

TRURO PLANNING BOARD AGENDA
TUESDAY, January 17, 2017 – 6:00 p.m.
Truro Town Hall, 24 Town Hall Road, Truro

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

Public Hearing – Commercial Site Plan Review

2016-008SPR Maria Kuliopulos seeks approval of a Modification to a Commercial Development Site Plan pursuant to §70.3 of the Truro Zoning By-law for consolidation of units to reduce the number of units on the property by four. Plans include construction of a replacement building containing 17 rentable units and a hospitality room in the same location as a previously demolished fire damaged structure. The property is located at 706 Shore Road, White Sands Beach Club, Atlas Map 1 Parcel 5.

Public Hearing – Commercial Site Plan Review

2016-009SPR Adventure Bound Camping Resorts seeks approval of an application for Commercial Site Plan Review pursuant to §70.3 of the Truro Zoning By-law for the redevelopment of Horton's Camping Resort, including proposed sewer and water systems, upgrades to existing electrical, a proposed wastewater treatment facility, and the realignment of existing campsites and gravel roadways. The property is located at 67 South Highland Road, Map 37 Parcel 15.

Public Hearing – Residential Site Plan Review

2016-010SPR Robert and Jennifer Stello, seek Residential Site Plan approval pursuant to §70.4 of the Truro Zoning Bylaw to demolish a residential structure and construct a new two-story residence and garage on property located at 22 Cliff Road, Map 29, Parcel 10.

Possible Discussion on Zoning Bylaws

§30.3 Seashore District

§40.2 Affordable Accessory Dwelling Unit

Review and Approval of Meeting Minutes

January 3, 2017 Planning Board Meeting

Reports from Board Members and Staff

Meeting Dates and [Other Important Dates](#)

January 31, 2017 (Tues.) – Informational Meeting on §30.3 Seashore District

February 7, 2016 (Tues.) – Regular Meeting

February 21, 2016 (Tues.) – Regular Meeting

Adjourn



TOWN OF TRURO

Planning Department

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004 Fax: (508) 349-5505

Memorandum

To: Planning Board
Fr: Carole Ridley
Date: January 11, 2017
Re: Staff Report

2016-008SPR Maria Kuliopulos seeks approval of a Modification to a Commercial Development Site Plan pursuant to §70.3 of the Truro Zoning By-law for consolidation of units to reduce the number of units on the property by four. Plans include construction of a replacement building containing 17 rentable units and a hospitality room in the same location as a previously demolished fire damaged structure. The property is located at 706 Shore Road, White Sands Beach Club, Atlas Map1, Parcel 5.

Background

The Planning Board conditionally approved a site plan for this property on January 19, 2016. The site plan covered the reconstruction of a fire-damaged building. In accordance with an Order for Judgment, the applicant had until October 30, 2016 to complete the reconstruction of the units per the approved plan. The applicant was did not meet this timeline and the Town Board of Selectmen did not grant an extension. (Letter from Zisson & Veara to Christopher Snow, September 21, 2016) Upon the lapse of the time period for action, the applicant lost grandfathered zoning status with respect to number of units on the property. Accordingly, the applicant was instructed to submit a modified site plan to the Planning Board that complied with current zoning. This required a reduction in the number of units on the property.

Under the Zoning Bylaw, the following section governs Modification of an Approved Site Plan:

*H. Modification of an Approved Site Plan
Modifications to a project that has received Site Plan Approval shall be submitted to the Planning Board for further review. A filing of said modification shall be submitted in accordance with Section 70.3.D.*

Section 70.3.D sets for the requirements for a Commercial Site Plan application.

Completeness of Application

On October 31 the applicant submitted materials accompanied by an outdated application form. Following review of the submission, an application review letter was sent on November 3, 2016 indicating that the application was deficient and indicating the steps needed to complete the application. Because it was not a complete application, this submission did not start the time clock for opening a public hearing.

