



Truro Conservation Commission

Monday January 8, 2024
Hybrid Meeting start at 5:00 PM
Truro Town Hall, 24 Town Hall Rd

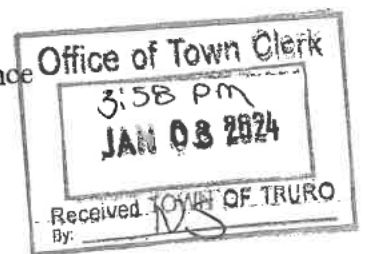
PUBLIC MEETING AGENDA

This will be a hybrid meeting. Citizens can view the meeting on Channel 8 in Truro and on the Town's website on the "Truro TV Channel 8" button under "Helpful Links" on the homepage. Once the meeting has started, click on the green "Watch" button in the upper right of the page. **To provide comment during the meeting, you can call in or email. To call-in toll free dial 1-646-558-8656 and enter the following Meeting ID when prompted: 881 4221 5586**

You can join this Zoom meeting from your computer, tablet or smartphone - <https://us02web.zoom.us/j/88142215586>
Please note that there may be a slight delay (15-30 seconds) between the meeting and the live-stream (and television broadcast). If you are watching the meeting and calling in, please lower the volume on your computer or television during public comment so that you may be heard clearly. We ask that you identify yourself when calling in; citizens may also provide public comment for this meeting by emailing the Conservation Agent at eebebe@truro-ma.gov with your comments.

I. PUBLIC HEARINGS: The Truro Conservation Commission holds these public hearings in accordance with the provisions of MGL Ch. 131, s. 40, MA Wetlands Protection Act and the Truro Conservation Bylaw, Chapter 8:

- 1. Notice of Intent: 522 Shore Road, Sutton Place Condominium (SE#75-1187):** coastal stabilization; Barrier Beach, Coastal Dune, and Land Subject to Coastal Storm Flowage. (Map 7, Parcel 8) *continued from 12/4/2023*
- 2. Notice of Intent: 432 Shore Road Unit 8, Travis & Anne Zukowski (SE#75-1191):** renovate existing building onto flood compliant foundation with two additions to footprint; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 9, Parcel 8.8) *continued from 12/4/2023?*
- 3. Notice of Intent: 402 Shore Road, Kevin Shea (SE#75-1193):** install seasonal beach access stairs within a shared easement with Ms. Murtagh; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 10, Parcel 22)
- 4. Notice of Intent: 15 Avocet Road, Richard Summers (SE#75-1194):** addition & deck; Buffer Zone to a Coastal Bank. (Map 39, Parcel 222)
- 5. Notice of Intent: 17 Coast Guard Road, Outer Shore Nominee Trust (SE#75-1195):** restoration of beach stairs; Coastal Bank, Coastal Beach, Land Subject to Coastal Storm Flowage. (Map 34, Parcel 3)
- 6. Notice of Intent: 4 River View Road, Stephen & Sharon Patrice:** landscaping; Riverfront Area & Buffer Zone to a Coastal Bank. (Map 50, Parcel 266)
- 7. Request for Determination of Applicability: 14 Salt Marsh Lane, Anna Poor:** building sewer line and abandonment of cesspool; Buffer Zone to a Coastal Bank. (Map 54, Parcel 7)
- 8. Request for Determination of Applicability: 40 South Pamet Road, Benoit & Elizabeth Allehaut:** reduction in scope of work to a previously approved Order of Conditions; Riverfront Area, Land Subject to Coastal Storm Flowage, Buffer Zone to a Bordering Vegetated Wetland and Coastal Bank. (Map 51, Parcel 40)
- 9. Extension Request:** MassDOT, SE# 75-0951- request for 3 years for maintenance



10. Field Change: 4 Kill Devil Road, SE# 75-1102- remove elevated wood access walkway

11. Certificates of Compliance: (1) 4 Rolling Hills Road, SE# 75-1117; (2) 15 Uncle Irv's Way, SE# 75-1132;
(3) 16 Great Pond Road, SE# 75-0892

12. Administrative Review application- 334 Shore Road, Emergency Nourishment

13. Minutes- November, December 2023

Site visits: Commissioners will meet at Town Hall on Monday, January 8, 2024, at 10:00 AM and proceed to:

- (1) 14 Salt Marsh Lane
- (2) 4 River View Road
- (3) 40 South Pamet Road
- (4) 17 Coast Guard Road
- (5) 15 Avocet Road
- (6) 402 Shore Road

ECR

Environmental Consulting & Restoration, LLC



January 2, 2024

Town of Truro
Conservation Commission
24 Town Hall Road
P.O. Box 2030
Truro, MA 02666

RE: Notice of Intent, Proposed Coastal Stabilization Project, 522 Shore Road, North Truro, MA

Dear Members of the Conservation Commission:

In response to a request for more information regarding dune restoration as discussed at the last public hearing, we provide the following baseline elevations and attached color sketches.

The baseline elevations for consideration include the top of sturdy drift posts (12 feet), unit patio/deck (9 feet) and the unaltered/vegetated dune beyond Unit 18 (15 feet). Four figures are attached that show three basic considerations for rebuilding and managing the dune which protect the cottages on the bayside of Shore Road. Each of the figures represent a cross section that shows the biodegradable materials and the area of sand necessary for different heights and widths of the dune located between the existing sand drift fence and the permitted use area located 15 feet seaward of the deck/patios.

Figure 1 represents the initial proposal with a narrow dune having a crest elevation equal to the height of the fence posts. Figures 2 and 2a represent alternative materials and a wider, flat top dune level with the top of the fence posts. Figure 3 represents a similar dune width as shown in Figures 2 and 2a, but with a crest elevation equal to that of the unaltered/vegetated dune beyond Unit 18. At this time, field measurements and dune volume estimates are being made for the different options and should be available for presentation at the next hearing.

The Applicant respectfully requests approval of the project represented in Figures 2 or 2a. The increased dune width and the potential for windblown sand to establish a crest will be effective in providing a restored dune that benefits both the environment and existing land uses.

We look forward to discussing these project changes with the Commission at the January 8th hearing. If you have any questions, please contact me at (617) 543-1654.

Sincerely,
Environmental Consulting & Restoration, LLC

Stan Humphries

Stan Humphries
Coastal Geologist

CC: Department of Environmental Protection, Wetland Division, 20 Riverside Drive, Lakeville, MA 02347

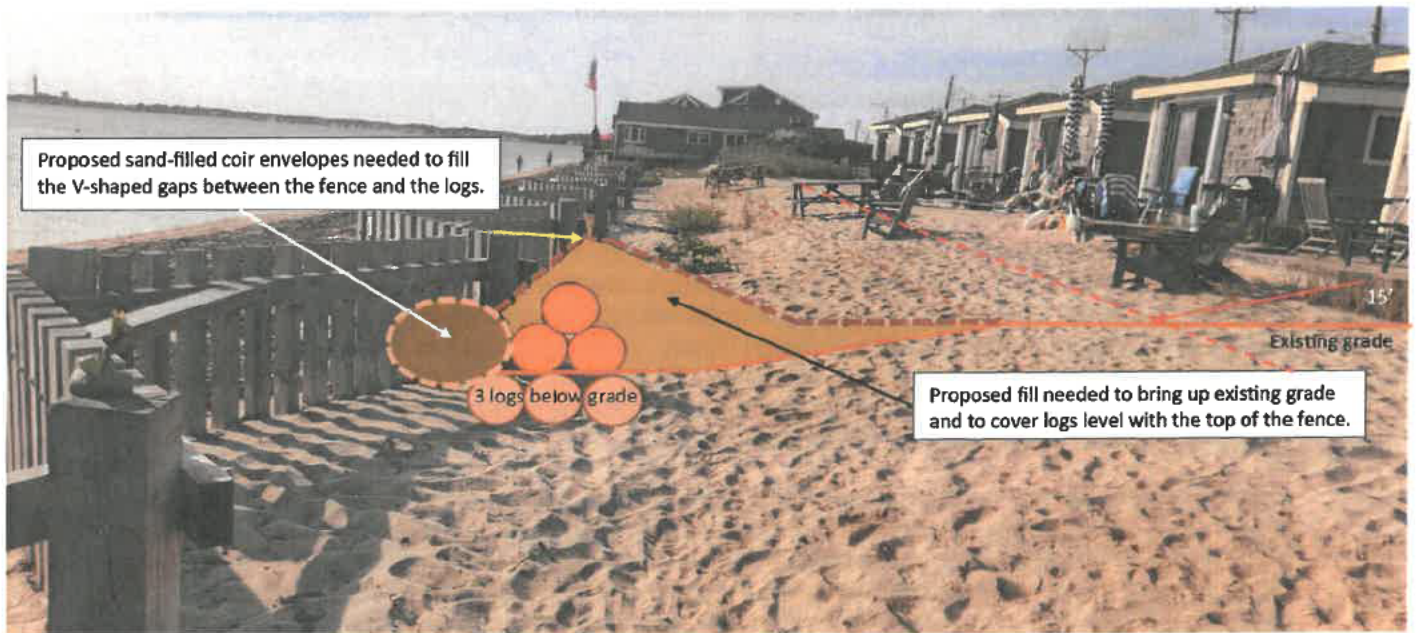


Figure 1. Detailed cross-section of the three proposed components of restoring and protecting the Primary Frontal Dune: 1) coir envelopes; 2) coir logs; and, dune nourishment planted with beach grass.

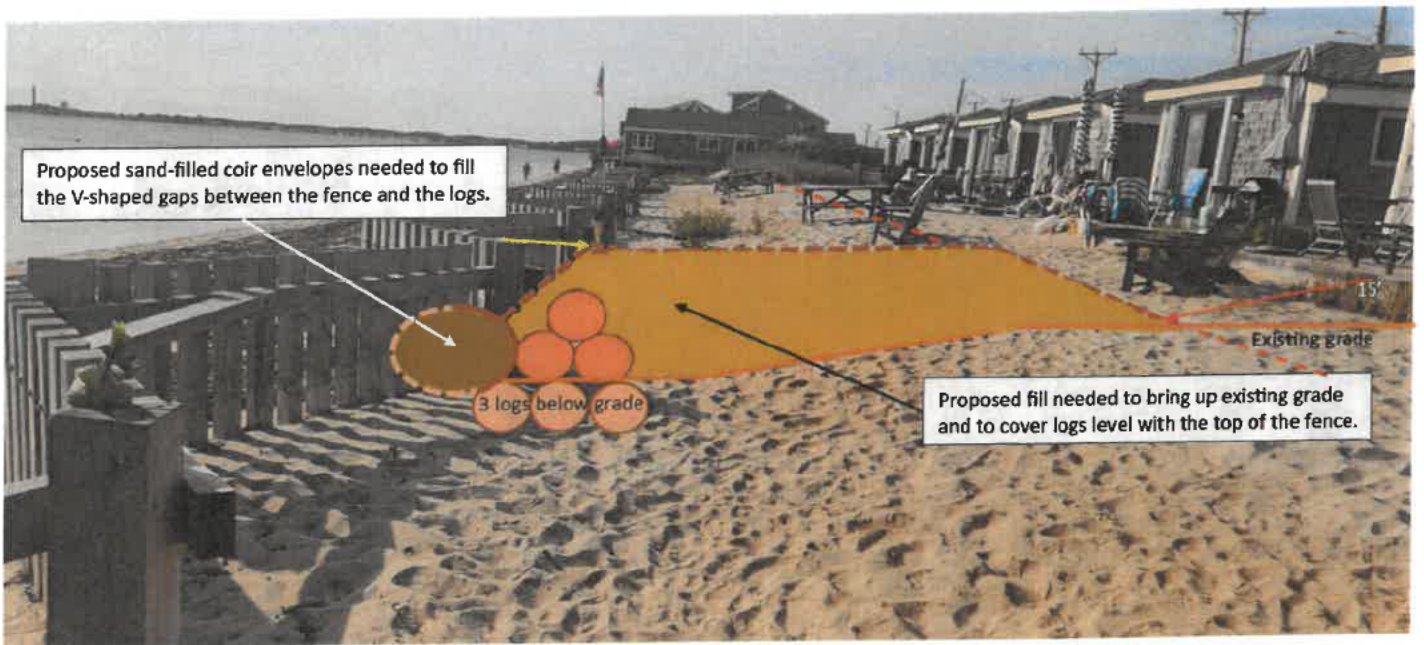


Figure 2. Detailed cross-section of the three proposed components of restoring and protecting the Primary Frontal Dune: 1) coir envelopes; 2) coir logs; and, dune nourishment planted with beach grass.

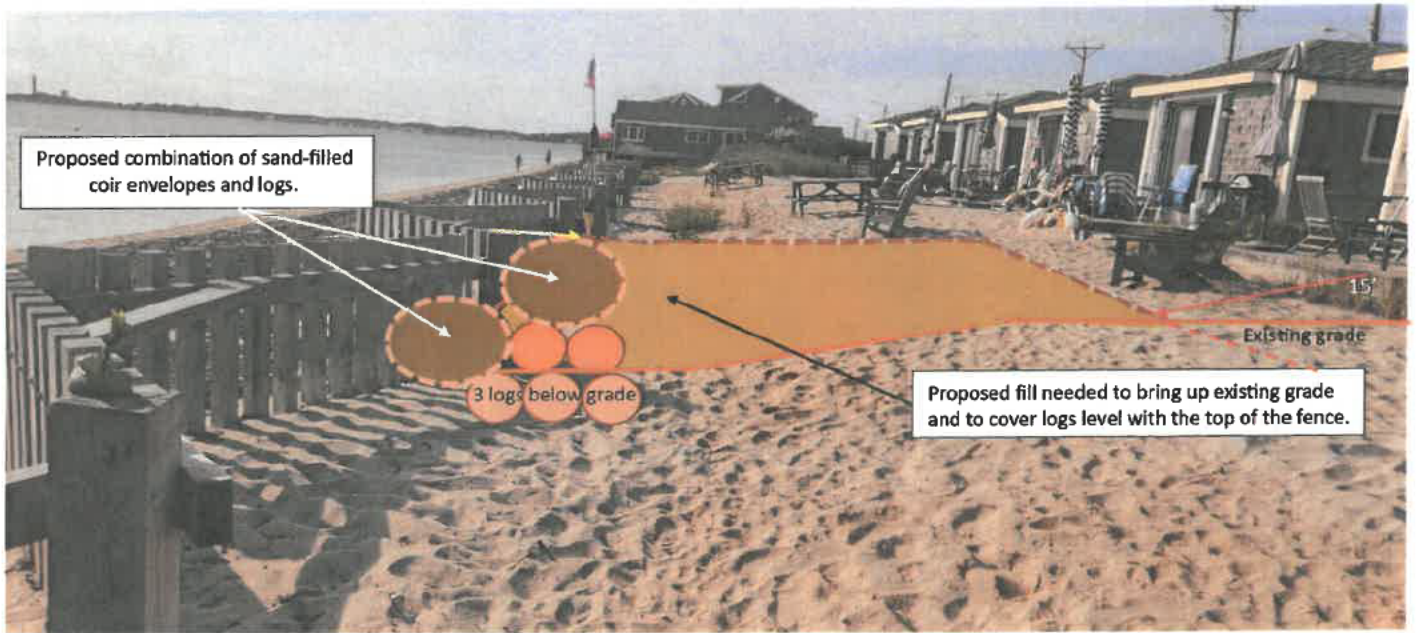


Figure 2a. Detailed cross-section of the three proposed components of restoring and protecting the Primary Frontal Dune: 1) coir envelopes; 2) coir logs; and, dune nourishment planted with beach grass.

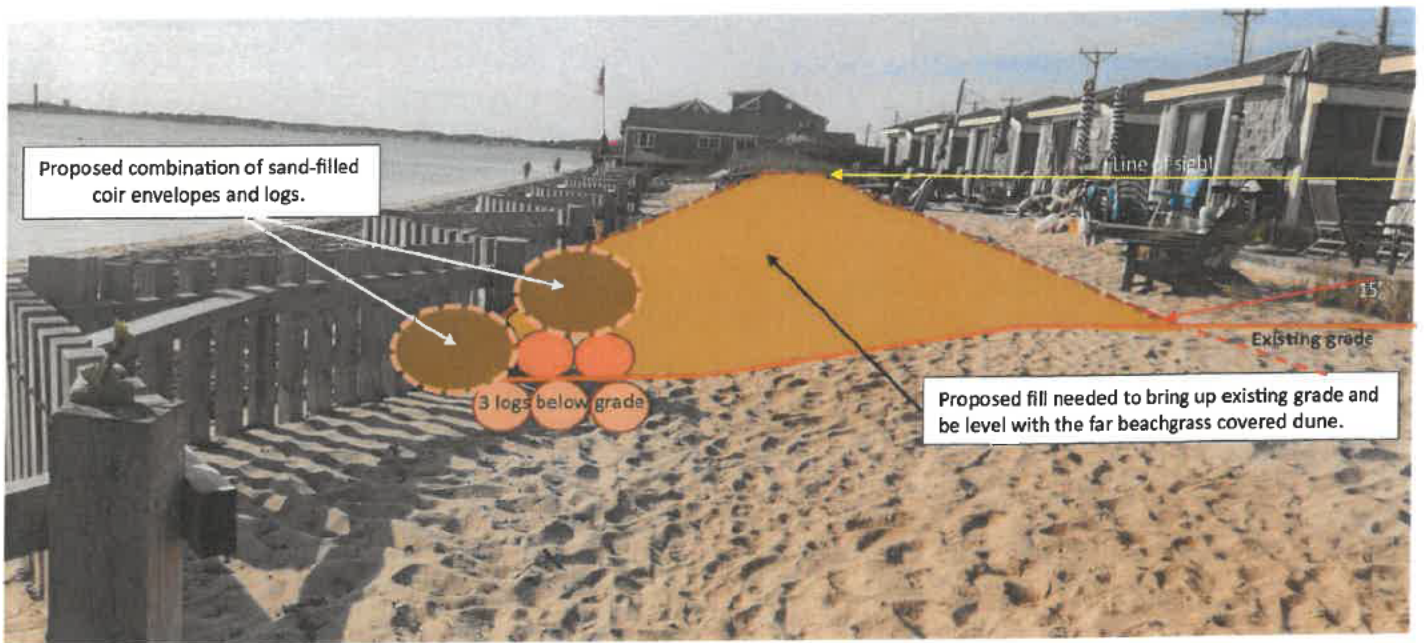


Figure 3. Detailed cross-section of the three proposed components of restoring and protecting the Primary Frontal Dune: 1) coir envelopes; 2) coir logs; and, dune nourishment planted with beach grass.

7/8

Emily Beebe

From: Emily Beebe
Sent: Thursday, December 21, 2023 7:20 AM
To: Emily Beebe
Subject: sutton place 12-20







Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Truro

City/Town

Conservation Commission
TOWN OF TRURO

NOV 21 2023

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>402 Shore Road</u>	<u>Truro</u>	<u>02652</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	<u>42d 3m 10s</u>	<u>70d 7m 00s</u>
	d. Latitude	e. Longitude
<u>10</u>	<u>22</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Julie</u>	<u>Murtagh</u>
a. First Name	b. Last Name
<u></u>	<u></u>
c. Organization	
<u>27 Old Chatham Road</u>	
d. Street Address	
<u>Brewster</u>	<u>MA</u>
e. City/Town	f. State
<u></u>	<u>02631</u>
h. Phone Number	i. Fax Number
<u></u>	<u></u>

3. Property owner (required if different from applicant): Check if more than one owner

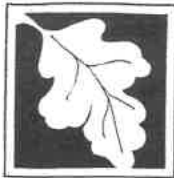
<u>Kevin</u>	<u>Shea</u>
a. First Name	b. Last Name
<u></u>	<u></u>
c. Organization	
<u>357 Harvard Street</u>	
d. Street Address	
<u>Cambridge</u>	<u>MA</u>
e. City/Town	f. State
<u></u>	<u>02138</u>
h. Phone Number	i. Fax Number
<u></u>	<u></u>
	j. Email address
	<u></u>

4. Representative (if any):

<u></u>	<u></u>
a. First Name	b. Last Name
<u></u>	<u></u>
c. Company	
<u></u>	
d. Street Address	
<u></u>	<u></u>
e. City/Town	f. State
<u></u>	<u></u>
h. Phone Number	i. Fax Number
<u></u>	<u></u>
	j. Email address
	<u></u>

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$10</u>	<u>\$42.50</u>	<u>\$167.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Installation of removable aluminum beach stairs extending from existing bulkhead to beach.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Barnstable

a. County

31521

c. Book

b. Certificate # (if registered land)

128

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54–10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland** _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____	b. square feet within 100 ft. _____	c. square feet between 100 ft. and 200 ft. _____
----------------------------	-------------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____ 2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input checked="" type="checkbox"/> Coastal Beaches	35 sf 1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____ 2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	

Conservation Commission
TOWN OF TRURO
NOV 21 2020

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

2022
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site
- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing.

a. NHESP Tracking # _____

b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
 the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



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D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.
 Plan of Land in (No.) Truro Depicting Proposed Replacment Bulkhead, dated Oct. 2018,
 (associated with approval under OOC SE 075-1058, showing location of beach resource areas;
 t. William N. Rogers, II, PE,
 b. Prepared By c. Signed and Stamped by
 d. Final Revision Date e. Scale
 See also, Measured Drawing of Alumidock Stair Layout, Measured
 Drawing of Existing Conditions at Easement Stair Location. g. Date
- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

Conservation Commission
TOWN OF TRURO
NOV 21 2023

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number	<u>428</u>	<u>\$167.50</u>	3. Check date	<u>11/18/23</u>
4. State Check Number	<u>429</u>	<u>\$ 42.50</u>	5. Check date	<u>11/18/23</u>
6. Payor name on check: First Name	<u>Kevin</u>		7. Payor name on check: Last Name	<u>Shea</u>



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	11/16/23
2. Date	6/13/23
3. Signature of Property Owner (if different)	4. Date
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Project Narrative
Application for Notice of Intent - Seasonal Staircase

Applicant Julie Murtagh seeks an Order of Conditions to approve the placement of a seasonal set of aluminum stairs and landing on the property at 402 Shore Road (the Property) to reach the waters of Cape Cod Bay. The Property is owned by Kevin Shea, a portion of which is subject to easement rights¹ held by Ms. Murtagh, inclusive of that portion of the Property upon which the aluminum staircase and landing are proposed. The proposed staircase provides access to the waters of Cape Cod Bay, as consistent with that Decision of the Land Court (Roberts, J.) confirming the extent and location of easement rights of the Applicant.

Through the Notice of Intent (NOI) filing, the Applicant proposes to construct a set of removable aluminum stairs, commencing from the existing approved bulkhead at 402 Shore Road onto the beach. The landing area of the stairs will be approximately 3'7" x 3'4", with the stairway width of 29 ¼", to a maximum width of 34 ½" at the beach. The length the staircase is approximately 10'. Color photographs of representative staircase installments, included at Tab 5, are provided for the Commission's benefit.

The only work that proposed through this NOI is the work associated with the seasonal staircase to access the waters of Cape Cod Bay. No other work is proposed within any other portion of 402 Shore Road.

No portion of the proposed project is located in Estimated Habitat or Rare Wildlife, according to the most recent (2022) maps of the Natural Heritage Endangered Species Program. Accordingly, no MESA filing is required.

The attached documents will provide background and details regarding this project.
Please find attached:

1. Photo of New Bulkhead at 402 & 398 Boundary where stair will be constructed
2. Site Plan titled "Plan of Land in Truro Depicting Proposed Replacement Bulkhead," dated October 2018, William N. Rogers II, P.E., P.L.S.²
3. Measured Drawing of Existing Conditions at Easement Stair Location
4. Measured Drawing of Alumidock Stair Layout
5. Photo of Typical Aluminum Beach Stair to be installed by CMI Marine Products
6. North Truro NHESP Map (2022) identifying the Locus
7. North Truro USGS Map identifying the Locus

¹ Ms. Murtagh and Ms. Porzio own the property at 393 Shore Road and are the holders of a right-of-way easement across the Property and attendant beach easement. The easement rights of Ms. Murtagh and Ms. Porzio have been determined by the Land Court, Docket 20-MISC-000195, inclusive of a defined easement across the Property to reach the waters of Cape Cod Bay as well as an easement for beach purposes.

² The 2018 Site plan is provided for the Commission's edification, as it depicts the location of the bulkhead approved by the Commission under a separate Order of Conditions (DEP File No. SE 075-1058) issued on December 21, 2018; the proposed staircase as described in within the current NOI application will extend from such constructed bulkhead onto the beach.

