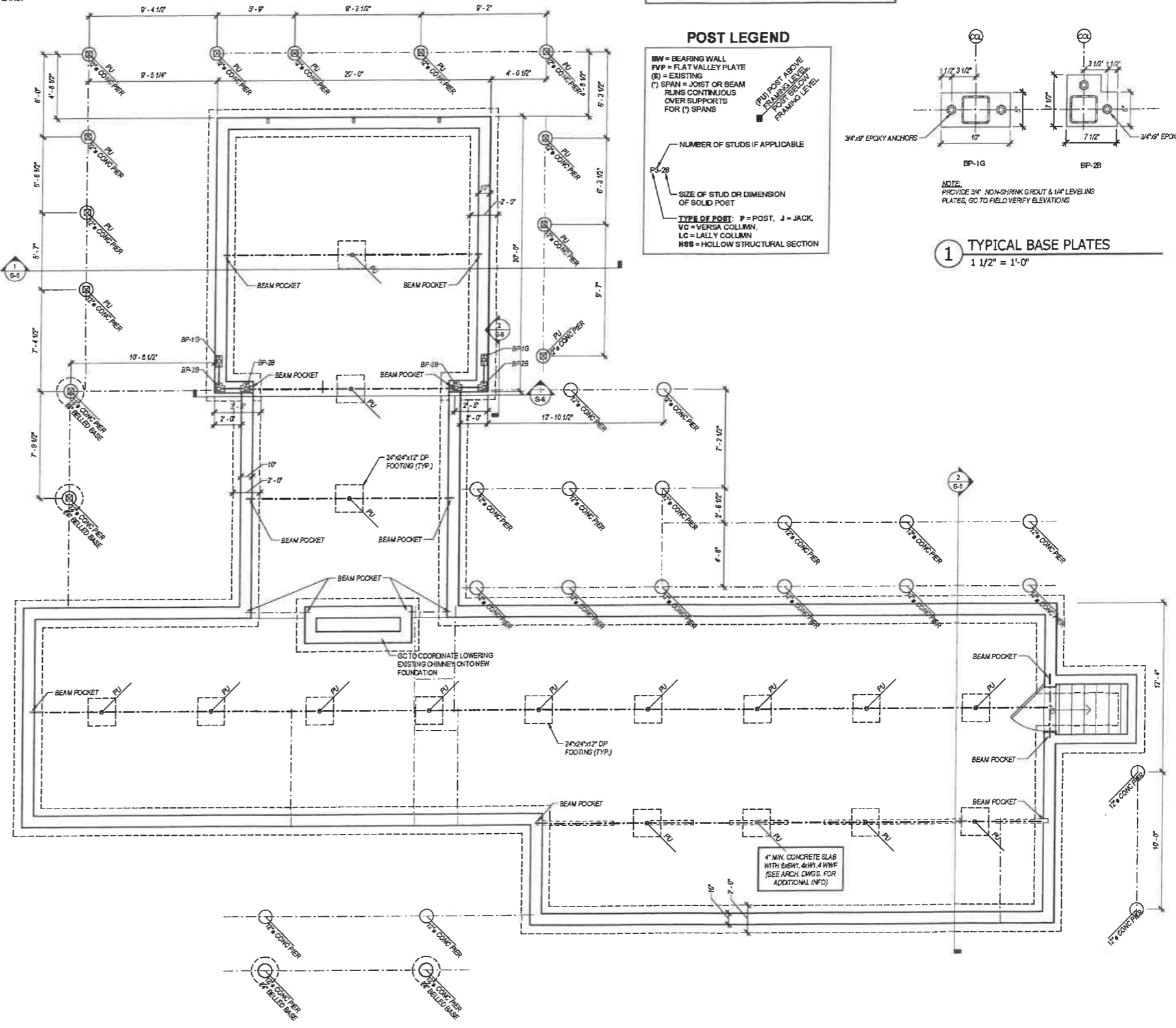
- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODES FOR CONCRETE".
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS-FOOTINGS, WALLS, INTERIOR SLABS ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
- STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
- NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

STRUCTURAL STEEL

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.
- STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992, WITH A MINIMUM YIELD STRENGTH OF 50 KSI. PLATES, ANGLES, CHANNELS, AND MISC. FABRICATED HARDWARE SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRENGTH OF 36 KSI. RECTANGULAR STEEL TUBING SHALL CONFORM TO ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 48 KSI.
- ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
- STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
- NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

ROUGH CARPENTRY

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE 9TH EDITION OF THE MASSACHUSETTS BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS (MBC 182) AND THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC 182).
- REFER TO THE MBC 182 AND IRC 182 FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC 182 AND IRC 182 OR IN THESE DRAWINGS.
- REFER TO THE IRC 182 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 602.3 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
- ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fv = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER. WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "I" BEAMS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (VERSA COLUMNS), AS NOTED ON PLANS, SHALL BE VERSA-LAM 1.7 2050.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK AND WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2 3/8" HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/4" PLYWOOD FOR SOLID BEARING.
- BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2" BOLTS AT 16" ON CENTER OR 3-1/4" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITION WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING. MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.



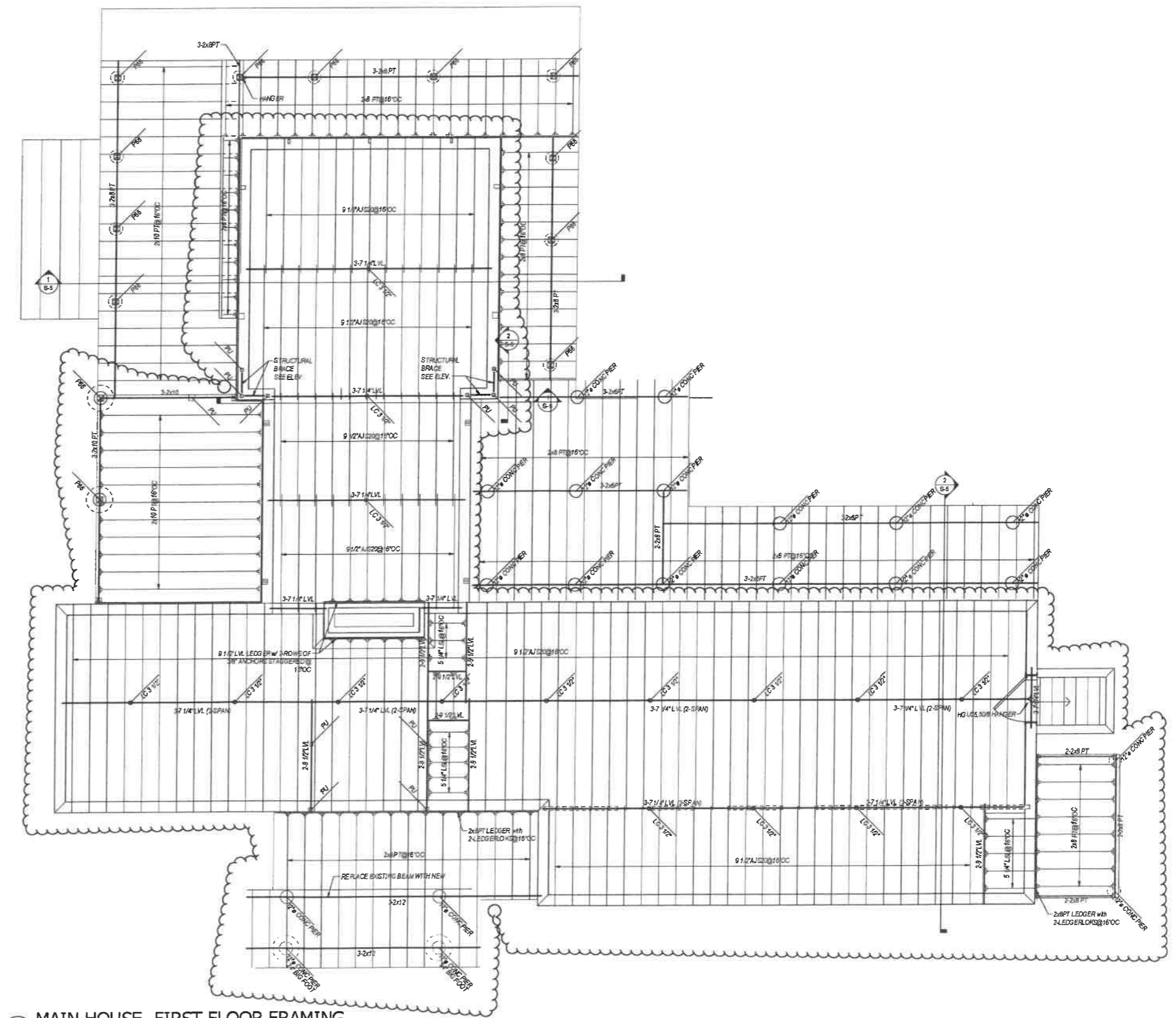
MAIN HOUSE - FOUNDATION PLAN
1/4" = 1'-0"

Hammer Architects
21 Bishop Allen Drive
Cambridge, MA 02139
617.876.5121

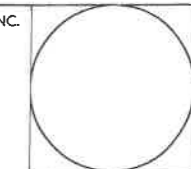
Title: MAIN HOUSE FOUNDATION PLAN
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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69 Old County Road
Tturo, MA

S-O



MAIN HOUSE -FIRST FLOOR FRAMING
 1/4" = 1'-0"

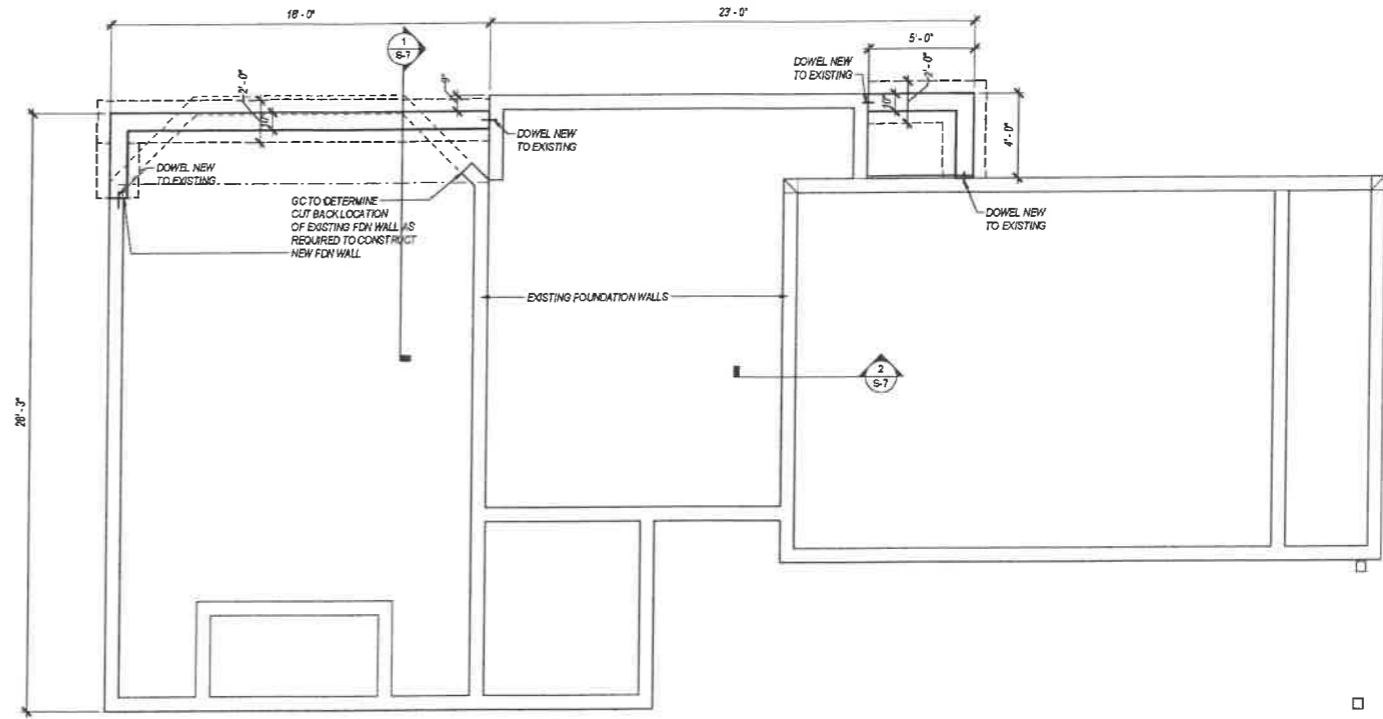


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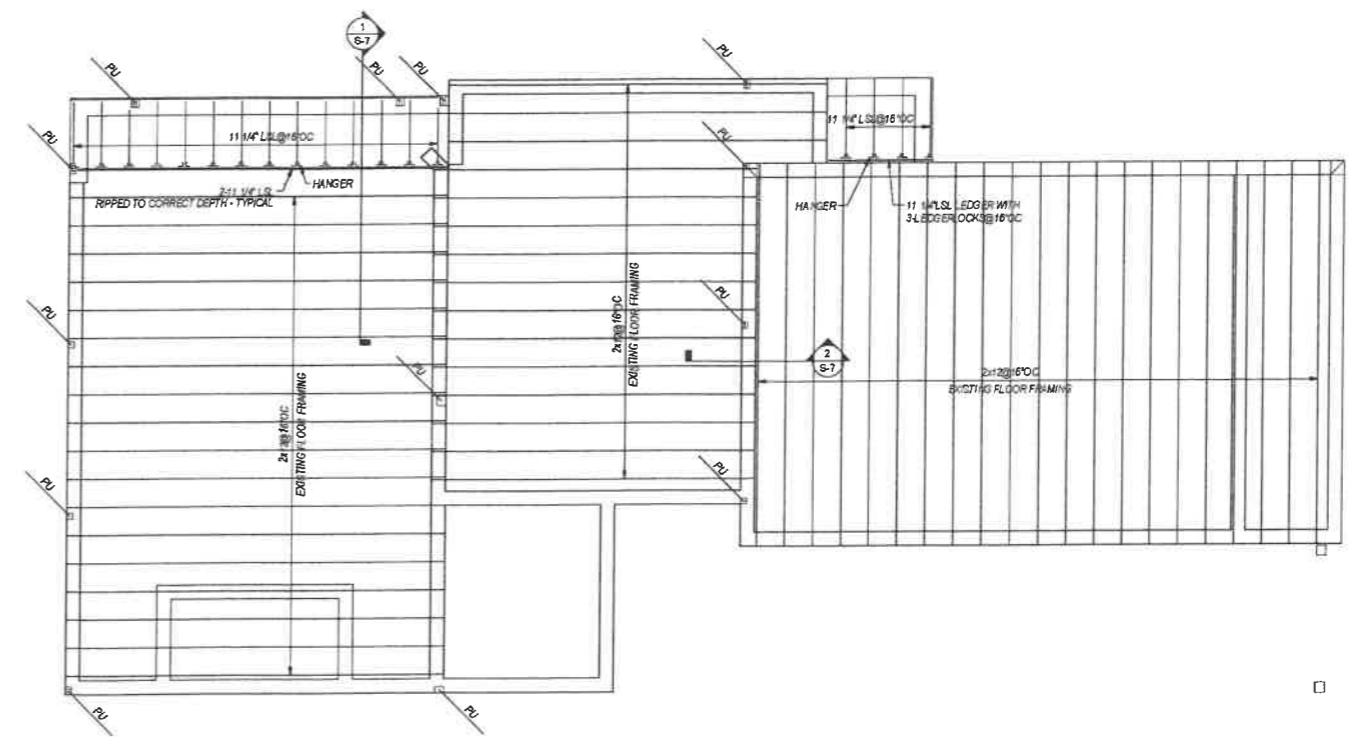
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Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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 Truro, MA

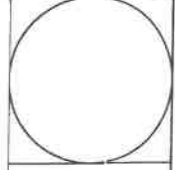
S-1



STUDIO -FOUNDATION PLAN
 1/4" = 1'-0"



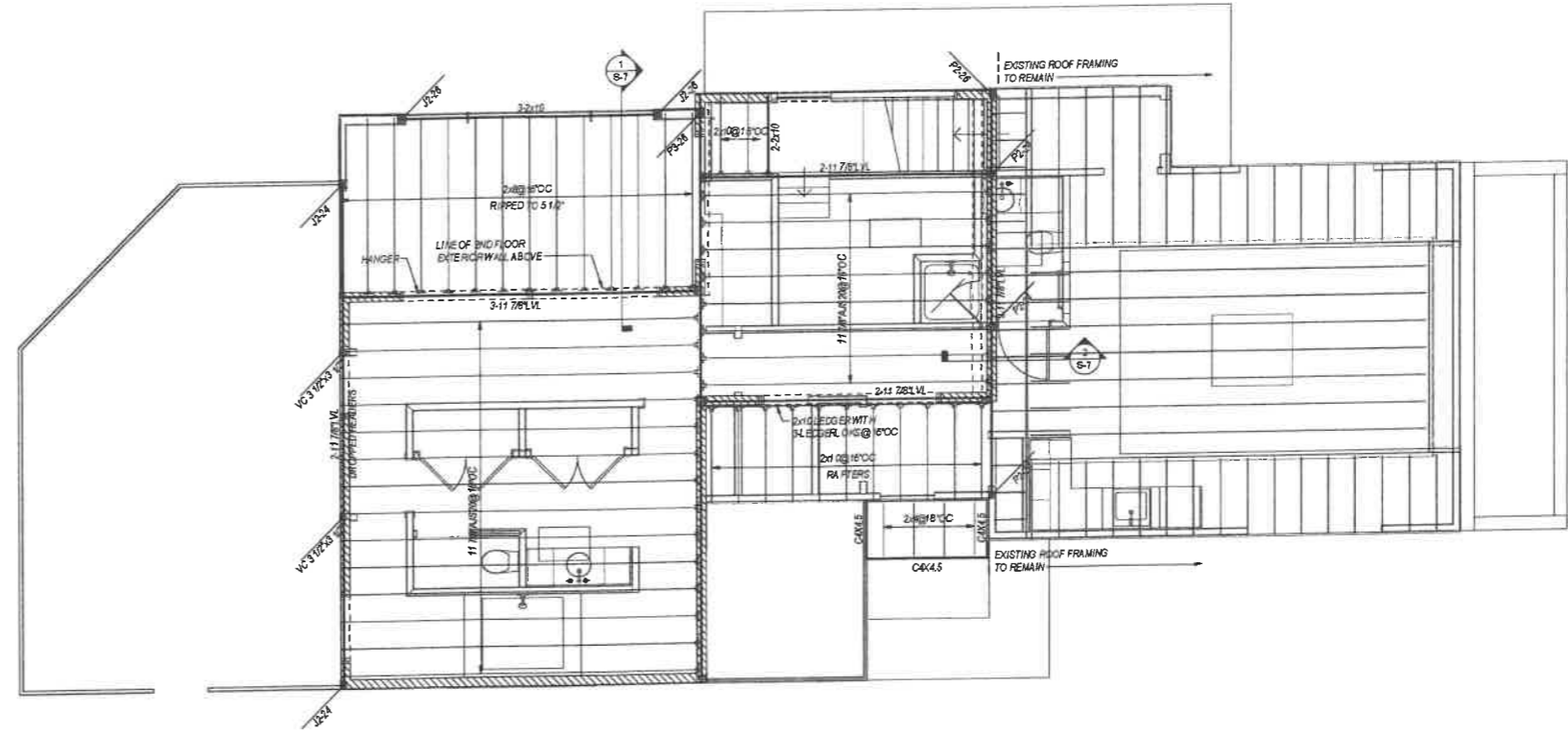
STUDIO -FIRST FLOOR -FRAMING
 1/4" = 1'-0"