The following materials were submitted by the applicant to the Town Clerk on November 28, 2016:

- Memo from M Kuliopulos to Truro Planning Board Re: 1. Waiver request for the unit consolidation and 2. The submitting of additional info on the approved 1/19/15 site plan
- Balance of fee (\$125.00) owed
- Commercial Site Plan Review Decision of Truro Planning Board, dated January 19, 2016 True copy attest and recorded at Barnstable County Registry of Deeds
- List of abutters issued by the Truro Assessors Office
- List of abutters issued by the Provincetown Assessors Office
- Stormwater Management Report and Operations and Maintenance Manual Prepared for White Sands Beach Club by Coastal Engineering, October 7, 2015
- Letter of Transmittal from Luna Design Group to Mr. Paul Oliviera, Avalon Building Systems, dated September 5, 2016, re: interior and exterior materials
- Western Surety Performance Bond, bond # 71820846, dated September 20, 2016
- Plans entitled: Proposed Site Plan for Replacement of a Fire Damaged Building, White Sands Beach Club, Inc. 706 Shore Road, Truro, Massachusetts, December 29, 2015, sheets, 1"=20' (photocopies not to scale):
 - C0.0.1 cover
 - C1.2.1 Existing Conditions Plan
 - C2.0.1 Site Demolition Plan
 - C.2.1.1 Site Layout and Materials Plan
 - C.2.2.1 Site Grading and Drainage Plan
 - C2.4.1 Site Details
 - C2.4.2 Sewage Disposal System Modification Details
- Plans entitled Beach front White Sands Motel Existing Exterior Elevations, prepared by Bruce, Ronane Hamilton Architects, 3/16" = 1', 11/23/16, sheets
 - A-6.0 Existing Exterior Elevations
 - A.2.0 Existing Second Floor Plan
- Untitled elevation and floor plan
- Letter from Truro Health Department to M Kuliopulos, November 3, 2016 Re: Maria Kuliopulos, white Sands Beach Club, 706 Shore Rd., Review of Proposed Floor Plan to Combine Units for Existing Motel Building
- Email from E Beebe to J Kuliopulos re: White Sands , and attached approved plant list
- 8.5" x 11" photocopy of plan entitled White Sands Beach Club, C.2.2.1, with hand written notation Jonathan Rice Landscape Plan

An application review letter was mailed on December 19, 2016 identifying additional information required to complete the application.

On December 29, 2016 the following supplemental materials were submitted to the Town Clerk:

- Commercial Development Application for Site Plan Review
- Email from Maria Kuliopulos to Carole Ridley re: 2016-008SPR application additions
- Email from Stacy Kanaga of Coastal Engineering to M Kuliopulos (undated) re: waivers
- Plan entitled Site Lighting Plan for White Sands Beach Club, 706 Shore Road, by D.P Evers Architecture, scale 1"=20', dated 1/13/15
- Plant list submitted by Jonathan Rice Landscaping to M Kuliopulos, undated

- Plan entitled White Sands Beach Club, C.2.2.1, prepared by Coastal Engineering with notation Jonathan Rice Landscape Plan, 1"=20', dated 12/29/15

Staff Comments

- The applicant should provide a full size plan set.
- The submitted project estimate of \$5,000 does not seem high enough to cover the cost of the project, including the elements from the previous approved plan. No detail was provided.
- The following conditions of the January 19th decision remain outstanding:
 - Applicant should provide an operations plan to detail how conditions #3-5 will be met.
 - Plans do not appear to address condition #6 in the January 19th decision to augment the vegetated buffer on the eastern boundary of the property.
 - Condition #7 calls for the repair of the unfinished roof at the northeasterly end of the property prior to issuance of the Certificate of Occupancy. Given the time lapse in finishing the project, the Board may wish to revisit and expedite this work.
 - Condition #9 requires that the applicant obtain an amended order of Conditions to address the need for a planting plan.
 - Applicant has indicated that they cannot meet the condition #19 to relocate the air conditioning unit to the front of the building or to provide noise mitigation. The Board may wish to discuss this with the applicant and provide further guidance.
 - The performance bond references the previously approved project and would need to be replaced or amended.
- 70.3.D.3.d Landscape Plan does not meet the requirements of the bylaw.

Conservation Commission

- The Conservation Commission has approved a list of plants but has not approved a planting plan for the property and this will need to be addressed in an amended Order of Conditions.

Board of Health

- The Board of Health has approved the revised floor plan showing the consolidation of units in the western buildings from 8 units to four units. The total number of bedrooms on the site has gone from 56 to 52 under the revised plan.

Fire Departments

- Chief Collins commented: Plan not pertinent to Fire Department.

Requested Waivers

- No waivers have been requested.
- A waiver from 70.3.D.3.c.9 Location of Streets and Drives, is needed.

Planning Board Action

Sections 70.3 F & G of the Zoning Bylaw are provided below in blue. The Board should make findings with respect to each condition, finding the application compliant, non-compliant, suggesting conditions to ensure compliance, or designating as not relevant to the case.