TAB 1

{00275722;v1}

3

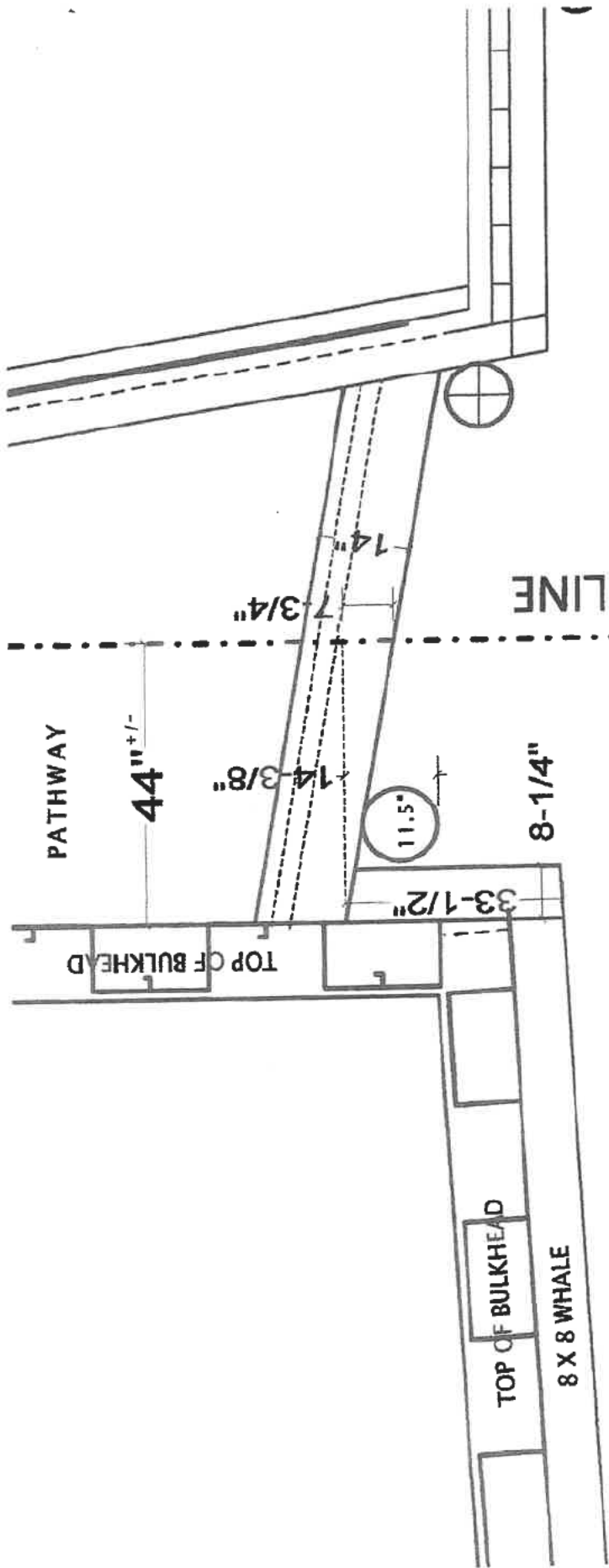


DOC 2 P
NEW BULKHEAD AT 402 & 398 BOUNDARY
7/15/2020

Conservation Commission
TOWN OF TOWN
JUL 21 2023

TAB 3

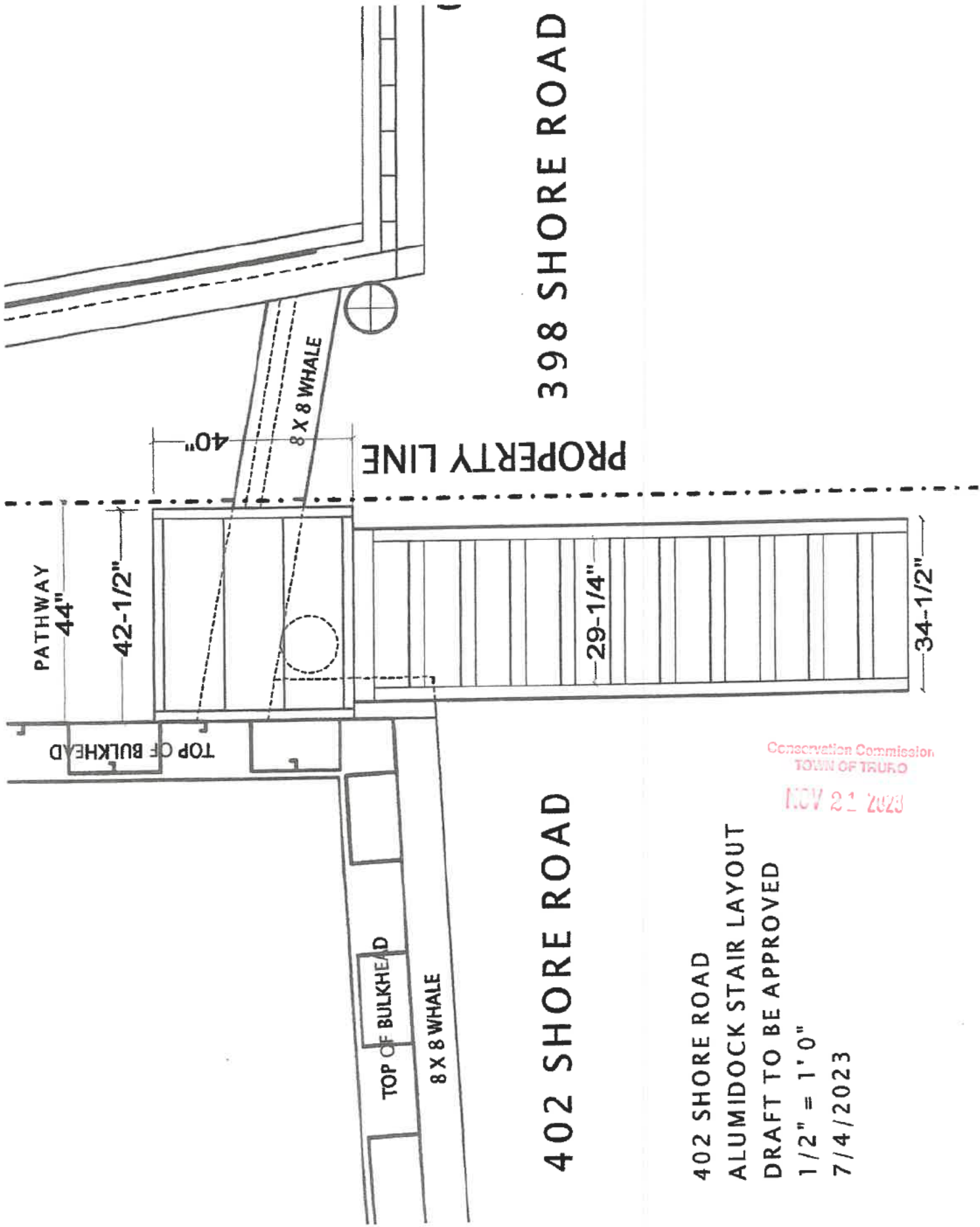
{00275722;v1}



398 SHORE ROAD

402 SHORE ROAD

402 SHORE ROAD
 EXISTING CONDITIONS AT
 EASEMENT STAIR LOCATION
 1/2" = 1' 0"
 7/4/2023



398 SHORE ROAD

PROPERTY LINE

402 SHORE ROAD

402 SHORE ROAD
 ALUMIDOCK STAIR LAYOUT
 DRAFT TO BE APPROVED
 1/2" = 1'0"
 7/4/2023

Conservation Commissioner
 TOWN OF TRURO
 NOV 21 2023

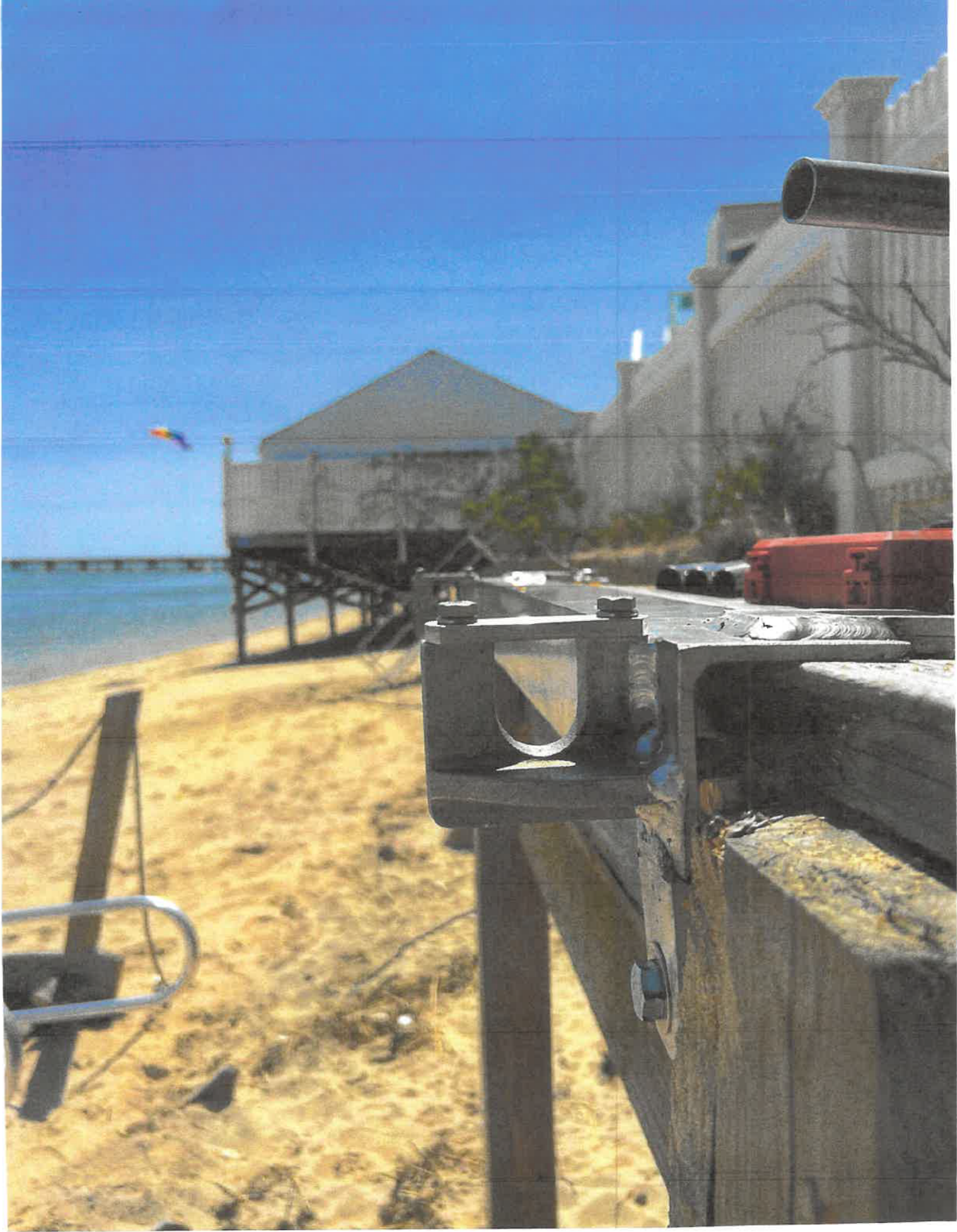








Construction Completed
12/11/2018
11/17/2018







TAB 6

Conservation Commissio.
TOWN OF TRURO
NOV 21 2023

NHESP Estimated Habitats of Rare Wildlife

NHESP Estimated Habitats of Rare Wildlife

NHESP Estimated Habitats of Rare Wildlife



The Estimated Habitats of Rare Wildlife datalayer contains polygons in Massachusetts that are a subset of the Priority Habitats of Rare Species. Published as a map service by MassGIS.

TAB 7

Conservation Commissioner
TOWN OF TRURO
NOV 21 2023



402
SHORE
ROAD

Peaked Hill Bar

TRURO

Pilgrim Lake

Pilgrim Lake

Pilgrim Heights

Pilgrim Springs

Moon Pond

Pond Village

Mt. Gilboa

Mt. Amherst

A
P
E

SCHOFIELD BROTHERS OF CAPE COD
Land Surveying and Environmental Permitting
161 Cranberry Highway
P.O. Box 101
Orleans, MA 02653-0101
508-255-2098 - 508-240-1215 (fax)
E-mail: schobro@capecod.net

**Narrative to Accompany a Notice of Intent
15 Avocet Road
in Truro, Massachusetts**

Site and Project Description

The 1.050 +/- square foot site is located at 15 Avocet Road in Truro, Massachusetts. (Please refer to the Locus Maps within this filing) The subject property overlooks Cape Cod Bay to the west. A single family dwelling currently exists on the site with associated utilities, driveway, septic system and private well. The project is the construction of a small addition and deck along with some plantings of native trees and shrubs.

Coastal Wetland Resource Areas

Cape Cod Bay and Coastal Beach

The subject parcel abuts Cape Cod Bay and its associated Coastal Beach to the west.

Land Subject to Coastal Storm Flowage

The coastal flood zone or Land Subject to Coastal Storm Flowage in this vicinity is delineated by Zone VE, elevation 15 according to FEMA Flood Insurance Rate Map 250010C0139J dated 7/16/2014.

Coastal Bank

A coastal bank associated with Cape Cod Bay is located on the subject parcel. The coastal bank acts as a vertical storm buffer, protecting adjacent upland areas from storm damage and flooding and this coastal bank also provides sediment to the coastal beach.

The top of the coastal bank has been delineated according to Wetlands Program Policy #92-1 issued by DEP. In this case, the coastal bank has a slope greater than 4:1, therefore the top of the bank is the point above the 100-year flood elevation where the slope becomes less than 4:1 (Figure 2 of Policy 92-1).

The coastal bank is the most landward of the coastal wetland resource areas affecting the subject parcel pursuant to the Massachusetts Wetlands Protection Act and the Truro Conservation Regulations. The 50 foot and 100-foot protective buffer zones from the top of the coastal bank overlap the parcel and are shown on the attached site plan.

Project Description / Construction Protocol

Installation of Erosion Control

Prior to any disturbance on the site, erosion control, in the form of a haybale or straw wattle/ silt fence barrier will be installed. The silt fence barrier shall remain in place until all disturbed areas have been stabilized upon completion of the project or returned to their original condition. The silt fence barrier is also intended to act as a work limit / limit of disturbance. Details and location of the erosion control barrier are shown on the site plan.

Construction Access and Staging

The existing driveway will be utilized for construction access and staging of the project. Construction debris shall be properly disposed of, and good housekeeping measures shall be observed on site during construction.

Proposed Addition and Deck

The proposed addition will enclose approximately 24+/- square feet within existing exterior walls and under the roofline of the existing dwelling. A 45+/- square foot deck is also proposed. The deck is proposed almost entirely over the footprint of an existing brick patio. The addition and the deck will be supported on sonotubes. The existing brick wall and patio will be re-built upon completion of construction. Please refer to the enclosed building plans and photos for further detail.

The buffer zone overlaps the existing dwelling and so it is not possible to avoid siting the addition in the buffer zone. The 24+/- square foot addition has been designed to fall within the footprint of the existing dwelling and to provide as much distance to the top of the coastal bank as possible.

The existing versus proposed amount of alteration within the 0-50 and 50-100 foot buffer zone is tabulated on the attached site plan. A total of 4 square feet of new alteration is proposed on site including the addition, decks, and rebuilt brick wall.

Alternatives Analysis

The proposed project reflects the consideration of alternatives performed during the planning process of the project:

- The location of the addition was chosen to keep the addition within the footprint of the existing dwelling to maximize the distance to the top of the coastal bank, and to keep the deck within a previously disturbed area (over the brick patio).
- The pilings proposed to support the addition were favored over a full foundation or frost wall to minimize disturbance to the site.

Roof Runoff/Drywell

Roof runoff from the addition will be collected with gutters and downspouts and directed into a drywell.

Septic System

The addition will provide additional habitable space but will not increase the design flow of the existing septic system; therefore, no changes to the septic system are proposed.

Proposed Native Plantings

Native plantings of red cedar trees and juniper shrubs are proposed for their ability to thrive in dry sandy soils, their tolerance of wind and salt spray, and because of the benefits they offer a variety of wildlife including cover, nesting habitat, and forage. Please refer to the plan for their proposed location, size and spacing. The number of natives shown on the plan is to be minimally provided; the homeowners would like to be able to add additional native species.

MA Wetlands Protection Act Performance Standards

Coastal Bank

The coastal bank at the subject property acts as a vertical buffer protecting adjacent upland areas from flooding and storm damage. The coastal bank also supplies sediment to the coastal beach.

SCHOFIELD BROTHERS OF CAPE COD
Land Surveying and Environmental Permitting

When a coastal bank is determined to be significant to Storm Damage Prevention because it supplies Sediment to Coastal Beaches...310 CMR 10.3(3) through (5) shall apply:

(3) No new bulkhead, revetment, seawall, groin or other coastal engineering structure shall be permitted on such a coastal bank

No coastal engineered structure is proposed therefore this performance does not apply.

(4) Any project on a coastal bank or within 100 feet landward of the top of a coastal bank...shall not have an adverse effect due to wave action on the movement of sediment from the coastal bank to the coastal beaches or land subject to tidal action.

The project is located at the outer edge of the 100 foot buffer zone, is a small addition and deck on the landward side of the existing dwelling located well above the beach, land subject to tidal action or coastal storm flowage. This performance standard is met.

(5) The Order of Conditions and the Certificate of Compliance for any new building within 100 feet landward of the top of a coastal bank....

This performance does not apply; the building is existing – no new building is proposed.

As a vertical buffer to storm waters, the stability of the coastal bank is critical to its ability to provide for protection from storm damage prevention and/or flooding. When a coastal bank is determined to be significant to storm damage prevention or flood control because it is a vertical buffer to storm waters 310 CMR 10.30(6) through (8) shall apply:

(6) Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.

The building project is located in the outer buffer zone to the coastal bank within an existing footprint of development. Construction access is from the existing driveway predominately located outside of the buffer zone. There is minimal site disruption proposed with the project. The silt fence barrier is intended to act as a limit of work to protect the coastal bank. The project as proposed shall have no adverse effect on the stability of the coastal bank.

(7) Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such a bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.

No coastal engineering structures are proposed on the coastal bank in conjunction with this project, therefore this standard does not apply.

(8) Notwithstanding the provisions of 310 CMR 10.30 (3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

The project site is not within any specified habitat of rare vertebrate or invertebrate species; therefore, this performance standard is met.

Town of Truro Conservation Regulations Performance Standards

There is no work proposed within any of the wetland resource areas. The performance standards pertaining to the coastal bank were discussed in the prior section of this narrative.

With respect to the Truro Wetland Conservation Regulations *2.00 Additional Regulations for Wetland Resource Areas, 2.01: Buffer Zone, d. General Performance Standards:*

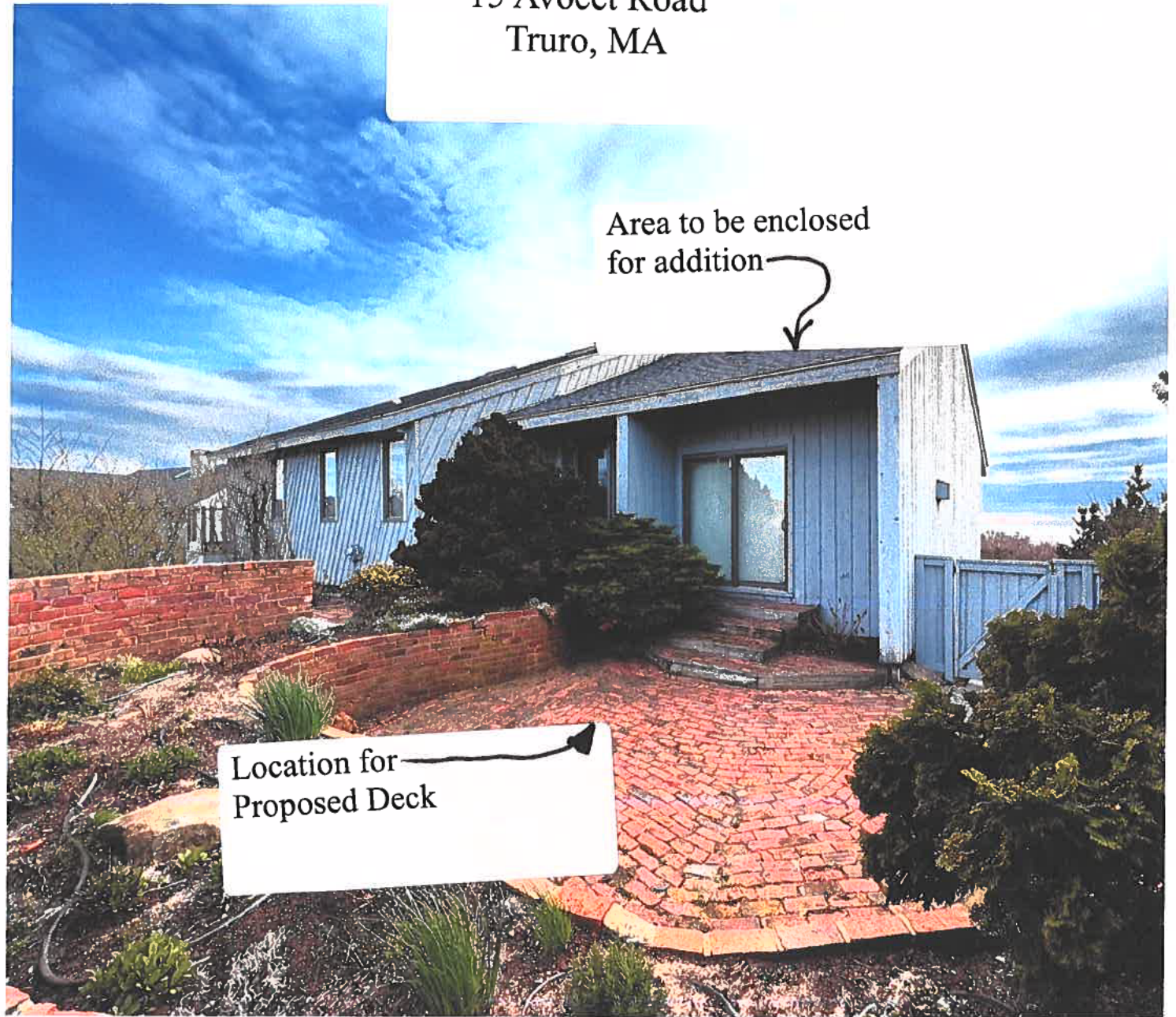
This is a previously developed property; however, the project has been designed to locate the addition and the septic system components as far as possible from the resource areas and the buffer zone. The addition will not be closer to the resource areas than existing conditions, and in fact is within the footprint of the existing dwelling. A variance from the 5,000-square foot threshold for allowable disturbance within the Buffer Zone is requested; as this property is pre-existing non-confirming with respect to the 5,000 square foot threshold of disturbance. Additional disturbance is negligible, with the exception of 4 square feet, the entire proposed project falls within the existing footprint of alteration. The roof runoff from the addition will be directed into a drywell in compliance with the local conservation regulations. There is no existing yard or proposed yard at this project site, undeveloped portions of the site are naturally vegetated providing large areas of the buffer zone and uplands on the site with native vegetation.

Pursuant to the Town of Truro Conservation Regulations the project should not have an adverse impact, immediate or cumulative, upon the public interest and values identified in the Truro Conservation Regulations; erosion and sedimentation controls are proposed during construction and upon completion of the project in terms of a drywell to handle the roof runoff. Proposed plantings of the red cedar trees and juniper shrubs will add a component of wildlife benefit to the project.

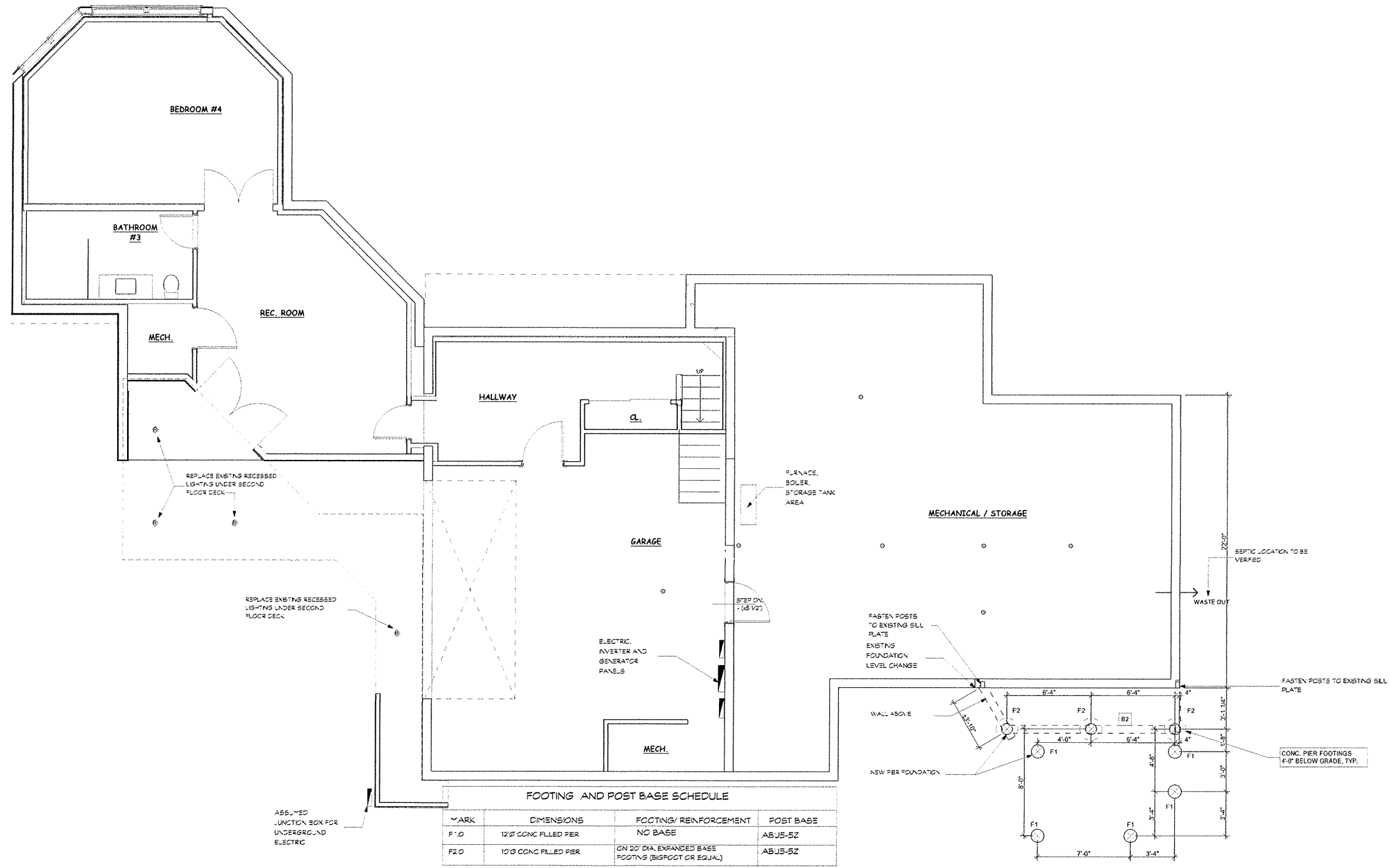
15 Avocet Road
Truro, MA

Area to be enclosed
for addition

Location for
Proposed Deck



Ruben Valenzuela
Architect, LEED AP, BD&C
508-240-0843
www.CAPECODARCH.com
ruben@capecodarch.com



1 Foundation Plan
SCALE: 1/4" = 1'-0"

Structural Review Set

S-1.0P Pier Foundation Plan Option

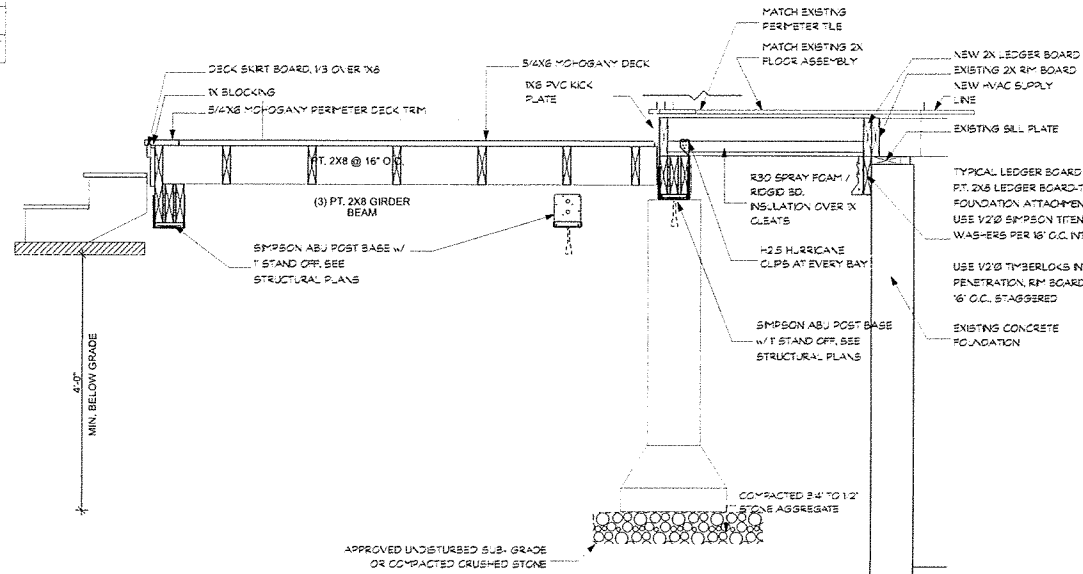
Summers-Bloom Residence
15 Avocet Rd.
Truro, MA