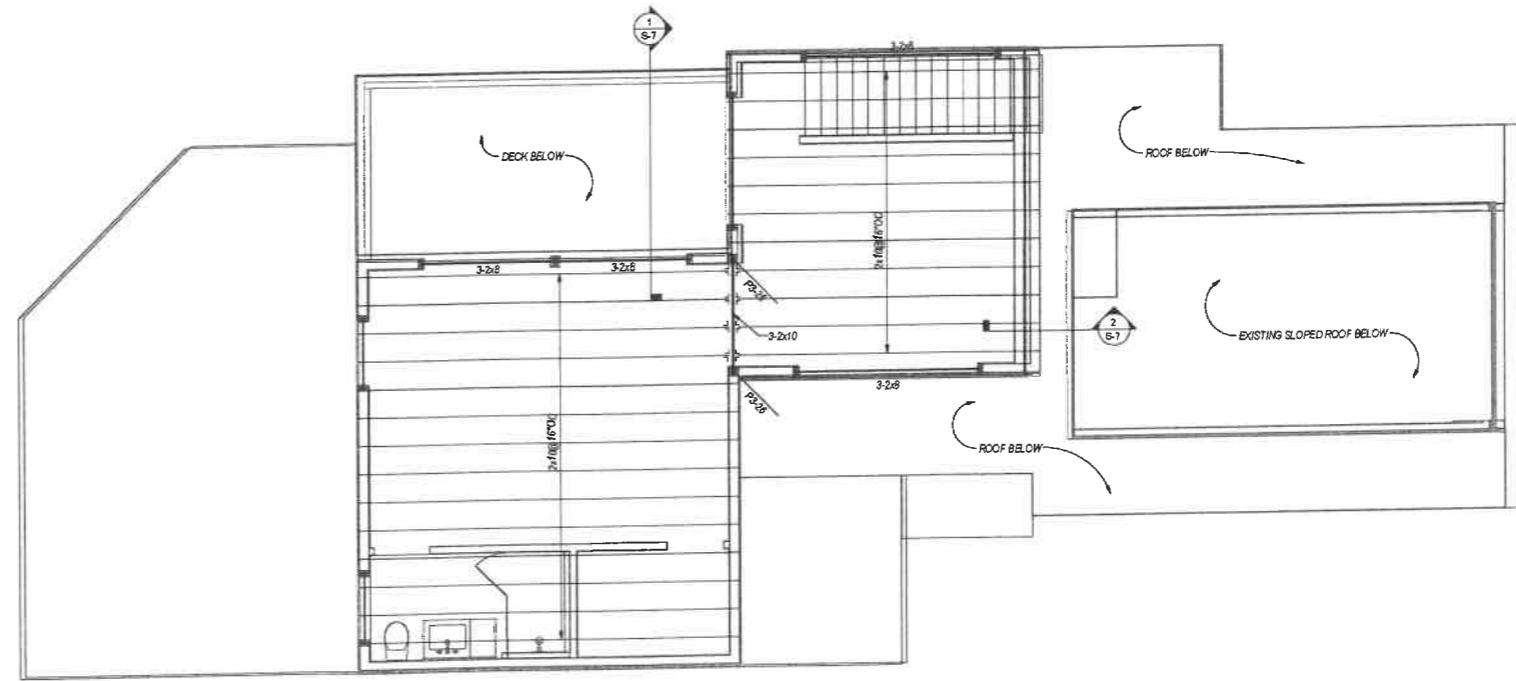
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 21 Bishop Allen Drive
 Cambridge, MA 02139
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Title: STUDIO FDN & 1ST FLR FRAMING PLAN
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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 Truro, MA



STUDIO -SECOND FLOOR
 1/4" = 1'-0"

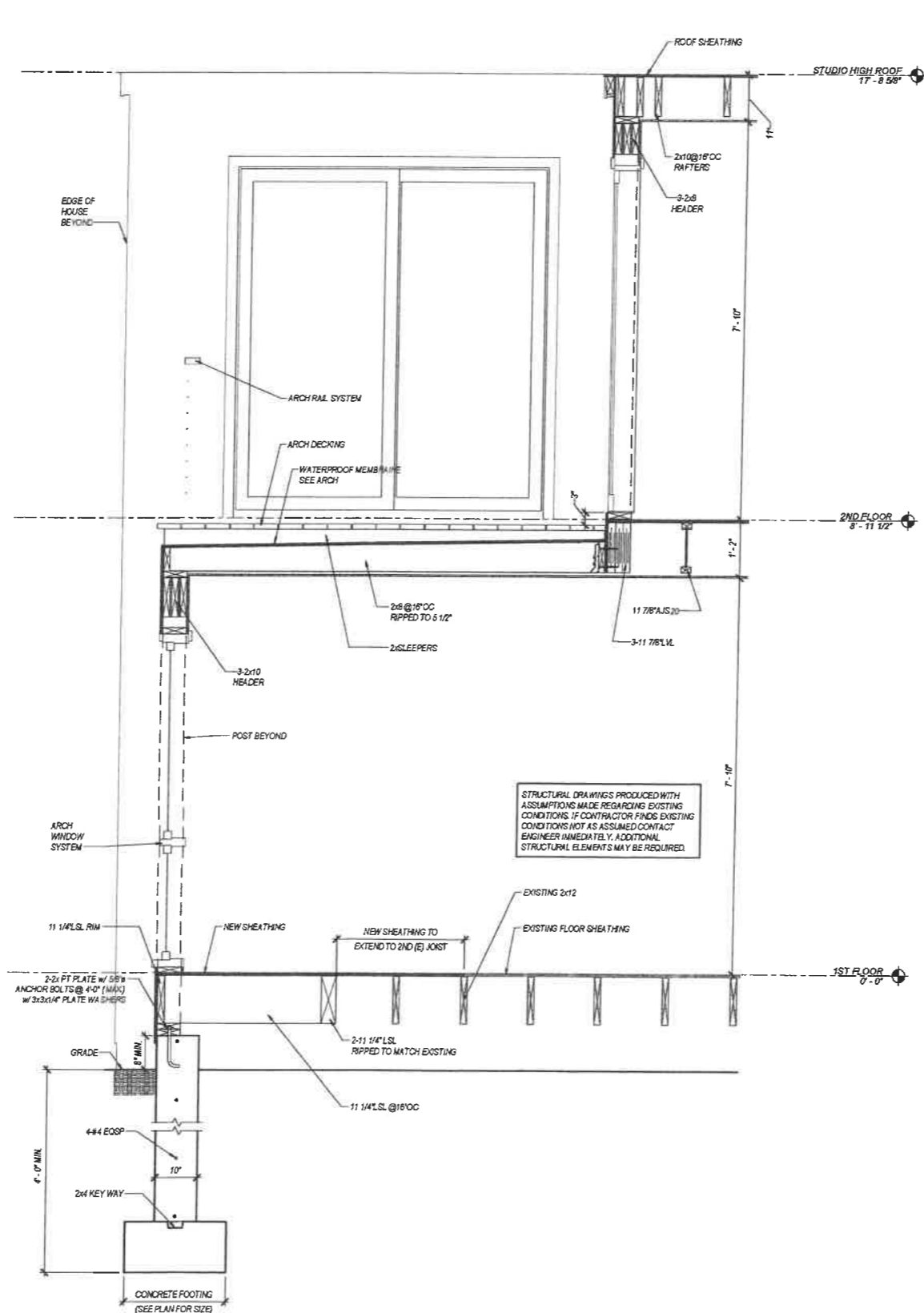


STUDIO -ROOF FRAMING
 1/4" = 1'-0"

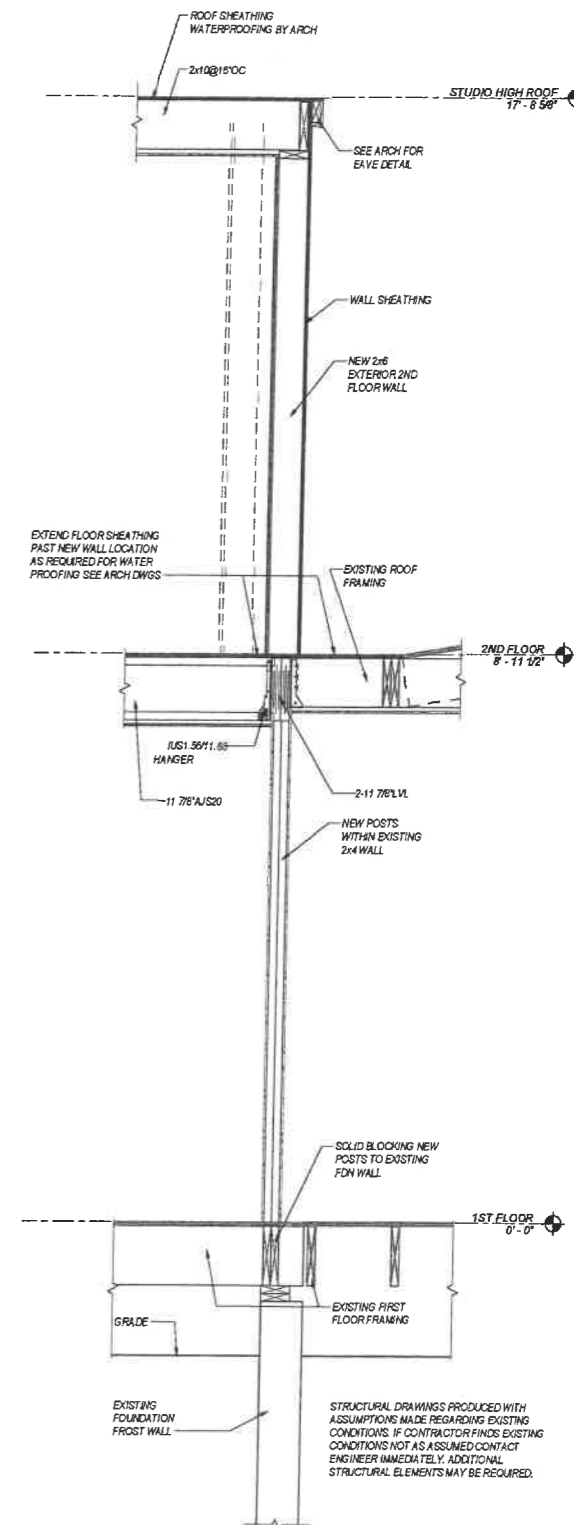
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Title: STUDIO 2ND FLR & ROOF FRAMING PLAN
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1 STUDIO DECK SECTION
 3/4" = 1'-0"



2 STUDIO WALL SECTION
 3/4" = 1'-0"

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Title: STUDIO DETAILS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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 Truro, MA

S-7

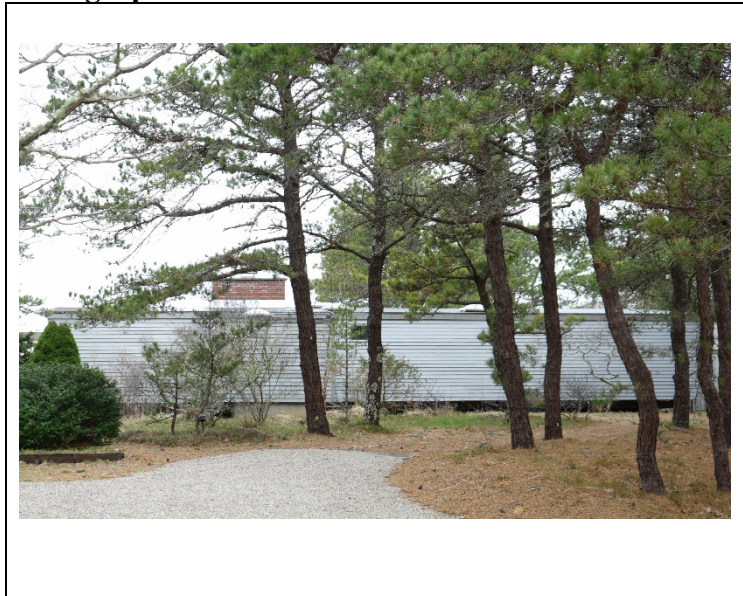
MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

54-43-0	Wellfleet		TRU.1101, 1158
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Town/City: TRURO

Place: (*neighborhood or village*):

Photograph



Address: 69 Old County Road

Historic Name: Sass, Sherman and Barbara House

Uses: Present: Single Family Dwelling House

Original: Single Family Dwelling House

Date of Construction: ca. 1964

Source: Building permit application

Style/Form: Modern

Architect/Builder: Charles Zehnder/ Charles Zehnder

Exterior Material:

Foundation: Concrete

Wall/Trim: Wood clapboard/ Wood

Roof: Rolled rubber

Outbuildings/Secondary Structures:

Studio/ guesthouse (1975, see Photo 4, Figure 3, TRU.1158)

Major Alterations (*with dates*):

Rehabilitation, unspecified (1997)

Condition: Good

Moved: no yes **Date:**

Acreage: 0.83 acres

Setting: This parcel is located on the west side of Old County Road, south of Fisher Road. The parcel is level in front of the house and slopes down behind the house affording distant views towards Cape Cod Bay. The house and studio are surrounded by lawn, decking, and a lap pool. The surrounding area includes additional mid- to late-20th century houses, including a few Mid-century Modern houses, and Truro Conservation and Cape Cod National Seashore land across Old County Road.

Locus Map



Recorded by: Eric Dray, Preservation Consultant, for

Organization: Truro Historical Commission

Date (*month / year*):

INVENTORY FORM B CONTINUATION SHEET

TRURO

69 OLD COUNTY ROAD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

TRU.1101

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Modern Architecture and Truro

Mid-twentieth-century Modern architecture is defined by its distinct break from classical and historical styles. Common features include: simple geometric forms, a lack of ornamentation; the use of courtyards, breezeways, sliding glass doors, window walls, clerestory and ribbon windows to connect the inside and outside spaces; and simplified roof shapes, often with deep roof overhangs to shield the interior from the sun.

Mid-century Modern architecture in Truro consists primarily of modest single-family houses, many built as summer houses, sometimes with outbuildings such as studios or guest quarters. Most are sensitively sited in secluded locations, with minimal or no formal landscaping. The buildings rest on concrete foundations, or in some cases are set on pilings or cantilevered from raised concrete foundations, creating a "floating" effect. Exterior elevations are typically clad in wood shingles, clapboard or vertical board siding, along with more unusual or newer products such as plywood, fiberboard (such as Homasote and Masonite), and occasionally concrete or concrete block. In most cases, wood exterior walls had a natural stain or were painted white.

According to the 2014 National Register Multiple Properties Documentation Form for Mid-Twentieth-Century Modern Residential Architecture on Outer Cape Cod, 1929-1979, Modern buildings can be divided into three types or forms: Box, Geometric, and Prefabricated/Semi-Prefabricated. The Box type building, as its name suggests, is the most minimal expression of the modern style. Box type houses have a simple rectangular, one-story form with flat or low-pitched shed roof. It is a form that often emphasizes horizontality. The Geometric type consists of one or two-story houses with a single or multiple geometric forms with roofs that are flat, or varying pitched shed and/or gable roofs, sometimes with deeply projecting eaves. In some cases, the various elements are separate but connected by decks or breezeways. The third type employed prefabricated components to reduce construction costs, including Carl Koch-designed Techbuilt, or later Deck Houses, with low-pitched gable roofs, post and beam construction, deeply-projecting eaves, split-level entrances, and large expanses of glass.¹

69 Old County Road

The main house on this property can be classified as a variation on a Box type Modern design. The main block of the house is a long, rectangular, one-story block with flat roof. There is a rear ell that has a similar form. As is typical of many Modern houses, some elevations have more fenestration than others. In this case, the difference is quite dramatic – the long elevation facing the street has only one small window. The rear (west) elevation, and the elevations of the ell have many sets of sliding glass doors. The house rests on a raised concrete foundation, and the elevations are clad in gray-stained wood clapboard siding. The flat roof is clad in rolled rubber roofing, and there is one broad brick chimney and bubble skylights. A series of steps and wood decks wrap around the rear elevations.

A wood trellis connects to a large studio/guesthouse (TRU.1158). This building is also likely designed by Zehnder. This building, however, can be classified as a Geometric type Modern design (see Photo 4, Figure 3). While one story, the form is more designed to seem like a series of connected or overlapping forms. The north elevation tapers out, meaning the overall form is closer to a parallelogram than a rectangle. In addition, as is common for studios, the north elevation has a large window but, in this case, the large fixed window is scaled to rise above the main roof at the same angle. An exterior stair with half-wall rises up the west elevation to a roof deck, also enclosed with half walls – the stair and roof decks also add layers to the building's massing. The building is clad in the same gray-stained wood clapboard as the main house.

¹ National Register Multiple Properties Documentation Form for Mid-Twentieth-Century Modern Residential Architecture on Outer Cape Cod, 1929-1979, pp. 52-58.

INVENTORY FORM B CONTINUATION SHEET

TRURO

69 OLD COUNTY ROAD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	TRU.1101
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HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Mid-century Modern Architecture and the Outer Cape

Mid-century Modern-style houses were built in the US from the 1920s into the 1980s. The origins of the Modern movement can be traced to a variety of sources in both Europe and the US. Prominent among them is the German Bauhaus, a design cooperative and teaching center founded in 1919 in Dessau. Its founder and first director, Walter Gropius (1883-1969), like many European architects, artists and intellectuals, came to the US fleeing the rise of Nazism. In 1937, Gropius was named Chair of the Architecture Department at Harvard's Graduate School of Design (GSD). He brought other modern architects to the school, including Marcel Breuer, and they reconceived the curriculum, educating a generation of architects and future professors in the teachings of Modernism.

Modern residential architecture came to Truro in the 1930s. The Modern style was popular both for its relatively inexpensive construction costs and the academic awareness by architects, design-builders and their patrons of Modernism's virtues. A group of three self-taught design-builders, who became lifelong friends, were instrumental in introducing Mid-century Modern architecture to the Outer Cape: Jack Phillips, Jack Hall, and Hayden Walling. Starting in the 1940s, these local design-builders, along with prominent architects, intellectuals and artists from Boston and New York, created a summer and year-round community that embraced Modern experimentation.

In 1929, John "Jack" C. Phillips, Jr. (1908-1978) inherited 800 acres of ocean-side land that straddled the Truro-Wellfleet town lines. Phillips was exposed to Modern architectural ideas from travels in Europe and studying at the GSD for a year in 1937, the same year Walter Gropius and Marcel Breuer arrived at the GSD. Phillips built the first simple Modern summer houses on the Outer Cape. In the 1940s, he sold some of his land to prominent Modern architects who themselves designed summer houses. John "Jack" Hughes Hall (1913-2003), another self-taught design-builder, bought 180 acres on Bound Brook Island in the 1930s, where additional Modern houses were eventually built. He started a design-build business in 1946 that included real estate sales and rental properties, and became a leasing agent for Hayden Walling and Jack Phillips, among others. Hayden Walling (1917-1981) was the son of prominent socialites William English Walling (1877-1936) and Russian-born Anna Strunsky Walling (1878-1964) who summered on the Outer Cape. Hayden Walling also became a self-taught design-builder. In the 1950s and 60s, Walling designed and/or built at least 13 houses, studios and renovations, many of which were built on land that Walling bought from Jack Phillips. He also built houses designed by other Modern architects.²

In addition to houses designed by Phillips, Hall and Walling, noted Modernist architects came to the Outer Cape, including Marcel Breuer, Serge Chermayeff, Charles Jencks, Olav Hammarstrom, Henry Hebbeln, Dan Kiley, Anne Ozbekhan and Paul Krueger. The local design-build tradition was carried on by Wellfleet-resident Charlie Zehnder who became the most prolific design-builder of Modern houses in Truro (see below for more on Zehnder). Modern houses continued to be built on the Outer Cape into the 1980s.

69 Old County Road

In 1956, Rodolphe Bessette recorded a two-parcel subdivision of land he owned on both sides of Old County Road, with the parcel on the west side identified as Lot 2 (see Figure 1. Land Court Plan 27491-A). Bessette appears to have been active in Truro real estate around that time. In 1960, Bessette sold Lot 2 to Wellfleet Real Estate, a partnership of Robert Lesser and Charles Frazier, Jr. (Cert. of Title 25505). Wellfleet Real Estate, recorded of subdivision plan of Lot 2 with this parcel identified as Lot 3 (see Figure 2. Land Court Plan 27491-B). They sold Lot 3 in 1961 to Sherman G. and Barbara W. Sass of Boston (Cert. of Title 27343). They applied for a building permit to build this house in April, 1964. It is unknown if the house was completed that year. Sherman Sass (d. 2001) was head of the Boston office and regional director for an HR consulting company. Barbara Sass is a printmaker and published poet. The house remained in the Sass family until 2021.

Charlie Zehnder applied for a building permit to build this house, and he also designed the house (see Figure 3. Zehnder plans). As noted above, this house was designed by Charles Zehnder. Charles ("Charlie") Zehnder (1929-1985) graduated with a degree in industrial design from the Rhode Island School of Design (RISD). Zehnder began coming to the Outer Cape in the mid-1950s

² Ibid., p. 35.

INVENTORY FORM B CONTINUATION SHEET

TRURO

69 OLD COUNTY ROAD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

TRU.1101

to help friends build houses, and he eventually settled in Wellfleet. In 1959, he established a design-build practice with fellow RISD graduate Alan P. Dodge who had settled in the Provincetown dunes to paint. That year, Zehnder and Dodge volunteered with a group of 12-13 carpenters in a project to build poet Harry Kemp's dune shack.