Accordingly, the Board may wish to undertake the following:

1. Vote on waiver requests (if any)
2. Make findings with respect to the review criteria/design guidelines below; and
3. Vote to approve, conditionally approve or deny the application based on specific reasons.

The Board may also seek to continue the hearing to obtain additional information. A continuance should be made to a date certain and confirmed in writing by the applicant.

F. Review Criteria/Design Guidelines

The Planning Board will review applications and their supporting information based on the following:

1. [The proposal is in conformity with all applicable provisions of the Zoning Bylaw.](#)
The proposal appears to comply with dimensional, use and parking requirements of the zoning bylaw.
2. [The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses.](#)
The modification does not change impacts to abutting properties, but the conditions set forth in the January 19th decision, specifically #6, #7 and #19 have not been met.
3. [The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro.](#)
The applicant has submitted a lighting plan with dark sky compliant fixtures. The Board should make sure it is satisfied with the amount and location of lighting. Note that the previous decision, #8, requires that *one year after the issuance of a Certificate of Occupancy the applicant to return to the Planning Board to review site lighting in an administrative non-hearing proceeding, at which time the Board may request reasonable mitigation measures such as a reduction in the number of lights that would not result in an additional cost to the applicant and may reduce costs and therefore is considered a reasonable request.*
4. [The proposal provides for the protection of significant or important natural, historic, or scenic features.](#)
The applicant has an order of conditions from the Truro Conservation Commission (11/2/15). This order needs to be amended to reflect an approved planting plan.
5. [The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention.](#)

The modification does not alter building massing or location from the previously approved plan. It has been noted by abutters at the Beach Point Club that the increase to two stories will obstruct views.

While the height meets zoning requirements, it represents an increase from 12'3" to 24'. Soil removal and grade changes are not proposed. Only native plants approved by the Conservation Commission should be used.

6. The proposal adequately provides for refuse disposal.

The proposal has not modified refuse disposal or removal.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use.

The wastewater system for the property has approval from the Board of Health. Dedicated lines for water use and fire suppression system will be needed. Water service will need to be provided by the Town of Provincetown.

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool.

The applicant has an Order of Conditions from the Conservation Commission and has submitted stormwater management report and O&M manual that shows that the project will reduce impervious surface area by approximately 1,000 sf. Stormwater treatment provides adequate infiltration under a 25-year storm event.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction.

The project will reduce impervious surface area. Erosion management is addressed in the approved Order of Conditions from the Conservation Commission (Conditions 22 and 23)

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises.

The modification does not change impacts to abutting properties, but the conditions set forth in the January 19th decision, specifically #6, #7 and #19 have not been met.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area.

The applicant proposes to construct a new two-story structure to replace the demolished building. There are other 2-story buildings in the vicinity of the project on Beach Point. The applicant has provided building elevations and a list of exterior building materials.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground.

All utilities will be constructed underground.

13. The project shall not place excessive demands on Town services.

The reduction in the number of units should not increase demand on town services. The applicant will need to obtain permission for water services from the Town of Provincetown.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged.

No new curb cuts are proposed.

15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site.

16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s).

The previously approved plan improved the building's connection to ADA accessible parking spots. Adherence to a parking management plan that guards against parking outside of designated spaces is needed and should be enforced.

G. Findings of the Planning Board

The concurring vote of four members of the Planning Board shall approve a Commercial Site Plan in the form submitted or with reasonable conditions, unless it finds that (a) the application for site plan approval is incomplete, or (b) the imposition of reasonable conditions will not ensure that the project will conform to the standards and criteria described herein, or (c) the project does not comply with the requirements of the Zoning By-law.



TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004, Ext. 27

Fax: (508) 349-5505

cridley@truro-ma.gov

Sent Via Email and US Mail

November 3, 2016

Ms. Maria Kuliopulos
P.O. Box 611
Provincetown, MA 02657

Re: 706 Shore Road, Truro
2016-008 Modification to Commercial Development Site Plan Review

Dear Ms. Kuliopulos:

I have reviewed the application and materials you submitted to the Town Clerk on October 31, 2016. The application and materials do not meet the submission requirements pursuant §70.3 of the zoning bylaw and therefore the application is deemed incomplete. The purpose of this letter is to identify the requirements under §70.3 that need to be met in order to complete the application. Scheduling of a public hearing on this matter will be considered once the submission requirements are met and the application is deemed to be complete.