Peter McDonald Architect, LLC
PO Box 888
North Eastham, Massachusetts 02651
Phone: 508-240-0843
www.pcaarch.com

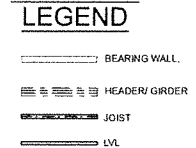
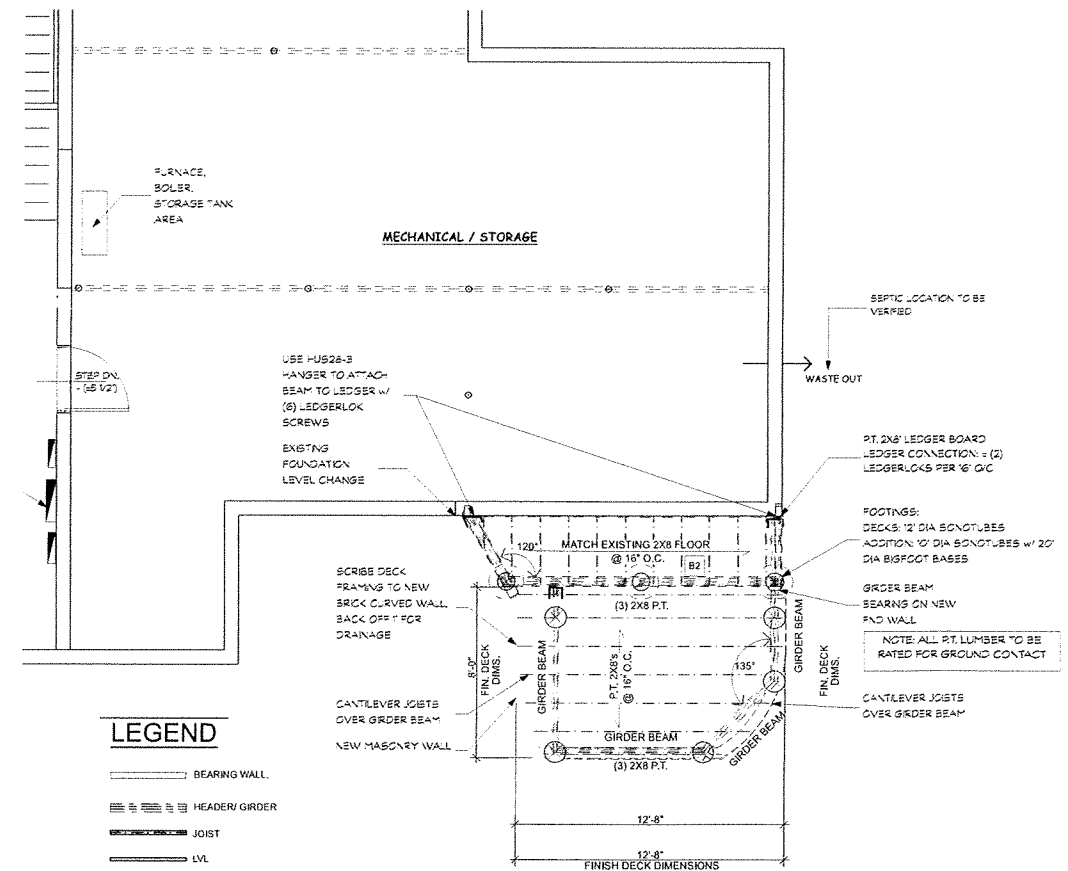
Print Date:
10/3/23

PMA Exterior Door Schedule							
ID	Manufacturer	Product Series	Type	Leaf Dimensions	Unit Size	Rough Opening W x H	Notes
01	Andersen 400 Series	FWG80611L	Frenchwood Gliding Patio Doors	7'-11 1/4"x6'-10 3/8"	8'-1 1/4"x6'-11 3/8"	8'-0" x 6'-11"	

Window Schedule					
ID	Manufacturer	Product Series	Type	Unit Dimensions W x H	Notes
A	Andersen 400 series	CW15	Casement	2'-4 3/8"x4'-11 7/8"	Replace existing windows with new, match existing dimensions
B	Andersen 400 series	Trapezoid	Complementary Specialty Window	6'-10"x1'-2"	similar to existing trapezoidal windows
C	Andersen 400 series	Trapezoid	Complementary Specialty Window	5'-0"x1'-1 1/4"	Replace existing trapezoid window, field verify exact dimension prior to ordering, ±5'-0" x 1'-1 1/4" approximate size.



4 PIER FOUNDATION/ DECK DETAIL
SCALE: 3/4" = 1'-0"



1 First Floor Framing Plan
SCALE: 1/4" = 1'-0"

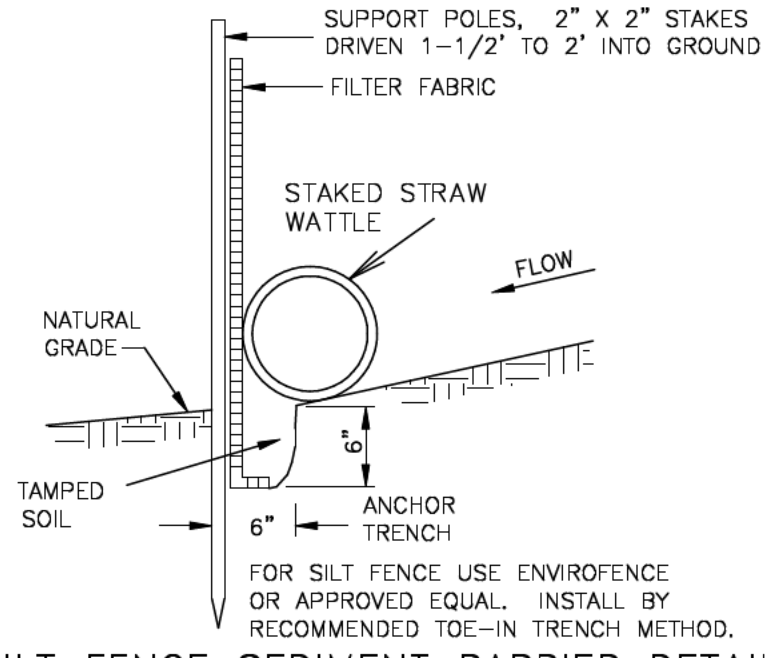
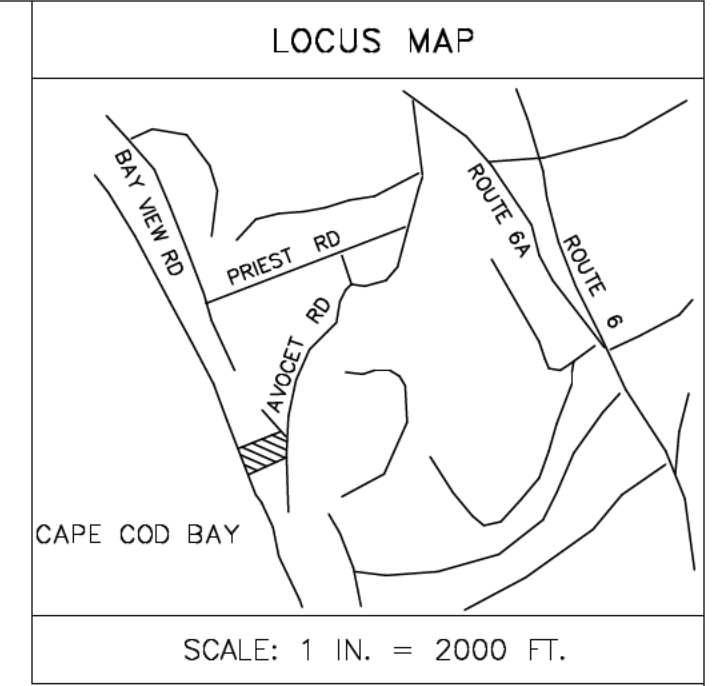
Print Date: 10/9/23

Peter McDonald Architect, LLC
PO Box 888
North Eastham, Massachusetts 02651
Phone: 508-240-0843
www.petermcdonaldarch.com

Summers-Bloom Residence
15 Avocet Rd.
Truro, MA

Structural Review Set

S-2.1P
1st Floor Framing, Shearwall Plan, Window/ Door Schedules



SILT FENCE SEDIMENT BARRIER DETAIL
(NO SCALE)

NOTES

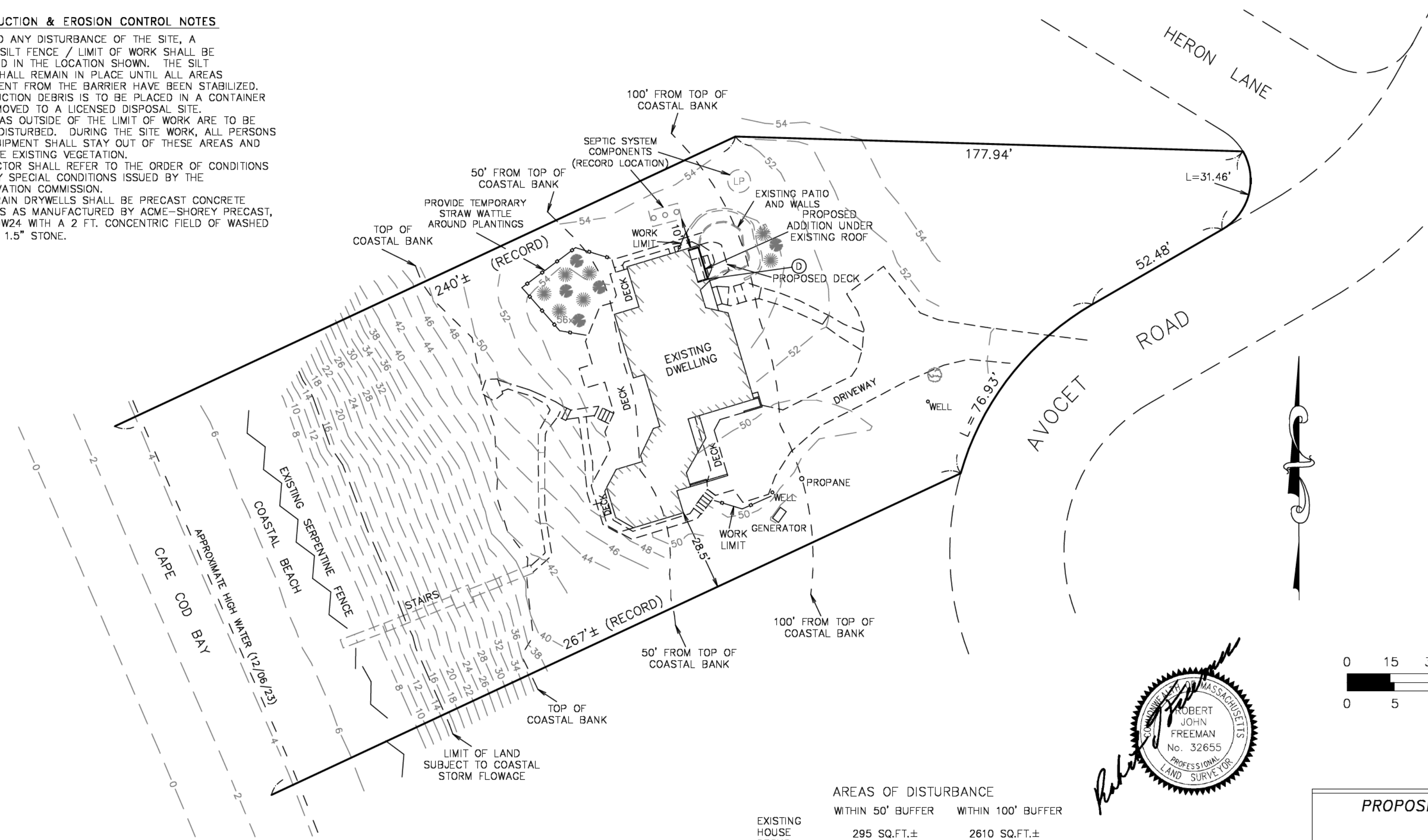
- 1.) THE LOWER PORTION OF THE COASTAL BANK FALLS WITHIN FLOOD ZONE VE (EL 15 FEET) FLOOD INSURANCE RATE MAP 25001C 0139J
- 2.) AS MUCH AS POSSIBLE, CARE SHALL BE TAKEN TO AVOID UNNECESSARY DISRUPTION TO EXISTING VEGETATION.

CONSTRUCTION & EROSION CONTROL NOTES

1. PRIOR TO ANY DISTURBANCE OF THE SITE, A STAKED SILT FENCE / LIMIT OF WORK SHALL BE INSTALLED IN THE LOCATION SHOWN. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIER HAVE BEEN STABILIZED.
2. CONSTRUCTION DEBRIS IS TO BE PLACED IN A CONTAINER AND REMOVED TO A LICENSED DISPOSAL SITE.
3. ALL AREAS OUTSIDE OF THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUT OF THESE AREAS AND PRESERVE EXISTING VEGETATION.
4. CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS AND ANY SPECIAL CONDITIONS ISSUED BY THE CONSERVATION COMMISSION.
5. ROOF DRAIN DRYWELLS SHALL BE PRECAST CONCRETE DRYWELLS AS MANUFACTURED BY ACME-SHOREY PRECAST, MODEL DW24 WITH A 2 FT. CONCENTRIC FIELD OF WASHED 3/4" TO 1.5" STONE.

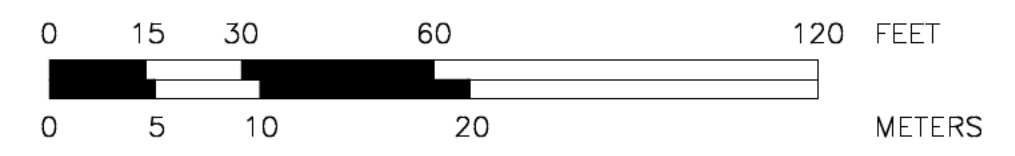
PROJECT DATA

- 1: ASSESSOR'S MAP 39 - PARCEL 222
- 2: OWNERS OF RECORD: RICHARD F. SUMMERS AND RONNIE L BLOOM
- 3: REFERENCE: LAND COURT CERT. 206624 LAND COURT PLAN 34915-C
- 4: ZONING CLASSIFICATION: RESIDENTIAL DISTRICT
- 5: LOT AREA
44,390± SQ.FT. TO APPROXIMATE MHW
29,390± SQ.FT. TO TOP OF COASTAL BANK



LEGEND

(D)	PROPOSED DRYWELL
(LP)	EXISTING LEACH PIT



AREAS OF DISTURBANCE

	WITHIN 50' BUFFER	WITHIN 100' BUFFER
EXISTING HOUSE	295 SQ.FT.±	2610 SQ.FT.±
DECKS	754 SQ.FT.±	1278 SQ.FT.±
WALKS	375 SQ.FT.±	712 SQ.FT.±
DRIVEWAY	0 SQ.FT.±	650 SQ.FT.±
PATIO	0 SQ.FT.±	214 SQ.FT.±
TOTAL	1424 SQ.FT.±	5464 SQ.FT.±
PROPOSED HOUSE	295 SQ.FT.±	2652 SQ.FT.±
DECKS	754 SQ.FT.±	1376 SQ.FT.±
WALKS	375 SQ.FT.±	637 SQ.FT.±
DRIVEWAY	0 SQ.FT.±	650 SQ.FT.±
PATIO	0 SQ.FT.±	153 SQ.FT.±
TOTAL	1424 SQ.FT.±	5468 SQ.FT.±

NATIVE PLANTINGS

NUMBER (MINIMUM)	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
7	(Sun symbol)	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4' - 6' TALL	8'-10' O.C.
5	(Star symbol)	JUNIPERUS COMMUNIS	PASTURE JUNIPER	1 GALLON	4'-5- O.C.

~ 15 AVOCET ROAD ~

PROPOSED SITE PLAN OF LAND IN TRURO, MA

PREPARED FOR:
RICHARD F. SUMMERS AND RONNIE L. BLOOM

SCALE: 1" = 30' DATE: DECEMBER 12, 2023
SCHOFIELD BROTHERS OF CAPE COD
PROFESSIONAL LAND SURVEYING AND ENVIRONMENTAL PERMITTING
P.O. BOX 101, 161 CRANBERRY HIGHWAY, ORLEANS, MA 02653
TEL. NO. 508-255-2098 FAX NO. 508-240-1215



NOTICE OF INTENT APPLICATION 17 COAST GUARD ROAD, TRURO

OUTER SHORE NOMINEE TRUST

In-kind Repair of Stairway embedded in Coastal Bank
To include the Repair of the Existing Railing System



Prepared By: Coastal Engineering Company, Inc.
December 19, 2023

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 Outstanding Resource Waters (ORW) 4

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Summary and Recommendations..... 6

Introduction

The subject property is located at 17 Coast Guard Road in Truro with the Atlantic Ocean to the East, Coast Guard Road to the West, and Residential Properties to the North and South. The property contains six (6) cottages, a trailer, a mobile home, several sheds, a gravel driveway/parking area, and a timber walkway leading up to the top and then down the coastal bank to the beach below.

The existing embedded timber steps which allow cottage residents safe access from the top of the coastal bank to the beach below without destruction of the bank have fallen into disrepair and as part of this project is proposed to be repaired in-kind.

The repair would be done in the existing footprint of the structure and as needed per tread, stringer or railing element.

Project Description and Goals

The purpose of the project is to allow for continued safe passage between the referenced property and the Coastal Beach while maintaining the current state of the coastal bank and limiting the possibility for deteriorating structural members to affect the resources around the structure as they continue to age.

The proposed project would serve to extend the lifespan of the existing structure as a whole by refurbishing or replacing aging and deteriorated members in-kind. Doing so will preserve both the functionality of the structure as well as reduce the likelihood of any impact to the surrounding resources.

Wetland Resource Areas and Performance Standards

The existing property is located along the Atlantic Ocean. The project area is within the FEMA Flood Zone X and VE (EL 16) as shown on the Firm Panel C25001C0137J. The project area is directly within the resource areas or within the 100' buffer to coastal resource areas that include Coastal Beach, Coastal Bank and Land Subject to Coastal Storm Flowage.

The resource areas are covered under the 310 CMR 10.00: Wetlands Protection Act Regulations as well as the Truro Conservation Regulations. We have addressed the potential impacts to these Resource Areas based on the Performance Standards under both the State and Local Wetland Protection Regulations in the following sections.

State Wetlands Protection Act 310 CMR 10.00

10.04: Land Subject to Coastal Storm Flowage

"land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater"

The Land Subject to Coastal Storm Flowage (LSCSF) does not have regulation performance standards, though it is a protected resource area and therefore approval is needed to perform work within the LSCSF. The FEMA 1% chance storm is also known as the 100-year storm, and the FEMA flood zone base flood elevation (BFE) is the landward limit of the LSCSF. On the subject property the FEMA flood zone is VE with a BFE of 16 feet NAVD88. A portion of the existing and therefore proposed repair, is within the LSCSF, though no change to the impacts in this area.

10.27: Coastal Beaches

"unconsolidated sediment subject to wave, tidal and coastal storm action which forms the gently sloping shore of a body of salt water and includes tidal flats. Coastal beaches extend from the mean low water line landward to the dune line, coastal bankline or the seaward edge of existing human-made structures, when these structures replace one of the above lines, whichever is closest to the ocean."

There is a Coastal Beach along the Atlantic Ocean. The existing stairway landing falls onto the coastal beach at the foot of the coastal bank. The Proposed work will not change the form or function of the landing in the Coastal Beach but will repair stair elements in-kind as needed to prevent deteriorated timber from littering the resource area and allow for the continued use of the stairway from the above property. As the structure is being replaced in-kind and within the same footprint as the existing there will be no adverse effect by increased erosion, change in volume or form of the coastal bank, or change in volume or form of the adjacent or downdrift coastal beach because of the work being proposed. No new structure is being proposed and no new fill is being proposed nor is any sediment being removed which would change the character or composition of the sediment. Any repairs done would be at the very edge of the flood zone and would not cause changes to water circulation or water quality. The project is within the priority or estimated habitats identified by Natural Heritage Endangered Species Program (NHESP).

10.30: Coastal Banks

"the seaward face or side of any elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland."

The proposed project will impact approx. 3 linear feet of Coastal Bank. The Proposed work will not change the form or function of the structure within the Coastal Bank but will repair stair elements in-kind as needed to prevent deteriorated timber from littering the resource area and allow for the continued use of the stairway from the above property. As the structure is being replaced in-kind and within the same footprint as the existing there will be no adverse effect by increased erosion, change in volume or form of the coastal bank, or change in volume or form of the adjacent or downdrift coastal beach because of the work being proposed. No new structure is being proposed and no new fill is being proposed nor is any sediment being removed which would change the character or composition of the sediment. Any repairs done would be at the very edge of the flood zone and would not cause changes to water circulation or water quality. The project is within the priority or estimated habitats identified by Natural Heritage Endangered Species Program (NHESP).

Truro Conservation Regulations

Truro has similar wetland regulations and performance standards to the State regulations and standards and therefore the majority of the referenced sections below will reference back to the text in the State regulation section. Truro also includes a 50' vegetated buffer strip for the top of the bank. The proposed project is entirely within the resource areas of coastal bank and coastal beach and so is discussed in those sections below and in the State regulations and standards above.

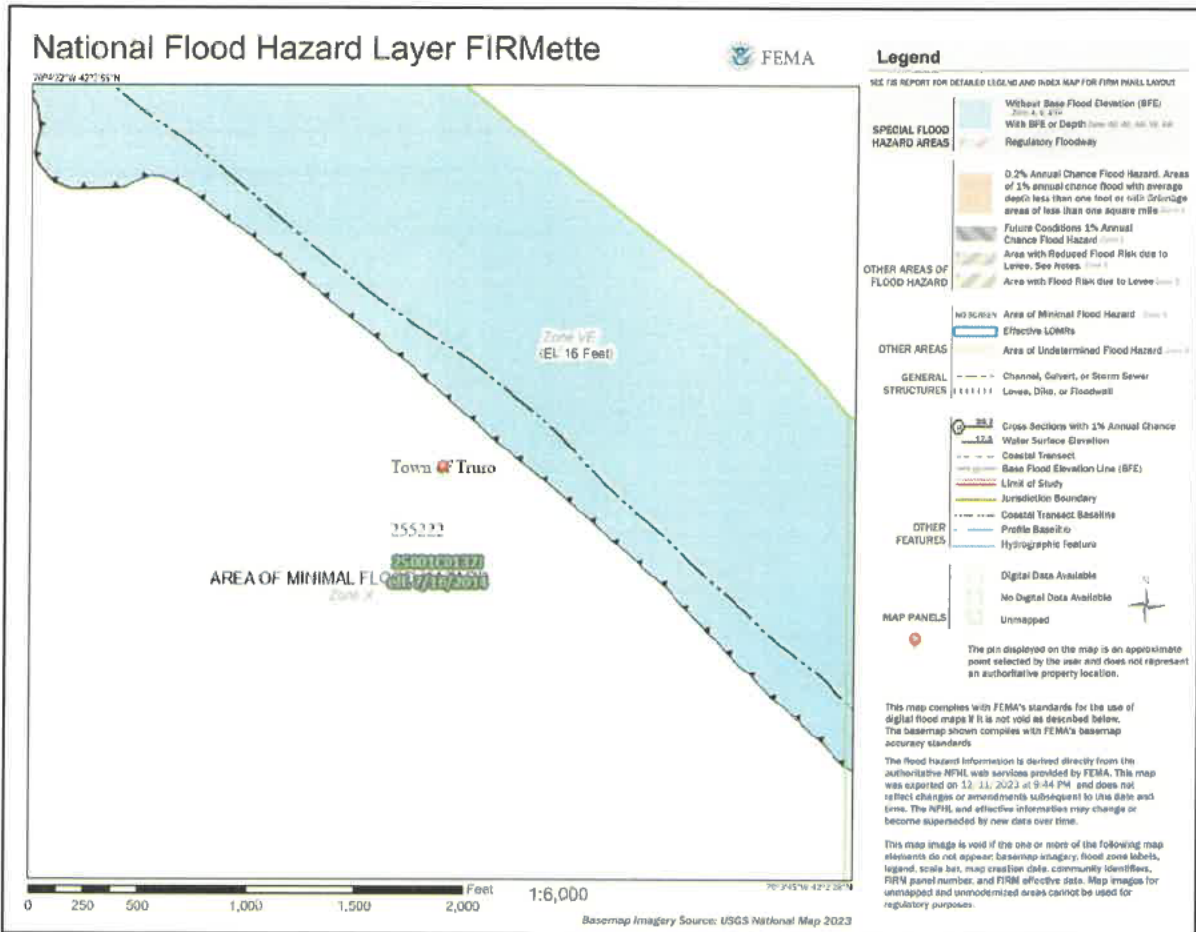
2.04: Coastal Banks

See Section on 310 CMR 10.30.

Other Protected Resource Areas

Other resource areas protected under regulations include FEMA flood zones, Natural Heritage Endangered Species Program (NHESP) priority and estimated habitats of rare wildlife species, Area of Critical Environmental Concern (ACEC), Outstanding Resource Waters (ORW) and Impaired Waters. The project site is not located within an ACEC nor is the Atlantic Ocean considered an Impaired Water.

FEMA



FEMA Firmette for the Project Locus

The project area is within the FEMA Flood Zone X and VE (EL 16) as shown on the Firm Panel C25001C0137J. These elevations are based on the North American Vertical Datum of 1988 (NAVD88).

Natural Heritage Endangered Species Program (NHESP)

This Project is within a mapped area of NHESP Priority Habitats of Rare Species and Wildlife. A copy of the plans and notice of intent filing will be sent to NHESP for review.

Outstanding Resource Waters (ORW)

This Project is within the Cape Cod National Seashore which is a Class SA Outstanding Resource Water for Shellfish. Any area within 1,000 feet seaward of the mean low water line is considered significant to the shellfish habitat. The proposed project will have no adverse effect on the shellfish habitat as all work will be done in-like kind and within the same footprint to not disturb the surrounding habitats. Construction materials will not be CCA or creosote treated to avoid leeching into the resource areas.

Alternatives Analysis

The following paragraphs describe the alternatives that were reviewed in the feasibility and design phases of the project development. The alternatives were reviewed based on reaching the project goals while minimizing impacts to the resource areas, constructability, and remaining economically feasible.

Alternative 1 – No Action

Alternative 1 is no action which would leave the bank and beach susceptible to debris from a failing structure and no longer provide a safe means of passage down the bank from the upland residence on the property.

Alternative 2 – Repair Stairway In-like Kind (preferred)

Alternative 2 includes repairing structural elements of the existing embedded stairway as needed to extend the life of the existing structure. The repairs would increase safety and remove deteriorated elements which could fall into the resource areas. This is the preferred alternative as it is the least invasive while maintaining current use of the structure and providing safe, non-destructive access down the coastal bank from the upland property.