Carrying on the Wellfleet/Truro tradition of Modern design-build inaugurated by Hall, Phillips, and Walling 20 years earlier, Zehnder designed and built at least 40 houses, additions and renovations between 1958 and 1985, including more mid-20th century Modern residences on the Outer Cape than any other architect or design-builder. His designs explored the application of different geometries and materials within the environmental context of the Outer Cape. When he was a student at RISD, he spent an evening with Frank Lloyd Wright, whose Wright's Prairie-style houses were instrumental in shaping Zehnder's design direction, most notable with this house. He also experimented with poured concrete and designs based on seacoast fortifications, erecting four concrete houses on the Outer Cape, including the tower-like Brodeur House (1977, 4 Madley Lane, TRU.1097).³

BIBLIOGRAPHY and/or REFERENCES

Barnstable County Registry of Deeds

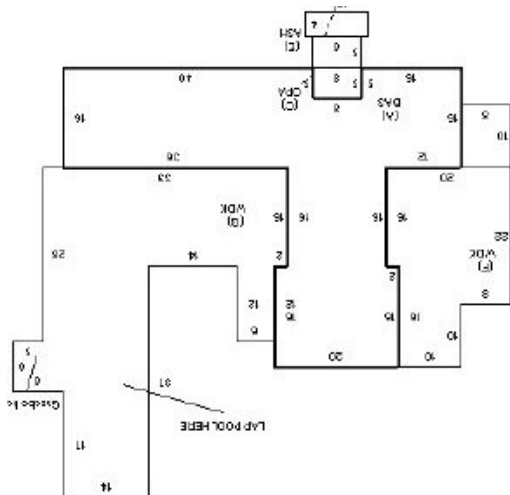
www.ancestry.com - Vital records, US Census (1900)

<https://www.finishinglinepress.com/product/after-the-hurricane-by-barbara-w-sass/> (accessed 6.1.21)

<https://www.nytimes.com/2001/02/15/classified/paid-notice-deaths-sass-sherman-g.html> (accessed 6.1.21)

Massachusetts Historical Commission (MHC). Research files and inventory forms for Modern Style houses throughout Massachusetts. On file, Boston, MA: Massachusetts Historical Commission, 2010.

National Register of Historic Places Multiple Property Documentation Form, Mid-Twentieth-Century Modern Residential Architecture on Outer Cape, 1929-1979. 2014.



Assessor sketch (oriented to Photo 2).



Photo 2. View of rear elevation, looking east (2019 Assessor).

³ National Register of Historic Places Multiple Property Documentation Form, Mid-Twentieth-Century Modern Residential Architecture on Outer Cape, 1929-1979. p. 43.

INVENTORY FORM B CONTINUATION SHEET

TRURO

69 OLD COUNTY ROAD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

TRU.1101



Photo 3. View of S elevation (partial), looking NE (2019 Assessor).



Photo 4. View of Studio/guesthouse, looking SE (2010 Assessor).

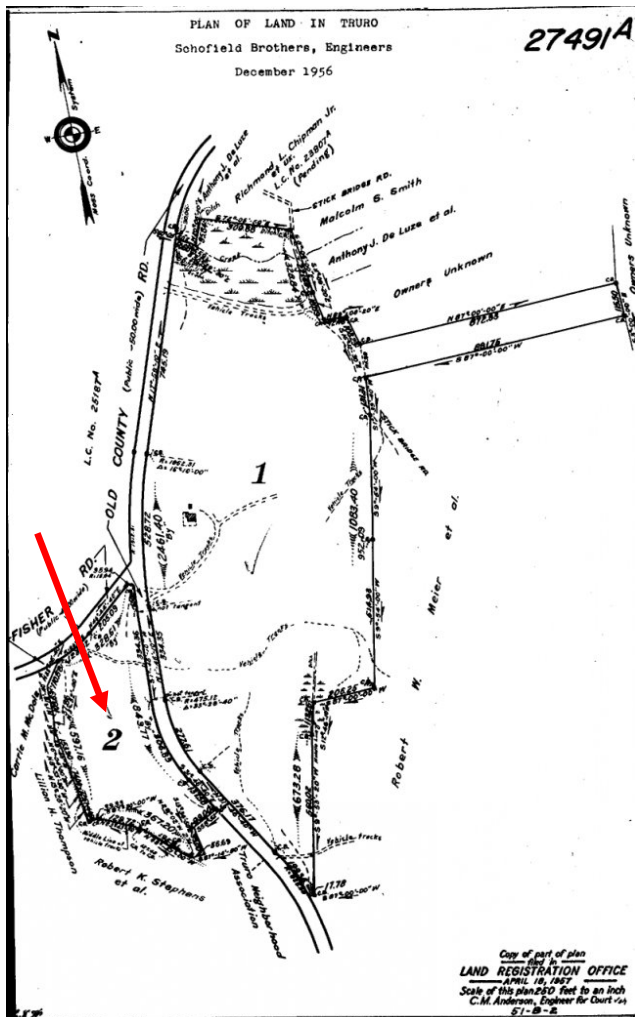


Figure 1. 1956 Land Court Plan 27491-A (arrow to Lot 2 added).

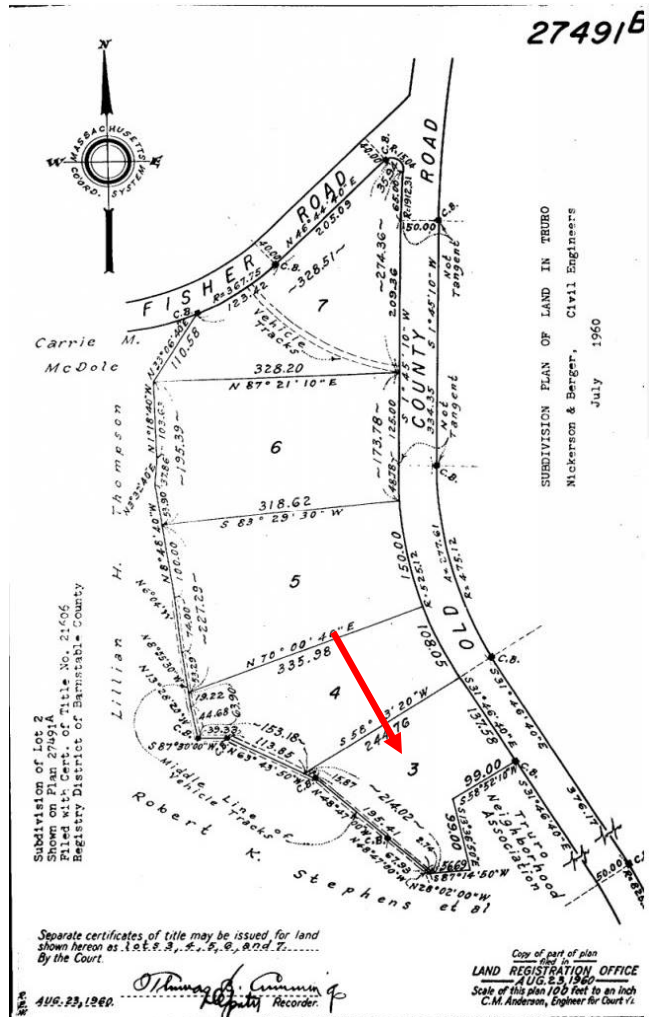


Figure 2. 1960 Land Court Plan 27491-B (arrow to Lot 3 added).

INVENTORY FORM B CONTINUATION SHEET

TRURO

69 OLD COUNTY ROAD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

TRU.1101

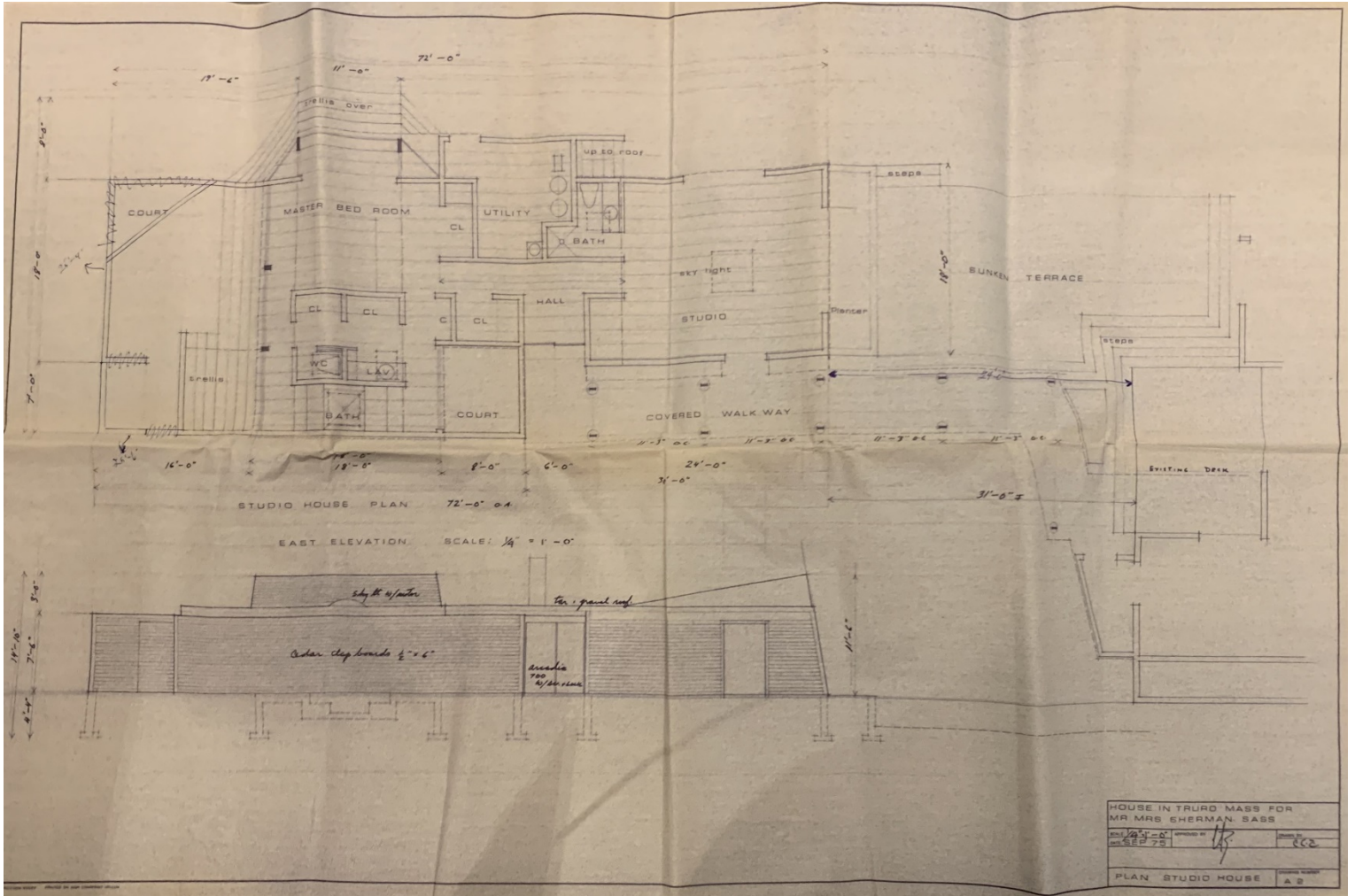


Figure 3. 1975 "Plan Studio House."

TRU.1101

National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible only in a historic district
Contributing to a potential historic district Potential historic district

Criteria: A B C D

Criteria Considerations: A B C D E F G

Statement of Significance by Eric Dray, Preservation Consultant
The criteria that are checked in the above sections must be justified here.

Criterion C - Architecture

According to registration requirements in the Mid-Twentieth-Century Modern Residential Architecture on Outer Cape Cod, 1929 - 1979 National Register of Historic Places Multiple Property Documentation Form, individual Mid-century Modern houses may be eligible under Criterion C for their significance in the area of Architecture if they are associated with an established and well-known architect in the locality, region, or nation whose work received contemporary acknowledgement and is recognized by scholars and preservationists. These houses must evoke the ideals of mid-twentieth-century Modern architecture and the intellectual, artistic, leisure, and social life of Outer Cape Cod's summer community.

Houses designed by local designer/builders whose strong associations with Modernist tenets and influential role furthered the cultivation of Modernism on the Outer Cape are eligible if they exhibit a high degree of design sophistication and/or unusual experimentation with materials or forms. Properties designed by these local builders may also be eligible if they were designed for themselves or for an important individual within the Outer Cape's Modernist social network.

Criterion A - Social History

Most eligible Modern houses will also possess significance in the area of Social History, meeting Criterion A for their embodiment of postwar Modern lifestyle and culture within the artistic and intellectual context and historical events and patterns of the Outer Cape. Advocates of mid-twentieth-century Modern design valued social networks of progressive, intellectual, and artistic individuals and the ideals of a life simplified by technology and set in a natural environment, as exemplified by "functional" houses with open plans and interconnection of inside and outside spaces.

Integrity

To be eligible for the National Register, Modern houses must possess integrity of design intent, architectural form, plan, texture, and materials. They must also retain integrity of site and relationship to the landscape and setting. Modest modifications, replacement in kind, and some deterioration of materials and finishes over time are to be expected. Replacement of original single glazed windows with double-glazed or insulated glass windows is an acceptable alteration as long as window openings and configuration remain intact. Sensitively designed additions that do not detract from the visual effect of the original design intent may be considered benign and in some cases may achieve significance in their own right. Interior updating of kitchens and bathrooms are common and admissible. Minor changes made to secondary buildings; new construction of freestanding or connected garages, guesthouses or studios and similar structures that are sited and designed to be compatible with the original building; and minimally modified landscape settings are generally considered to be acceptable.

69 Old County Road is eligible for individual listing on the National Register at the local level under Criterion C because is an intact, unique example of Geometric type mid-century Modern architecture designed local design/builder Charlie Zehnder. A graduate of RISD, Zehnder continued an Outer Cape tradition of Modern design/build inaugurated by Hall, Phillips, and Walling 20 years earlier.

Key: 3277

Town of TRURO - Fiscal Year 2023

9/1/2022 6:23 pm SEQ #: 3.384

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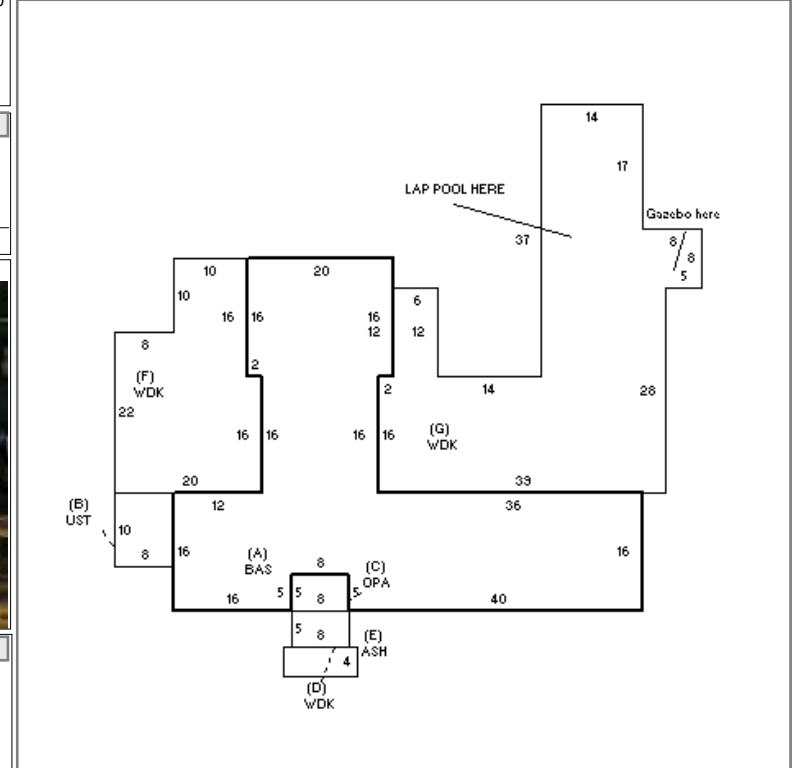
CURRENT OWNER		PARCEL ID		LOCATION								
BERMAN PAUL & DICKINSON LAURA 24 HESKETH ST CHEVY CHASE, MD 20815		54-43-0		69 OLD COUNTY RD								
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)							
BERMAN PAUL & DICKINSON L		12/02/2021	QS	2,005,000	(228444)							
69 OLD COUNTY RD 2019 RLT		09/27/2019	F	1	(172796)							
SASS BETH H & SALLY C		04/27/2004	99		(172796)							
CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.775 15 1.00		1	1.00	939,300	1.00	1	1.00	V13	3.00	727,960
300	A	0.055 15 1.00		1	1.00	71,700	1.00	1	1.00	V13	3.00	3,940

CLASS	CLASS%	DESCRIPTION		BN ID	BN	CARD	
1090	100	MULTIPLE HSES			1	1 of 2	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %
MLS 03-001		3	REPAIR/REMOD		04/06/2022	JN	100 100
96-183	01/06/2003	6	SHED	2,000	04/28/2004	BT	100 100
90-088	11/01/1996	4	REHAB	35,000	06/01/1997		100 100
	07/16/1990	10	ALL OTHERS	20,000	05/17/1991		100 100

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TOTAL	36,155 SF	ZONING	RES	FRNT	138	ASSESSED	CURRENT	PREVIOUS
Nbhd	SOUTH TRURO	N	FY11=VW INCR PER FIELD REV=DISTANT			LAND	731,900	630,900
Infl1	NO ADJ	O	PANORAMIC SLIGHTLY OBSTRUCTED. FY11 - RMVD			BUILDING	500,600	286,300
Infl2	NO ADJ	T	LAND CODE 200			DETACHED	9,300	8,900
		E				OTHER	349,600	240,400
						TOTAL	1,591,400	1,166,500

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
SPV	G	1.18 A	0.75 8*32	1991	256	32.36	6,200
GZB	A	1.00 A	0.75 8*8	1991	64	21.11	1,000
SHF	A	1.00 A	0.75 8*14	2003	112	15.18	1,300
PTD	G	1.18 A	0.75 12*12		144	2.60	300
PTD	A	1.00 A	0.75 14*20+6*8		328	2.20	500



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BUILDING	CD	ADJ	DESC	MEASURE	5/9/2019	LG
MODEL	1		RESIDENTIAL	LIST	7/9/2010	EST
STYLE	8	1.10	CONTEMPORARY [100%]	REVIEW	12/10/2010	MR
QUALITY	G	1.30	GOOD [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS

YEAR BLT	1965	SIZE ADJ	1.020	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	715.087		
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\$NLA(RCN)	\$458	OVERALL	1.100	EXT. COVER	2	CLAPBOARD	1.00	B	UST	N	UTILITY STORAGE	80		134.05	10,724				
				ROOF SHAPE	4	FLAT/SHED	1.00	C	OPA	N	OPEN PORCH	40		139.81	5,592				
				ROOF COVER	7	ROLL	1.00	+	WDK	N	ATT WOOD DECK	1,882		55.68	104,793				
				FLOOR COVER	3	W/W CARPET	1.00	E	ASH	N	ATT SHED	40		51.78	2,071				
				INT. FINISH	4	WALL BOARD	1.00	F11	O	O	FPL 1S 1OP	1		13,391.40	13,391				
				HEATING/COOLING	1	FORCED AIR	1.00												
				FUEL SOURCE	1	OIL	1.00												
																		EFF.YR/AGE	1990 / 31
																		COND	30 30 %
																		FUNC	0
																		ECON	0
																		DEPR	30 % GD 70
																		RCNLD	\$500,600

Key: 3277

Town of TRURO - Fiscal Year 2023

9/1/2022 6:23 pm SEQ #: 3.385

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
BERMAN PAUL & DICKINSON LAURA 24 HESKETH ST CHEVY CHASE, MD 20815				54-43-0				69 OLD COUNTY RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
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PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%

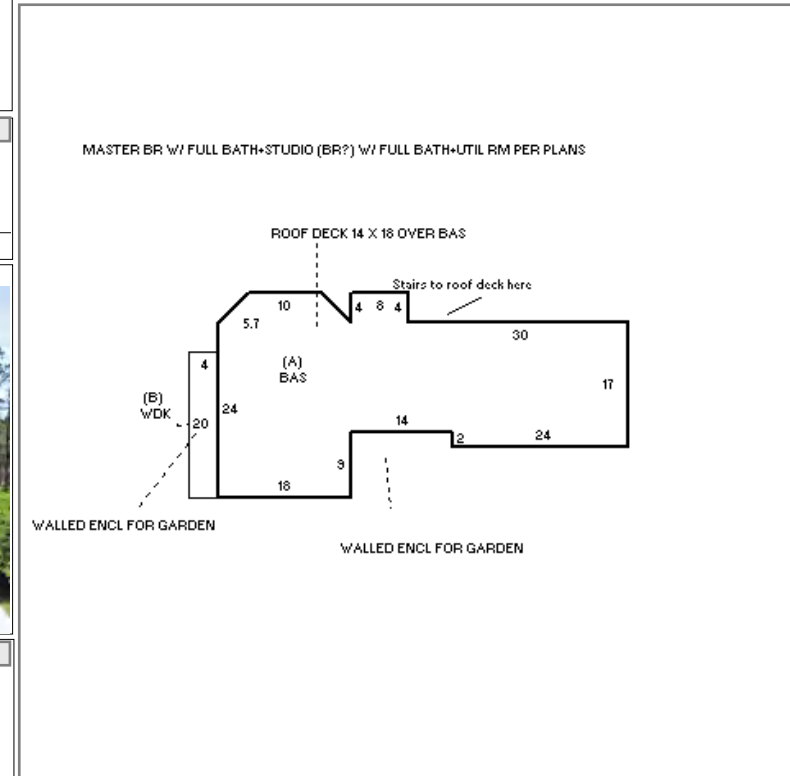
LAND

CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND BUILDING DETACHED OTHER TOTAL	349,600	
Infl1					
Infl2					

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	5/9/2019	LG
MODEL	1		RESIDENTIAL	LIST	7/9/2010	EST
STYLE	8	1.10	CONTEMPORARY [100%]	REVIEW	12/10/2010	MR
QUALITY	G	1.30	GOOD [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS
LARGE ART STUDIO W/UTIL SINK PLUS BEDROOM, FULL BATH & ROOF DECK. CHECK FOR KITCH (NONE PER PLANS)+UTIL RM (UNFIN?) IN NEXT CYCLICAL.