1. Application Form and Fee – The application form you used is not the current form. I have enclosed the current form, which includes a copy of §70.3 of the zoning bylaw enumerating the submission requirements referred to below. Please fill out and submit this form to the Town Clerk. Please check only the Site Plan Review box at the top of the form. Be sure to sign the form. On October 31, you submitted a fee of \$125. A fee of \$250 is required for site plan review, so an additional \$125 fee should be submitted with the revised form.
2. Waivers – on the application form you must indicate any waivers from the requirements of §70.3 that you are seeking. For each waiver, you must include a separate written waiver request indicating the provision for which you seek a waiver, the reason for the waiver, and an explanation of how the Board's granting of the waiver is consistent with the purposes of the bylaw and in the public interest. Waivers will not be considered by the Board if they are not in writing following this format. Any required information that is not provided in the application and for which a waiver is not requested will be considered incomplete for the purposes of the application.
3. Please note that requirements under §70.3.D 1(a-d) and §70.3.D 3a. (1-6) may not be waived by the Board.
4. Abutters list – You provided an abutters list for 618 Shore Road and not the subject property. Please note that you need to include an abutters list from both Truro and Provincetown.
5. §70.3.D 3b *Existing Conditions Plan* was not provided – As discussed on October 20th, the approved site plan would constitute an existing conditions plan for the purposes of a plan modification. However, it will be important for you to include information to demonstrate compliance with all conditions of the approval decision dated January 19, 2016, either on that plan and/or in separate documentation.
6. §70.3.D 3c *Proposed Conditions Plan* was not provided – This plan should meet the requirements specified under this section of the bylaw, or alternately waivers should be requested for any items not provided.

7. §70.3.D 3d Proposed Landscape Plan did not meet the requirements of this section. The plan that appears to be marked "landscaping" is not appropriately labeled, and there is no description of the number and type of vegetation or other landscape features or fencing that is to be used.
8. §70.3.D 3e Building Plans including elevations and floor plans as required under this section, were not provided.
9. §70.3.D 3f Project Estimate was not provided.

It would also be helpful to provide a brief narrative explaining the reason for the requested modification to an approved site plan.

Please note that all plans and materials should be submitted to the Town Clerk with the project reference number 2016-008SPR. An original and 14 copies of all plans and materials are required. Submission materials should not be mailed, emailed or delivered directly to the Planning Department.

Thank you in advance for your attention to the additional request for information. If you have any questions or comments, please do not hesitate to contact me.

Respectfully,



Carole Ridley
Planning Consultant

cc: By email:
Rae Ann Palmer, Town Manager
Steve Sollog, Chair
Stacy Kanaga, Coastal Engineering
Town Clerk
Building Commissioner
Health/Conservation Agent
E. James Veara, Esq.



TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004, Ext. 27

Fax: (508) 349-5505

critley@truro-ma.gov

Sent Via Email and US Mail

December 19, 2016

Ms. Maria Kuliopulos
P.O. Box 611
Provincetown, MA 02657

Re: 706 Shore Road, Truro
2016-008 Modification to Commercial Development Site Plan Review

Dear Ms. Kuliopulos:

I have reviewed the materials you submitted on November 23rd in response to my application review letter to you dated November 3, 2016. As noted in the November 3rd letter, the submission made on October 31st submission was incomplete and additional information was needed to consider the scheduling of a public hearing. The November 23rd filing addressed many, but not all, of the requested application materials. However, for the purposes of section 70.2, the required 65 days for opening of the public hearing will be counted from November 23, 2016.

1. Application Form and Fee – You have provided the required fee amount. However, as previously noted, you need to complete and sign a current Site Plan Application form, and submit that to the Town Clerk. I have enclosed the current form, which includes a copy of §70.3 of the zoning bylaw enumerating the submission requirements referred to below.
2. Waivers – on the application form you must indicate any waivers from the requirements of §70.3 that you are seeking. For each waiver, you must include a separate written waiver request indicating the provision for which you seek a waiver, the reason for the waiver, and an explanation of how the Board's granting of the waiver is consistent with the purposes of the bylaw and in the public interest. Waivers will not be considered by the Board if they are not in writing following this format. Any required information that is not provided in the application and for which a waiver is not requested will be considered incomplete for the purposes of the application. By my review, waivers are required for the following:
 - 70.3.D.3.b.3 existing 2-ft contours on the existing conditions plan;
 - 70.3.D.3.c.9 Location of Streets and Drive.
2. In your narrative under condition #8 of the existing decision, you refer to a "New Dark Sky Lighting Plan." This plan is not included in the submission and should be provided.
3. §70.3.D 3d Proposed Landscape Plan does not meet the requirements of this section. You have provided a plant list and a plan that appears to be marked "landscaping" but does not clearly show the location and number of each type of plant that is proposed. It is my understanding that you have submitted this same information to the Conservation Department and while the plant list is approved, this plan does not meet the requirements for a planting plan under the Order of Conditions.
4. §70.3.D 3f Project Estimate is not provided.