Alternative 3 – Replacement of the Stairway

Alternative 3 includes replacing the stairway in the same general footprint as the existing but with an elevated, pile supported stairway. This alternative is not the preferred alternative at this time as it would include more construction level impacts to the bank, though the permanent impacts would be reduced as elevating the stairway allows for more coastal grasses to envelope that area under the stair that is currently walked on.

Construction Protocol**Prior to the Start of Construction:**

Prior to the start of any work there will be an on-site meeting to review the proposed project and to satisfy the Conservation Agent or Conservation Commission representative that the work will be done as specified. Work will not start till all pre-construction requirements outlined in the specifications and Order of Conditions.

On-Site Meeting:

Prior to the start of construction a meeting shall occur to discuss access and means of construction with the following individuals represented:

Construction Contractor
Coastal Engineering Co. Engineers, when applicable
Truro Conservation Commission Representative

Pre-Construction Requirements to be met by Contractor:

Proof and Certification of Insurance Coverage
Waiver, Release and Indemnification
Posting of DEP sign

Pre-Construction Requirements to be met by Owner:

Pre-construction photographs of the access, staging area, and project locus.

Access & Staging:

The access and staging will be from the parking area on the upland part of the property and through the walking path currently leading to the stairs.

Equipment:

During the course of construction, the following equipment will be used:

- Front End Loader
- Skid Steer
- Dump Trucks
- Miscellaneous hand tools

Work Completion and Vegetation Protocol:

Once Construction is complete and the Agent and Engineer have reviewed the project and determined all work to be satisfactorily complete, the access will be brought to pre-construction conditions. Upon completion of the construction effort, and as soon as weather permits the vegetation plan shall start to be implemented.

Post Construction Photographs:

The Owner, or Engineer shall supply the Conservation Commission with post-construction photographs of the access and staging area, and the project locus.

Summary and Recommendations

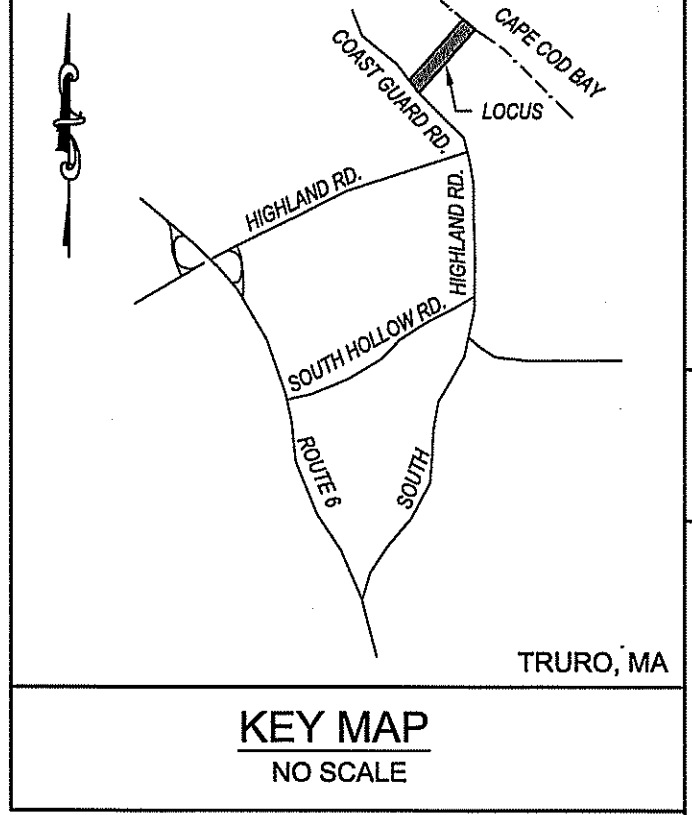
The overall project goals are to repair the existing stairway embedded in the coastal bank extending the safe useable lifespan while minimizing potential construction impacts to the resource areas.

Existing Staircase



BEACH ACCESS REPAIR NOTES:

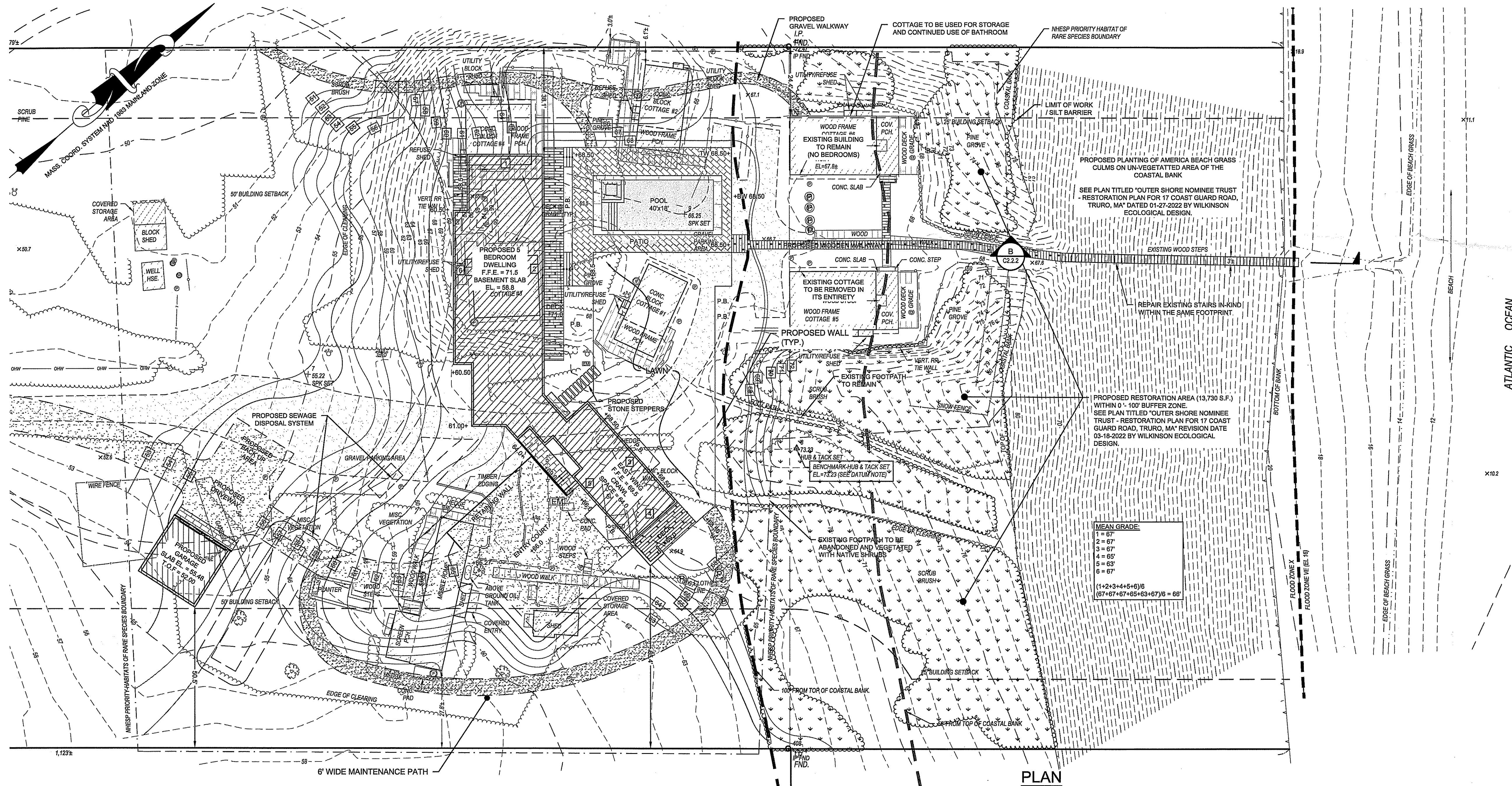
1. THE INTENT OF THE REPAIR IS TO USE THE EXISTING SUPPORT MEMBERS IN CONTACT WITH THE DUNE AND REPLACE DETERIORATED/UNSAFE MEMBERS.
2. STRUCTURAL MEMBERS ARE TO BE REPLACED IN KIND TO MATCH THE EXISTING CONDITIONS. NO CHANGES TO THE FOOTPRINT OR ELEVATIONS OF THE STAIR ARE PERMITTED.
3. REPLACED DECKING TO MATCH EXISTING. COMPOSITE MATERIAL MAY BE CONSIDERED AN EQUAL SUBSTITUTE (PENDING CONSERVATION COMMISSION APPROVAL).
4. REPLACED STRINGERS/JOISTS SHOULD MATCH THE DIMENSIONS AND SUPPORT CONDITIONS OF THE CURRENT MEMBERS. ALL NEW STRINGERS/JOISTS SHOULD BE #2 SOUTHERN PINE.
5. REPLACED GUARD POSTS AND DECKING TO BE #1 SOUTHERN PINE WITH 0.6 ACQ OR 0.23 MCA PRESERVATIVE TREATMENT.
6. ALL HARDWARE (NAILS, CONNECTORS, ETC.) SHOWING SIGNIFICANT DETERIORATION ARE TO BE REPLACED IN-KIND. MATERIAL TO BE STAINLESS STEEL PER ASTM STANDARDS.



KEY MAP
NO SCALE

Conservation Commission
TOWN OF TRURO
DEC 19 2023

BY	
DATE	
NO.	
REVISION	



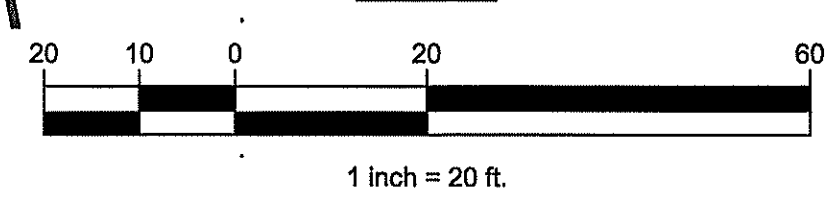
LEGEND

- BOUND
- IRON PIPE
- ⊙ SEPTIC MANHOLE
- ⊕ WATER GATE
- ⊖ IRRIGATION
- ⊙ UTILITY POLE
- GUY WIRE
- ⊙ ELECTRIC METER
- ⊙ PROPANE TANK
- ⊙ POST
- ⊙ MISC. SIGN
- WIRE/SNOW FENCE
- SPLIT RAIL FENCE
- STOCKADE FENCE
- UNDERGROUND ELECTRIC SERVICE
- ELECTRIC SERVICE
- CONTOUR
- ⊙ SPOT ELEV.
- ⊙ CONIFER TREE
- ⊙ DECIDUOUS TREE

MEAN GRADE:

1 = 67'
2 = 67'
3 = 67'
4 = 65'
5 = 63'
6 = 67'

(1+2+3+4+5+6)/6
(67+67+67+65+63+67)/6 = 66'



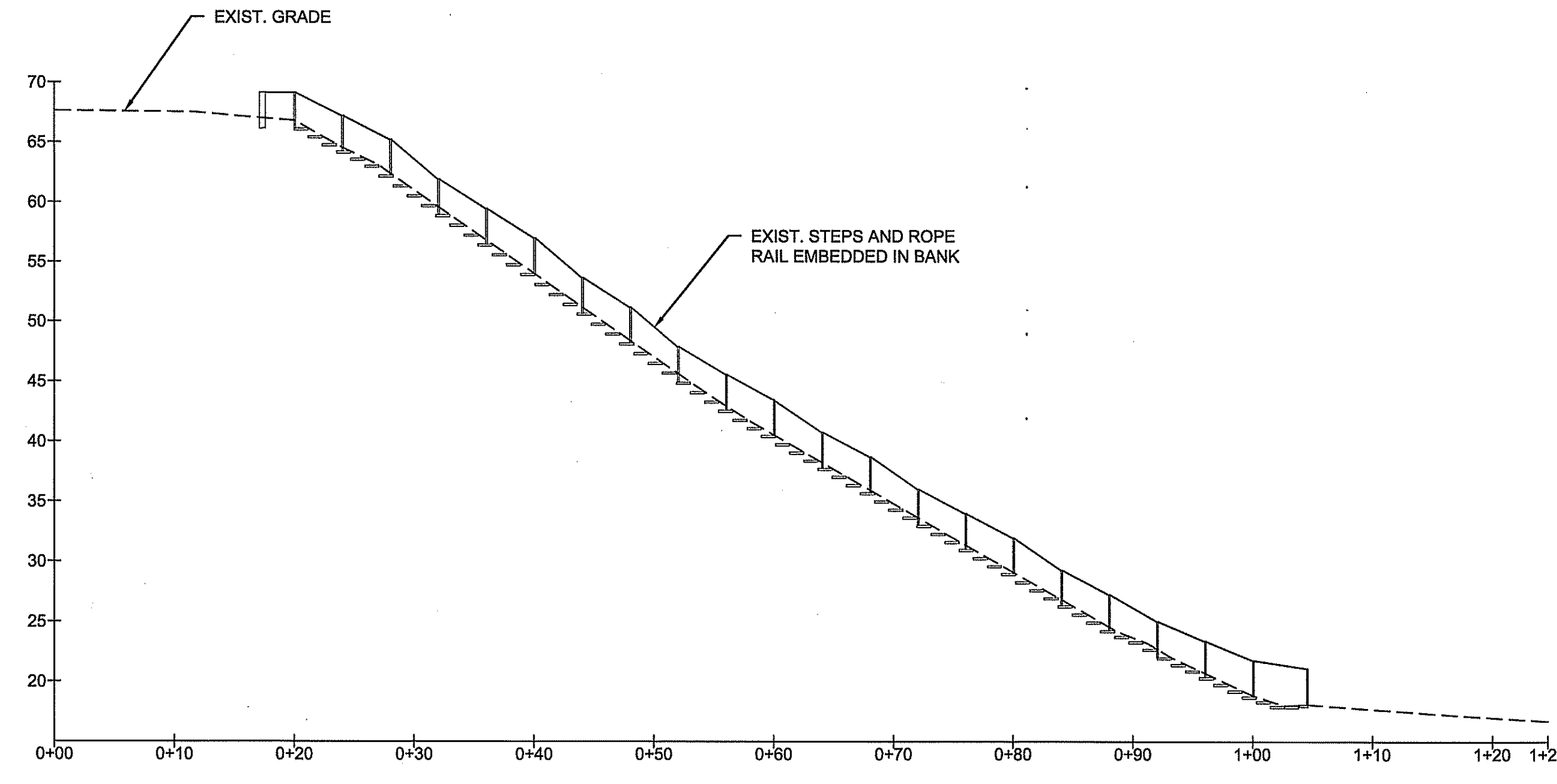
KIMBERLY LANE (PAPER ROAD)
PLAN BOOK 143 PAGE 51

OUTER SHORE NOMINEE TRUST
TRURO, MA
17 COAST GUARD ROAD
SHEET TITLE
DETAIL PLAN SHOWING
PROPOSED SITE CONDITIONS

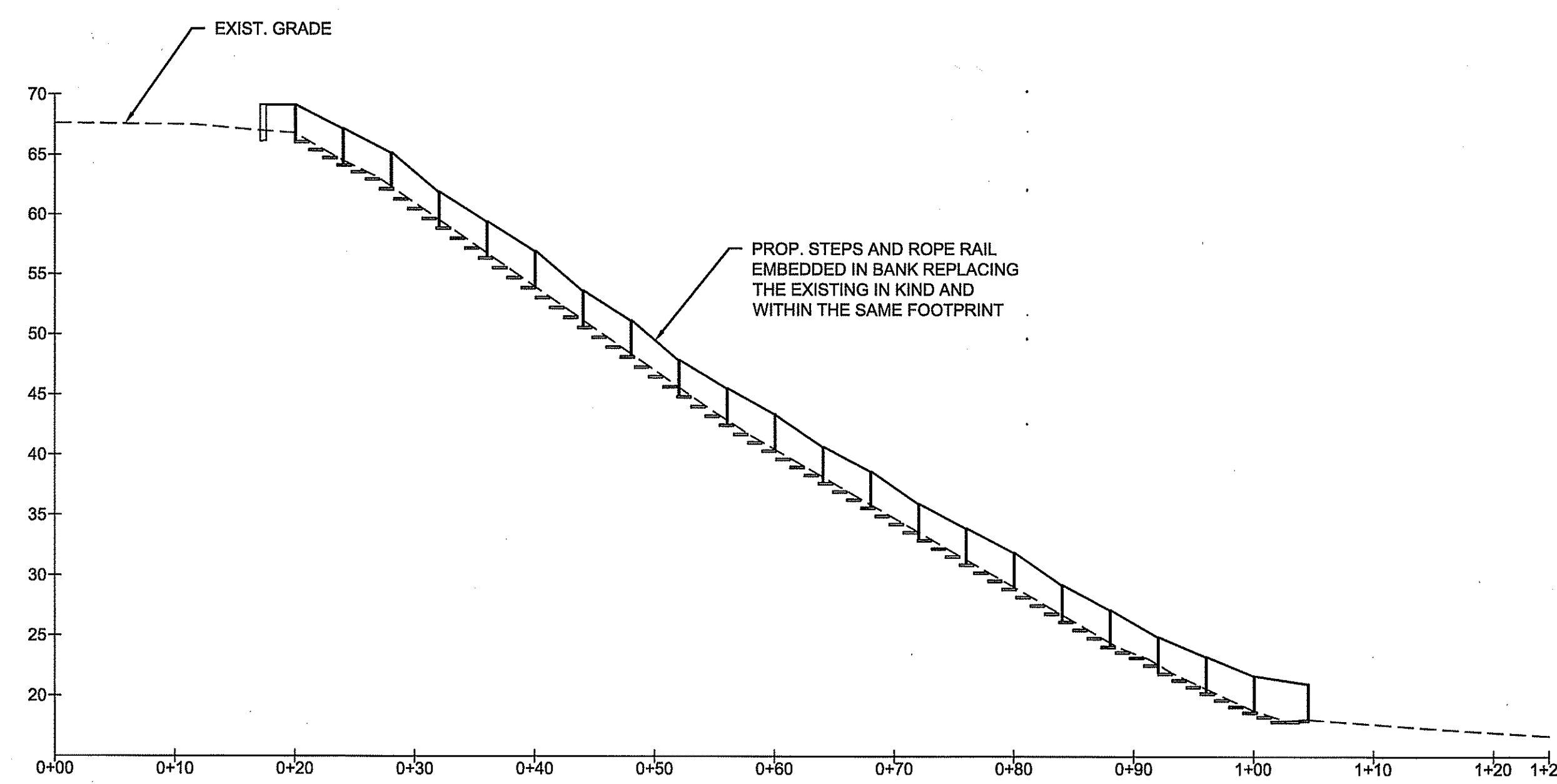
SCALE	1" = 20'
DRAWING FILE	C19600-CIV
DATE	11-28-2023
DRAWN BY	DAV/WGM/TGD
CHECKED BY	BJW/MHP

PROJECT NO. C19600.00
1 OF 2 SHEETS
C2.2.1

F:\DISKPROJECTS\C19600\C19600-CIV\19600-WFN.dwg 11/17/2023 8:50 AM

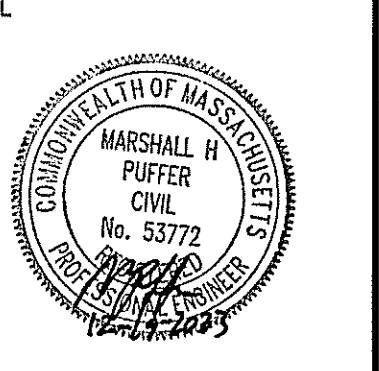


A
SECTION VIEW OF EXISTING STEPS
SCALE: 1" = 10'-0"



B
SECTION VIEW OF EXISTING STEPS
SCALE: 1" = 10'-0"

NO.	DATE	REVISION	BY

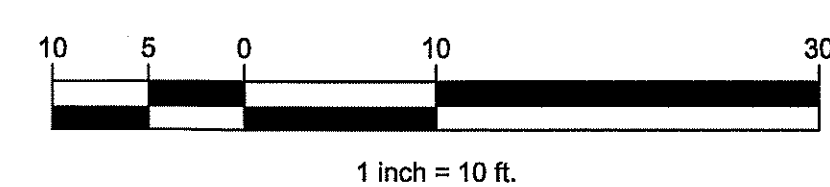


PROJECT	OUTER SHORE NOMINEE TRUST
SCALE	1" = 20'
DRAWING FILE	C19600-CIV
DATE	11-28-2023
DRAWN BY	DAV/WGM/TGD
CHECKED BY	BJW/MHP
PROJECT NO.	C19600.00

TRURO, MA
17 COAST GUARD ROAD
SHEET TITLE
PROFILES & DETAILS
SHOWING PROPOSED STAIRS

C2.2.2

2 OF 2 SHEETS



F:\SIS\PROJECTS\19600\C19600-CIV\C19600-WP\PLDW.dwg 1/28/2023 1:03 PM

Coastal Engineering Co., Inc. © 2023



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Conservation Commission

TOWN OF TRURO

City/Town

DEC 19 2023

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (Note: electronic filers will click on button to locate project site):

4 River view road

a. Street Address

Truro MA

b. City/Town

02666

c. Zip Code

Latitude and Longitude:

Map 50

f. Assessors Map/Plat Number

d. Latitude

parcel 286

g. Parcel /Lot Number

e. Longitude

2. Applicant:

Stephen and Sharon

a. First Name

Patrice

b. Last Name

c. Organization

445 Osprey point drive

d. Street Address

Osprey

FLA

f. State

34279

g. Zip Code

i. Fax Number

3. Property owner (required if different from applicant):

Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Ethan

a. First Name

Poulin

b. Last Name

c. Company

118 Castle rd

d. Street Address

Truro

e. City/Town

MA

f. State

02666

g. Zip Code

Fax Number

ethan.poulin@comcast.net

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

110.00

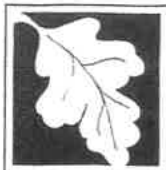
a. Total Fee Paid

42.50

b. State Fee Paid

67.50

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
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A. General Information (continued)

6. General Project Description: *new landscaping as follows:
extend driveway, new patios, steps and retaining walls
planting*

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input checked="" type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Barnstable
a. County

233289
b. Certificate # (if registered land)

c. Book

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

f. Riverfront Area
 1. Name of Waterway (if available) - Pammet river - specify coastal or inland

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet 3000 b. square feet within 100 ft. 1000 c. square feet between 100 ft. and 200 ft. 2000

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



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City/Town _____

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

2023
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*
1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
 2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Bourne to Rhode Island border, and the Cape & Islands:

North Shore - Plymouth to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).


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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC _____
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. List the titles and dates for all plans and other materials submitted with this NOI.

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Sham B. Monie-Palke
1. Signature of Applicant

12/16/23
2. Date

3. Signature of Property Owner (if different)

Ethan Boulton
5. Signature of Representative (if any)

12/17/23
4. Date
6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Town of Truro, MA

1 inch = 431 Feet



www.cai-tech.com

December 15, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



4 River View -Topo Map

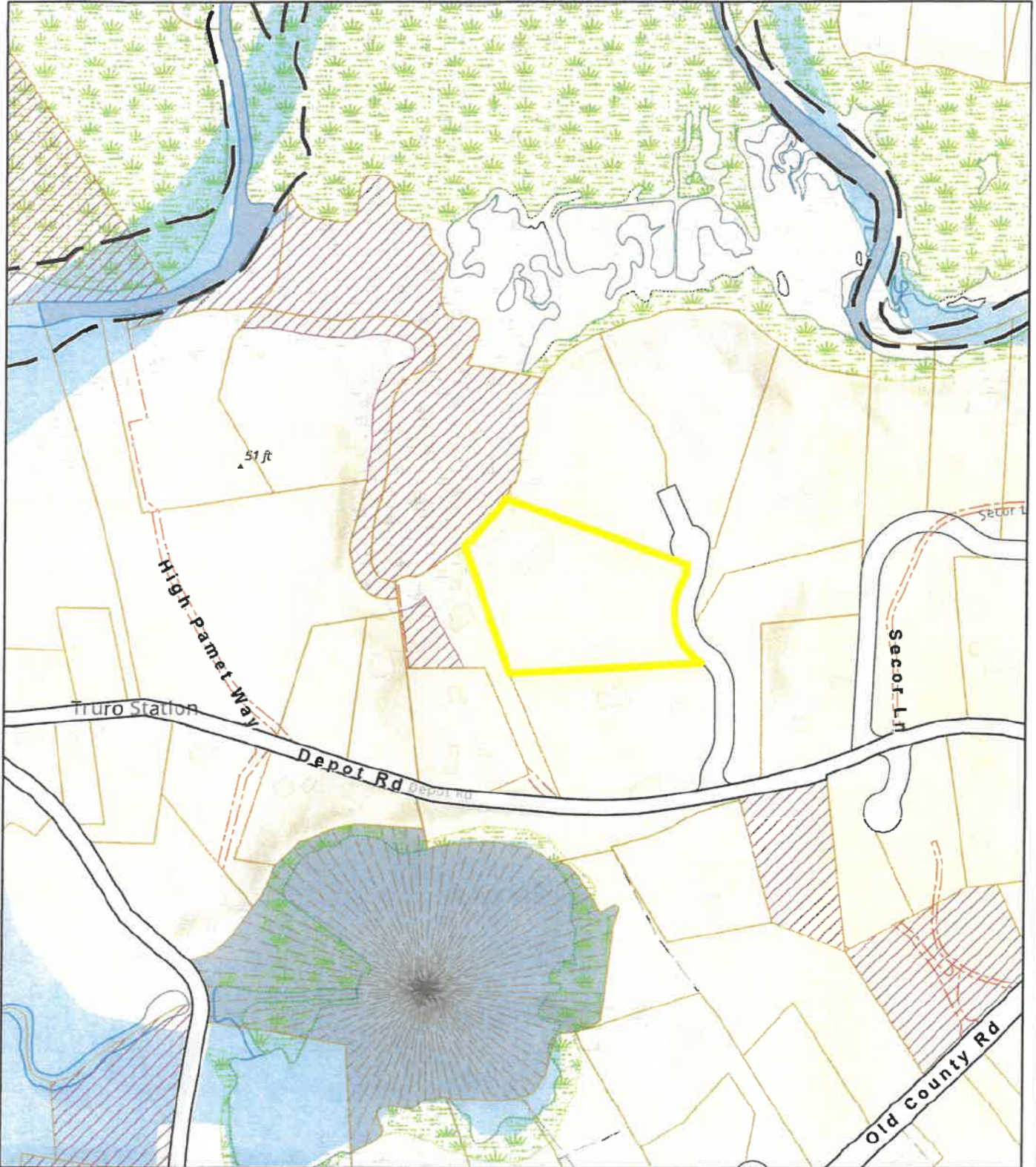
Town of Truro, MA

1 inch = 280 Feet



www.cai-tech.com

December 15, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

NOTIFY

Apply

Section 70

Site 03



←
Patio
Behind house
and walkout

↑
Stepping
stone walkways

← Blue stone front house



Retaining walls
←



Granite
Steps
←



TOWN OF TRURO Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666
Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

WAIVER

I, Stephen Patrick (print name), hereby waive the twenty-one (21) day time period for a public hearing following receipt of a: Notice of Intent Abbreviated Notice of Intent Request for Determination of Applicability Amended Order of Conditions Abbreviated Notice of Resource Area Delineation by the Truro Conservation Commission under Massachusetts General Laws, Ch. 131, sec. 40, and under Truro Conservation Bylaw, Section 8.5.2.