YEAR BLT	1975	SIZE ADJ	1.040	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	472.408																		
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\$NLA(RCN)	\$415	OVERALL	1.120	EXT. COVER	1	WOOD SHINGLES	1.00	B	WDK	N	ATT WOOD DECK	80		88.64	7,091																				
				ROOF SHAPE	1	GABLE	1.00		WDK	N	ATT WOOD DECK	252		69.37	17,480																				
				ROOF COVER	1	ASPHALT SHINGLE	1.00																												
				FLOOR COVER	1	HARDWOOD	1.00																												
				INT. FINISH	2	DRYWALL	1.00																												
				HEATING/COOLING	2	HOT WATER	1.02																												
				FUEL SOURCE	1	OIL	1.00																												
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EFF.YR/AGE	1995 / 26																																		
COND	26	26 %																																	
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ECON	0																																		
DEPR	26	% GD 74																																	
RCNLD	\$349,600																																		

TOWN OF TRURO-INSPECTI
24 TOWN HALL ROAD
TRURO, MA 02666

09/14/2022

15:26

CREDIT CARD
MC SALE

XXXXXXXXXXXX

Card #
SEQ #:
Batch #:
INVOICE
Approval Code:
Entry Method:
Mode:
Avs Code:
Card Code:



Town of Truro Building Permit

24 Town Hall Rd, Truro M
P: 508-349-7004 x131 F: 50

Building Permit #: 22-345 Map: 54 Parcel: 43

Street Location: 69 OLD COUNTY

Owner: BERMAN / DICKINSON

Type of Work: ADD/REMODEL HIC: S/A

Builder: Homeowner CSL: S/A

Date of Issue: 8-31-22

SALE AMOUNT
BPH 22-
(508)87-6983

CUSTOMER COPY
Guest H

This card shall be posted in a conspicuous place and shall not be covered or removed until all work associated with this permit, is completed. Work shall be in compliance with 780 CMR and all applicable laws and bylaws of the Town of Truro. Approved plans shall be available on the job site. Where a Certificate of Occupancy is required, the building shall not be occupied until after the final inspection and after the Certificate of Occupancy has been issued.

BUILDING OFFICIAL: [Signature]

REQUIRED INSPECTIONS

<u>[Redacted]</u> Footing - Rebar	Inspector	Date	Electrical Service	Inspector	Date	<u>[Redacted]</u> Final Gas	Inspector	Date
<u>[Redacted]</u> Foundation - Rebar	Inspector	Date	<u>[Redacted]</u> Rough Wiring	Inspector	Date	<u>[Redacted]</u> Smoke/Fire Alarm	Inspector	Date
<u>[Redacted]</u> Final Foundation	Inspector	Date	<u>[Redacted]</u> Final Wiring	Inspector	Date	<u>[Redacted]</u> Oil Furnace	Inspector	Date
<u>[Redacted]</u> Cert. Foundation Plan	Inspector	Date	<u>[Redacted]</u> Low Voltage Rough	Inspector	Date	<u>[Redacted]</u> Sprinkler System	Inspector	Date
<u>[Redacted]</u> Wind Connections	Inspector	Date	<u>[Redacted]</u> Low Voltage Final	Inspector	Date	<u>[Redacted]</u> Pressure	Inspector	Date
<u>[Redacted]</u> Frame	Inspector	Date	<u>[Redacted]</u> Underground Plumbing	Inspector	Date	<u>[Redacted]</u> Alarm	Inspector	Date
<u>[Redacted]</u> Insulation	Inspector	Date	<u>[Redacted]</u> Rough Plumbing	Inspector	Date	<u>[Redacted]</u> Energy	Inspector	Date
<u>[Redacted]</u> Air Barrier	Inspector	Date	<u>[Redacted]</u> Final Plumbing	Inspector	Date	<u>[Redacted]</u> Duct Test	Inspector	Date
<u>[Redacted]</u> Chimney/Woodstove	Inspector	Date	<u>[Redacted]</u> Rough Gas	Inspector	Date	<u>[Redacted]</u> Blower Door	Inspector	Date
<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u> Final Building	Inspector	Date
<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u> Inspector	Inspector	Date
<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u> Cert. Of Occupancy	Inspector	Date
<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u> Inspector	Inspector	Date
<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u>	Inspector	Date	<u>[Redacted]</u> Special Conditions:	Inspector	Date

GUEST HOUSE

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.
PO Box 2030
Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:

22-345

Fees:

2113.00

SITE INFORMATION

Project Site: 69 Old County Rd., Truro, MA 02666

Assessors Map & Parcel: Map 54; Parcel 43

Zoning District: Residential

AUG 16 2022 AUG 16 2022

Outside Flood Zone

Inside Flood Zone - Specify:

RECEIVED BY: PAUL

Setbacks: Front: 57'0"

Left Side: 21'10"

Right Side: 34'7"

Rear: 21'0"

Lot Area (sq. ft.) 36,107

Frontage: 137.58 sq ft

Water Supply: Private

Public

Subject to Policy 28: Curb Cut? Y N

If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N

* IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD. 20815

Phone: 2025696837

E-mail: paulberman@gwu.edu

Property Owner Authorization

Signature: Paul Berman

Date: 08/08/2022

PROJECT INFORMATION

1 & 2 Family Home

Commercial / Other than 1 & 2 Family Home*

Change of Use

DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____

Commercial Building

Addition

Alteration

Mechanical

Accessory Structure: (type) _____

Other: _____

Detailed Description of Proposed Work: Renovations and additions to the existing quest house / studio

Estimated Construction Cost: 2,500,000		Debris Disposal: (Landfill or Company Name) N/A	
Floor Area: (Proposed Work Only)		Basement: <input checked="" type="checkbox"/> unfinished 275 sq ft <input type="checkbox"/> finished _____	
1 st flr: 3438 sq ft	2 nd flr: 577 sq ft	Porch/Deck: 2485 sq ft	Storage sheds 175 sq ft
# fireplaces: 1	# chimneys: 1	# bathrooms: existing 4 proposed 5	
# bedrooms: existing <u>1</u> proposed <u>2</u>			
Type of Heating System: Heat pump		Type of Cooling System: Heat pump	
CONTRACTOR INFORMATION*			
<small>*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)</small>			
Contractor Name: N/A			
Address: _____			
Phone: _____		Email: _____	
CSL#:		HIC # _____	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review <u>one BR from home going into studio/guest house. New septic - no concern.</u>			
Signature: <u>AD</u>		Date: <u>8/16/2022</u>	
Other Comments: _____			
BUILDING COMMISSIONER Review & Approval: _____			
<u>"STUDIO"</u>			
Signature: <u>[Signature]</u>		Issuance Date: <u>8.31.22</u>	

4226 ~~PAID~~
Tanya Knight
wpk

Lynne Budnick

From: Lynne Budnick
Sent: Thursday, September 8, 2022 4:23 PM
To: paulberman@gwu.edu
Subject: 69 Old County Rd - permit ready - fee due

Good afternoon, Paul

The permit for address : **69 Old County Rd –Guest House– BP# 22-345**, is ready for pickup. The permit fee assigned is : **\$2113.00** .

Along with your building permit you are receiving a copy of your application which includes notes from our Building and or Health departments. This is to provide you with additional information and guidance. Please pick up the permit and remit the fee at your earliest convenience. All building permits should be posted at the job site and available at all times for the inspectors. Thank you.

Best regards,

Lynne G. Budnick

Lynne G. Budnick

Principal Office Assistant/Building/Conservation/Health
Town of Truro
P.O. Box 2030
24 Town Hall Road
Truro, MA 02666
Phone: (508) 349-7004, ext. 131
Direct Line: (508) 214-0920
Fax: (508) 349-5508





Town of Truro Building Permit

24 Town Hall Rd, Truro
P: 508-349-7004 x131 F:

TOWN OF TRURO-INSPECTI
24 TOWN HALL ROAD
TRURO, MA 02666
09/14/2022 15:23:50

CREDIT CARD
VISA SALE

Card # XXXXXXXXXXXX947
SEQ #:
Batch #: 39
INVOICE
Approval Code: +141:
Entry Method: Man:
Mode: Onli
Ays Code: N
Card Code:

Building Permit #: 22-344	Map: 5A	Parcel: 43
Street Location: 69 OLD COUNTY		
Owner: BERMAN / DICKINSON		
Type of Work: ADD / REMODEL	HIC:	N/A
Builder: HOMEOWNER	CSL:	N/A
Date of Issue: 8.31.22		

SALE AMOUNT \$2113.
BP# 22-344
(508)487-6983

This card shall be posted in a conspicuous place and shall not be covered or removed until all work associated with this permit, is completed. Work shall be in compliance with 780 CMR and all applicable laws and by-laws of the Town of Truro. Approved plans shall be available on the job site. Where a Certificate of Occupancy is required, the building shall not be occupied until after the final inspection and after the Certificate of Occupancy has been issued.

BUILDING OFFICIAL:

CUSTOMER COPY

Main Hse

REQUIRED INSPECTIONS

Footing - Rebar		Electrical Service		Final Gas	
Inspector	Date	Inspector	Date	Inspector	Date
Foundation - Rebar		Rough Wiring		Smoke/Fire Alarm	
Inspector	Date	Inspector	Date	Inspector	Date
Final Foundation		Final Wiring		Oil Furnace	
Inspector	Date	Inspector	Date	Inspector	Date
Cert. Foundation Plan		Low Voltage Rough		Sprinkler System	
Inspector	Date	Inspector	Date	Pressure	Date
Wind Connections		Low Voltage Final		Alarm	Date
Inspector	Date	Inspector	Date	Energy	
Frame		Underground Plumbing		Duct Test	Date
Inspector	Date	Inspector	Date	Blower Door	Date
Insulation		Rough Plumbing		Final Building	
Inspector	Date	Inspector	Date	Inspector	Date
Air Barrier		Final Plumbing		Cert. Of Occupancy	
Inspector	Date	Inspector	Date	Inspector	Date
Chimney/Woodstove		Rough Gas		Special Conditions:	
Inspector	Date	Inspector	Date	MAIN HOUSE	

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO
Building Department

24 Town Hall Rd.
PO Box 2030
Truro, MA 02666
Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #: **22-344** Fee: **2113.80**

BUILDING DEPARTMENT
TOWN OF TRURO

SITE INFORMATION

Project Site: 69 Old County Rd., Truro, MA 02666

AUG 16 2022

Assessors Map & Parcel: Map 54; Parcel 43

Zoning District: Residential

RECEIVED BY:

Outside Flood Zone Inside Flood Zone - Specify: _____

Setbacks: Front: 57'0" Left Side: 21'10" Right Side: 34'7" Rear: 21'0"

Lot Area (sq. ft.) 36,107 Frontage: 137.58 sq ft

Water Supply: Private Public Subject to Policy 28: Curb Cut? Y N
If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: Paul Berman & Laura Dickinson

Mailing Address: 24 Hesketh St., Chevy Chase, MD. 20815

Phone: 2025696837

E-mail: paulberman@gwu.edu

PAID
9/14/22

Property Owner Authorization

Signature: *Paul Berman*

Date: 08/08/2022

PROJECT INFORMATION

1 & 2 Family Home Commercial / Other than 1 & 2 Family Home* Change of Use DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____ Commercial Building

Addition Alteration Mechanical

Accessory Structure: (type) _____ Other: _____

Detailed Description of Proposed Work: Renovations and additions to the existing *main dwelling*

Estimated Construction Cost: 2,500,000		Debris Disposal: (Landfill or Company Name) N/A	
Floor Area: (Proposed Work Only)		Basement: <input checked="" type="checkbox"/> unfinished 275 sq ft <input type="checkbox"/> finished _____	
1 st flr: 3438 sq ft	2 nd flr: 577 sq ft	Porch/Deck: 2486 sq ft	Storage sheds 175 sq ft
# fireplaces: 1	# chimneys: 1	# bathrooms: existing 4 proposed 5	
# bedrooms: existing 3 proposed 2			
Type of Heating System: Heat pump		Type of Cooling System: Heat pump	
CONTRACTOR INFORMATION*			
<small>*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)</small>			
Contractor Name: N/A			
Address:			
Phone:		Email:	
CSL#:		HIC #	
OFFICE USE			
HEALTH/CONSERVATION AGENT Review <u>taking 1BR and putting</u> <u>it into guesthouse. New septic and</u> <u>no con scan.</u>			
Signature: <u>AP</u>		Date: <u>8/16/2022</u>	
Other Comments:			
BUILDING COMMISSIONER Review & Approval:			
<u>MAIN DWELLING</u>			
Signature: <u>[Signature]</u>		Issuance Date: <u>8.31.22</u>	

Lynne Budnick

Tanya Knight

From: Lynne Budnick
Sent: Thursday, September 8, 2022 4:22 PM
To: paulberman@gwu.edu
Subject: 69 Old County Rd - permit ready - fee due

*to PA
per Paul
Berma*
PAID

Good afternoon, Paul

The permit for address : **69 Old County Rd – Main House – BP# 22-344**, is ready for pickup. The permit fee assigned is : **\$2113.00** .

Along with your building permit you are receiving a copy of your application which includes notes from our Building and or Health departments. This is to provide you with additional information and guidance. Please pick up the permit and remit the fee at your earliest convenience. All building permits should be posted at the job site and available at all times for the inspectors. Thank you.

Best regards,

Lynne G. Budnick

Lynne G. Budnick

Principal Office Assistant/Building/Conservation/Health
 Town of Truro
 P.O. Box 2030
 24 Town Hall Road
 Truro, MA 02666
 Phone: (508) 349-7004, ext. 131
 Direct Line: (508) 214-0920
 Fax: (508) 349-5508



Todd LaBarge

From: Hillary Gately
Sent: Tuesday, March 21, 2023 2:39 PM
To: Tony Addonizio; Todd LaBarge; Casey Furnas
Subject: FW: 69 Old County Rd - Main & Guest Houses - Required Historical Review
Attachments: 69 Old County Rd - Historic Review.pdf



Hillary Gately

Office: 508-432-6360
office@labargehomes.com
LaBargeHomes.com
[@LaBargeHomes](https://www.instagram.com/LaBargeHomes)
 237 Main St Rte 28
 West Harwich MA

From: Lynne Budnick <LBudnick@truro-ma.gov>
Sent: Tuesday, March 21, 2023 2:35 PM
To: Matthew Kiefer <mkiefer@goulstonstorrs.com>; Chuck Steinman <c.e.steinman@comcast.net>
Cc: Rich Stevens <rstevens@truro-ma.gov>; Barbara Carboni <bcarboni@truro-ma.gov>; Elizabeth Sturdy <ESturdy@truro-ma.gov>; Hillary Gately <office@LaBargeHomes.com>
Subject: 69 Old County Rd - Main & Guest Houses - Required Historical Review

Good afternoon,

Attached you will find the applications and plans for address: **69 Old County Rd**. The Building Commissioner has placed a "Stop Work" order at the property.

Thank you.

Best regards,

Lynne G. Budnick

Lynne G. Budnick

Principal Office Assistant/Building/Conservation/Health
 Town of Truro
 P.O. Box 2030
 24 Town Hall Road

Truro, MA 02666
Phone: (508) 349-7004, ext. 131
Direct Line: (508) 214-0920
Fax: (508) 349-5508



This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act

Town of Truro



STOP WORK

FOR THE FOLLOWING VIOLATION

HISTORIC REVIEW

FAILURE TO OBSERVE THIS ORDER OR DEFACING OR THE UNAUTHORIZED REMOVAL OF THIS PLACARD IS PROHIBITED BY LAW

LOCATION 69 OLD COUNTY RD.

DATE 3-21-23

TIME 1 PM

R. STEVENS

BUILDING OFFICIAL
TOWN OF TRURO

69 Old County Road, Truro, MA

The project consists of a renovation and additions to the Sherman and Barbara Saas residence designed by Charles Zehnder in 1963. The original single-story main house consists of a low rectangle raised off the ground and supported by concrete piers with a floor structure of 2x8 joists at 24" on center. The house was built by Albert and Bob Rose for a cost of fourteen thousand dollars. It is capped with a shed roof running North-South parallel to Old County Road. In 1976 in accordance with plans prepared by Joan Wood Assoc. Architects and Charles C. Zehnder, the existing room on the West side was modified into a dining room and an extended living room with a sunken conversation pit was added. The patio and studio house were also constructed at this time.

When built, the main house was intended only for summer occupancy. It is uninsulated, has single glazed windows and no heating or ventilation systems. There is no laundry facility, a small kitchen and the bathrooms are insufficient.

We and our clients certainly understand the architectural and historic significance of the house, however the intent of our design plans is to preserve the house, stabilize the structure and enlarge it with small additions. Mark Hammer has been actively advocating for the recognition of this and other modern houses on the Cape since he and Carmi Bee organized the first Cape Cod Modern House Tour in 2004, which included two other Zehnder houses.

In order to ensure the building's survival well into the future, a structural engineer was engaged to assess the condition and to develop designs to bring the framing up to current building code standards. After consulting with the builder, a plan was developed to lift the original rectangle and place it on a permanent concrete foundation. This portion of the house will be fully restored and will benefit from a full basement with space for distribution of the heating and plumbing systems.

Once stabilized and preserved, the kitchen and master bedroom will be extended slightly at each end. An addition on the East side of the house will contain a mechanical room, laundry room, closet and Owners' bath. These new additions will further allow the enclosing envelope to meet the stretch energy code without modifying or altering the original exterior walls.

There is only one section that is being substantially demolished, where the living room was completed as a later addition. This section had all single glazed non-thermally broken aluminum storefront windows. It was in poor condition and had roofing and ponding problems where the addition intersected the original building. The present sunken conversation pit significantly limited the floor space and compromised the function of the room. The portion housing the dining room is being removed and rebuilt because of structural concerns. Aside from that, the original house is to remain and will be upgraded.

The plans for the Zehnder/ Wood designed studio house include a partial second floor addition to replace the deteriorated roof deck and skylights. The existing exterior stair will be enclosed to connect the two levels. This will provide an additional guest bedroom, home office and a smaller roof deck to take in the views of the Bay. The interior spaces of the main floor will remain essentially unchanged including the signature Zehnder sunken bathtub and private garden courtyards

New windows and doors throughout will be made with highly efficient double and triple paned glass. These will be aluminum clad Loewen windows with a clear anodic finish that will match the original units. The entire building envelope will have high performance insulation and new electric heat pump HVAC systems will be installed. New wood clapboard siding is to be replaced in kind, and trim, stain and other exterior details are to match existing.