Please note that all plans and materials should be submitted to the Town Clerk with the project reference number 2016-008SPR. An original and 14 copies of all plans and materials are required. Submission materials should not be mailed, emailed or delivered directly to the Planning Department.

This application is currently tentatively scheduled for a public hearing on January 17th. However, in order to meet this hearing date the materials listed above must be submitted to the Town Clerk by January 5th

Thank you in advance for your attention to the additional request for information. If you have any questions or comments, please do not hesitate to contact me.

Respectfully,



Carole Ridley
Planning Consultant

cc: By email:
Rae Ann Palmer, Town Manager
Steve Sollog, Chair
Stacy Kanaga, Coastal Engineering
Town Clerk
Building Commissioner
Health/Conservation Agent
E. James Veara, Esq.



Health/Conservation Agent Town of Truro

Phone: (508) 214-0202 Fax: (508) 349-5850

MEMO

To: Planning Board
From: Patricia Pajaron
CC: Carole Ridley, Town of Truro Planning Consultant
Date: January 10, 2017
Re: Development Application Referral, 706 Shore Rd, White Sands, Map 1 Parcel 5

I have reviewed the Development Application Referral for the above-referenced property and offer the following comments:

Conservation

1. An Order of Conditions was issued on November 17, 2015 which includes the final Approved Plans entitled Proposed Site Plan for Replacement of Fire Damaged Building" prepared by Coastal Engineering with a most recent revision date of 10/7/15. Included are also the Site Demolition Plan; Site Grading, Drainage & Utility Plan; Site Layout and Materials Plan, Site Details dated October 7, 2015.

The applicant appeared before the Commission on April 19, 2016 for Change in Plans. The changes included shift in handicap parking arrangement, additional walkway to the pool and a new planting plan. The Commission approved the plans dated December 29, 2015. The Commission also approved a Plant List prepared by Jonathan Rice Landscaping which is consistent with the Plant List submitted with this application. Asst. Health/Conservation Commission Agent Emily Beebe has been in contact with the applicant to submit a planting plan for approval. The Plan that is attached to the Plant List is not a traditional planting plan. There is no indication on where the plants will be placed, how many of each species etc.

Health

The applicant appeared before the Board of Health at their November 1, 2016 meeting for review and approval of a revised floor plan for the existing motel building adjacent to the east property line. A proposed floor plan was submitted showing units 12 and 10, 4 and 2, 77 and 78, and 74 and 73 combined into one unit. The combined units in the proposed floor plan layout are now shown as units 73, 77, 2 and 10 (see attached approved plan). This reduces the number of units from 51 to 47. I have included a site plan showing the number of bedrooms and units for this property.



TOWN OF TRURO
HEALTH DEPARTMENT
P.O. Box 2030, Truro MA 02666
Tel: 508-214-0202 Fax: 508-349-5508

November 3, 2016

Maria Kuliopulos
White Sands Beach Club Inc.
PO Box 611
Provincetown, MA 02657

RE: Maria Kuliopulos, White Sands Beach Club, 706 Shore Rd., Review of Proposed Floor Plan to Combine Units for Existing Motel Building

Dear Ms. Kuliopulos:

Please be advised that the Truro Board of Health at their meeting held on November 1, 2016 voted unanimously to approve the proposed floor plan as presented.

FOR YOUR INFORMATION THE MOTION STATED:

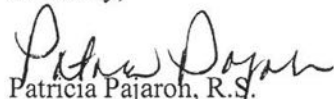
Jason Silva made a motion to approve the proposed floor plan stamped by the Health Department on October 31, 2016.

Peter Van Stratum seconded. Vote 3-0-0, motion carries.

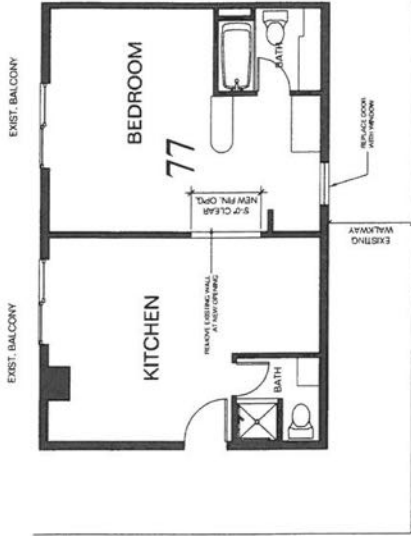
Please be advised that the floor plan (sheet A 3.01) prepared by LUNA Design Group received by this department on 10/31/16 has a most recent revision date of 10/25/16.