The Notice of Intent Abbreviated Notice of Intent Request for Determination of Applicability Amended Order of Conditions Abbreviated Notice of Resource Area Delineation was submitted on 12/18 (date) for work at Clawson rd (address). I understand that the next meeting of the Conservation Commission is scheduled for 1/8/24 and that the Commission will open the public hearing on that date.

I am the: Applicant
 Applicant's Representative

[Signature]
(signature)

12/16/23
(date)

Summary of work at 4 River Road:

Starting at back of house closest to driveway. Proposing to install a natural cleft bluestone patio, to be built as follows: Remove 10" soil and replace with $\frac{3}{4}$ " gravel base. Install bluestone patio on gravel as shown with large joints filled with pea stone for drainage. A mini excavator will be used to dig out, soil will go right into a truck.

Install the same bluestone as steppingstones around the deck to shower and to new stairs at walkout. Remove old, wooded walkways. Stones will be dug in by hand and set by hand in existing sand to minimize disturbing area. No equipment back there.

Planting in back will be Bearberry around patio on hillside, remove invasive plants in front of deck and replace with Bayberry and clethra.

Areas at walkout basement door: Remove old rotted wooden walls and steps, replace with concrete walls that are faced with stone and capped with bluestone. Another Bluestone patio with the same construction practices as other patio is going in lower area walking out of door. Granite steps will be installed on gravel base for steps along wall. All sand will be hauled out with mini skid steer hauled off site or stored in area for future garage. Not in 100' buffer.

4 pines and 3 Hemlocks to be planted between house and neighbor.

Front of housework as follows: Remove old rotting deck and replace with square bluestone. Bluestone to be on stone base and joints will be $\frac{1}{2}$ " wide with a permeable epoxy in joints. Steppingstones set in sand goes to back yard. A 14' by 14' cedar pergola is proposed in front of the front door as well. Granite steps will replace the existing deck for steps. Foundation plantings will be Inkberry, Oakleaf hydrangea and Viburnum Detatum.

The old set of timber steps going to the upper area are to be removed and replaced with granite and bluestone. All set on stone.

Parking area is proposed to expand to 30' wide into hill and about 6' deeper, giving room for additional cars. A small boulder wall will be along areas that need retaining. The existing catch basin will be removed and replaced since that has failed. An additional road to the upper area is proposed to go in front of the house and end up at the future garage. The road will be 10' wide and will cut into hills and retain as needed. Not filling areas. Three trees will need to be removed and we are planting seven trees to replace them in between this house and neighbors at walkout area as well as 5 additional in-between house and upper parking area. The driveway material will be $\frac{3}{4}$ processed gravel with $\frac{3}{4}$ " native stone on top. Part of the reason for a new driveway is for snowplowing as well as car access from future garage. The truck has a hard time turning around in the parking area, this way it can make a pass through without turning around.

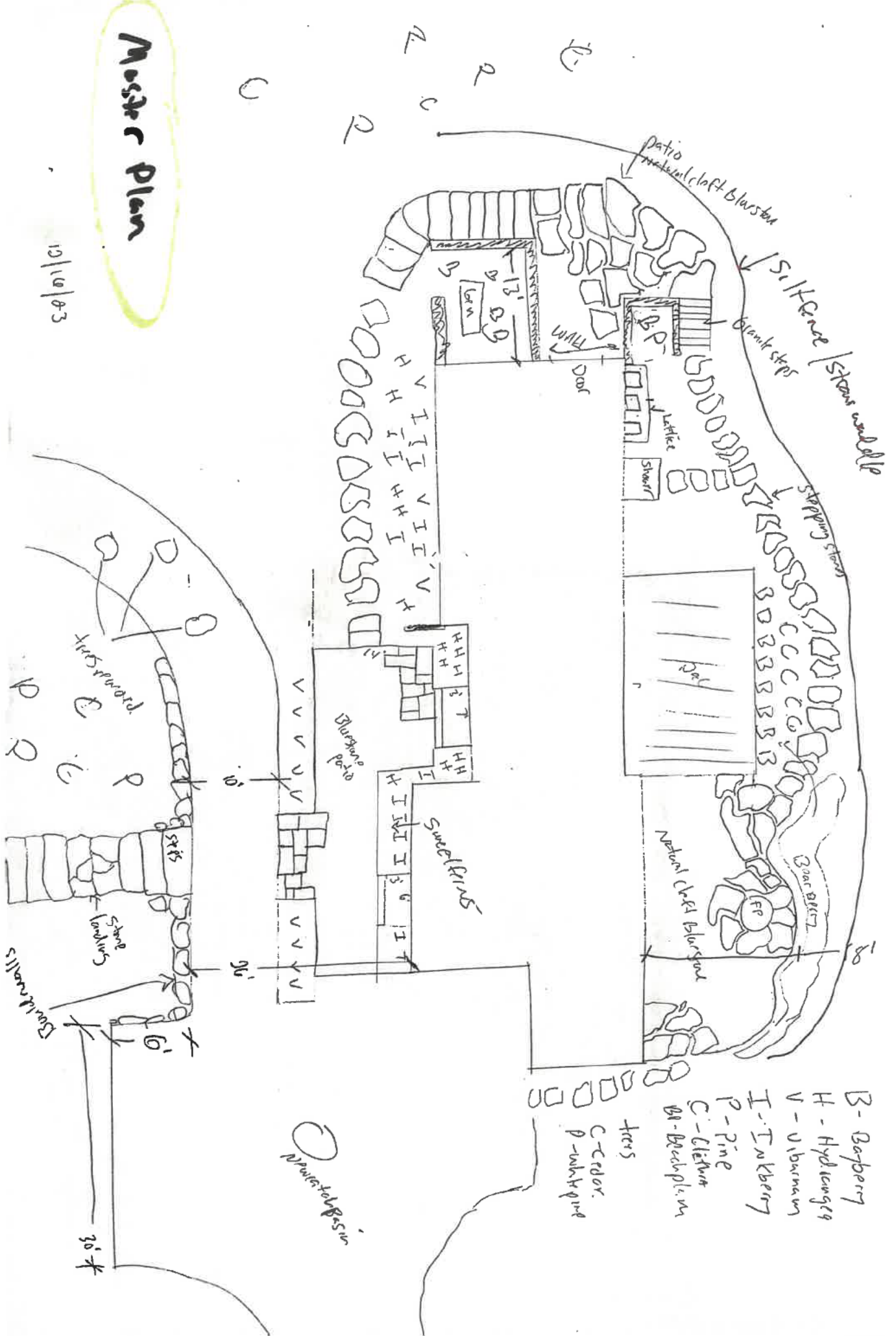
We are using process gravel because there are no toxic materials to leach into ground water and $\frac{3}{4}$ " process is a semi permeable base allowing water to drain through and into the soil. This will prevent the water running off and causing a washout like clay based hardening. The client also wants the existing driveway done over with same driveway materials and a cobblestone border to keep the whole job in best practices to minimize runoff.

All areas disturbed by construction that are left, sand or planting areas will be topped with native mulch. All plants will have a drip irrigation system. Silt fence and straw wattles on back side/low area of job installed and maintained as required. Concrete truck wash out will be in bucket of machine and then in back of truck not on ground.

I have used my 20 plus years of experience working on jobs to see what looks good on paper and what actually works to produce this plan. The client has spared no expense by putting the best longest lasting products in this application. They are making sure they do the right thing.

Master Plan

10/10/03



- B - Borbery
- H - Hydrangeas
- V - Viburnum
- I - Inkberry
- P - Pine
- C - Clematis
- BA - Beech pl. in trees
- C - Cedar
- P - White pine

Narrow Path

30' x'

PAMET RIVER

FEMA FLOOD ZONE AE (EL 12')



- (5) P - White Pine 4-5'
- (6) C - Red Cedar 4-5'
- (13) I - Inkberry 3gal
- (12) V - Viburnum Dentatum 3gal
- (10) B - Bayberry 3gal
- (7) C - Clethra 3gal
- (50) SP - Bearberry 1gal
- ? SP - Beach Plum 3gal
- (50) f - ferns 1gal
- (13) H - Oakleaf Hydrangea 2-3'

planting plan

12/14/23

Conservation Commission
TOWN OF TRURO
DEC 19 2023

L=34.10
R=55.00

N
PLAN BK. 517 PG. 92

PAMET RIVER

FEMA FLOOD ZONE AE (EL. 12')

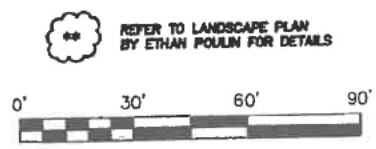


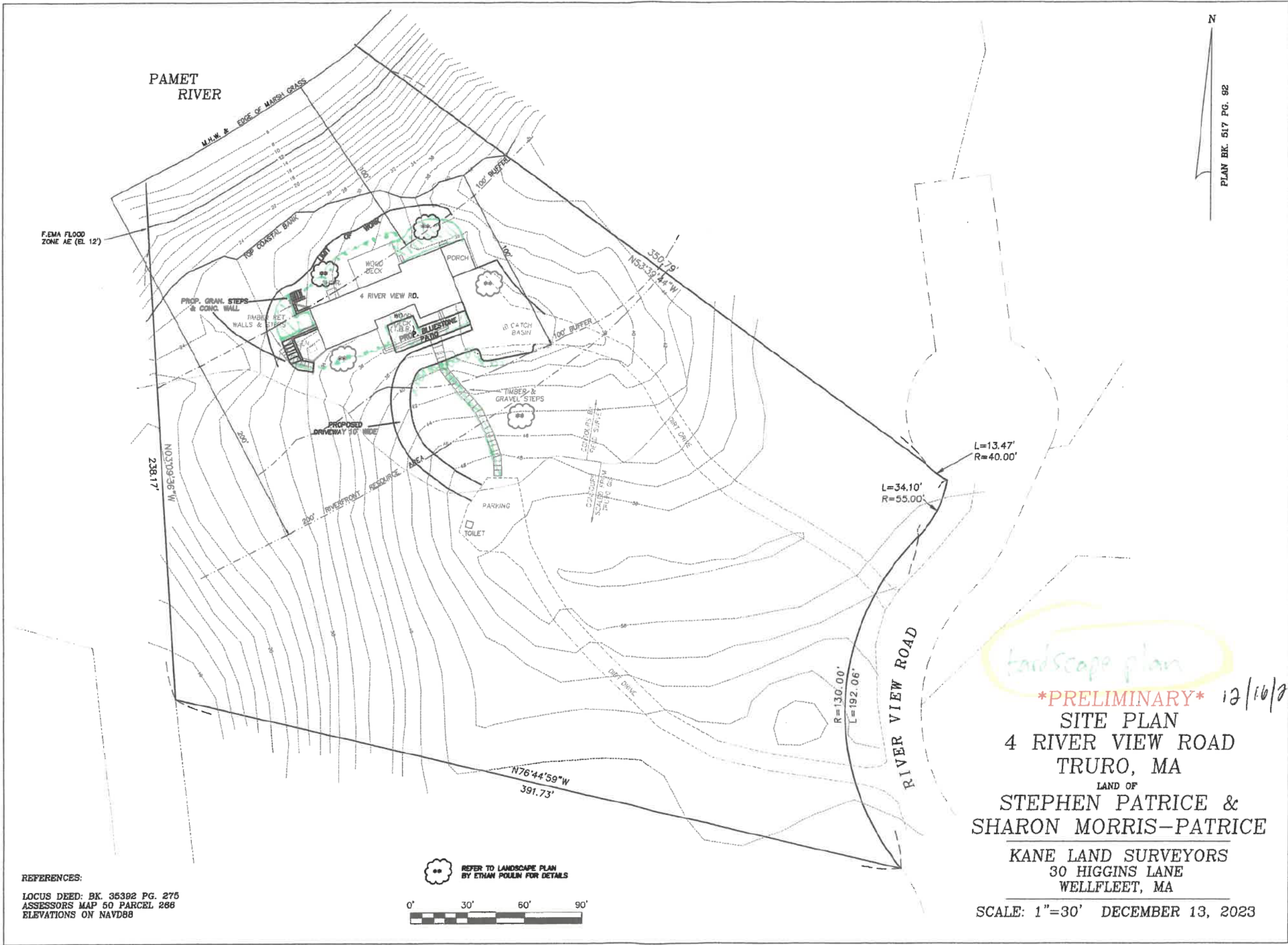
Machine access plan
12/16/23

PRELIMINARY
SITE PLAN
4 RIVER VIEW ROAD
TRURO, MA
LAND OF
STEPHEN PATRICE &
SHARON MORRIS-PATRICE
KANE LAND SURVEYORS
30 HIGGINS LANE
WELLFLEET, MA

SCALE: 1"=30' DECEMBER 13, 2023

REFERENCES:
LOCUS DEED: BK. 35392 PG. 275
ASSESSORS MAP 50 PARCEL 266
ELEVATIONS ON NAVD88





FEMA FLOOD ZONE AE (EL. 12')

PAMET RIVER

N03°09'36"W
238.17'

N76°44'59"W
391.73'

350.78'
N53°39'44"W

L=34.10'
R=55.00'

L=13.47'
R=40.00'

R=130.00'
L=192.06'

RIVER VIEW ROAD

REFERENCES:
LOCUS DEED: BK. 35392 PG. 275
ASSESSORS MAP 50 PARCEL 288
ELEVATIONS ON NAVD88

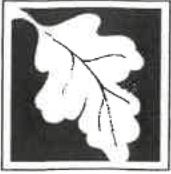
REFER TO LANDSCAPE PLAN BY ETHAN POULIN FOR DETAILS

0' 30' 60' 90'

landscape plan

PRELIMINARY 12/16/23

SITE PLAN
4 RIVER VIEW ROAD
TRURO, MA
LAND OF
STEPHEN PATRICE &
SHARON MORRIS-PATRICE
KANE LAND SURVEYORS
30 HIGGINS LANE
WELLFLEET, MA
SCALE: 1"=30' DECEMBER 13, 2023



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Anna Maria Poor & Graham V. Poor
Name

46 Atherton Street
Mailing Address

Boston
City/Town

MA
State

02119
Zip Code

Phone Number

Fax Number (if applicable)

2. Representative (if any):

J.C. Ellis Design Co., Inc.
Firm

Jason C. Ellis, R.S.
Contact Name

jason@jcellisdesign.com
E-Mail Address

P.O. Box 81
Mailing Address

North Eastham
City/Town

MA
State

02651
Zip Code

508-240-2220
Phone Number

508-240-2221
Fax Number (if applicable)

B. Determinations

1. I request the Truro Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance or bylaw** of:

Truro
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).

Conservation Commission
TOWN OF TRURO

DEC 19 2023



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

<u>14 Salt Marsh Lane</u>	<u>Truro</u>
Street Address	City/Town
<u>54</u>	<u>7</u>
Assessors Map/Plat Number	Parcel/Lot Number

b. Area Description (use additional paper, if necessary):

The property lies within the 100' buffer zone to a coastal bank.

c. Plan and/or Map Reference(s):

<u>Septic System Upgrade Plan: 14 Salt Marsh Lane, Truro, MA</u>	<u>November 7, 2023</u>
Title	Date
_____	_____
Title	Date
_____	_____
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Abandonment of cesspools and installtion of new sewer line piping within 100' buffer zone.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

Residential property, 100' buffer zone only - limited disturbance..

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

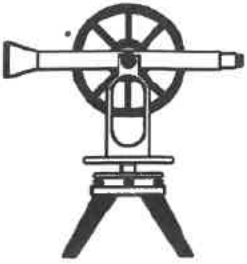
Name and address of the property owner:

Anna Maria Poor & Graham V. Poor
 Name
 26 Atherton Street
 Mailing Address
 Boston
 City/Town
 MA
 State
 02119
 Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant _____ 12-7-2023
 Date
 Signature of Representative (if any) _____ 12-7-2023
 Date



J.C. ELLIS DESIGN COMPANY, INC.

SEPTIC SYSTEM DESIGN & ENGINEERING – SEPTIC INSPECTION –
SITE PLANNING – WETLAND CONSULTATION & PERMITTING
P.O. BOX 81, NORTH EASTHAM, MA 02651 PHONE 508-240-2220 FAX 508-240-2221
EMAIL jason@jcellisdesign.com

Notification to Abutters Under the Massachusetts Wetland Protection Act & Truro Wetlands Bylaw

December 7, 2023

RE: Request for Determination of Applicability

Anna Maria Poor & Graham V. Poor
14 Salt Marsh Lane, Truro, MA
Assessor's Map 54, Parcel 7

In accordance with the MA Wetlands Protection Act and the Truro Wetlands Bylaw, you are hereby notified that the Anna Maria Poor & Graham V. Poor have filed a Request for Determination of Applicability with the Truro Conservation Commission regarding proposed work, on the above-referenced property, which lies within an area subject to regulation under the MA Wetlands Protection Act and the local Wetland Protection Bylaw.

Specifically, the proposed work consists of the installation of new sewer line piping and the abandonment of existing cesspools within 100' of the top of Coastal Bank.

Copies of the Request for Determination of Applicability and project plans may be examined at the Truro Conservation Department, located at 24 Town Hall Road, during regular business hours.

A public hearing, regarding the proposed work described above, will be held by the Truro Conservation Commission on January 8, 2024 at 5:00 P.M at the Truro Town Hall. Should you be interested in attending the public hearing, you should contact the Conservation Department for confirmation of the date, time and place of the public hearing at 508-349-7004 x31.

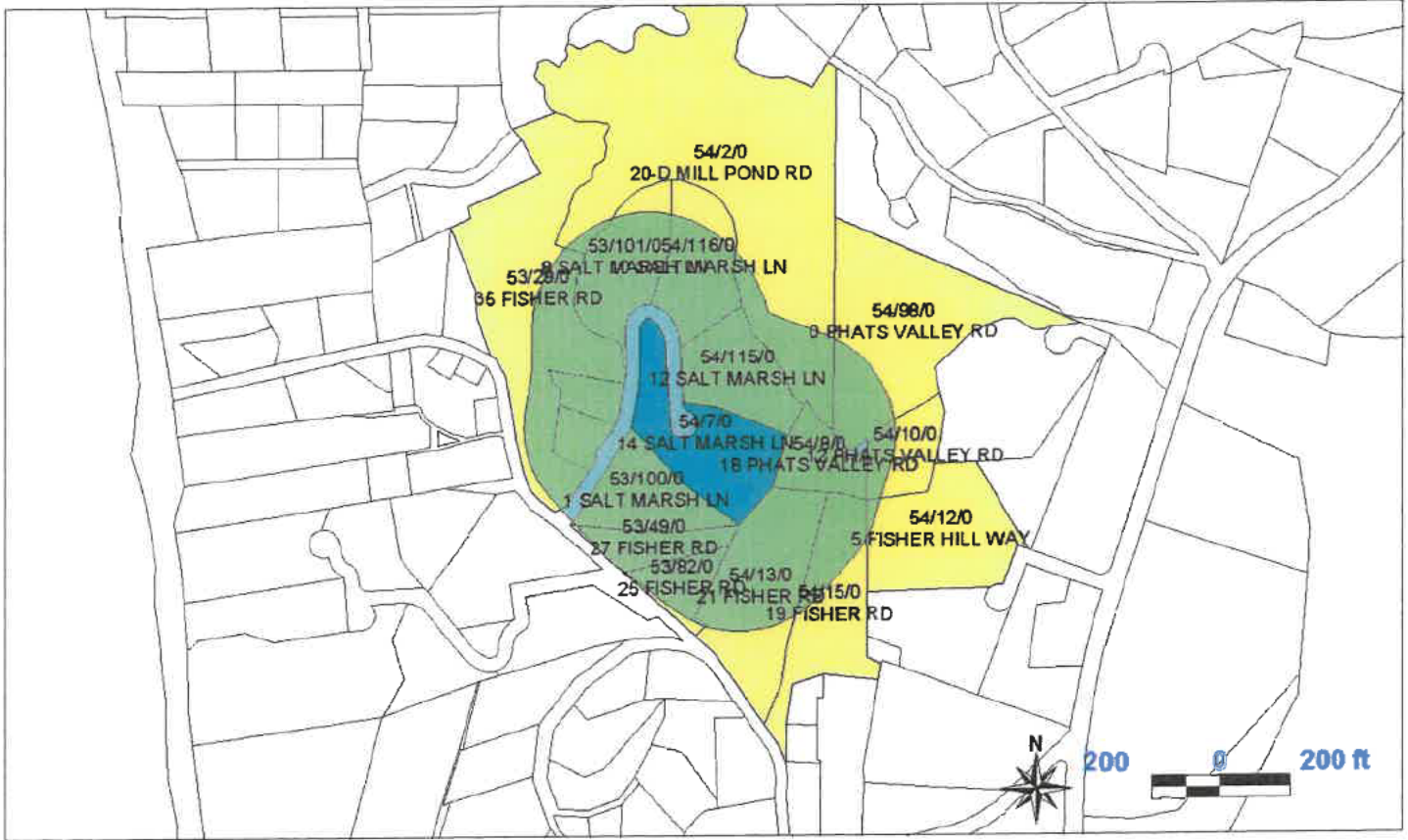
Sincerely,


Jason C. Ellis, R.S., L.S.I.T.

cc: abutters
file

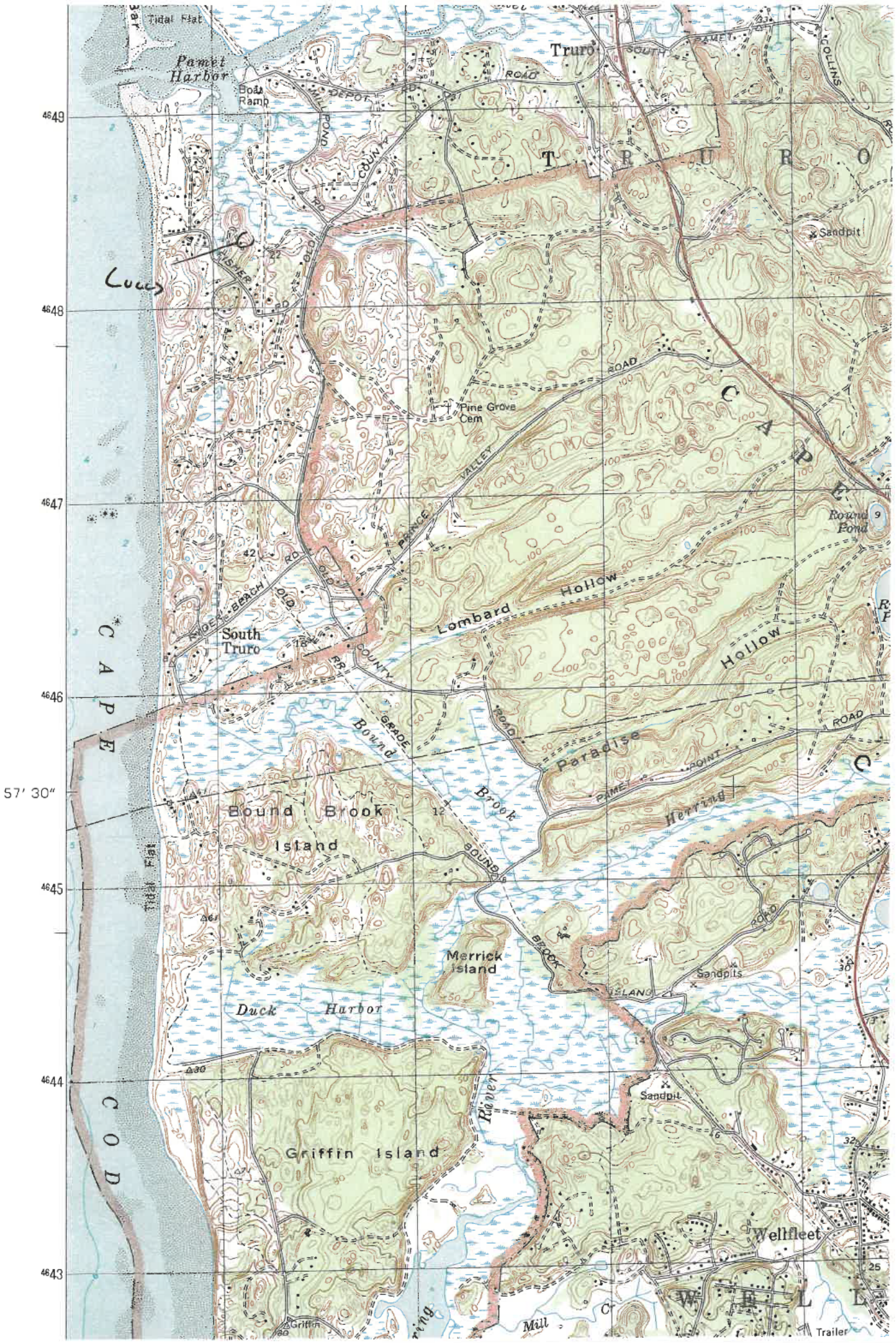
TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