All proposed changes have been designed with sensitivity to and respect for the original architecture. The existing house was small, only 1670 square feet in area, the area of the final design will be a modest 2204 square feet. The resulting design will maintain the view from Old County Road of a long modern shed-roofed rectangle. The one new section replacing the living room is at the rear of the house.

Job Summary Berman-Dickinson (MH)

What has been done:

Replace existing septic system as dictated by town of Truro.

Begin with saw cutting decks and pergola from main structure. Saw cut dining room and living room wing from main portion of the house.

Remove and dispose of dining room and living room in order to lift main house and pour new foundation under entire house.

Excavate area around the back side of the house as necessary in order to gain access to set beams under floor system and temporary support of building and chimney.

What hasn't been done yet:

Lift the remaining portion of the existing house and set on cribbing in order to pour new permanent full height foundation walls and basement slab.

Excavate for new full foundation after existing home is lifted. Pour 10" foundation walls on top of 24" footing for perimeter of the entire structure.

After concrete and foundation work are complete, lower house and fireplace back down at original grade on top of foundation and new rim joists.

Backfill exterior of new foundation with fill that was stockpiled on site during excavation. Inside foundation infilled and vibratory compacted to prep sub-grade for 4" concrete slab with insulation and vapor barrier.

Set 12" concrete piers surrounding the house as shown on plans to replace deck framing and replace existing mahogany decking with new 5/4x6 mahogany decking.

Replace the existing 2x8 joist at 24" on center floor system with 9.5" engineered floor joists at 16" on center in order to provide a more stable and safe structure for the house to rest on.

Once stabilized and preserved, the kitchen and master bedroom will be extended slightly at each end.

An addition on the East side of the house will contain a mechanical room, laundry room, closet and Owners' bath. This new addition will further allow the enclosing envelope to meet the stretch energy code without modifying or altering the original exterior walls.

Remove original single glazed aluminum windows with a natural aluminum finish and replace with highly efficient double and triple panel glass windows with aluminum clad exterior with a factory painted dover gray finish.

The existing dining room that was removed will be rebuilt in kind due to structural concerns.

The entire building envelope will have high performance spray foam insulation and a new electric heat pump HVAC system will be installed to meet 2023 Massachusetts Stretch energy code per 225 CMR 22 in order to better align the structure with initiatives of Green Communities such as Truro.

New Ecoer ducted heat pump air conditioning system with two high efficiency air handlers located inside and two condensers located outside.

Electric water heater to replace existing.

New kiln-dried clear vertical grain heart red cedar clapboard siding will be replacing the existing red cedar clapboard siding.

New kiln-dried clear vertical grain heart red cedar trim will replace and match the existing red cedar fascia, trim and soffit details.

The existing rubber roofing will be replaced with .045 in. ASTM D 4637, Type 1 EPDM sheet rubber membrane roof.

Job Summary Berman-Dickinson (Studio)

Remove bay window and walls at West side of first floor bedroom.

Remove deck and stairs to roof deck on West side of studio.

Remove portion of pergola on North side of studio that extends to the main house.

Remove roof deck and stairs leading to roof deck.

Remove all skylights that are currently installed on studio roof and infill openings with framing.

Remove chimney and infill opening with framing.

Remove all existing doors and windows to be replaced.

Pour new 10" frost wall foundation in section on West side of studio where bay was removed. Tie into existing foundation walls via rebar dowels.

Pour new 10" frost wall foundation under roof deck stair area and tie into existing foundation via rebar dowels.

Frame first floor system over new portions of foundation with 11-1/4" LSL's at 16" on center.

Remove all existing rubber membrane roofing to allow for addition of second floor in South side of studio and replacement of roofing on North Side of studio.

Replace existing roof framing on South side of studio with floor system consisting of 11 7/8" AJS20's at 16" on center. Install roof deck framing and stairs to allow for roof deck on Southwest portion of roof.

Construct second floor walls on South side of studio with 2x10 roof framing above at 16" on center.

Remove original single glazed aluminum windows with a natural aluminum finish and replace with highly efficient double and triple panel glass windows with aluminum clad exterior with a factory painted dover gray finish.

New skylight will be installed in place of skylight that previously resided on the sloped roof on the North side of studio.

New kiln-dried clear vertical grain heart red cedar clapboard siding will be replacing the existing red cedar clapboard siding.

New kiln-dried clear vertical grain heart red cedar trim will replace and match the existing red cedar fascia, trim and soffit details.

The existing rubber roofing will be replaced with .045 in. ASTM D 4637, Type 1 EPDM sheet rubber membrane roof.

Solar panels will be installed on new flat portions of the roof as shown in plans.

A new heat pump HVAC system will be installed along with new insulation to achieve compliance with updated stretch code requirements.

Replace decking with new 5/4 x 6 Mahogany decking and build new Mahogany pergola over roof deck.

New deck cable railing will be installed on West facing deck with Mahogany handrails and caps and galvanized steel posts.





House Number 1

Wise Residence
 Indian Neck Heights
 End of King Phillip Road, Wellfleet
 1963
 Marcel Breuer, Architect



House Number 2

Goldman Residence
 King Phillip Road, Wellfleet
 1976
 Charles Zehnder, Architect



House Number 3

Hopkins Residence
 Trotting Park Circle
 Brown's Neck Road, Wellfleet
 1977
 Charles Zehnder, Architect



House Number 4

Sass Residence
 Old County Road, Truro
 1963
 Charles Zehnder, Architect

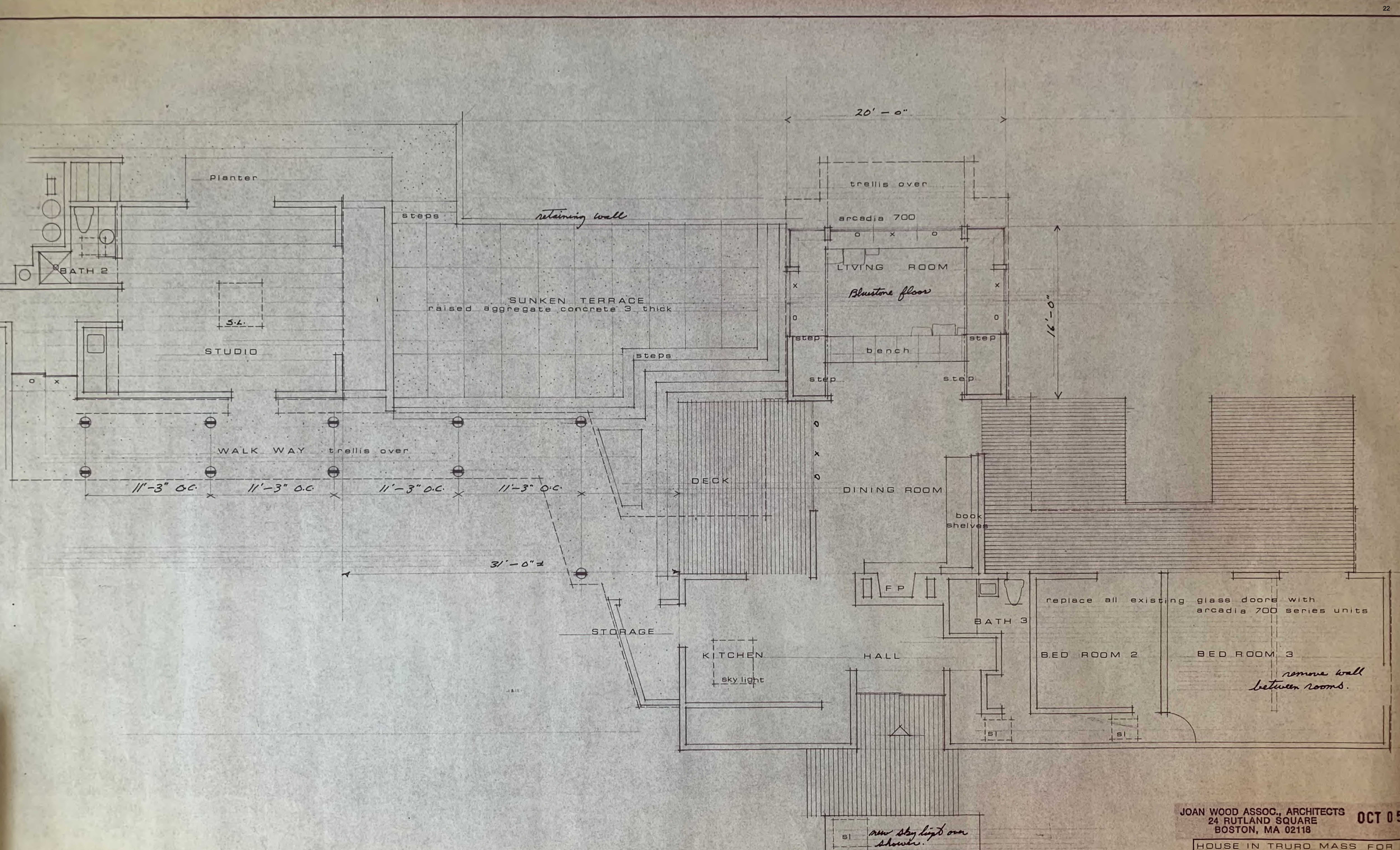


House Number 5

Radin Residence
 45 Cormorant Road, North Truro
 1994
 Dan Sullivan, Architect

Castle Hill
 Truro Center for the Arts

Tour of Important Modern Houses
 of the Lower Cape



JOAN WOOD ASSOC., ARCHITECTS
 24 RUTLAND SQUARE
 BOSTON, MA 02118

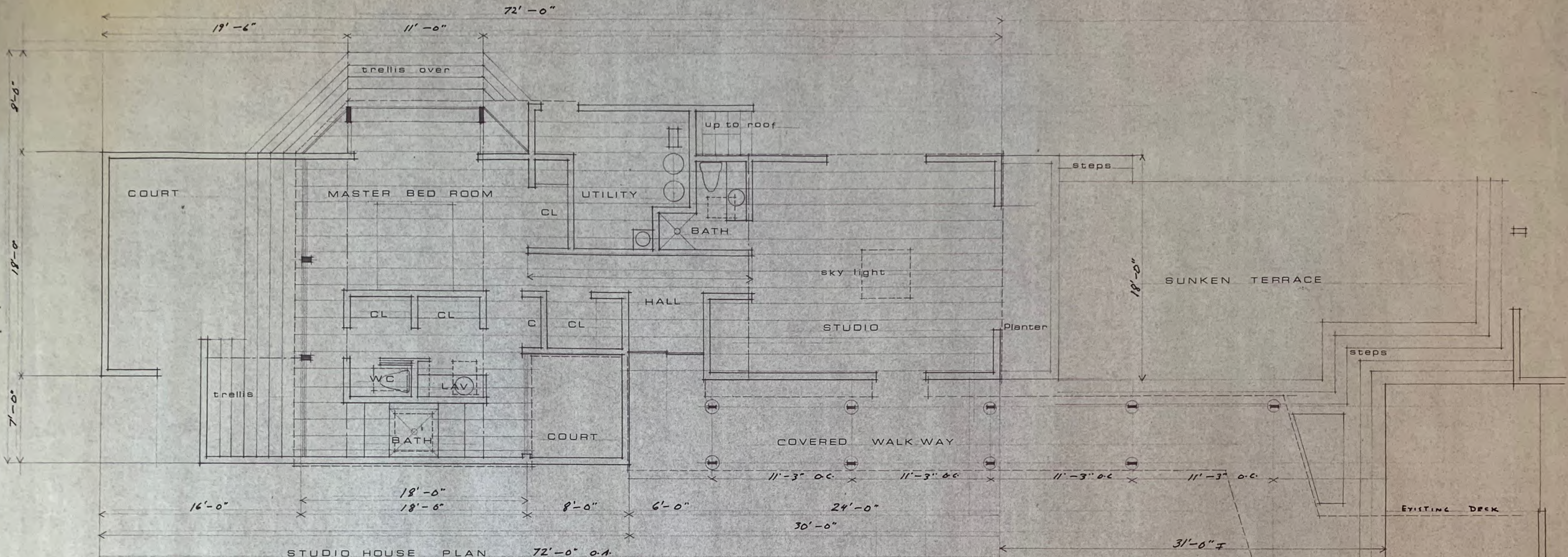
OCT 05

HOUSE IN TRURO MASS FOR
 MR MRS SHERMAN SASS

SCALE: 1/4" = 1'-0" APPROVED BY: *[Signature]* DRAWN BY: *[Signature]*

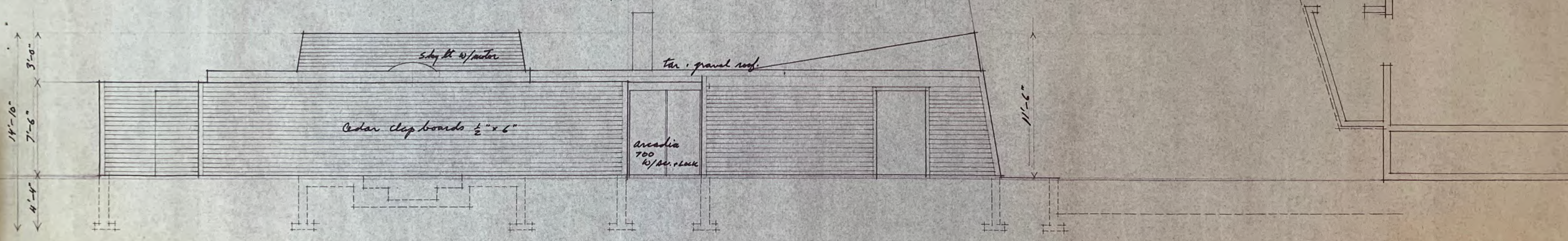
DATE: SEP 75

CHARLES C ZEHNDER
 CONSTRUCTION DESIGN ASS
 TERRACE AND LIVING
 ROOM PLAN A 3



STUDIO HOUSE PLAN 72'-0" o.a.

EAST ELEVATION SCALE: 1/4" = 1'-0"

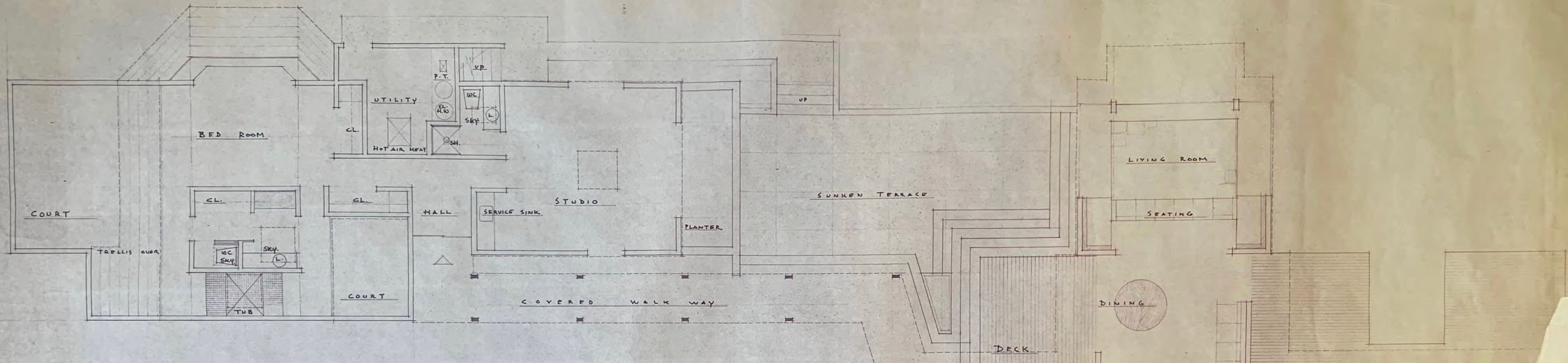


JOAN WOOD ASSOC., ARCHITECTS
 24 RUTLAND SQUARE
 BOSTON, MA 02118
 OCT 05 198

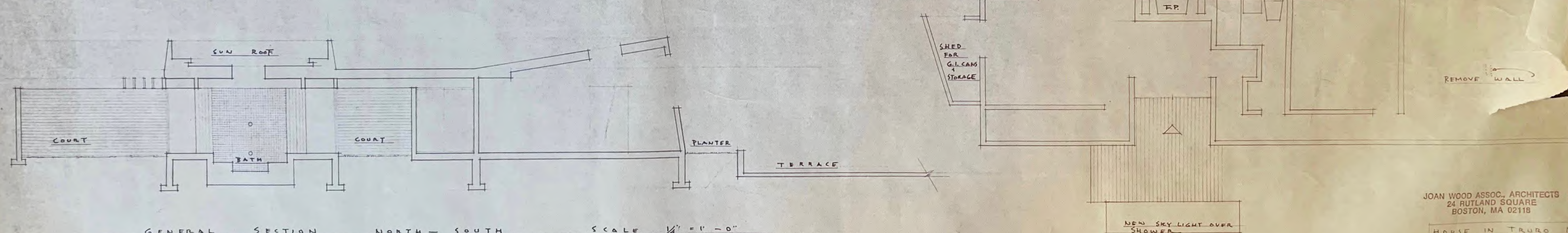
HOUSE IN TRURO MASS FOR
 MR MRS SHERMAN SASS

SCALE 1/4" = 1'-0" APPROVED BY [Signature] DRAWN BY CCZ
 DATE SEP 75

PLAN STUDIO HOUSE DRAWING NUMBER A 2



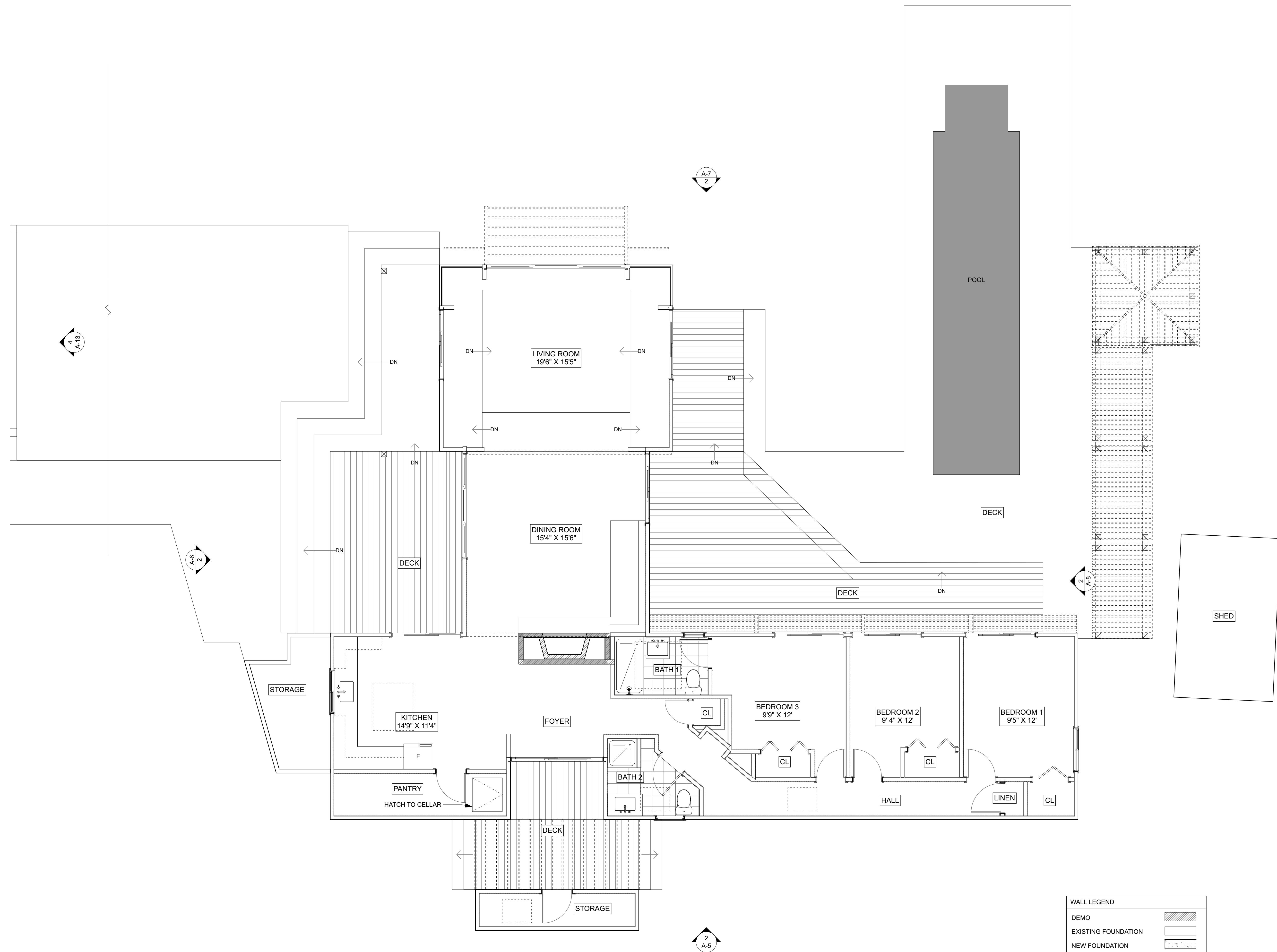
PLAN OF STUDIO-HOUSE SCALE: 1/4" = 1'-0"