Please feel free to contact me with any questions you may have.

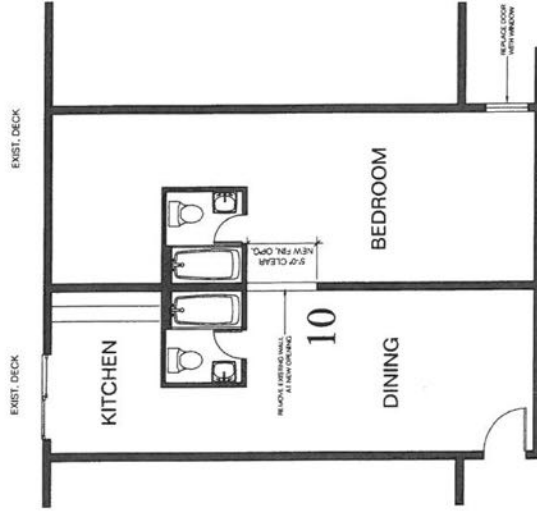
Sincerely,


Patricia Pajaron, R.S.
Health/Conservation Agent

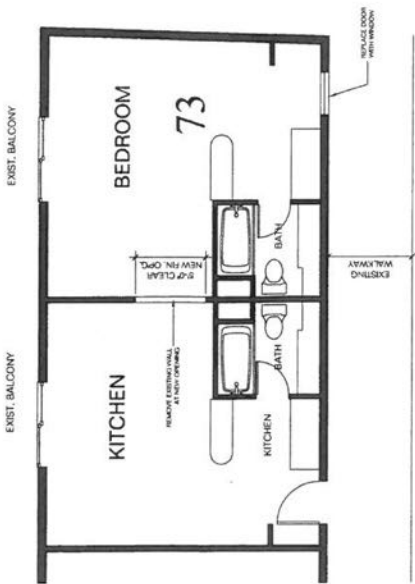
cc: Board of Health



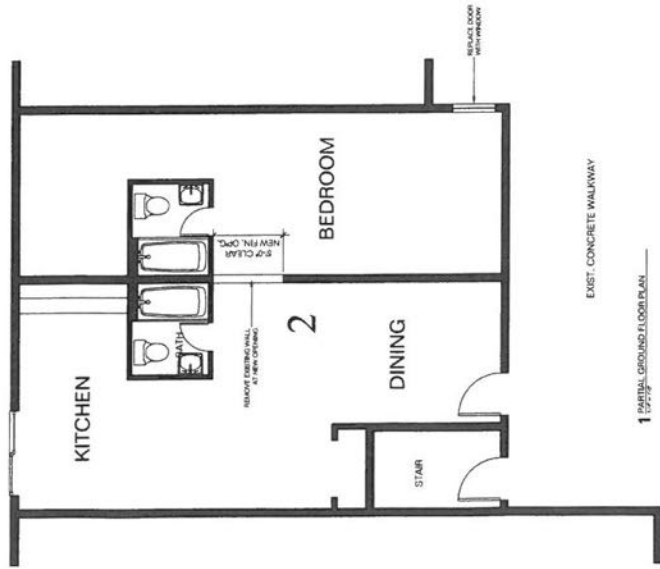
4 PARTIAL SECOND FLOOR PLAN



2 PARTIAL SECOND FLOOR PLAN

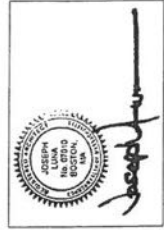


3 PARTIAL SECOND FLOOR PLAN



1 PARTIAL SECOND FLOOR PLAN

1. MATCH AND FINISH ALL FLOORS AND WALLS TO MATCH EXISTING FLOOR OF FINISH.
2. PROVIDE PARTIALLY FINISH FOR NEW OPENINGS.