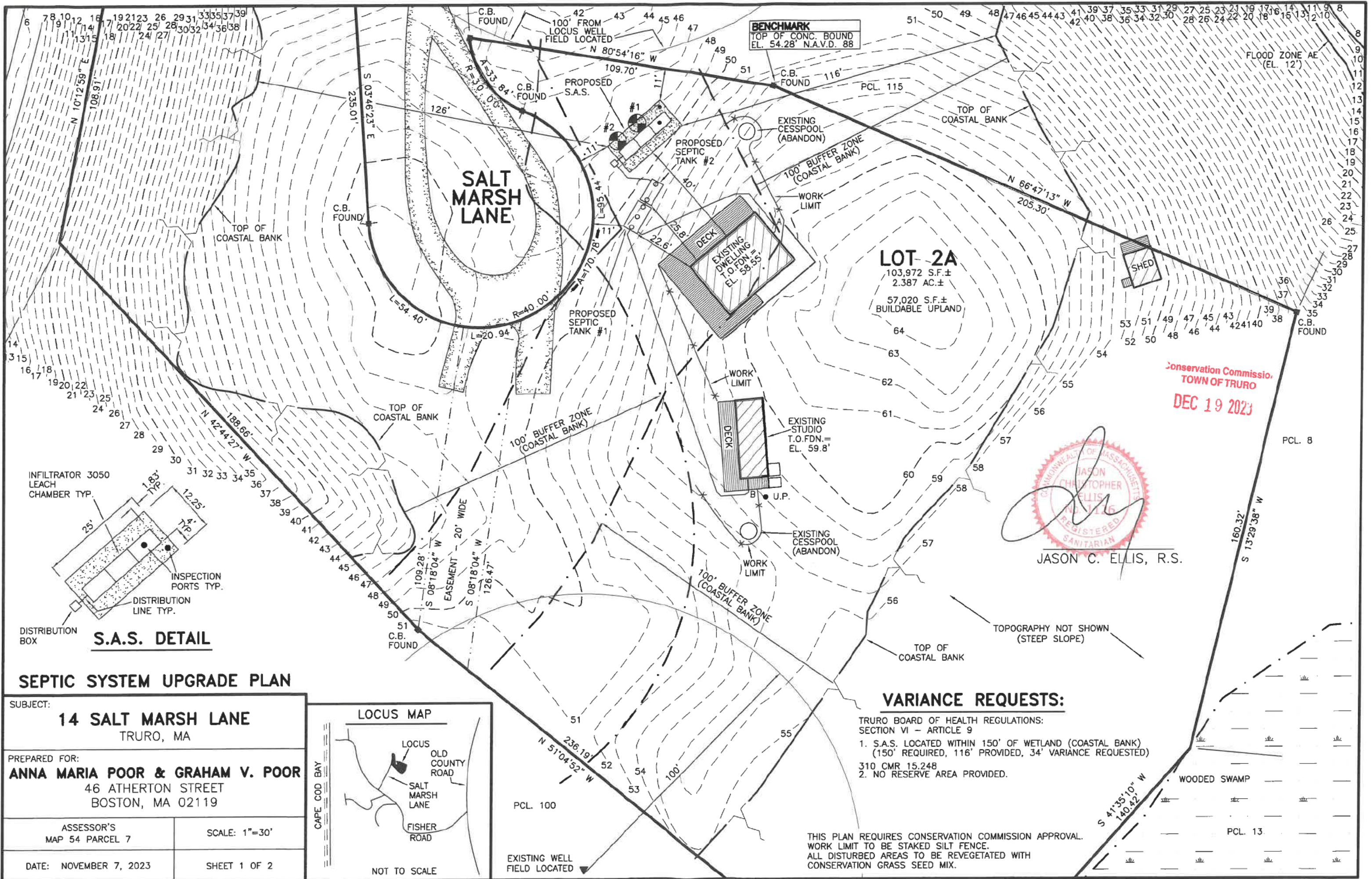
Abutters List Within 300 feet of Parcel 54/7/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
3176	53-29-0-R	REISER LINDA F	35 FISHER RD	128 LINDEN ST	EVERETT	MA	02149
3184	53-38-0-R	SMITH CLARENCE R ET ALS	6 SALT MARSH LN	C/O SMITH WILLIAM 1657 DOCKSIDE LN	CAMARILLO	CA	93010-6008
3190	53-44-0-R	CHAMBERLAIN STANLEY G	4 SALT MARSH LN	C/O CHAMBERLAIN DEBORAH PO BOX 854	WENDELL	MA	01379-0854
3193	53-49-0-R	POWER JOHN G & KATHLEEN D	27 FISHER RD	PO BOX 264	TRURO	MA	02666-0264
3223	53-82-0-R	FRANCES DRAFT LIVING TRUST TRS: FRANCES DRAFT	25 FISHER RD	334 FOURTH ST	BROOKLYN	NY	11215
5592	53-100-0-R	BCM REALTY TRUST TRS: MONTEITH KENNETH BRUCE &	1 SALT MARSH LN	TRS: MONTEITH CANDIDA PO BOX 257	TRURO	MA	02666
5939	53-101-0-E	TOWN OF TRURO	8 SALT MARSH LN	PO BOX 2030	TRURO	MA	02666-2030
3239	54-2-0-R	OWNER UNKNOWN	20-D MILL POND RD	20 D MILL POND RD	TRURO	MA	02666
3244	54-7-0-R	POOR ANNA MARIA & POOR GRAHAM V	14 SALT MARSH LN	46 ATHERTON ST	BOSTON	MA	02119
3245	54-8-0-R	JOHN FIELD REVOC TRUST & JANE KATZ FIELD REVOC TRUST	18 PHATS VALLEY RD	644 WEST HILL RD	PUTNEY	VT	05346
3246	54-10-0-R	JOHN FIELD REVOC TRUST & JANE KATZ FIELD REVOC TRUST	12 PHATS VALLEY RD	644 WEST HILL RD	PUTNEY	VT	05346
3248	54-12-0-R	ROSS D AIN REVOCABLE TRUST TRS: ROSS D & JUDITH STONE AIN	5 FISHER HILL WAY	3512 NEWARK ST NW	WASHINGTON	DC	20016
3249	54-13-0-R	ROBERT L JACKSON FAMILY TRUST TRS: ROBERT L JACKSON ET AL	21 FISHER RD	PO 62	TRURO	MA	02666
3251	54-15-0-R	FULOP JOHN	19 FISHER RD	103 EAST ALFORD RD	WEST STOCKBRIDGE	MA	02166
3329	54-98-0-E	TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL	0 PHATS VALLEY RD	PO BOX 327	NO TRURO	MA	02652-0327

LG 11/8/23



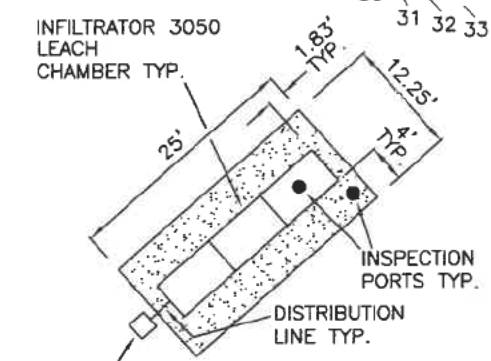


Conservation Commission
TOWN OF TRURO
DEC 19 2023



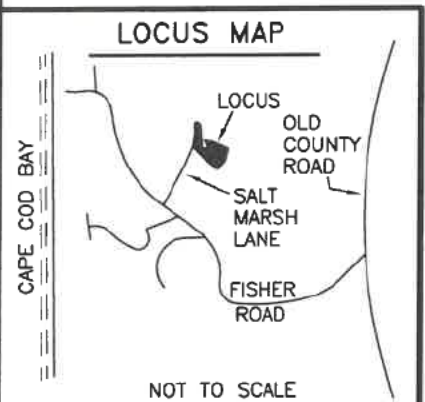
JASON C. ELLIS, R.S.

S.A.S. DETAIL



SEPTIC SYSTEM UPGRADE PLAN

SUBJECT: 14 SALT MARSH LANE TRURO, MA	
PREPARED FOR: ANNA MARIA POOR & GRAHAM V. POOR 46 ATHERTON STREET BOSTON, MA 02119	
ASSESSOR'S MAP 54 PARCEL 7	SCALE: 1"=30'
DATE: NOVEMBER 7, 2023	SHEET 1 OF 2



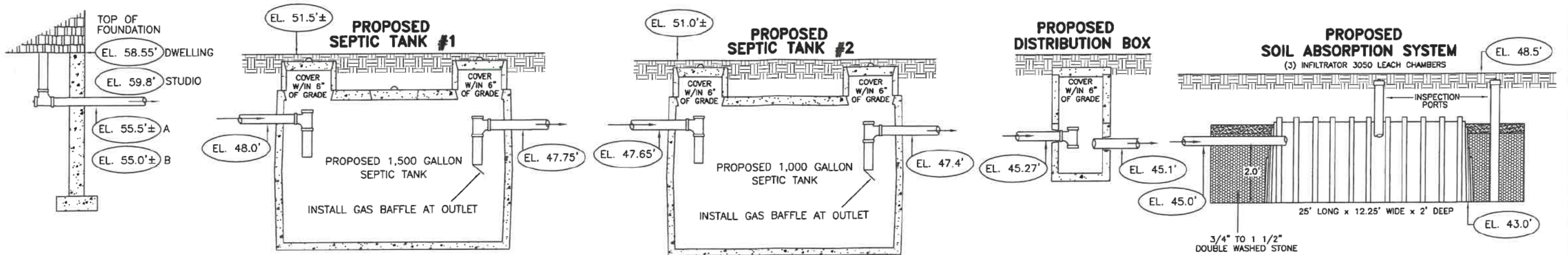
VARIANCE REQUESTS:

- TRURO BOARD OF HEALTH REGULATIONS:
SECTION VI - ARTICLE 9
- S.A.S. LOCATED WITHIN 150' OF WETLAND (COASTAL BANK) (150' REQUIRED, 116' PROVIDED, 34' VARIANCE REQUESTED)
 - 310 CMR 15.248
 - NO RESERVE AREA PROVIDED.

THIS PLAN REQUIRES CONSERVATION COMMISSION APPROVAL.
WORK LIMIT TO BE STAKED SILT FENCE.
ALL DISTURBED AREAS TO BE REVEGETATED WITH CONSERVATION GRASS SEED MIX.

SECTION DETAIL – COMPONENTS

NOT TO SCALE



DESIGN CALCULATIONS

FLOW RATE:

2 BEDROOM DWELLING = 220 G/P/D REQUIRED
 1 BEDROOM STUDIO = 110 G/P/D REQUIRED
 TOTAL FLOW = 330 G/P/D REQUIRED
 (110 G/P/D PER BEDROOM x 3 BEDROOMS)
 NO GARBAGE GRINDER ALLOWED

PROPOSED SEPTIC TANK #1:

330 G/P/D x 2 = 660 G/P/D REQUIRED
 USE PROPOSED 1500 GALLON SEPTIC TANK

PROPOSED SEPTIC TANK #2:

330 G/P/D x 1 = 330 G/P/D REQUIRED
 USE PROPOSED 1000 GALLON SEPTIC TANK

PROPOSED SOIL ABSORPTION SYSTEM:

PERC RATE = <2 MIN./IN – CLASS I SOIL
 SIDEWALL = (25 + 12.25)(2)(2) = 149 S.F.
 BOTTOM: (25)(12.25) = 306.25 S.F.
 (149 + 306.25)(0.74) = 336.8 G/P/D PROVIDED

USE: (3) INFLTRATOR 3050 LEACH CHAMBERS
 W/ STONE AS SHOWN IN DETAIL.

NOTES

1. ALL PRECAST COMPONENTS TO BE H-10 RATED. ALL COMPONENTS WITH ANY ANTICIPATED VEHICULAR TRAFFIC TO BE H-20 RATED.
2. ELEVATION DATUM IS FROM N.A.V.D. 1988.
3. MUNICIPAL WATER IS NOT AVAILABLE.
4. ALL CONSTRUCTION TO CONFORM WITH 310 CMR 15.000 AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
5. INSTALLER/CONTRACTOR TO REVIEW & VERIFY ALL ELEVATIONS AND DETAILS AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION OR ASSUME ALL RESPONSIBILITY.
6. INSTALLER/CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SAFE WORK AREA, VERIFYING ALL UTILITIES AND NOTIFYING DIG SAFE PRIOR TO CONSTRUCTION.
7. ANY CHANGES TO OR DEVIATIONS FROM THIS PLAN MUST BE APPROVED IN WRITING BY J.C. ELLIS DESIGN CO. AND BOARD OF HEALTH.
8. FINISH COVER OVER COMPONENTS IS NOT TO EXCEED 3' PER 310 CMR 15.000.
9. ALL ABANDONED SEPTIC SYSTEM COMPONENTS TO BE PUMPED DRY AND FILLED WITH CLEAN SAND OR REMOVED AND REPLACED WITH CLEAN SAND.
10. ALL COMPONENTS TO BE PROVIDED WITH WATERTIGHT ACCESS PORTS WITHIN 6" OF FINISH GRADE.
11. ALL SEPTIC TANKS, DISTRIBUTION BOXES AND PIPING TO BE INSTALLED WATERTIGHT.
12. NO KNOWN WELLS EXIST WITHIN 100' OF PROPOSED LEACH AREA.
13. THIS IS NOT A CERTIFIED PLOT PLAN AND UNDER NO CIRCUMSTANCES IS THIS PLAN TO BE USED FOR BUILDING OR ZONING PURPOSES.
14. LEACH AREA TO BE PROVIDED WITH AT LEAST ONE INSPECTION PORT CONSISTING OF A PERFORATED FOUR INCH PIPE PLACED VERTICALLY DOWN INTO THE STONE TO THE NATURALLY OCCURRING SOIL OR SAND FILL BELOW THE STONE. THE PIPE SHALL BE CAPPED WITH A SCREW TYPE CAP AND ACCESSIBLE WITHIN 3" OF GRADE.
15. CONTRACTOR TO TAKE ALL MEANS NECESSARY (FLUSH TESTS, ETC.) TO LOCATE AND VERIFY ALL EXISTING BUILDING SEWERS PRIOR TO CONSTRUCTION.
16. INSTALL CLEANOUTS ALONG SEWER LINES BETWEEN BUILDINGS AND SEPTIC TANK AT ALL BENDS, JUNCTIONS AND 50' INCREMENTS.

DEEP HOLE DATA

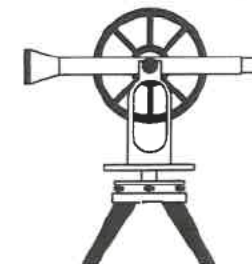
PERFORMED BY: JASON C. ELLIS, R.S., S.E.
 WITNESSED BY: AROZANA DAVIS, TRURO BOH
 TEST DATE: NOVEMBER 7, 2023

#1		#2	
DEPTH	ELEV.	DEPTH	ELEV.
0.00'	48.1'	0.00'	48.2'
0.5'	47.6'	0.66'	47.54'
1.66'	46.44'	1.5'	46.7'
2.5'	45.6'	2.5'	45.7'
10.0'	38.1'	10.0'	38.2'
NO WATER ENCOUNTERED		NO WATER ENCOUNTERED	

SEPTIC SYSTEM UPGRADE PLAN

SUBJECT: 14 SALT MARSH LANE TRURO, MA	
PREPARED FOR: ANNA MARIA POOR & GRAHAM V. POOR 46 AHERTON STREET BOSTON, MA 02119	
ASSESSOR'S MAP 54 PARCEL 7	
DATE: NOVEMBER 7, 2023	SHEET 2 OF 2

J.C. ELLIS DESIGN



P.O. BOX 81
 NORTH EASTHAM, MA 02651
 (508)240-2220
 Email: jason@jcellisdesign.com



JASON C. ELLIS, R.S.

DEC 19 2023

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

December 19, 2023
Truro Conservation Commission
Truro Town Hall
Via Hand Delivery

Re: 40 South Pamet Road. SE75-1138 RDA REQUEST

Dear Commission Members:

Please find enclosed my Application for a Request for Determination of Applicability regarding the above property.

The Commission previously approved an Order of Conditions approving in part removal of a screened porch and construction of a two-story building addition. The owners now wish to reduce the scope of the project by eliminating the two-story addition and instead renovating the interior of the single-story screened porch as habitable interior area. The owners also intend to eliminate the proposed main house north patio, elevated deck and northeast walkway, retain an existing main house brick patio, and add a permeable walkway on the landward side of the home to the proposed carport.

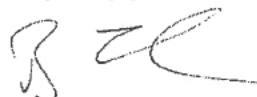
These alterations of the project have been determined by the Building Commissioner and the Historical Commission not to require further permitting by the Planning or Zoning Boards or the Historical Commission.

Filed herewith are nine copies of the following:

1. WPA Form 1 Request for Determination of Applicability;
2. 21 Day Waiver;
3. Site and Floor Plans; and
4. Check in the amount of \$30.00 Filing Fee

My continued thanks for your consideration and attention.

Very truly yours,



Benjamin E. Zehnder

BEZ/

cc: Emily Beebe, Conservation Administrator – via email only
MassDEP Southeast Regional Office, 20 Riverside Drive, Lakeville, MA 02347–
via first class mail

DEC 19 2023



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1 - Request for Determination of Applicability Truro

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant: Benoit and Elizabeth Allehaut
First Name Last Name
39 East 29th Street Apt. 26A
Address
New York NY 10016
City/Town State Zip Code
Phone Number Email Address

2. Property Owner (if different from Applicant):
SAME
First Name Last Name
Address
City/Town State Zip Code
Phone Number Email Address (if known)

3. Representative (if any)
Benjamin Zehnder
First Name Last Name
Company Name
62 Route 6A Unit 2
Address
Orleans MA 02653
City/Town State Zip Code
508.246.4064 bzehnder@zehnderllc.com
Phone Number Email Address (if known)

B. Project Description

How to find Latitude and Longitude

and how to convert to decimal degrees

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):
40 South Pamet Road Truro
Street Address City/Town
41.99456 -70.03949
Latitude (Decimal Degrees Format with 5 digits after decimal e.g. XX.XXXXX) Longitude (Decimal Degrees Format with 5 digits after decimal e.g. -XX.XXXXX)
51 40
Assessors' Map Number Assessors' Lot/Parcel Number

b. Area Description (use additional paper, if necessary):
Level improved yard and structures

c. Plan and/or Map Reference(s): (use additional paper if necessary)
Coastal Engineering Co. Plan showing proposed building and site modifications 11-13-2023
Title Date

Title Date



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability Truro

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

B. Project Description (cont.)

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Alteration of Scope of Work approved in Order of Conditions dated April 25, 2022, #SE 75-1138, to 1) eliminate proposed new two story addition and replace it with single story renovated living space within area of existing screen porch; 2) eliminate proposed main house north patio, elevated deck and northeast walkway; 3) maintain existing main house brick patio; and 4) add permeable walkway between house and carport

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

310 CMR 10.02(2)(b)(1) and (2); 10.58(6)(b)

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability Truro

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality

C. Determinations

1. I request the Truro Conservation Commission make the following determination(s). Check any that apply:
Conservation Commission

- a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance or bylaw** of:

Town of Truro

Name of Municipality

- e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

[Signature]
Signature of Applicant

12/18/2023
Date

Signature of Representative (if any)

Date



TOWN OF TRURO
Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666
Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

WAIVER

Brian Zbinden (print name), hereby waive the twenty-one (21) day time period for a public hearing following receipt of a: Notice of Intent Abbreviated Notice of Intent Request for Determination of Applicability Amended Order of Conditions Abbreviated Notice of Resource Area Delineation by the Truro Conservation Commission under Massachusetts General Laws, Ch. 131, sec. 40, and under Truro Conservation Bylaw, Section 8.5.2.

The Notice of Intent Abbreviated Notice of Intent Request for Determination of Applicability Amended Order of Conditions Abbreviated Notice of Resource Area Delineation, was submitted on 12/19/2023 (date) for work at 40 South Pamet Road (address). I understand that the next meeting of the Conservation Commission is scheduled for January 9, 2024 and that the Commission will open the public hearing on that date.

I am the: Applicant

Applicant's Representative

(signature)

12/18/2023

(date)



**TOWN OF TRURO
CONSERVATION COMMISSION**
P.O. Box 2030
Truro MA 02666-0630

Checklist for Filing a Notice of Intent

- Notice of Intent Application Signature of applicant/property owner
- USGS Map/locus map Certified abutters list from the Town Assessor (300') and letter to abutters*
- Project Narrative Project Plans /up-to-date Site plan signed copy of 21 day waiver (requested)
- NHESP (if applicable- check map or ask staff for assistance to determine if property is within mapped jurisdiction)**
 - MESA application and fee Copy of the entire Notice of Intent (including USGS Map, Plans)
 - Send by certified mail return receipt requested to NHESP

***NOTE:** The abutter's notification letter must be sent to each abutter by certified mail, return receipt requested, at the expense of the applicant. The green cards must be submitted at the hearing.

Copies to DEP

- 1) **Fee: mail the state-share** of the fee to Boston by certified mail, return receipt requested; enclose the "fee transmittal form" and mail to DEP, PO Box 4062, Boston, MA 02211
- 2) Mail 1-copy of the Notice of Intent Application packet **and a copy of the fee transmittal form** by certified mail, return receipt requested to: DEP SERO, 20 Riverside Drive, Lakeville, MA 02347

Copies to Truro Conservation Commission

- attach check to "Town of Truro" for the town share of filing fee, PLUS the local filing fee
- provide:
 - (2) copies of the NOI Application
 - (1) copy of the abutters list, notification, wetlands fee transmittal, & 21 day waiver (if applicable)
 - (9) copies of any narratives AND plans
 - (1) emailed pdf of plans
- bring the green cards as proof of notification of abutters to the meeting

Checklist for Filing an RDA

(Request for Determination of Applicability)

- Request for Determination of Applicability form plus current site plan/project sketch
- ample project details
- signed copy of 21 day waiver (requested)
- Signature of applicant/property owner
- attach check to the "Town of Truro" for \$30 (this fee can be applied toward fee for higher level of filing if required)

1-copy of the Request for Determination of Applicability packet mailed by certified mail, return receipt requested to: DEP SERO, 20 Riverside Drive, Lakeville, MA 02347

9-copies of the Request for Determination of Applicability packet
(packet = application + plans) for the Commission

EXISTING BUFFER ZONE AND RESOURCE AREA COVERAGE

SUBJECT	EXISTING BUFFER ZONE AND RESOURCE AREA COVERAGE			SUBJECT	EXISTING BUFFER ZONE AND RESOURCE AREA COVERAGE	
	AREAS WITHIN 200' RIVERFRONT	0-50' BUFFER TO BWV	FEMA 100 YEAR FLOOD ZONE (LSCSF)		AREAS WITHIN 0-50' OF TOCB	AREAS WITHIN 50'-100' OF TOCB
BUILDINGS/DECKS	1,747 S.F. (1,389 S.F. + 358 S.F.)	538 S.F. (518 S.F. + 20 S.F.)	1,747 S.F. (1,389 S.F. + 358 S.F.)	SHED/CARPORT	0 S.F.	0 S.F.
PATIO/WALKS	432 S.F.	0 S.F.	432 S.F.	PERVIOUS DRIVEWAY	3,474 S.F.	23 S.F.
LAWN	14,091 S.F.	8,169 S.F.	23,002 S.F.			

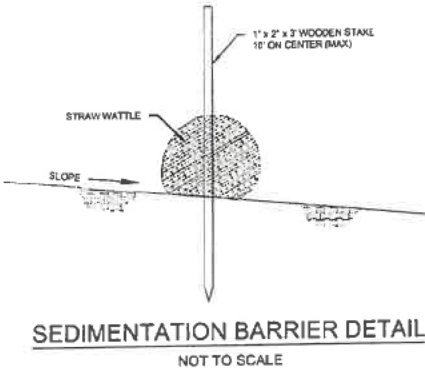
PROPOSED BUFFER ZONE AND RESOURCE AREA COVERAGE

SUBJECT	PROPOSED BUFFER ZONE AND RESOURCE AREA COVERAGE			SUBJECT	PROPOSED BUFFER ZONE AND RESOURCE AREA COVERAGE	
	AREAS WITHIN 200' RIVERFRONT	0-50' BUFFER TO BWV	FEMA 100 YEAR FLOOD ZONE (LSCSF)		AREAS WITHIN 0-50' OF TOCB	AREAS WITHIN 50'-100' OF TOCB
BUILDINGS/DECKS	1,433 S.F. (1,389 S.F. + 44 S.F.)	258 S.F. (218 S.F. + 40 S.F.)	1,433 S.F. (1,389 S.F. + 44 S.F.)	SHED/CARPORT	0 S.F.	625 S.F.
PATIO/WALKS	528 S.F.	0 S.F.	528 S.F.	PERVIOUS DRIVEWAY	4,210 S.F.	206 S.F.
LAWN	7,655 S.F.	4,114 S.F.	13,545 S.F.			

NET CHANGE IN BUFFER ZONE AND RESOURCE AREA COVERAGE

SUBJECT	NET CHANGE IN BUFFER ZONE AND RESOURCE AREA COVERAGE			SUBJECT	NET CHANGE IN BUFFER ZONE AND RESOURCE AREA COVERAGE	
	AREAS WITHIN 200' RIVERFRONT	0-50' BUFFER TO BWV	FEMA 100 YEAR FLOOD ZONE (LSCSF)		AREAS WITHIN 0-50' OF TOCB	AREAS WITHIN 50'-100' OF TOCB
BUILDINGS/DECKS	284 S.F. (REDUCTION)	300 S.F. (REDUCTION)	98 S.F. (INCREASE)	SHED/CARPORT	NO CHANGE	625 S.F. (INCREASE)
PATIO/WALKS	96 S.F. (INCREASE)	NO CHANGE	330 S.F. (INCREASE)	PERVIOUS DRIVEWAY	736 S.F. (INCREASE)	183 S.F. (INCREASE)
LAWN	6,436 S.F. (REDUCTION)	4,985 S.F. (REDUCTION)	10,017 S.F. (REDUCTION)			

** NET CHANGE FROM ORIGINALLY EXISTING COVERAGES TO CURRENTLY PROPOSED



EROSION & SEDIMENTATION CONTROL NOTES:

1. THE SEDIMENT CONTROL BARRIER SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL STABILIZATION AND REVEGETATION OF DISTURBED AREAS.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND SHALL PROTECT THE CONSTRUCTION SITE FROM EROSION UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
3. AFTER GRADING, ALL STEEP SLOPES REMAINING SHALL BE SEEDED AND BLANKETED WITH 100% BIODEGRADABLE COCONUT/STRAW EROSION CONTROL BLANKET, FOLLOWED BY PLANTING OF BEACH GRASS AND/OR WOODY VEGETATION (SEE RESTORATION NOTE).
4. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
5. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM PROJECT SITE.
6. SEDIMENTATION BARRIER SHALL BE REMOVED UPON RE-VEGETATION OF DISTURBED AREAS.
7. SEE CONSTRUCTION PROTOCOL FILED WITH NOI APPLICATION.

RESOURCE AREA NOTE:

THE BWV AND RIVER ARE SHOWN PER DELINEATION BY MARSH MATTERS ENVIRONMENTAL FLAGGING 09/23/2021. THE MAPPED FEMA FLOOD BOUNDARY (LSCSF), TOP OF COASTAL BANK, AND RIVERFRONT AREAS ARE SHOWN PER DETERMINATION BY COASTAL ENGINEERING.

REFERENCE:

ASSESSORS MAP 51, PARCEL 40
DEED BOOK 33697, PAGE 73

PREVIOUS APPROVAL:

SEE MASS DEP SEP 75-1138 ISSUED BY THE TOWN OF TRURO CONSERVATION COMMISSION ISSUED ON APRIL 25, 2022.