GENERAL SECTION NORTH-SOUTH SCALE 1/4" = 1'-0"

JOAN WOOD ASSOC., ARCHITECTS
24 RUTLAND SQUARE
BOSTON, MA 02118

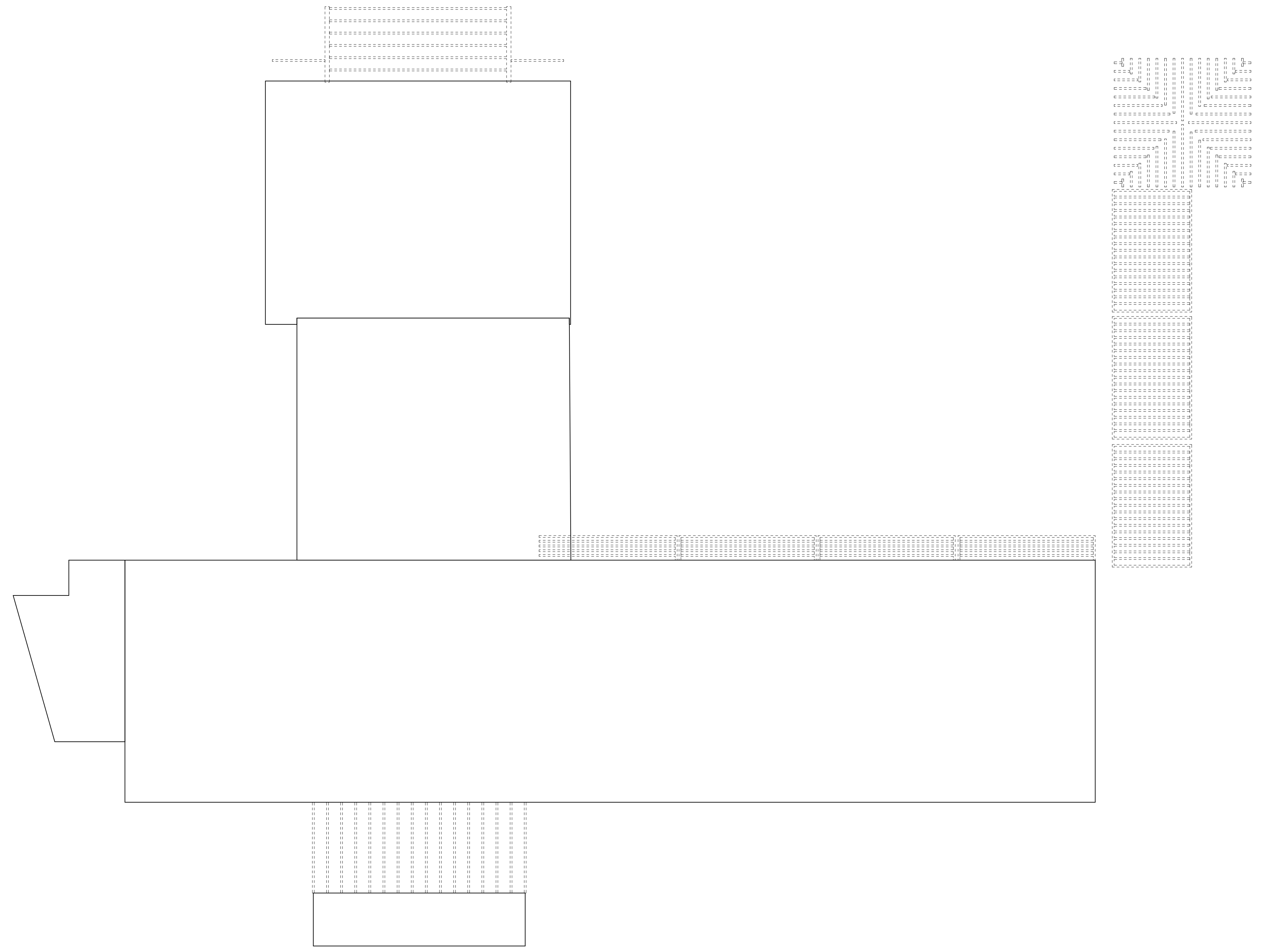
HOUSE IN TRURO MA
MR. MRS. SHERMAN SAS
SCALE: 1/4" = 1'-0" SEPTEMBER 1975
CHARLES C. ZENDEK
50 WELFLEET MASS
PLAN: STUDIO-HOUSE+ADDITION



1 FIRST FLOOR EXISTING
SCALE: 1/4" = 1'-0"

WALL LEGEND	
DEMO	
EXISTING FOUNDATION	
NEW FOUNDATION	
EXISTING CONSTRUCTION	
NEW CONSTRUCTION	

1 ROOF PLAN EXISTING
SCALE: 1/4" = 1'-0"

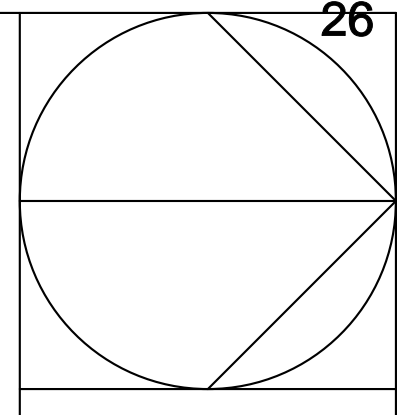


A-2

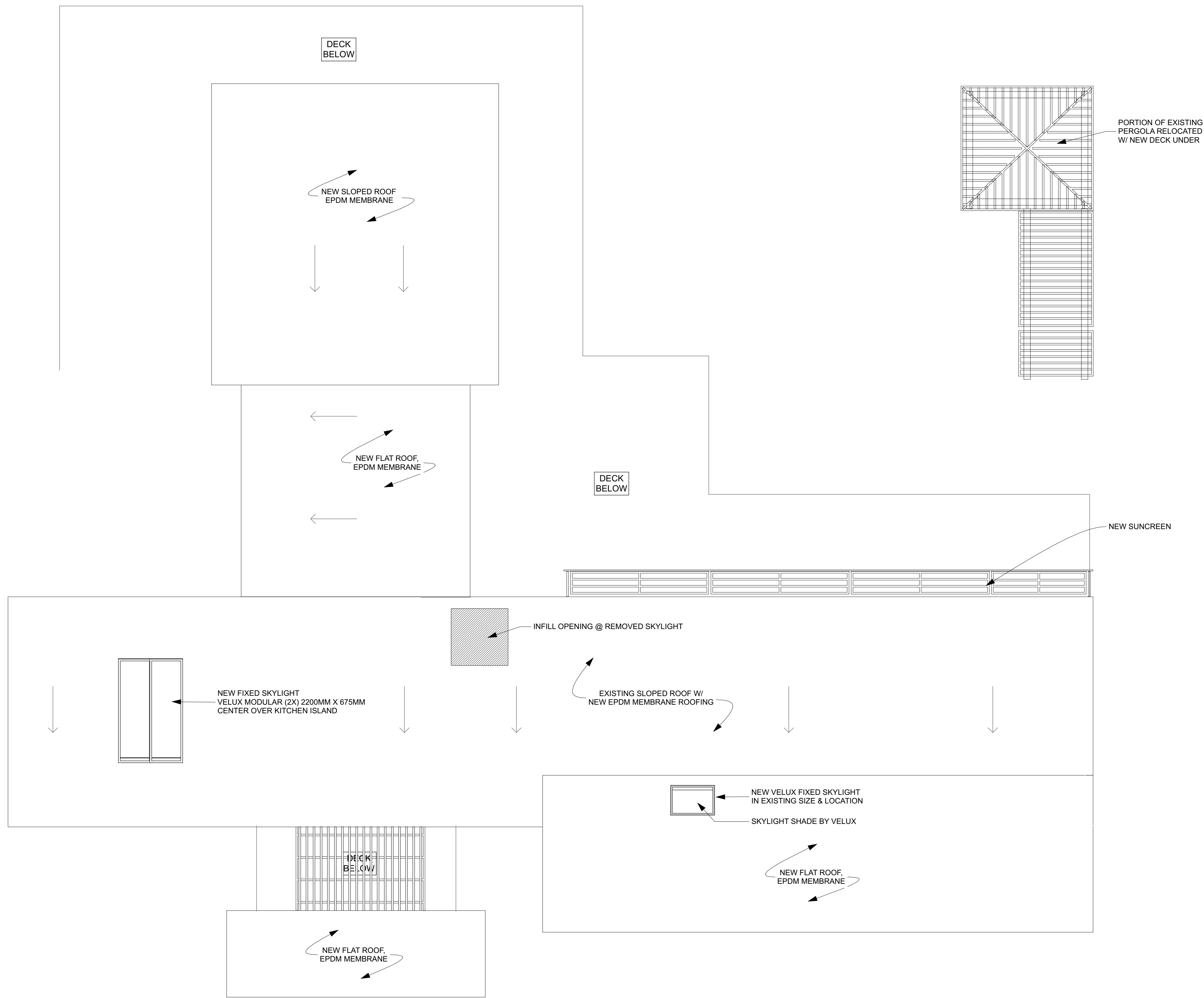
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Truro, MA

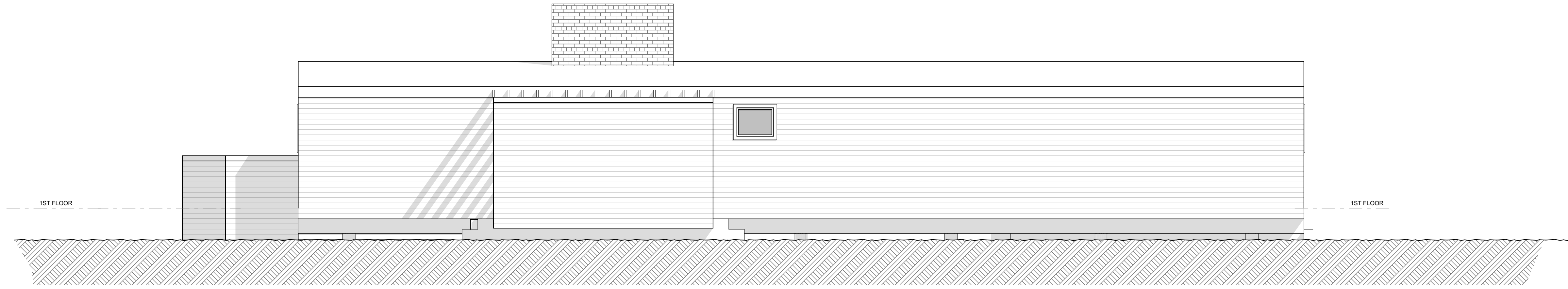
Title: MAIN HOUSE ROOF PLAN EXISTING
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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617.876.5121



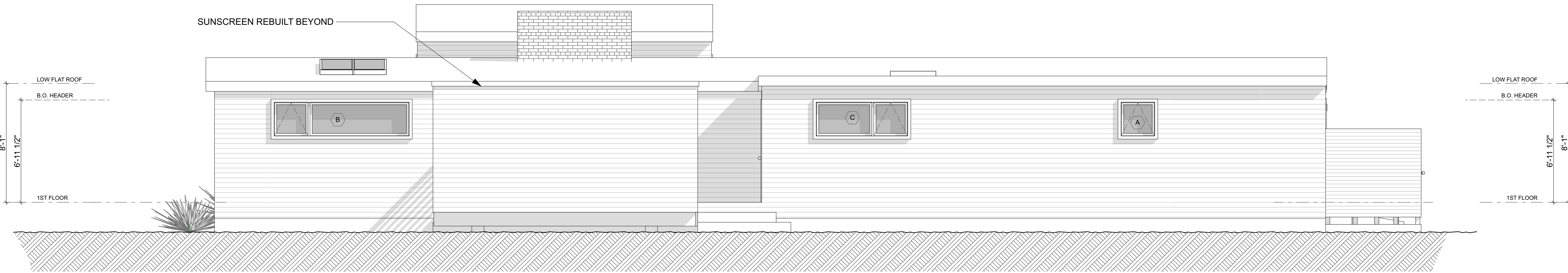
1 ROOF PLAN
SCALE: 1/4" = 1'-0"





2 MAIN HOUSE EAST ELEVATION EXISTING

SCALE: 1/4" = 1'-0"



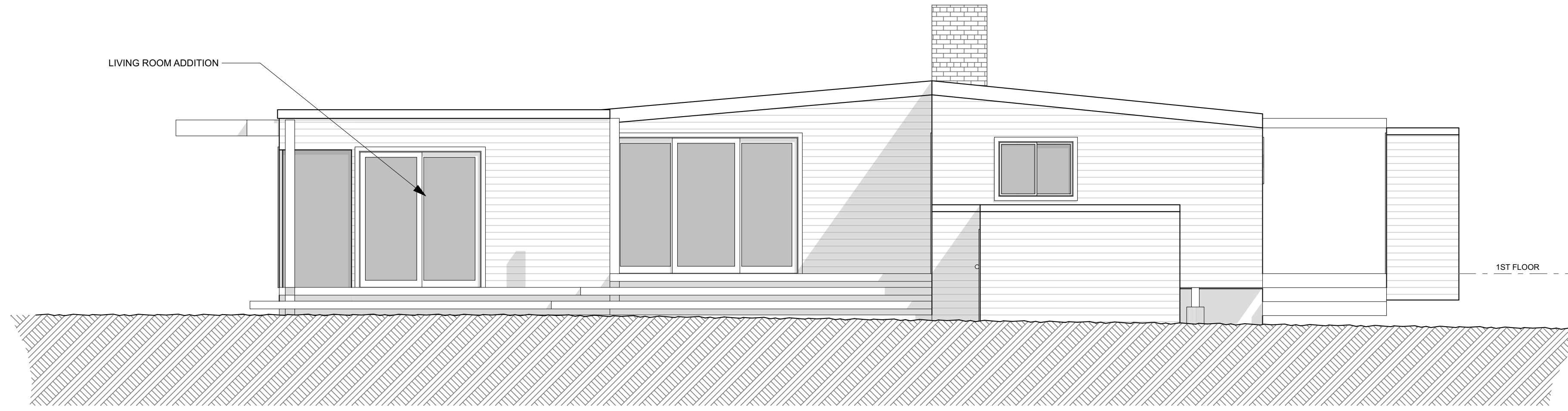
1 MAIN HOUSE EAST ELEVATION

SCALE: 1/4" = 1'-0"

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Title: MAIN HOUSE EAST ELEVATIONS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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2 MAIN HOUSE SOUTH ELEVATION EXISTING
SCALE: 1/4" = 1'-0"

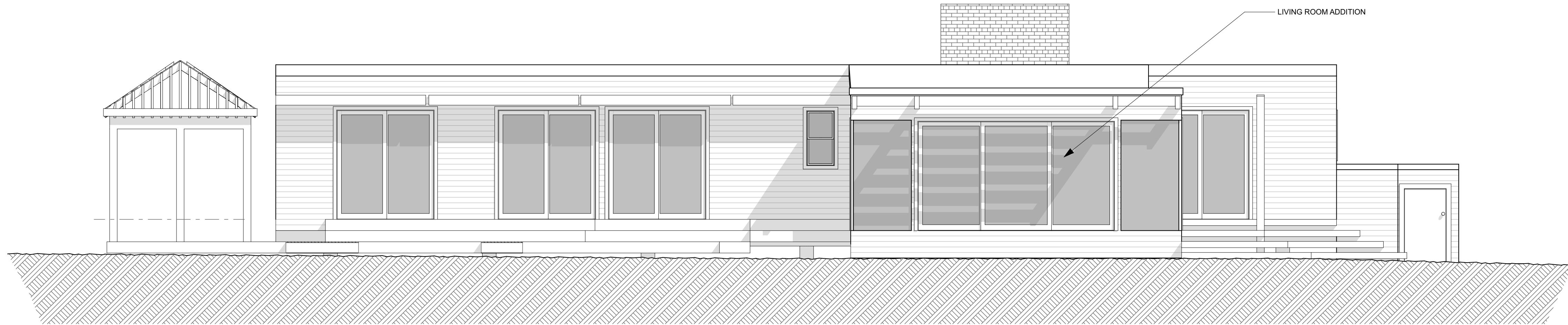


1 MAIN HOUSE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

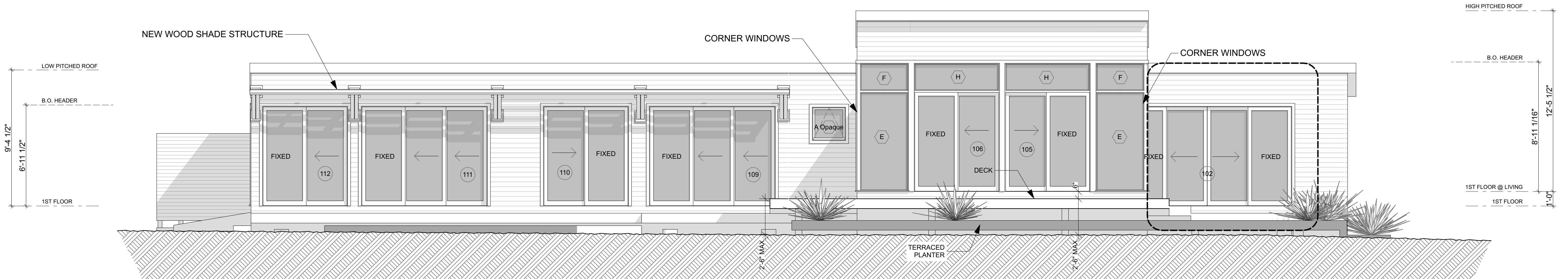
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Title: MAIN HOUSE SOUTH ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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2 MAIN HOUSE WEST ELEVATION EXISTING
SCALE: 1/4" = 1'-0"