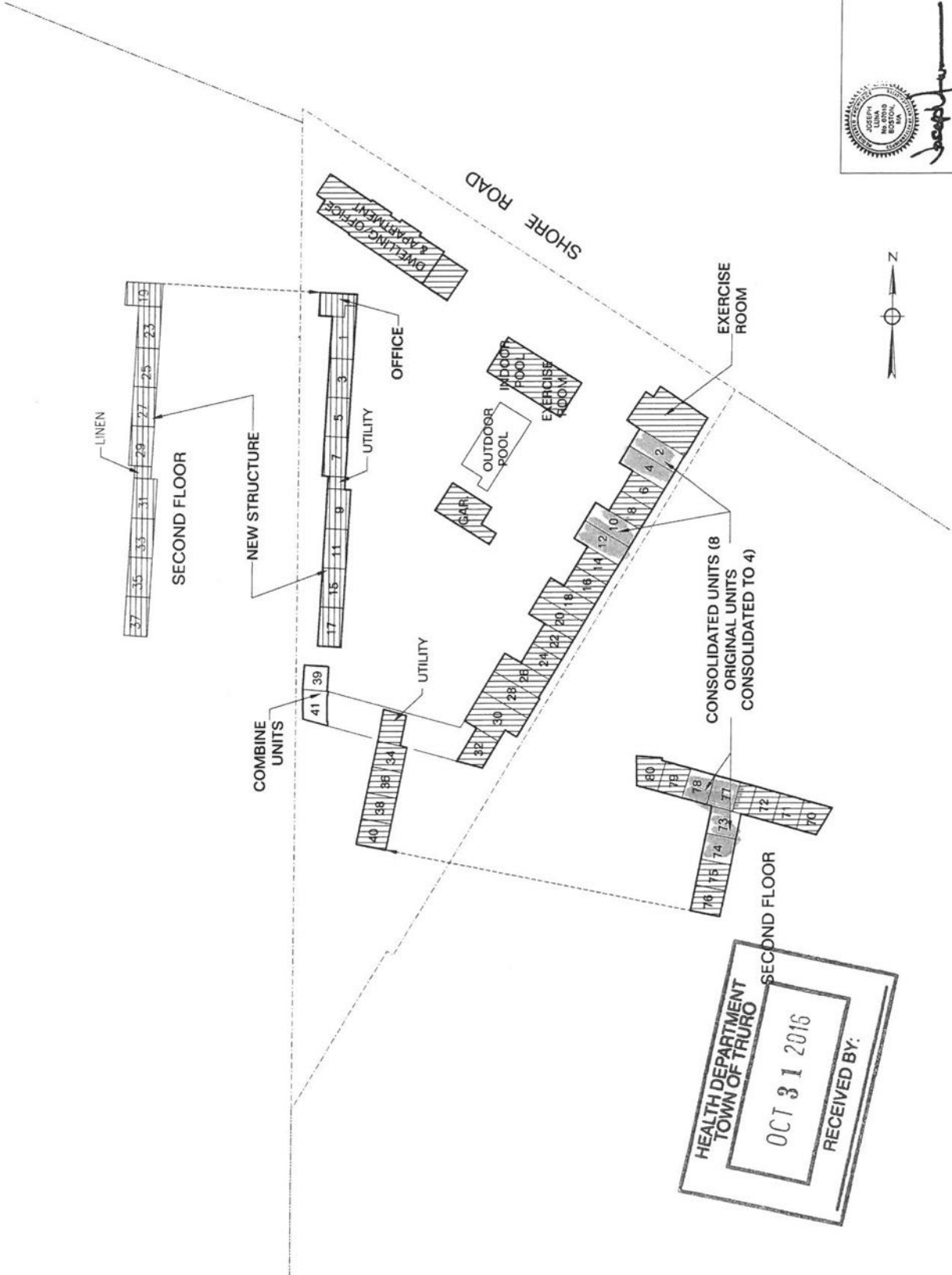
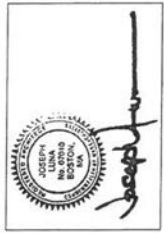
EXIST. CONCRETE WALKWAY



**WHITE SANDS
 BEACH CLUB**
 706 SHORE ROAD
 TRURO, MA 02666

Project Name	White Sands Beach Club
Project No.	
Revision	
Date	
Author	
Checker	
Appr. Date	
Appr. Name	

Scale	AS SHOWN
Notes	
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HEALTH DEPARTMENT
 TOWN OF TRURO
 OCT 31 2016
 RECEIVED BY:

The Order of Conditions does require a planting plan: " the applicant shall seek by amendment approval of a grounds layout/planting plan no later than ¾ of the way through construction".

In April the Commission approved the 12-9-16 modified parking plans and the planting list, however, the plans submitted to date do not include a planting plan.