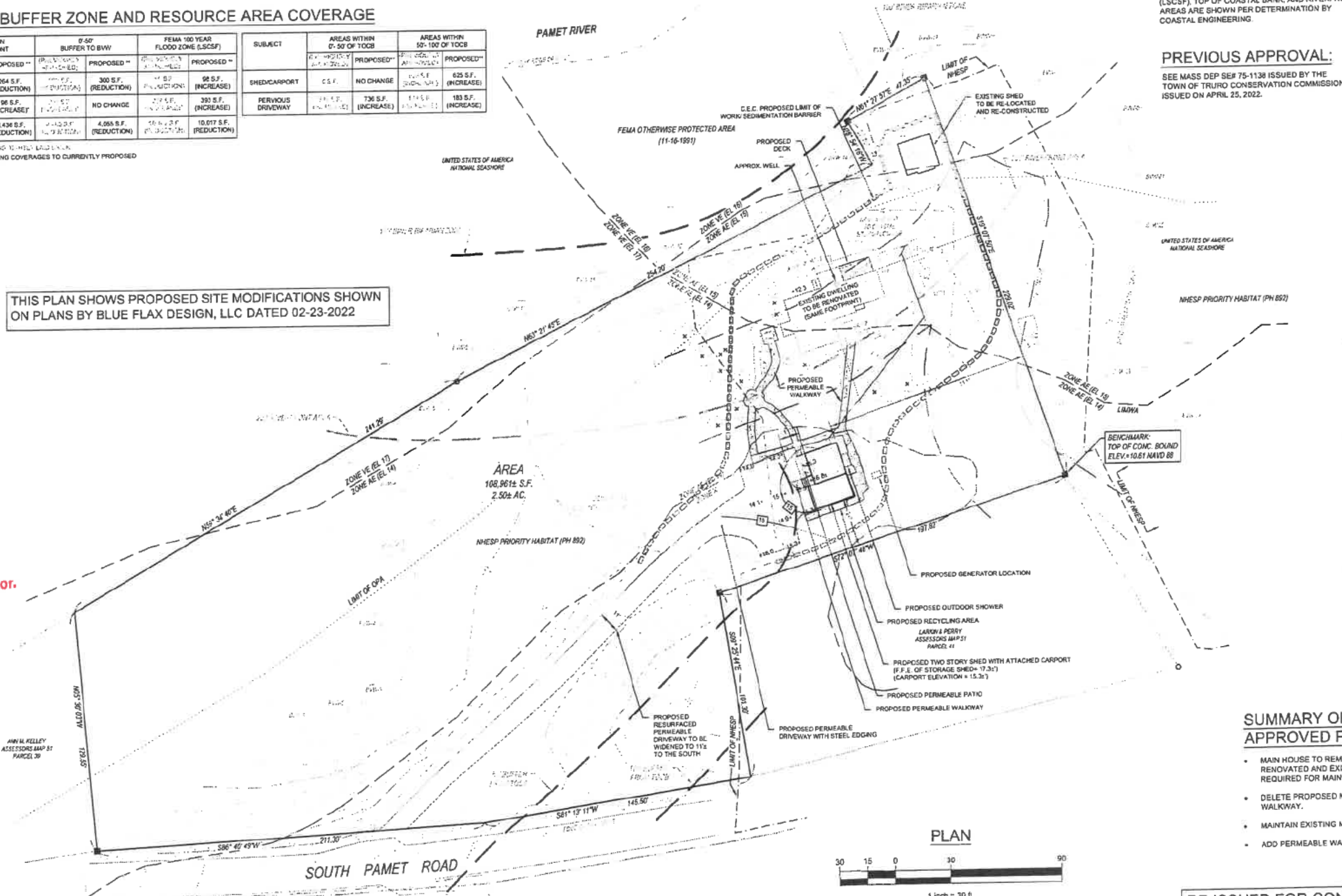
RESTORATION NOTE:

REFER TO PLAN TITLED "PLANTING PLAN" PREPARED FOR ALLEHAUT RESIDENCE, PREPARED BY BLUEFLAX DESIGN LLC, DATED 02-23-2022 FOR MORE INFORMATION. TOTAL AREA OF MITIGATION IS APPROXIMATELY 27,992± S.F. TOTAL AREA OF MITIGATION WITHIN THE WETLAND RESOURCE AREA IS APPROX. 21,367± S.F.

LEGEND

- EXISTING**
- BOUND
 - IRON PIPE
 - SEPTIC MANHOLE
 - UTILITY POLE
 - GUY WIRE
 - ELECTRIC METER
 - OVERHEAD WIRES
 - UNDERGROUND PROPANE SERVICE (APPROX)
 - UNDERGROUND PROPANE TANK (APPROX)
 - MISC. SHRUB
 - DECIDUOUS TREE
 - CONTOUR
 - SPOT ELEV.
 - TOP OF COASTAL BANK
 - LIMIT OF MODERATE WAVE ACTION
 - OTHERWISE PROTECTED AREA (FEMA)
 - NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM
- PROPOSED**
- LIMIT OF WORK/SEDIMENTATION BARRIER
 - SPOT GRADE
 - AREA OF MITIGATION PLANTINGS (SEE BLUE FLAX PLANS DATED 02-23-2022)
 - EXISTING VEGETATION TO BE REMOVED (SEE BLUE FLAX PLANS DATED 02-23-2022)

THIS PLAN SHOWS PROPOSED SITE MODIFICATIONS SHOWN ON PLANS BY BLUE FLAX DESIGN, LLC DATED 02-23-2022



Conservation Commissioner
TOWN OF TRURO
DEC 19 2023

F:\SD\PROJECTS\191717-01-CIV.dwg 11/13/2023 3:18 PM



RE-ISSUED FOR CONSERVATION COMMISSION REVIEW

250 Cranberry Hwy, Orleans, MA 02553
508.253.6333 P 508.253.8700 F

NO.	DATE	BY	DESCRIPTION
1	03-24-2022	BPM	ADJUST 50 FT BUFFER ZONE/ TOCB NEAR DRIVE. ADD COVERAGE TABLE
2	11-13-2023	MAB	EXISTING PLANINGS TO REMAIN DELETE NEW PATIO/WALKWAYS, RECONFIGURE DECK & UPDATE COVERAGES

BENOIT & ELIZABETH ALLEHAUT
40 SOUTH PAMET ROAD
TRURO, MA

PLAN SHOWING PROPOSED BUILDING AND SITE MODIFICATIONS

SCALE: AS NOTED
DRAWING FILE: C191717-01-CIV.dwg
DATE REV: 11-13-2023 03-02-2022
DRAWN BY: DAP
CHECKED BY: BPM

C2.1.1

1 of 1 SHEETS
PROJECT NO: C1917.01

Approved

C&J KATZ STUDIO
60 E. Street
Boston, MA 02127
617 464 0330
www.candjkatz.com

ALLEHAUT RESIDENCE
40 South Pamel Rd
Truro, MA



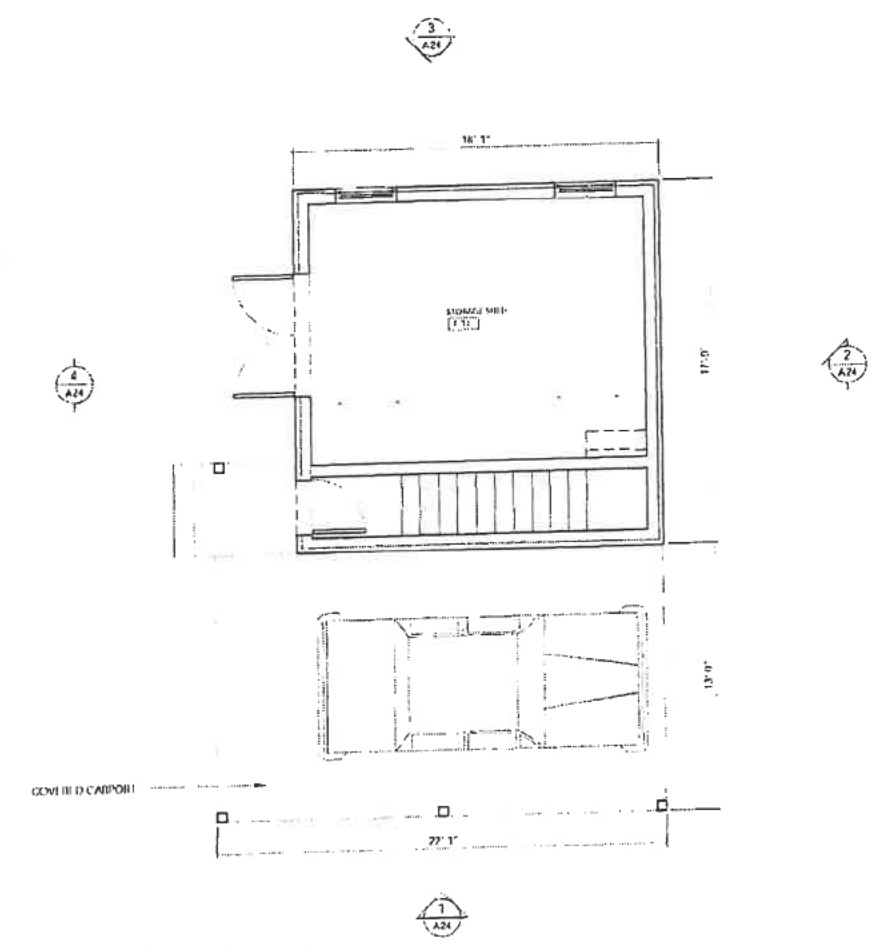
GENERAL NOTES

DATE: Jan 7, 2022

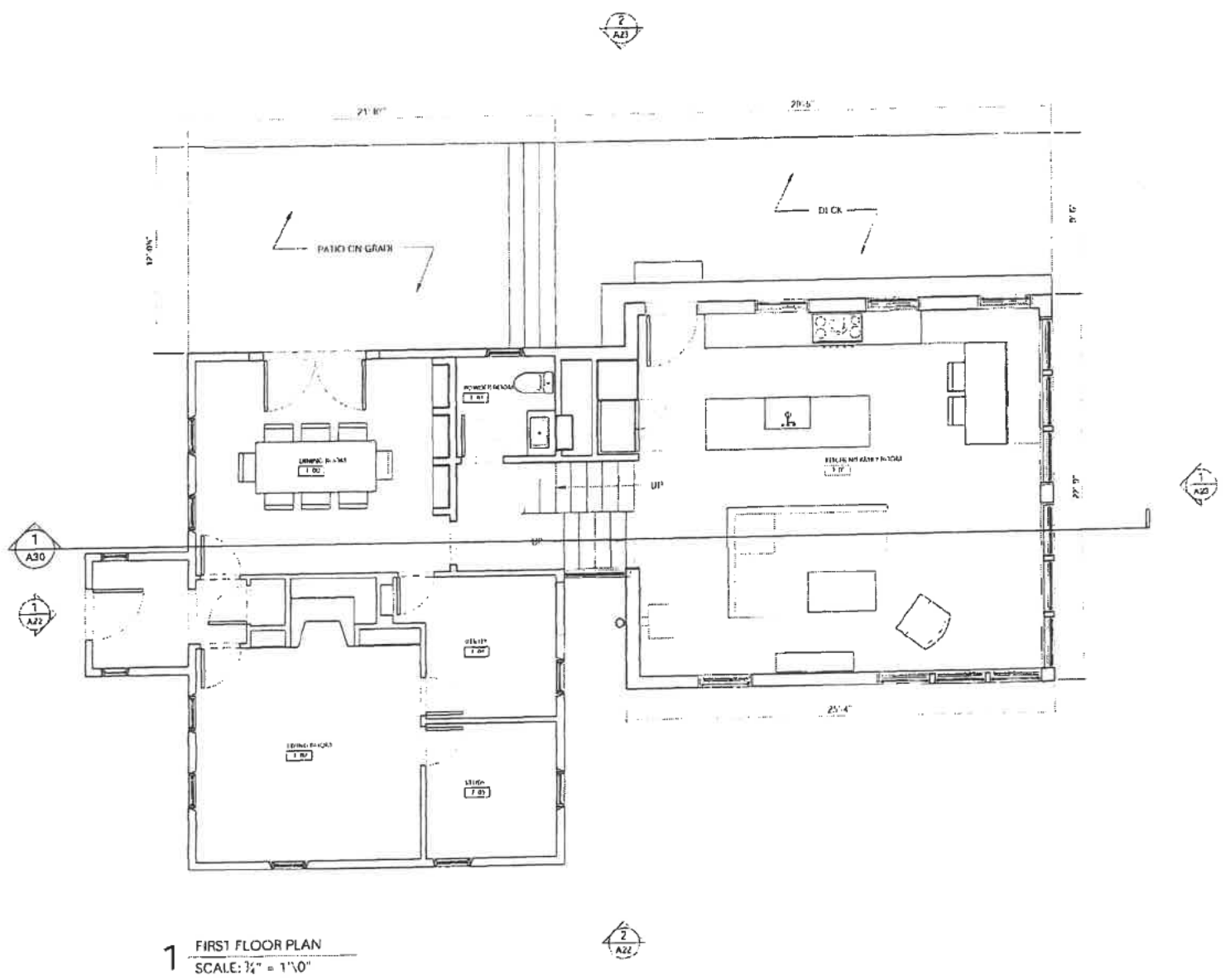
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN
A-01

8



2 SHED PLAN- FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Project: 40 South Pamel Rd, Truro, MA. Project Name: Allehaut Residence. Project Number: 1/17/2022 13:37 PM.

07082500

C&J KATZ STUDIO

60 F. Street
Boston, MA 02127
617.464.0330
www.candjkatz.com

ALLEHAUT RESIDENCE
40 South Pamel Rd
Truro, MA



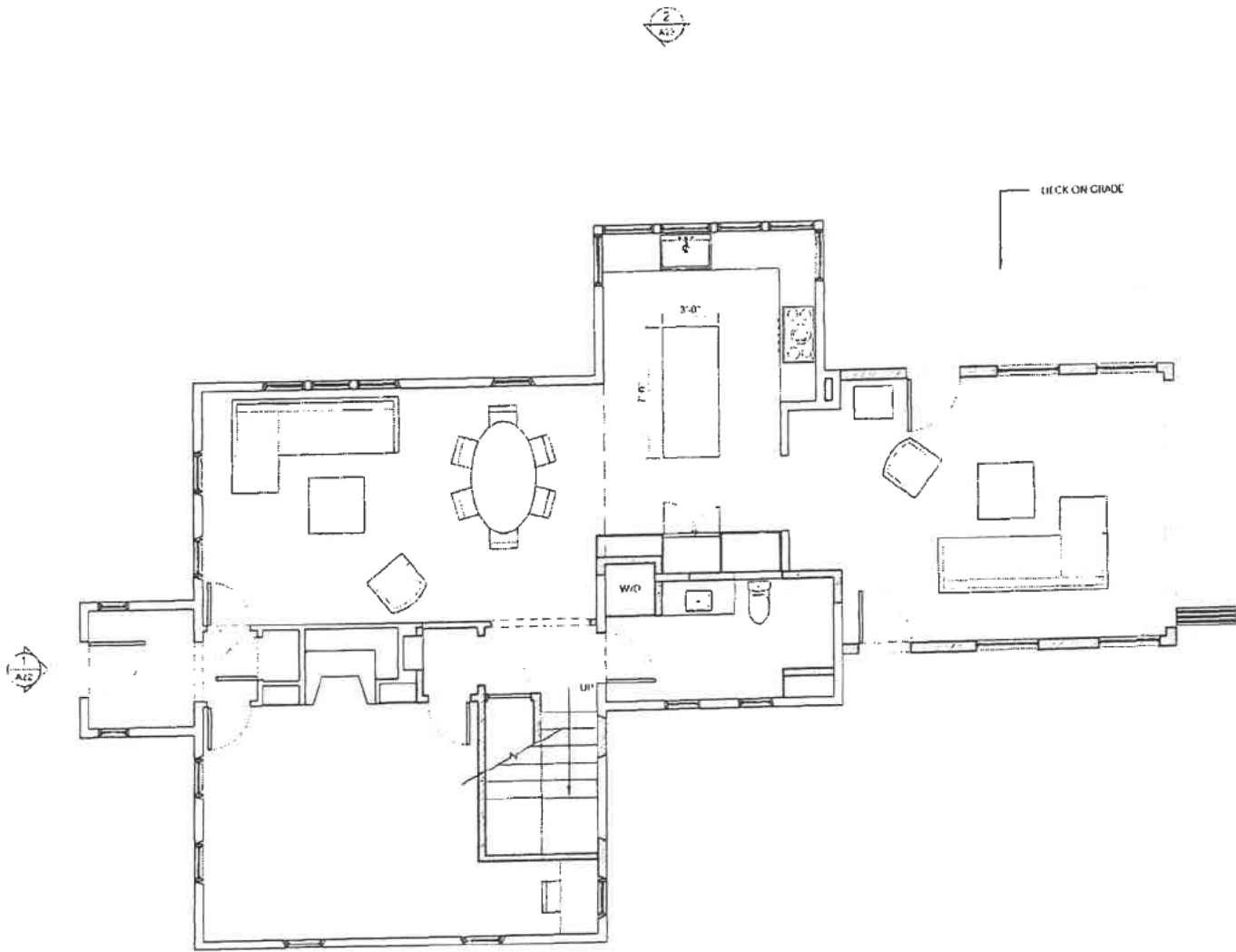
GENERAL NOTES:

DATE: Feb 14, 2023
REV: June 8, 2023

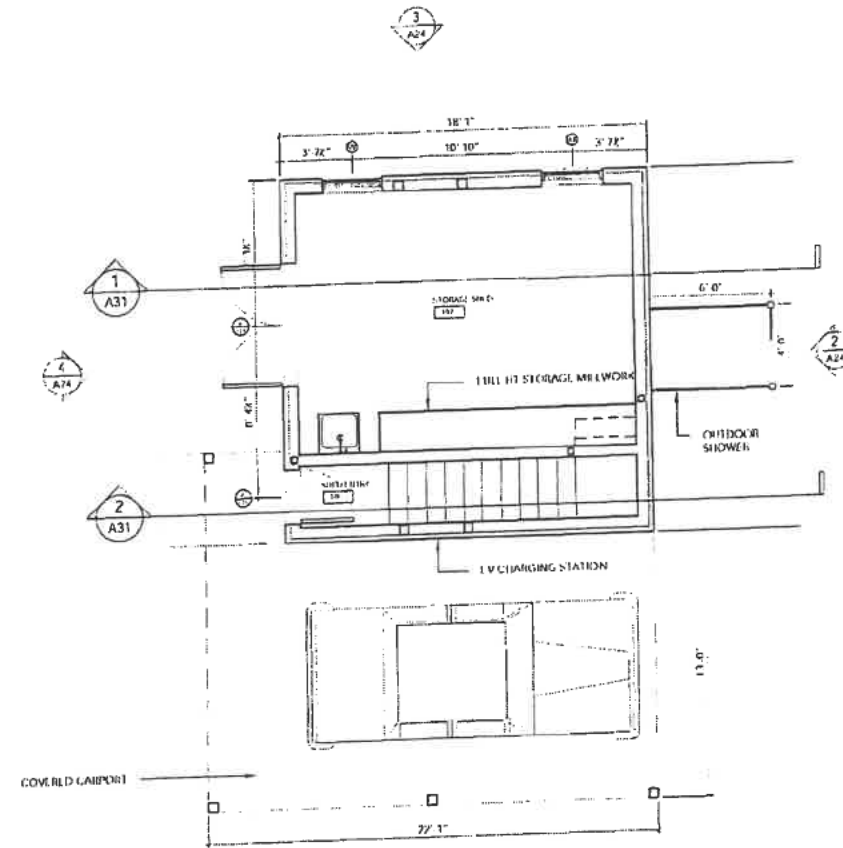
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLANS

A-01



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 CARRIAGE HOUSE - FIRST FLOOR
SCALE: 1/4" = 1'-0"

DRAFT ISSUED FOR PERMIT

9

Approved

C&J KATZ STUDIO

60 E. Street
Boston, MA 02127
617-464-0330
www.candjkatz.com

ALLEHAUT RESIDENCE
40 South Pamel Rd
Truro, MA



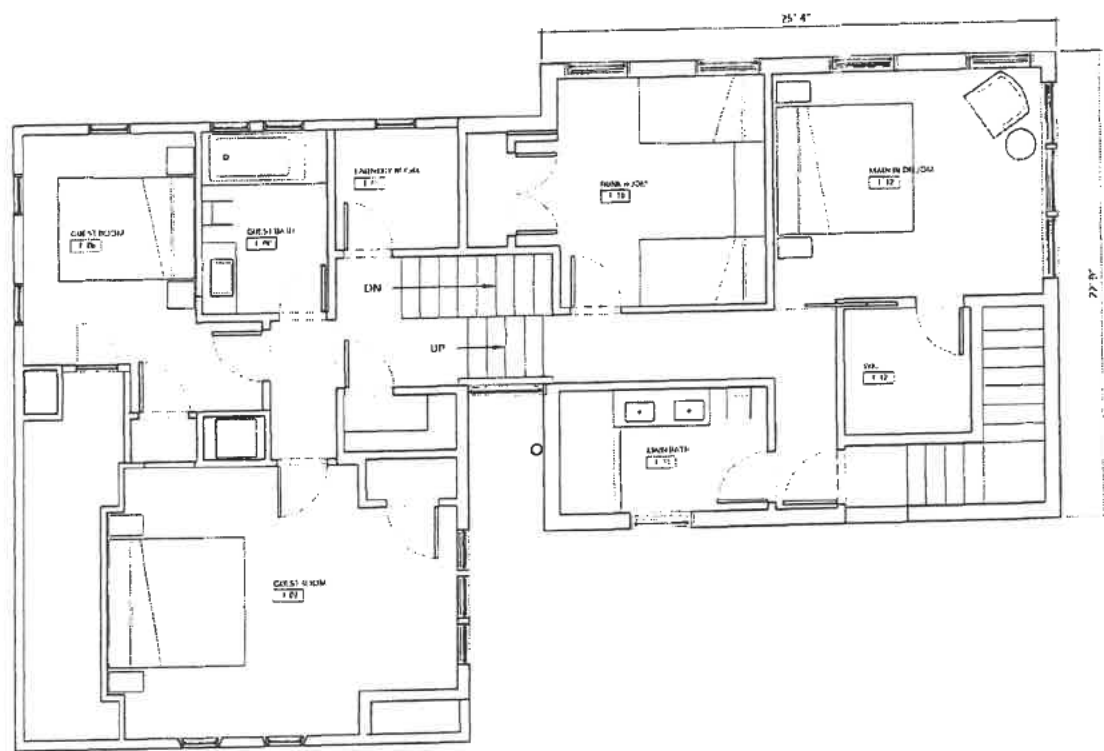
GENERAL NOTES:

DATE: Jan 7, 2022

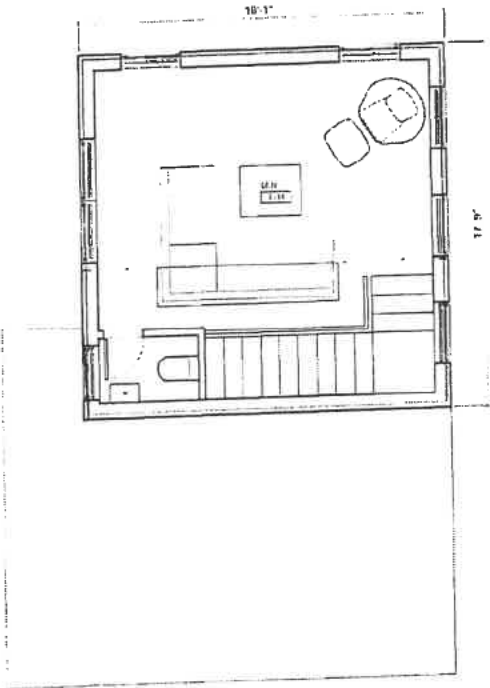
SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

A-02



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SHED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

10

BP 080500

C&J KATZ STUDIO
60 N. Street
Boston, MA 02127
E 17 464 0330
www.candkatz.com

ALLEHAUT RESIDENCE
40 South Pamel Rd
Truro, MA

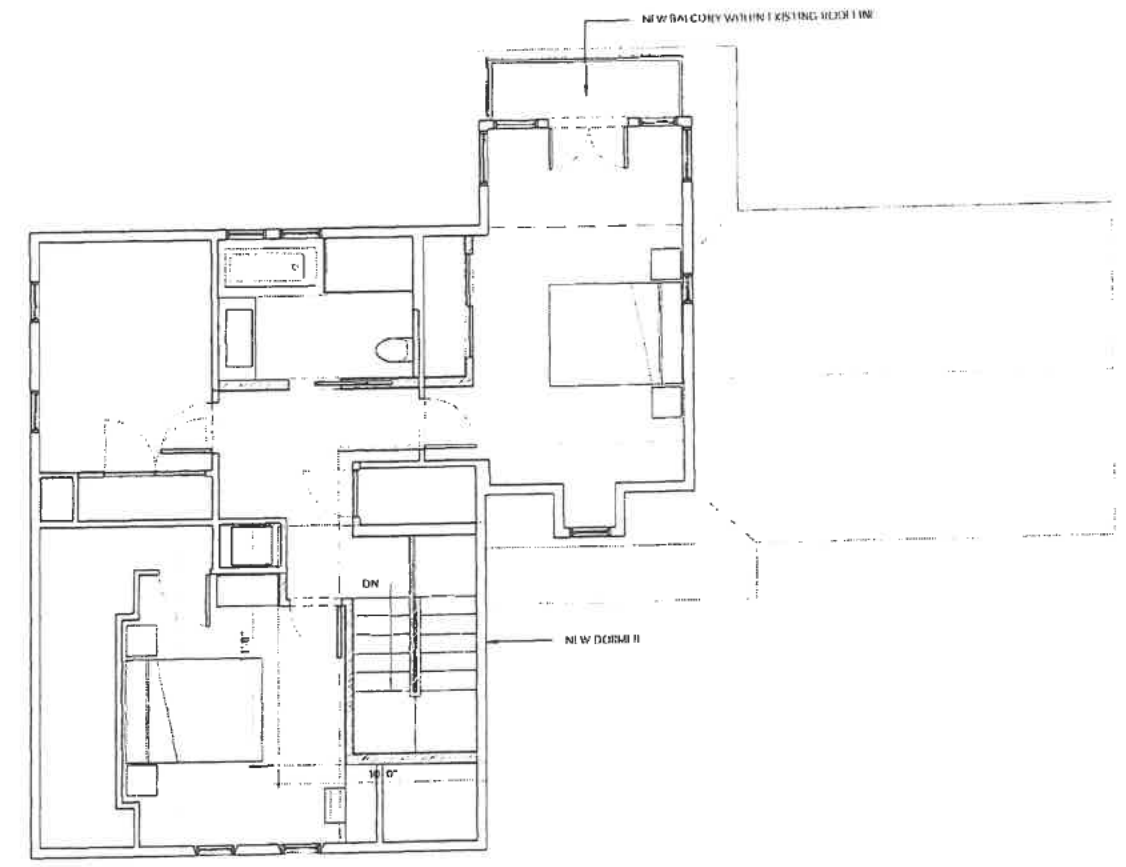


GENERAL NOTES

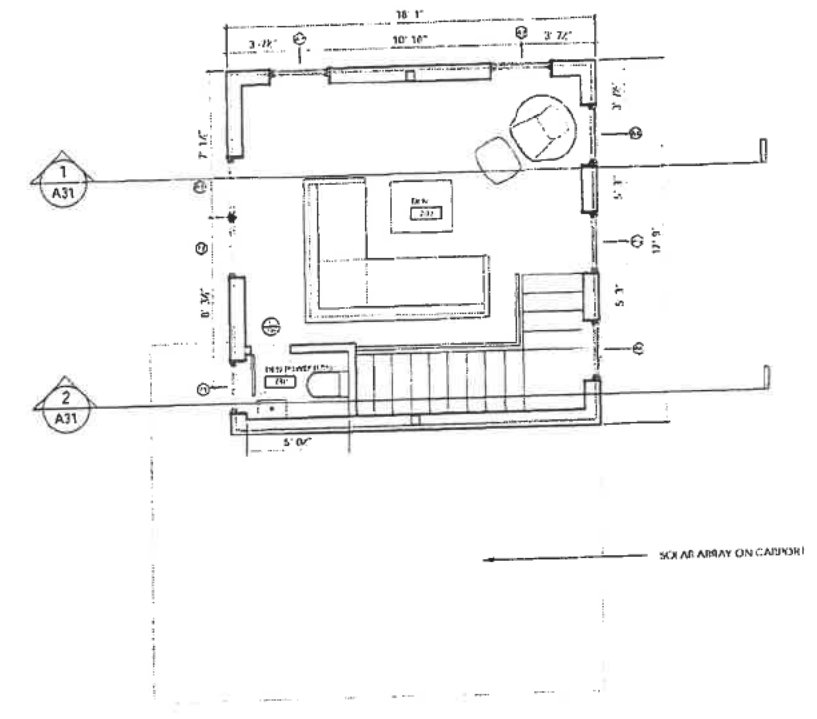
DATE: Feb 14, 2023
REV: June 8, 2023

SCALE: 1/4" = 1'-0"

SECOND FLOOR PLANS
A-02



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 CARRIAGE HOUSE - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRAFT ISSUED FOR PERMIT



Allehaute LLC, 40 South Pamel Rd, Truro, MA 01969. 01/11/2023 10:00 AM



Maura Healey, Governor
 Kimberley Driscoll, Lieutenant Governor
 Monica Tibbitts-Nutt, Secretary & CEO
 Jonathan L. Gulliver, Highway Administrator

Conservation Commissio.
 TOWN OF TRURO

NOV 22 2023



November 14, 2023

Carol Girard-Irwin, Chairperson
 Truro Conservation Commission
 Town Hall
 24 Town Hall Road
 Truro, MA 02666

RE: Truro Generic Drainage Systems Maintenance Order of Conditions Extension
 MassDEP File Number SE75-0951

Dear Ms. Girard-Irwin:

This letter concerns an ongoing MassDOT – Highway Division effort to maintain the drainage systems on Routes 6, 6A, South Pamet Road and Highland Road in the Town of Truro. Your Commission issued a five-year Order of Conditions to MassDOT on January 14, 2015, so that the appropriate mechanism would be in place if it was found necessary to perform drainage systems maintenance on short notice in or near a jurisdictional wetland. This Order of Conditions was extended for one year in January 2020, January 2021, January 2022, and January 2023. The Expiration date for the most recent extension is January 14, 2024.