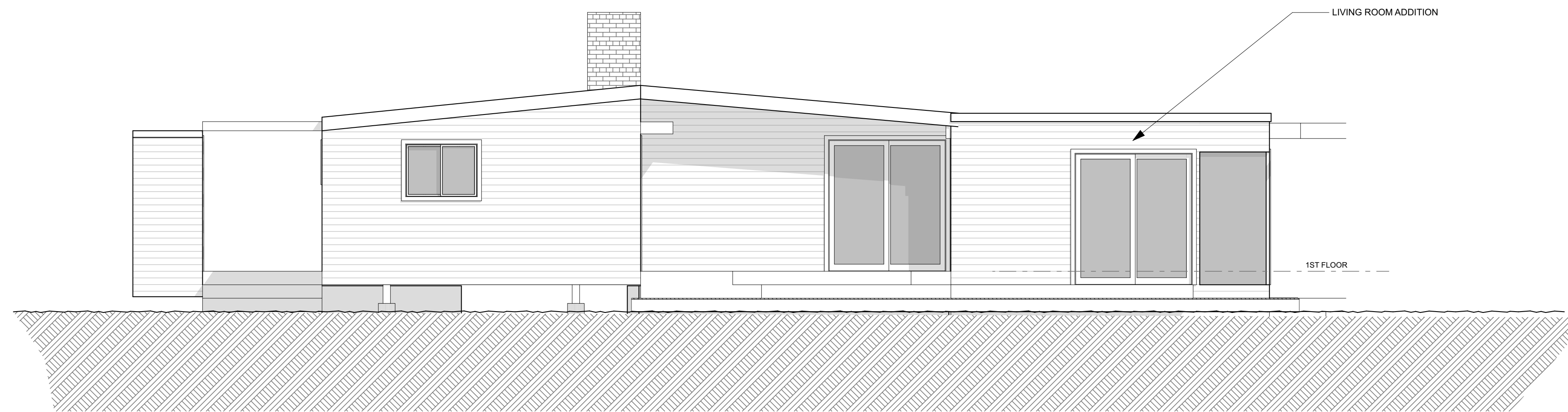


1 MAIN HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"

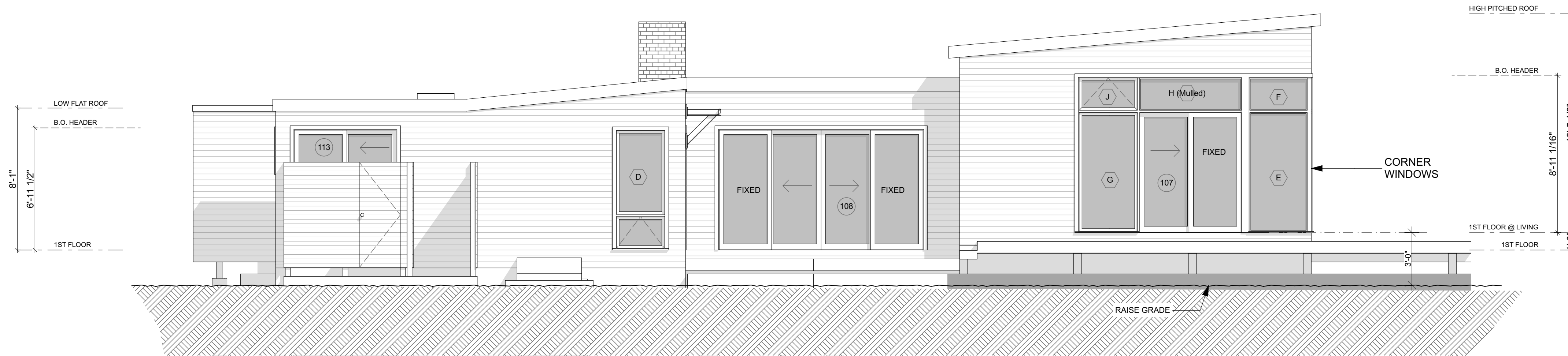
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Title: MAIN HOUSE WEST ELEVATIONS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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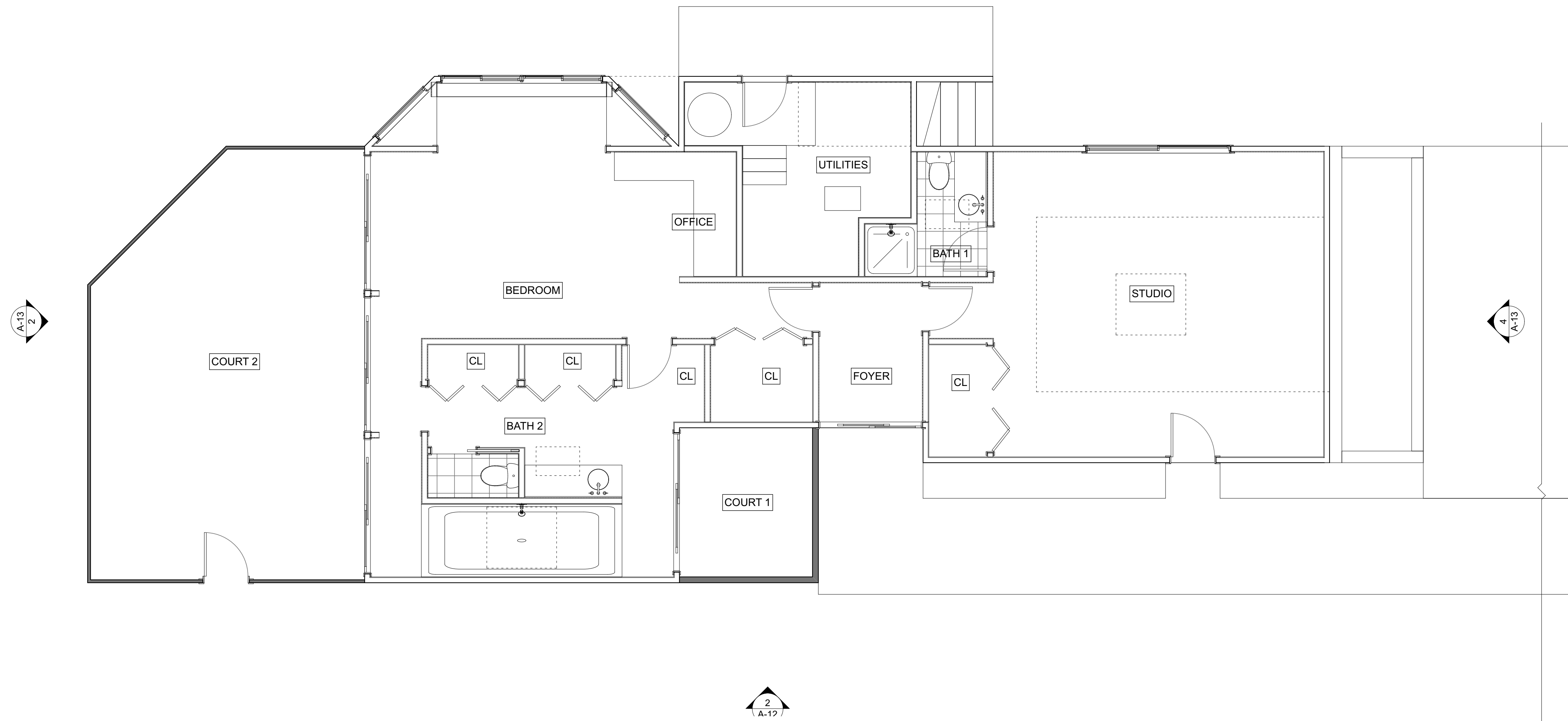


2 MAIN HOUSE NORTH ELEVATION EXISTING
SCALE: 1/4" = 1'-0"

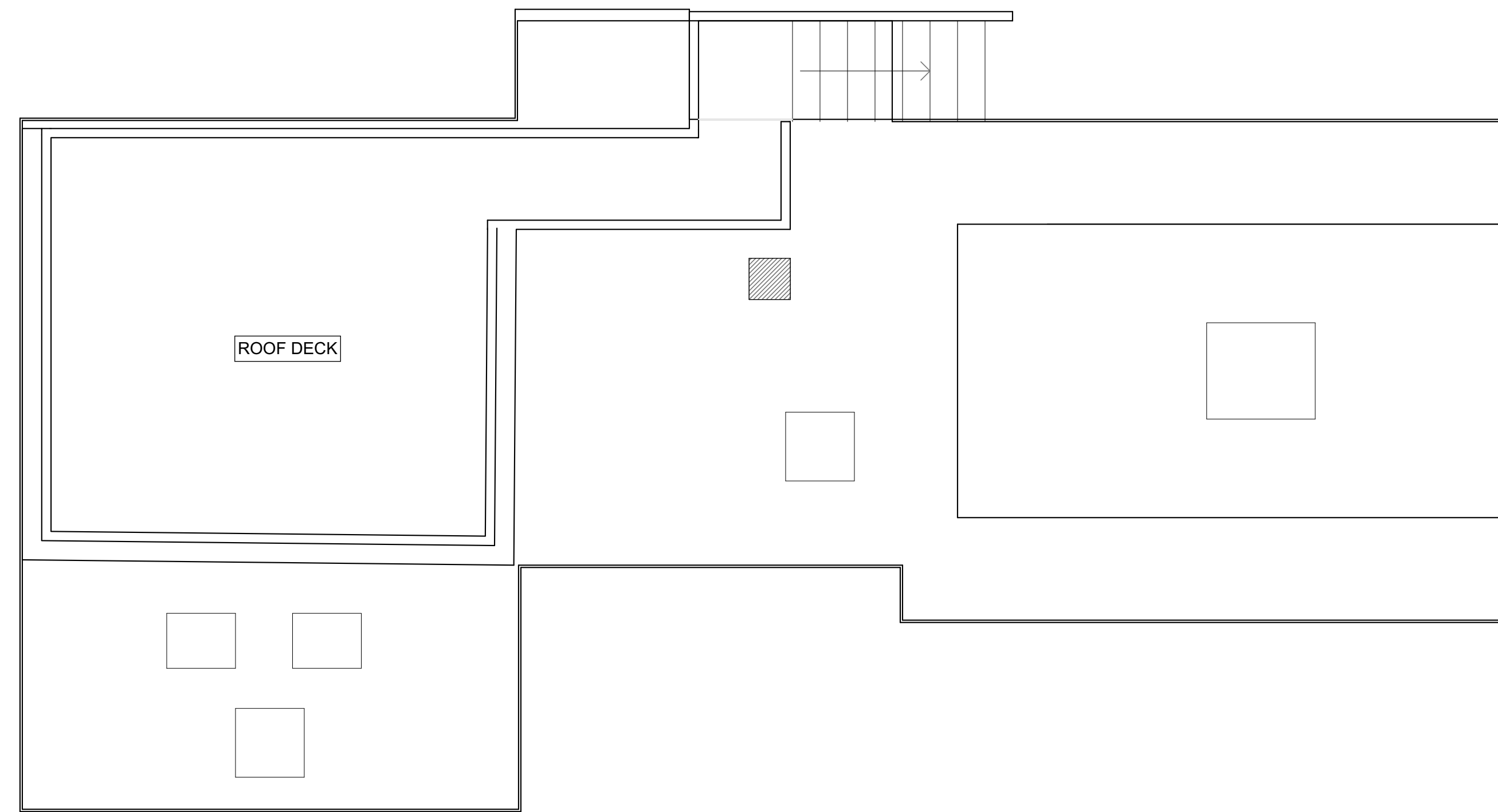


1 MAIN HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 STUDIO FIRST FLOOR EXISTING
SCALE: 1/4" = 1'-0"



1 STUDIO ROOF EXISTING
SCALE: 1/4" = 1'-0"

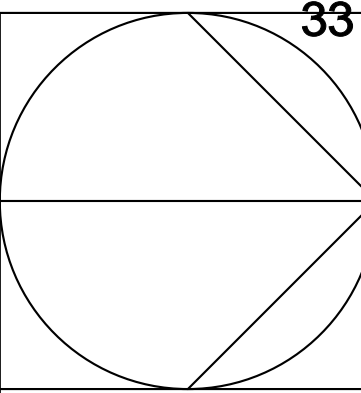


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Title: STUDIO FIRST FLOOR & ROOF EXISTING
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

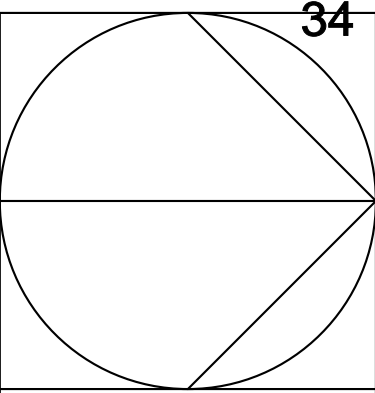
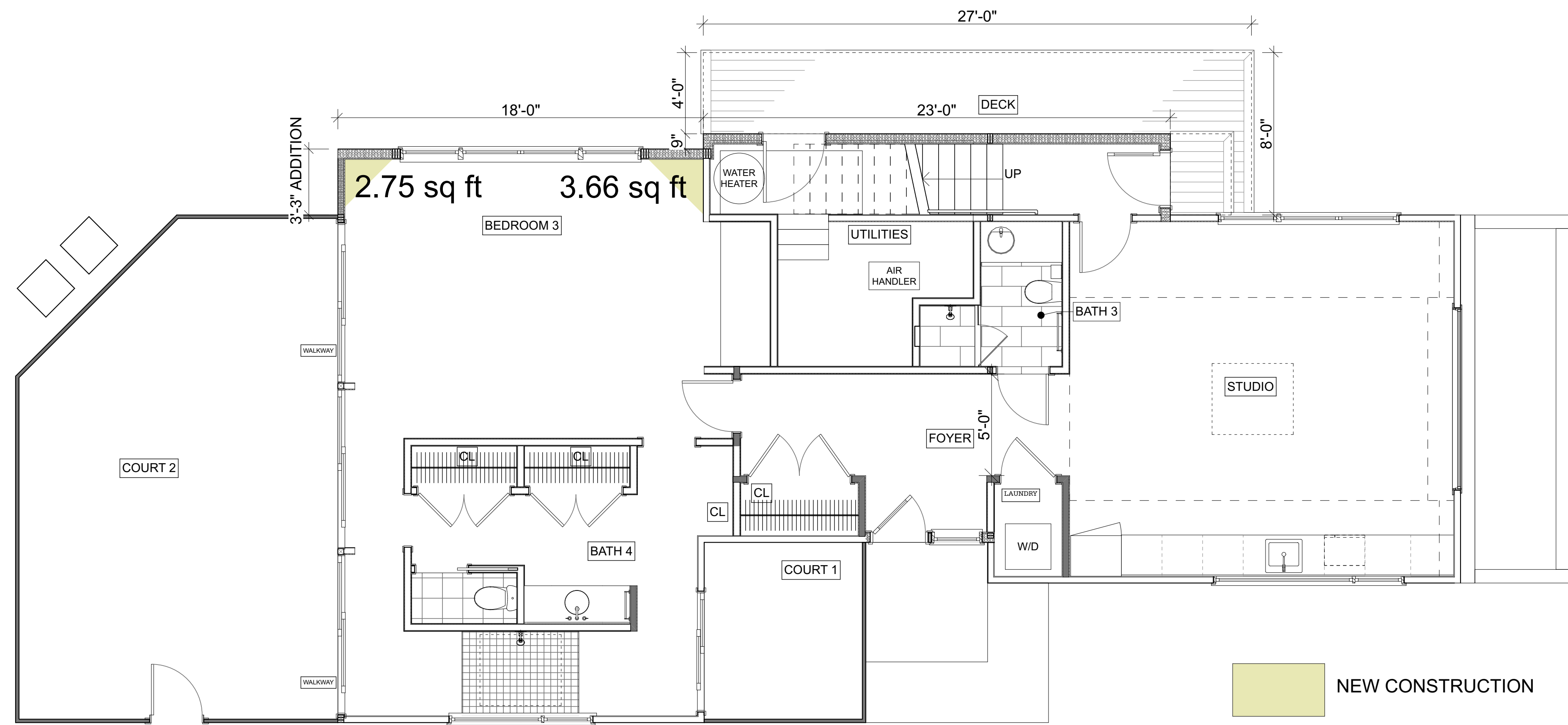
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1 FIRST FLOOR STUDIO

SCALE: 1/4" = 1'-0"

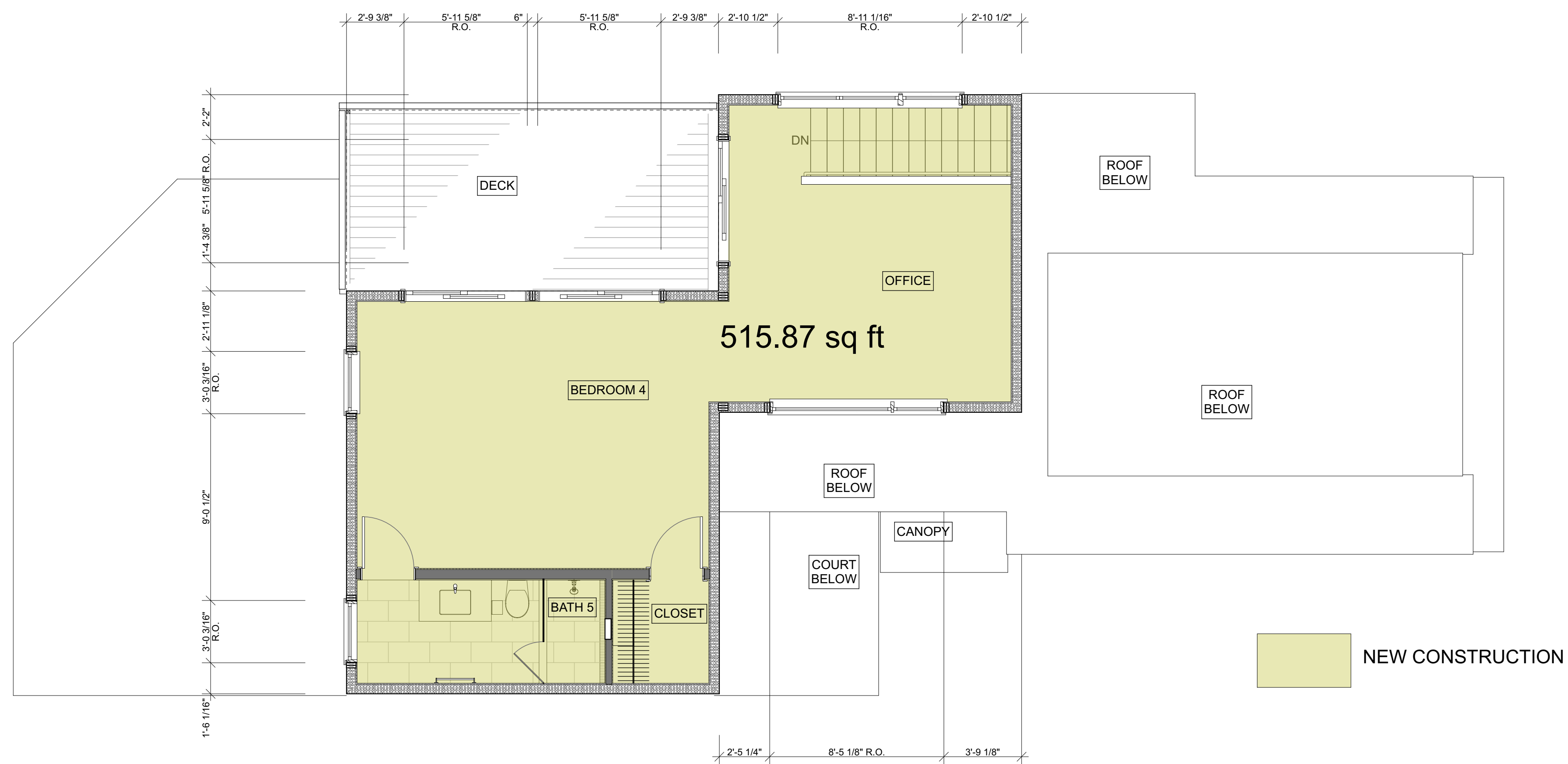


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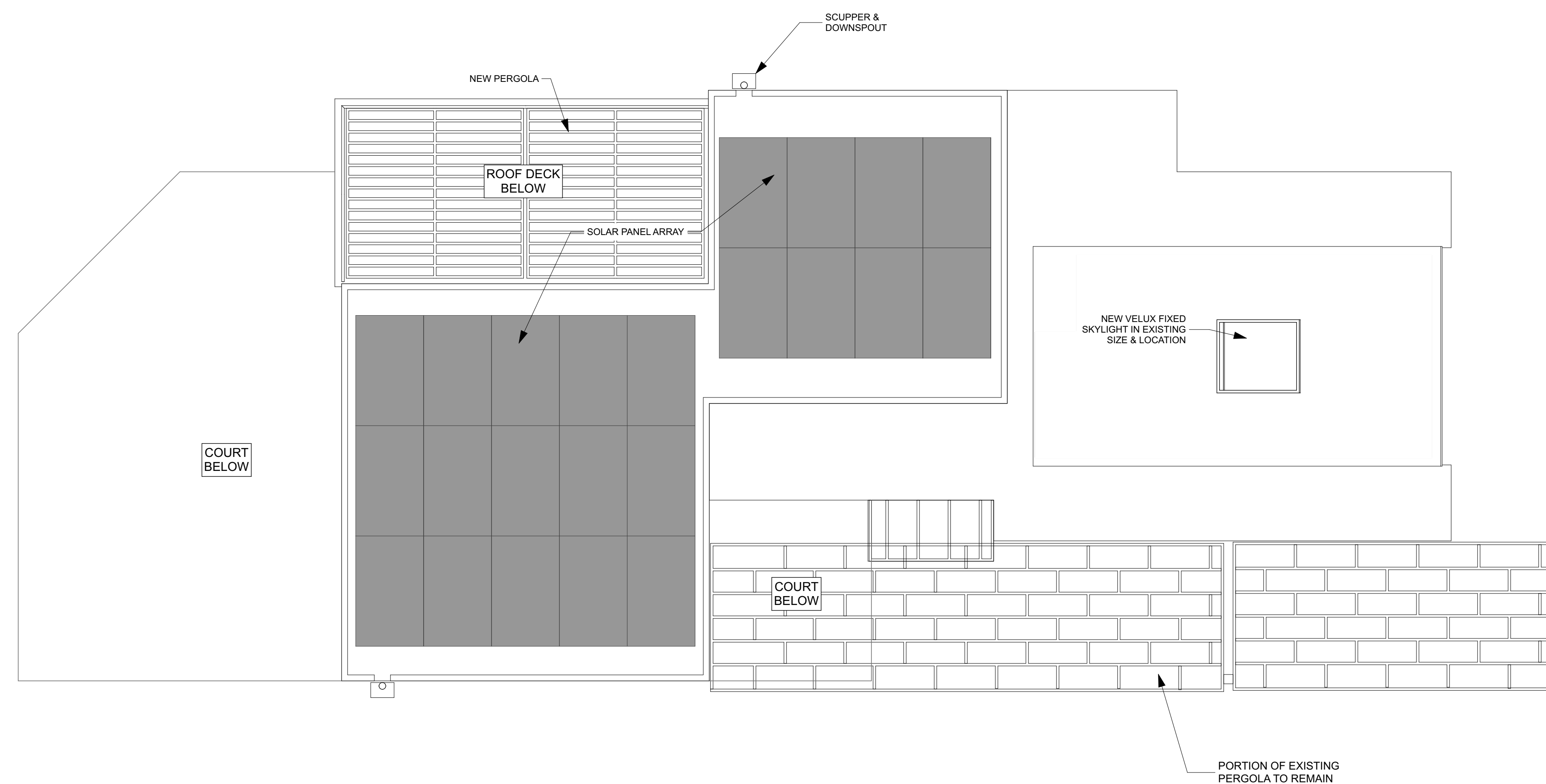
Title: STUDIO PLANS
 Scale: As Noted
 Date: 11.28.22 Revised 12.21.22