This letter is a request that you issue an Extension to the original Order of Conditions (Department of Environmental Protection File #SE75-0951) for an additional three years so that this proactive public safety-oriented effort may continue.

If you have any questions concerning this request, please feel free to contact Andrea L. Coates, District Environmental Engineer, at (857)368-5085 or email andrea.coates@dot.state.ma.us. Please use the MassDOT District 5 Address of 1000 County Street, Taunton, MA 02780 for written correspondence and for the mailing of permits.

Sincerely,


Mary-Joe Perry (Nov 21, 2023 09:46 EST)
 Mary-Joe Perry
 District Highway Director


ALC (Nov 15, 2023 10:47 EST)
 ALC/ddp

cc: Richard F. Bilski, District Projects Development Engineer 
 Terrance G. Roche, District Maintenance Engineer
 Massachusetts Department of Environmental Protection- S.E. Regional Office

Ten Park Plaza, Suite 4160, Boston, MA 02116
 Tel: 857-368-4636, TTY: 857-368-0655
mass.gov/massdot

Field Change

Arozana Davis

From: Peter Rhoades <[REDACTED]>
Sent: Tuesday, December 5, 2023 5:20 PM
To: Arozana Davis
Subject: RE: Question on new beach stairs

4 Kill Devil Rd.

Thanks for all the quick review here Arozana. Yes please do. So pathway would be in the same location and same approximate width (or smaller) with probably some sort of slat or matt down on the sand for walking on. Only change would be instead of having stairs to get up on the raised walkway there will now be a few steps to get onto the top landing on the beach stairs.

Peter

From: Arozana Davis <ADavis@truro-ma.gov>
Sent: Tuesday, December 5, 2023 2:19 PM
To: Peter Rhoades <[REDACTED]>
Subject: RE: Question on new beach stairs

Peter,

If you want to go ahead with this change in plans, I can take your email to the Commission for a field change approval. Let me know how you want to proceed.

Best,

Arozana



PHONE: 508-214-0202
EMAIL: adavis@truro-ma.gov
WEB: www.truro-ma.gov
ADDRESS Town of Truro
24 Town Hall Rd
PO Box 2030
Truro, MA 02667



From: Peter Rhoades <[REDACTED]>
Sent: Tuesday, December 5, 2023 10:28 AM
To: Arozana Davis <ADavis@truro-ma.gov>
Cc: Emily Beebe <EBeeBe@truro-ma.gov>
Subject: RE: Question on new beach stairs

You got it!

Yes keep the exact plan as far as location and replant the old path...just eliminate the boardwalk and will have a few stairs up from the footpath to the rebuilt stairs at the top. At the time the board was being good to me as they know I do like the look and feel of a boardwalk and we had been back and forth on this proposal at the time with the board and I appreciated them agreeing to the boardwalk.

In hindsight I think the foot path will not just save some money but also not disturb the nice historic look of the cottages from the town beach.

Peter

From: Arozana Davis <ADavis@truro-ma.gov>

Sent: Tuesday, December 5, 2023 8:31 AM

To: Peter Rhoades <[REDACTED]>

Cc: Emily Beebe <EBeeBe@truro-ma.gov>

Subject: RE: Question on new beach stairs

Peter,

So much clearer! Yes, the Commission prefers a foot path over a boardwalk – that is correct. If I remember correctly, you were going to plant the old path so that people didn't walk that way anymore and then go via the new boardwalk. I assume you want to keep the same plan, plant the old path and have the new FOOTPATH in place of the boardwalk – correct?

-Arozana



PHONE: 508-214-0202
EMAIL: adavis@truro-ma.gov
WEB: www.truro-ma.gov
ADDRESS Town of Truro
24 Town Hall Rd
PO Box 2030
Truro, MA 02667



From: Peter Rhoades <[REDACTED]>

Sent: Monday, December 4, 2023 4:53 PM

To: Arozana Davis <ADavis@truro-ma.gov>

Cc: Emily Beebe <EBeeBe@truro-ma.gov>

Subject: RE: Question on new beach stairs

Arozana....

Thanks for quick response. Guess I better qualify what I am asking.

The beach stairs in the proposal would stay the same....just would want to consider deleting the raised walkway to them. Right now we have a path through the sand to the stairs and although the path will change in location slightly (from the current path) I want to consider the approach to the new stairs to be the same type of path through the sand

DEC 19 2023

PAID
CC

PERMIT # 2023-23



TOWN OF TRURO

Conservation Commission

24 Town Hall Road
P.O. Box 2030, Truro MA 02666

APPLICATION FOR ADMINISTRATIVE REVIEW PERMIT

PERMIT FEE \$20

Applicant Name: HARRY PALMER Telephone: [REDACTED]

Email address: [REDACTED]

Owner Name: White Village Condo Assoc. Telephone: [REDACTED]

(If the applicant is not the owner of the property, written consent to the work MUST be attached to this Application.)

Address of subject property: 334 Shore Rd Map: 13 Parcel: 14

Description of proposed work: Sand replacement from erosion on bulk head and driveway

Proximity to Resource Areas: LSCSF

CRITERIA FOR ADMINISTRATIVE REVIEW (AR) PERMITS

Vegetation Projects:

- No removal of vegetation within any inland or coastal wetland resource.
- No uprooting of vegetation.
- No mowing to the ground or clear cutting.
- Any proposed tree removal is demonstrated to be necessary, e.g., to protect existing structures, public safety, traffic visibility, etc.
- Mitigation may be required, i.e., an area to be planted with native species of trees or shrubs.
- Trees for removal must be tagged for inspection.
- No excavation by machinery is required or proposed.

Sheds and Other Construction Projects:

- No construction within any wetland resource except for minimal projects with the consent of the Conservation Agent.
- Any proposed new construction is more than 50' from the edge of resource area.
- No excavation by machinery is required or proposed.
- Foundation for structure shall be concrete blocks, sono tubes, diamond piers
- Repairs or replacement of existing structures remain within the same footprint.
- New structures must be less than 160 square feet.
- Only minimal projects such as biomimicry, sand nourishment, beach grass and planting of native species shall be allowed under this permit

Procedure:

- The fee shall be submitted with the Administrative Review Application.
- The Agent shall conduct a site visit, at which time the proposed project must be clearly defined in the field with stakes. Trees shall be flagged.

- If the Agent determines that all of the conditions of this Policy are met, the Agent may approve the Application. If the conditions of this policy are not met; the application is incomplete; or the field ID is inadequate the application is denied.
- **If the Agent approves the application, such approval must be ratified by the Truro Conservation Commission prior to the issuance of this permit and prior to the commencement of any work.**
- Any Property Owner, contractor or other agent of the owner performing any work pursuant to an Administrative Review permit shall have a copy of the permit available at the site at all times during the period that the work is being performed.
- Upon approval and ratification by the Commission, an Administrative Permit shall issue.
- The applicant shall notify the Commission prior to the start of the work, and must complete the work within thirty (30) days of issuance of the permit, unless otherwise permitted by the Commission.
- The Conservation Agent shall inspect the property to verify that the work completed is within the scope of the Approved Application.
- Any work beyond the scope of the approved Administrative Review shall be subject to enforcement action.
- NOTE: Use of town property for beach access or staging of construction materials requires a permit issued by the Board of Selectmen.

By signing this permit application, you are acknowledging that you have read and understand the terms as stated herein. You are also aware that no work shall go forward until the permit has been issued by the Conservation Commission.

Warry Palmer 12/19/23
 (Signature of Applicant) (Date)

FOR OFFICE USE ONLY:

Agent's Comments: EMERGENCY NOURISHMENT APPROVED
BY CHAIR / POST STORM

Site Inspection Date: 12/19/23 Application Approved: Yes No

Conservation Commission Review: Meeting Date: 1/8/2024 Permit Approved: Yes No
 Conditions: _____

Signature of Commission Chair or Agent: [Signature] Date: 1/4/2024

Courtney Warren

From: [REDACTED]
Sent: Tuesday, December 19, 2023 1:31 PM
To: Courtney Warren
Subject: FW: FW: Sand erosion #13

Here is the email from the owner of the piece of land adjacent to cottage #13 (Helena Mota), giving permission to dump the sand as needed.

Harry

Sent from [Mail](#) for Windows

From: [Oceana Cottages](#)
Sent: Tuesday, December 19, 2023 1:18 PM
To: [Harry](#)

[REDACTED]
Subject: Re: FW: Sand erosion #13

Hi Harry,

You have my permission for the sand. I hope that everything else is okay over there and that all your condos faired well after the storm.

Happy Holidays to all of you!

Best Regards,
Helena (Elenna) Mota CTC
Oceana Cottages
345 Shore Road
P.O. Box 445
North Truro, MA
02652

[REDACTED]
On Tue, 19 Dec 2023 at 13:07, Harry <[REDACTED]> wrote:

Sent from [Mail](#) for Windows

From: [hpalmer](#)

Sent: Tuesday, December 19, 2023 12:18 PM

To: [REDACTED]

Subject: Sand erosion #13

Will need to get some sand dumped with permission from the Conservation Commission and Helena's OK. I will get in touch with the cons. com and someone to dump the sand.

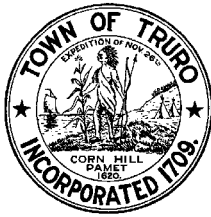
Harry

Sent from Samsung Galaxy smartphone.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.







TOWN OF TRURO
CONSERVATION COMMISSION
P.O. Box 2030
Truro MA 02666-0630

Conservation Commission Meeting Minutes: November 6, 2023

Commissioners Present: Chair Carol Girard-Irwin; V. Chair Linda Noons-Rose; Commissioners Larry Lown, Clint Kershaw, Bob White, Diane Messinger

Others Present: Emily Beebe, Conservation Agent; Courtney Warren, Assistant Conservation Agent.

This was a remote meeting. Chair Girard-Irwin called the meeting and public hearings to order at 5:00 p.m. and provided the virtual meeting instructions and thanked retiring Commissioner Larry Lown for his many years of service to the Town.

Notice of Intent: 544 Shore Road, Beach Townhomes Condominium Trust (SE#75-1171): install bulkhead; Barrier Beach, Coastal Beach, Coastal Dune, Land Subject to Coastal Storm Flowage (Map 7, Parcel 5) This was continued from 10/2/2023. The applicant asked to withdraw the Notice of Intent. **Motion:** Chair Carol Girard-Irwin moved to accept the withdrawal; **Second:** Commissioner Diane Messinger; **Vote:** 6-0-0; the motion passed.

Notice of Intent: 432 Shore Road Unit 8, Travis & Anne Zukowski (SE#75-1191): renovate existing building onto flood compliant foundation with two additions to footprint; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 9, Parcel 8.8) The applicant requested a continuance to the December 4th meeting. **Motion:** Chair Carol Girard-Irwin moved to continue the hearing until December 4, 2023; **Second:** Commissioner Bob White; **Vote:** 6-0-0; the motion passed.

Request for Determination of Applicability: 37 Ryder Beach Road, Harriet R Meiss Trust: septic upgrade; Barrier Beach and Land Subject for Coastal Storm Flowage. (Map 63, Parcel 9) Laura Schofield, Schofield Brothers, represented the project, and described the cesspool upgrade for the seasonal dwelling. Both cesspools on the property were proposed to be abandoned and filled, but the Commissioners requested that the cesspools be removed. The system design will accommodate a future retrofit to an enhanced I/A system. The well will be relocated to the north of the cottage along the property line. Construction access will be from the driveway, and disturbed area will be revegetated with American beach grass after the installation. They propose replacement of the walkway that currently exists on the property but are unsure of the exact configuration due to needing to account for mobility issues. It was agreed that if the walkway will be a one-to-one ratio replacement, it is approved under this RDA. If it needs to be in a different location, a new filing will be submitted. **Motion:** Commissioner Linda Noons-Rose moved for a negative 3 determination with the condition that any change in the walkway location needs further Commission review; **Second:** Commissioner Diane Messinger; **Vote:** 6-0-0; the motion passed.

Request for Determination of Applicability: 525 Shore Road Unit 7, Paul & Cheryl

Silvernail: repair walkway; Barrier Beach, Coastal Dune and Land Subject to Coastal Storm Flowage. (Map 63, Parcel 9) This application proposed a 1:1 replacement of existing elements with different materials. **Motion: Commissioner Clint Kershaw moved for a negative 3 determination; Second: Commissioner Diane Messinger; Vote: 6-0-0; the motion passed.**

Request for Determination of Applicability: 11 Knowles Heights Road, Joseph Siciliano & Larry Richardson: cesspool upgrade; Buffer Zone to a Coastal Bank. (Map 24, Parcel 5) Stephanie Sequin of Ryder and Wilcox represented the project for a cesspool upgrade to a title 5 septic system. The system itself is outside of jurisdiction, but the proposed building sewer line and cesspool are within jurisdiction. Ms. Sequin described the construction protocol for the site, and restoration of the disturbed areas with American beach grass. The design will require Board of Health variances. Chair Girard-Irwin confirmed that the cesspool will be removed instead of being filled and abandoned. **Motion: Commissioner Linda Noons-Rose moved for a negative 3 determination with the condition that the cesspool be removed; Second: Commissioner Diane Messinger; Vote: 6-0-0; the motion passed.**

Notice of Intent: 522 Shore Road, Sutton Place Condominium (SE#75-1187): coastal stabilization; Barrier Beach, Coastal Dune, and Land Subject to Coastal Storm Flowage. (Map 7, Parcel 8) This matter was continued from 10/2/2023. Chair Carol Girard-Irwin noted that the site was not staked but that the coir logs would be up against the landward side of the existing drift fence. Commissioner Linda Noons-Rose asked about the beach access pathways staking. Stan Humphries said that the beach access was included in the Order for the previously approved sturdy fence project and shared a sketch from that filing. Commissioner Clint Kershaw was concerned about protecting the dune area, and asked if an additional dune could be re-built on the landward side of the coir logs. The Agent asked about protecting the dune to the west of the sturdy fence, adjacent to the Ebbtide. Mr. Humphries asked for a continuance to the December 4th meeting to discuss these items with the client. Paul Shea was representing Ebbtide and stated that the association supports a shoreline stabilization project for Sutton Place but has concerns that it could be potentially destabilizing for Ebbtide, further undermining their foundations. Ebbtide would like the ability to repair any such damage immediately. **Motion: Commissioner Clint Kershaw moved to continue the hearing until December 4, 2023; Second: Commissioner Diane Messinger; Vote: 6-0-0; the motion passed.**

Notice of Intent: 566 Shore Road Ocean Breeze Condominium (SE#75-1186): shoreline stabilization; Barrier Beach, Coastal Dune, and Land Subject to Coastal Storm Flowage. (Map 5, Parcel 29) This matter was continued from 10/2/2023. Stan Humphries represented the project proposal which has been revised to include additional sand nourishment and plantings. A single beach access path and the construction access path were shown on the revised plan. Commissioner Clint Kershaw asked about increasing the elevation of the nourishment from 12 feet to 14 feet. The Commissioners and representative agreed to a condition to increase the dune elevation from 12 feet to 13 feet NAVD. **Motion: Commissioner Clint Kershaw moved to approve the Notice of Intent with the conditions; Second: Commissioner Linda Noons-Rose; Vote: 6-0-0; the motion passed.**

Notice of Intent: 22 Resolution Road, James & Anne Marie Corner (SE#75-1190):

construction of two additions; Buffer Zone to a Coastal Bank. (Map 45, Parcel 68)
John O'Reilly represented the project to construct two small additions to the seasonal single-family dwelling. The existing pervious driveway and walkways will be reconfigured, and stormwater from the roof has been addressed. The Commissioners were impressed by how well vegetated the site was and no opportunities for mitigation were found. Abutter, Fred Fehlau, emailed support for the proposed project. And abutter Jo Citron stated that she felt the project was well designed. **Motion: Commissioner Linda Noons-Rose moved to approve the Notice of Intent; Second: Commissioner Diane Messinger; Vote: 6-0-0; the motion passed.**

Extension Request: 4 Kill Devil Rd, SE# 75-1102 Motion: Chair Carol Girard-Irwin moved to approve a 3-year extension; Second: Commissioner Clint Kershaw; Vote: 6-0-0; the motion passed.

Field Change: 40 Corn Hill Rd, SE# 75-1139 The applicant submitted a plan to add native plantings and reduce lawn area. **Motion: Commissioner Diane Messinger moved to approve the field change; Second: Commissioner Clint Kershaw; Vote: 6-0-0; the motion passed.**

Certificates of Compliance: (1) 584 Shore Road (SE# 75-742); (2) 49 Fisher Rd (SE# 75-1093) Motion: Chair Carol Girard-Irwin moved to approve the Certificate of Compliance Requests; Second: Commissioner Bob White; Vote: 6-0-0; the motion passed.

Minutes: August 7, 2023, September 11, 2023, October 2, 2023 There was discussion about some minor edits to the minutes. **Motion: Commissioner Clint Kershaw moved to approve the minutes as amended. Second: Commissioner Larry Lown; Vote: 6-0-0; the motion passed.**

Agreement for judgement- 3 Corn Hill Path,
The Agent gave a brief description of the status of the appeal. **Motion: Chair Carol Girard-Irwin moved to accept the agreement for judgement as presented; Second: Commissioner Diane Messinger; Vote: 6-0-0; the motion passed.**

Commissioner Lown made a motion to adjourn the meeting and stated that it had been a very informative experience working with the Conservation Commission. **Second: Commissioner Linda Noons-Rose; Vote: 6-0-0; the motion passed.**

The meeting was adjourned at 6:28 PM.

Respectfully Submitted by Emily Beebe



TOWN OF TRURO
CONSERVATION COMMISSION
P.O. Box 2030
Truro MA 02666-0630

Conservation Commission Meeting Minutes: December 4, 2023

Commissioners Present: Chair Carol Girard-Irwin; Vice Chair Linda Noons-Rose; Commissioners Clint Kershaw & Bob White; **Absent:** Diane Messinger **Others Present:** Emily Beebe, Conservation Agent; Courtney Warren, Assistant Conservation Agent.

This was a remote meeting. Vice Chair Linda Noons-Rose called the meeting and public hearings to order at 5:03 pm and provided the virtual meeting instructions.

Request for Determination of Applicability: 43 Ryder Beach Road, Noel O'Connell: one-to-one replacement of a deck; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. (Map 63, Parcel 19) Owner Vince O'Connell described the project as a 1:1 replacement needed to repair a deck. Commissioner Bob White asked if the digging for the pre-cast supports could be done by hand. Vince O'Connell answered yes and noted that all digging would be under the existing deck where there is no vegetation. Commissioner Linda Noons-Rose asked about construction access, which would be from the driveway. Chair Carol Girard-Irwin suggested a condition that disturbed areas be replanted. There was a discussion about the very healthy dune and a condition was suggested that when the footpath needs replacement that a seasonally removable walkway be used. **Motion:** Commissioner Clint Kershaw moved for approval of the request with conditions; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion passed.

Notice of Intent: 522 Shore Road, Sutton Place Condominium (SE#75-1187): coastal stabilization; Barrier Beach, Coastal Dune, and Land Subject to Coastal Storm Flowage. (Map 7, Parcel 8) This matter was continued from 11/6/2023. Representative Stan Humphries shared a photo of existing conditions with a schematic titled "figure 1" showing the proposed locations of the coir logs, coir envelopes, and sand nourishment. Sand fencing is proposed to direct pedestrian access. The Agent asked Mr. Humphries to provide more detail with distances between the front of the cottages and the fencing. Commissioner Clint Kershaw suggested that the dune should be 3 to 4 feet higher than the top of the fencing. lengthy discussion followed about enlarging the dune restoration. Commissioner Linda Noons Rose suggested that moving the dune restoration further landward should be evaluated. There were questions about the proposed dune heights, volume of sand, and how to keep the sand in place on the waterside during storms. Chair Carol Girard-Irwin also asked specifically how foot traffic would get to the beach. It appeared that more information about the pros/cons of the different dune restoration options and volumes of sand was needed. Stan Humphries asked for a continuation to January 8, 2024, and will discuss with the Agent as needed before the next meeting. Between the motion and the second, abutter Marie Belding asked whether the fence would be extended to the Ebftime property line. This was never proposed. **Motion:** Commissioner Clint Kershaw moved to continue the matter until the January 8, 2024, meeting. **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion passed.

Notice of Intent: 432 Shore Road Unit 8, Travis & Anne Zukowski (Map 9, Parcel 8.8) (DEP SE#75-1191): Proposal to remove and remodel existing condominium building, install a FEMA compliant foundation and two additions to footprint; Barrier Beach, Coastal Dune, Land Subject to Coastal Storm Flowage. John O'Reilly and Andrew Philbrook, builder, described the proposal to elevate the replacement structure 2.5 above the existing grade. The structure is not in the velocity zone. Commission Chair Carol Girard-Irwin was concerned about the increase in size in the flood plain with little to no mitigation proposed. Vice chair Linda Noons-Rose asked about using roll-up walkways instead of the concrete walkway as mitigation, but one provides access for a neighboring unit and the other is needed for access into the building. She also asked John O'Reilly for clarification on the plans as only one set had been updated, making it difficult to determine what was being requested. The Agent asked Mr. O'Reilly to clarify what mitigation was proposed and noted that under the by-law the Commission looks at cumulative impact. Vito Moreno, trustee with Wind & Wave condominiums, expressed concerns about the height of the proposed replacement structure, but Vice chair Linda Noons-Rose reminded him that height is not in the purview of the Commission. He also stated that the association paperwork had been amended to allow cottages to be squared off. Commissioner Bob White was concerned about any increase of the building in the flood zone and wanted to see revised plans. The Agent asked if they had filed with ZBA yet to which John O'Reilly stated that he did not believe so. Commissioner Bob White suggested that more elevations should be included on the plans and that structures that are being removed should be taken off the plan rather than just crossed off. Chair Carol Girard-Irwin asked if there was an alternative to elevate and not expand. Mr. O'Reilly was not prepared to discuss that at this meeting and asked if any expansion would be a hard stop or if it was just that the mitigation was not sufficient. Except for one Commissioner, the Commission was unified in their concern about the cumulative effect of expansion. Mr. O'Reilly asked for a continuance until the January 8, 2024, meeting. **Motion: Commissioner Clint Kershaw moved to continue the hearing until January 8, 2024; Second: Commissioner Bob White; Vote: 3-0-1 (Commissioner Linda Noons-Rose abstained); the motion passed.**

Notice of Intent: 2 Ryder Hollow Rd, Bradley & Kimberly Bernstein (SE#75-1192): addition and septic upgrade; Land Subject to Coastal Storm Flowage, Buffer Zone to a Coastal Bank (Map 63, Parcel 14) Laura Schofield described the proposal for a small addition and septic upgrade to an existing dwelling within the buffer zone to the Coastal Bank. The small, single-story addition will be on the side of the home furthest from the resource area. Proposed mitigation includes removal of invasive plants and revegetation with beach grass, bearberry and other native species. Additionally, the most important environmental benefit is that the new septic system will be a Nitroe® enhanced innovative/alternative system. The Commissioner Clint Kershaw asked about the drywell sizing. Laura Schofield described what they plan to use and the sizes. The Agent asked about the gully erosion on the south side of the property. The Commissioners discussed adding a condition that gutters and downspouts to drywells be added to the existing structure as well as to the addition. Laura Schofield said that the outdoor shower was being removed for now and that the applicants would return to the Commission when they decide on a location. **Motion: Commissioner Carol Girard-Irwin moved to approve the Notice of Intent with conditions; Second: Commissioner Clint Kershaw; Vote: 4-0-0; the motion passed.**

Field Change: Herring River/Old County Rd borings; SE#75-1144, Herring River Restoration. Additional borings are required prior to commencing work to elevating Old County Road. **Motion:** Commissioner Clint Kershaw moved to accept the field change; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion passed.

Field Change: 423 Shore Rd, SE# 75-1162. This field change allows a slight change in grading to accommodate the curb cut application for the property. **Motion:** Commissioner Clint Kershaw moved to approve the field change; **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion passed.

Administrative Reviews (AR): (1) 618 Shore Rd U:6 install pervious patio in accordance with previously approved Order of Conditions. **Motion:** Commissioner Clint Kershaw moved to approve the AR review request. **Second:** Chair Carol Girard-Irwin; **Vote:** 4-0-0; the motion passed.

Commissioner Clint Kershaw moved to adjourn the meeting; **Second:** Commissioner Bob White; **Vote:** 4-0-0; the motion passed.

The meeting was adjourned at 6:55 PM.

Respectfully Submitted by Courtney Warren