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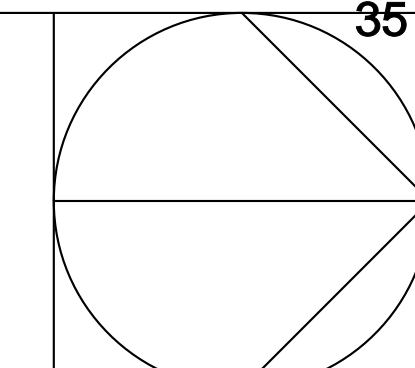
A-10



1 SECOND FLOOR STUDIO
SCALE: 1/4" = 1'-0"



2 ROOF PLAN STUDIO
SCALE: 1/4" = 1'-0"

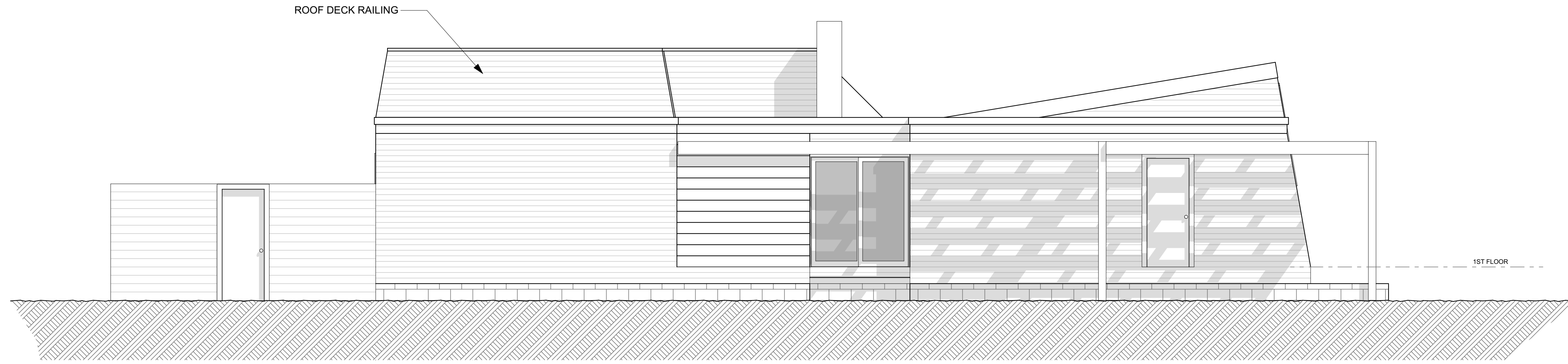


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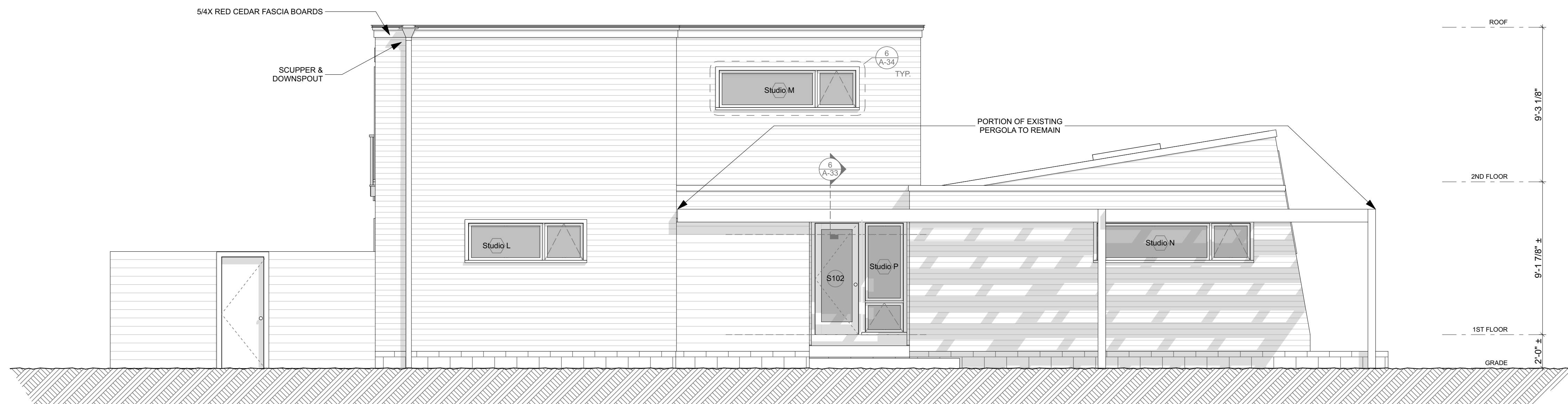
Title: STUDIO PLANS
Scale: As Noted
Date: 11.28.22 Revised 12.21.22

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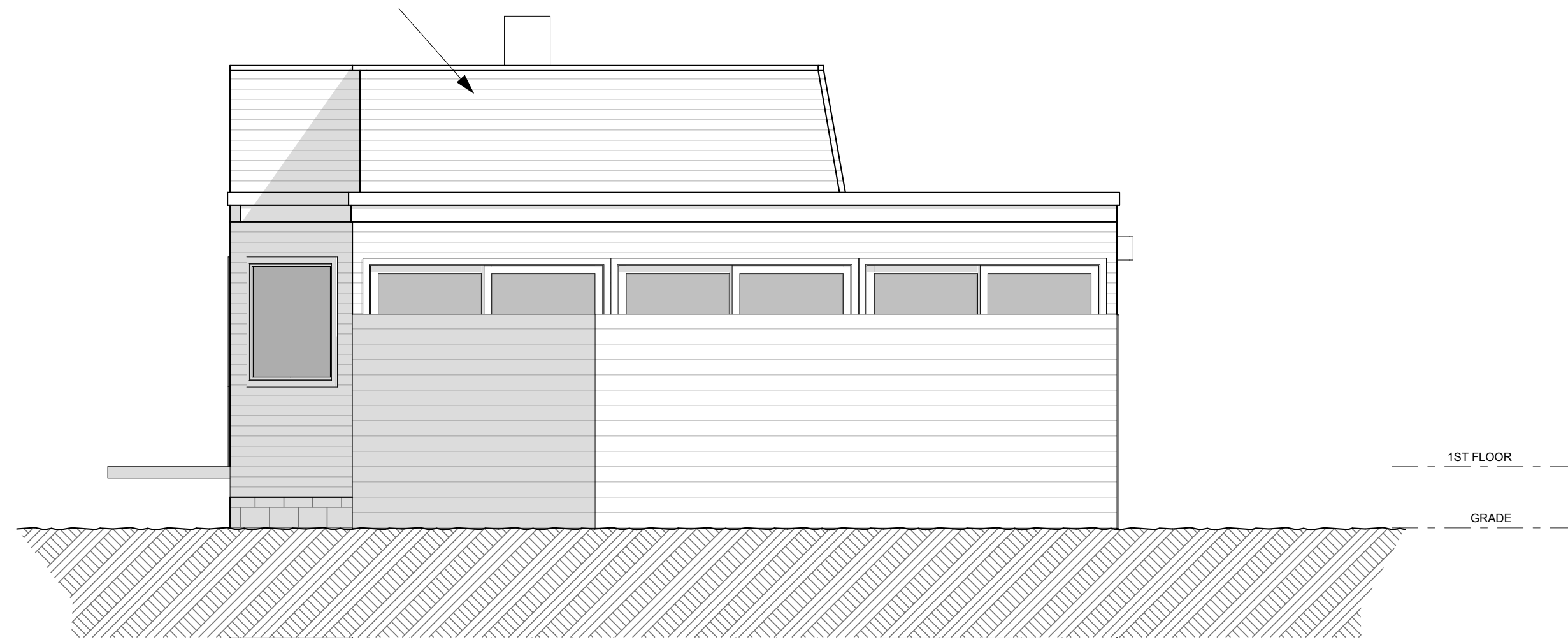
A-11



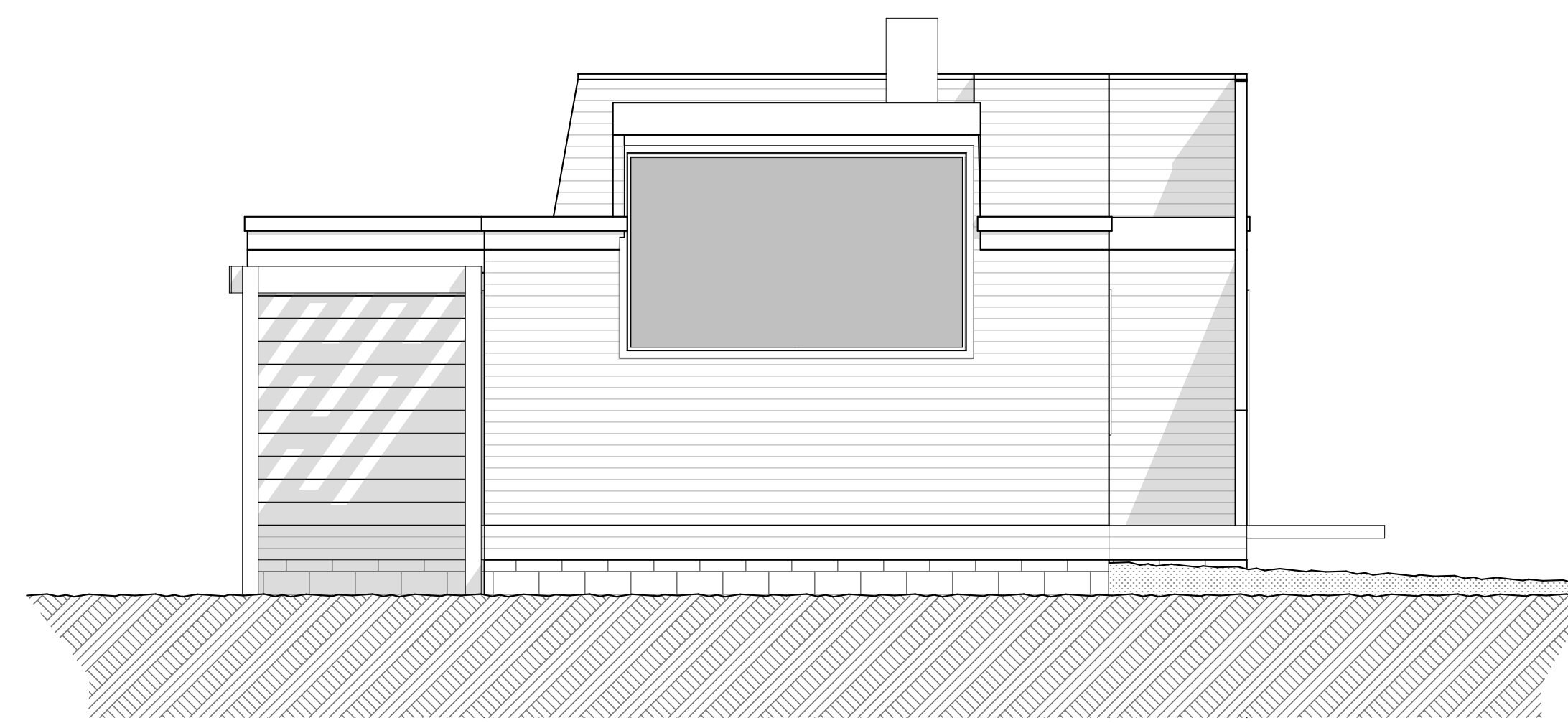
2 STUDIO EAST ELEVATION EXISTING
SCALE: 1/4" = 1'-0"



1 STUDIO EAST ELEVATION
SCALE: 1/4" = 1'-0"



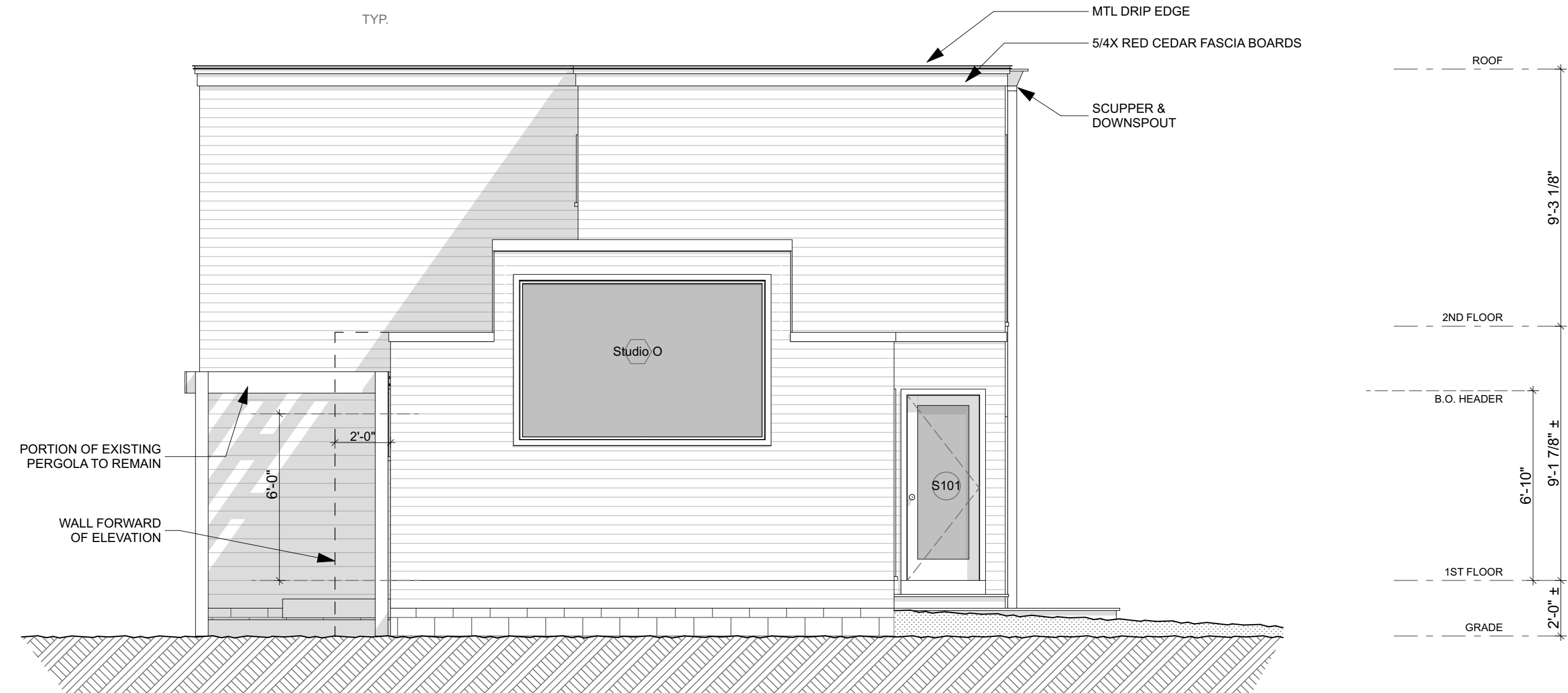
2 STUDIO SOUTH ELEVATION EXISTING
SCALE: 1/4" = 1'-0"



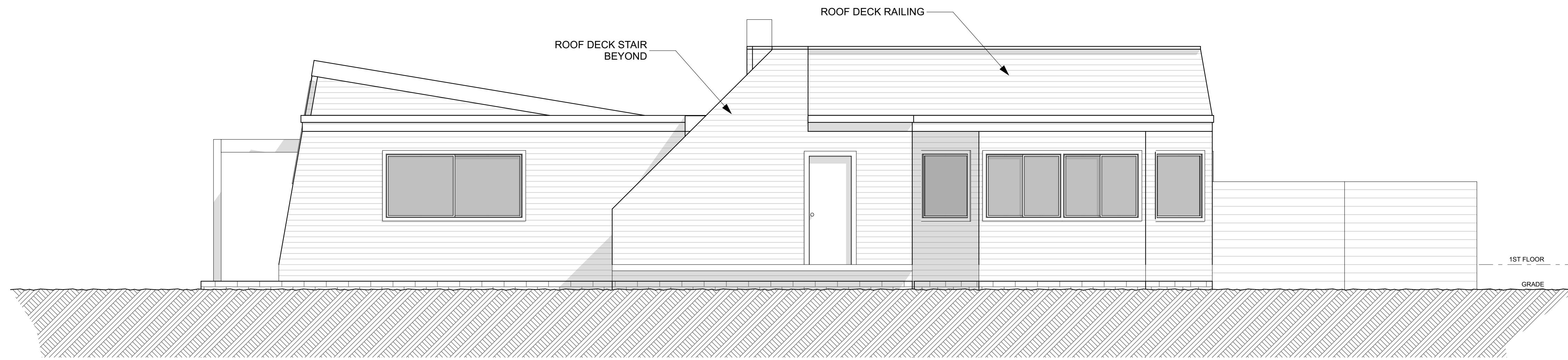
4 STUDIO NORTH ELEVATION EXISTING
SCALE: 1/4" = 1'-0"



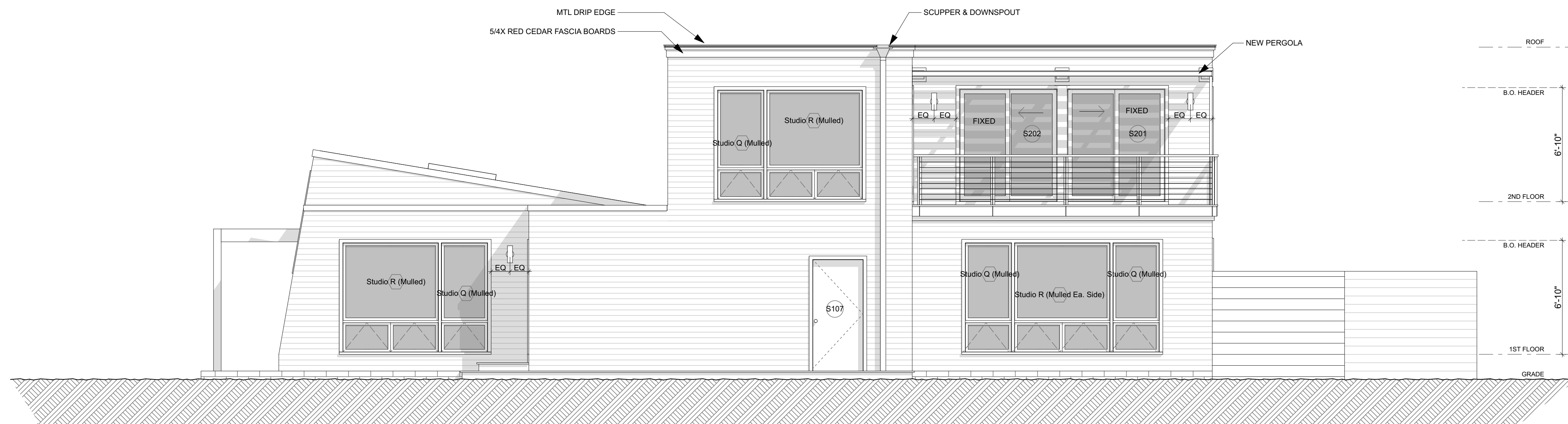
1 STUDIO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 STUDIO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 STUDIO WEST ELEVATION EXISTING
SCALE: 1/4" = 1'-0"



1 STUDIO WEST ELEVATION
SCALE: 1/4" = 1'-0"