If this is something the planning board is requiring at this time, it will require timely Commission approval. Filing to request an amendment for the January hearing must be submitted prior to December 14. Please let me know if you have any questions about this process.

Many Thanks,
Emily

From: Emily Beebe
Sent: Monday, November 21, 2016 3:43 PM
To: 'Maria Kuldip pulls'
Cc: Arozana Davis
Subject: white sands

Hi Maria,

I have attached a copy of the plant list that Jonathan put together for you, which is date stamped and initialed. My understanding is that the plants on this list were to be used for screening, and possibly for the pool area. The plants listed are native, and so they comply with the Order of Conditions. I hope this is what you were looking for.

I have not yet seen a planting plan, and would ask that you send us a copy if/when that has been prepared. As you know, the order of conditions does require a planting plan.

In summary, your plant list is approved, and we are ready to review a planting plan at such time as it is developed.

Thanks very much,
Emily

From: thetownoftruro@gmail.com [<mailto:thetownoftruro@gmail.com>]
Sent: Monday, November 21, 2016 3:28 PM
To: Emily Beebe
Subject: Message from Building Dept KM_C224e

FW: To Stacy- -re-white sands

Emily Beebe

Mon 12/19/2016 3:41 PM

To: Carole Ridley <cridley@truro-ma.gov>;

Cc: Pat Pajaron <PPajaron@truro-ma.gov>;

Correction:

We have not received anything other than what you forwarded. It does not satisfy the requirements of the OC. Sorry about the typo!

-Emily

From: Emily Beebe
Sent: Monday, December 19, 2016 3:36 PM
To: Carole Ridley
Cc: Pat Pajaron
Subject: FW: To Stacy- -re-white sands

Hi,

I have forwarded you the email exchange between our office, Maria K and her engineer.

We have received anything other than what you sent to us, which does not satisfy the Order of Conditions.

Many Thanks,

Emily

From: Emily Beebe
Sent: Tuesday, November 22, 2016 4:32 PM
To: Stacy Kanaga (skanaga@coastalengineeringcompany.com)
Subject: FW: To Stacy- -re-white sands

From: Emily Beebe
Sent: Tuesday, November 22, 2016 4:26 PM
To: 'info@coastalengineeringcompany.com'; 'Maria Kuldip pulls'
Cc: 'Carole Ridley'; Pat Pajaron
Subject: To Stacy- -re-white sands

Dear Stacy and Maria,

I had a brief conversation with Stacy today to ascertain what White Sands may need from the Conservation Commission for a planning Board filing.

Just to re-cap our conversation for all parties:

The Commission does not yet have a planting plan for this project, though we do have an approved planting list.

ZISSON & VEARA, P.C.

ATTORNEYS AT LAW

828 MAIN STREET

DENNIS, MASSACHUSETTS 02638

TELEPHONE (508) 385-6031

FAX (508) 385-6914

MAILING ADDRESS: P.O. BOX 2031, DENNIS, MA 02638-0043

E. JAMES VEARA
PAUL V. BENATTI
CHRISTOPHER A. VEARA

RICHARD L. ZISSON
(1942-2006)

EDWARD E. VEARA
RETIRED

September 21, 2016

VIA EMAIL & FIRST-CLASS MAIL

Christopher J. Snow, Esquire
Snow and Snow
P. O. Box 291
Provincetown, MA 02657

**Re: White Sands Beach Club, Inc.
706 Shore Road**

Dear Attorney Snow:

I am writing to inform that the extension request contained in your email of September 20, 2016 was considered by the Board of Selectmen but disapproved and, thus, the October 30, 2016 deadline contained in the July 30, 2015 Agreement for Judgment remains.

As a result of the concession in your email that the October 30, 2016 completion deadline cannot be met, the requested building permit that would result in 51 units will not be issued. Your client will need to resubmit a site plan to the Planning Board for its consideration, said plan showing compliance with the current provisions of the Truro Zoning Bylaw, including compliance with the number of units permitted on the subject property. Furthermore, as a result of your client needing to resubmit a site plan to the Planning Board, an appearance before the Planning Board on October 4, 2016 is unnecessary, as the matter will not be taken up by the Board on that evening.

Cordially,



E. James Veara

EJV:sjb

cc: Rae Ann Palmer, Truro Town Manager via email only
Carole Ridley, Truro Town Planner via email only
Russell Braun, Truro Building Commissioner via email only
Lisa Tobia, Chair – Truro Planning Board via email only



TOWN OF TRURO

Planning Department
P.O. Box 2030, Truro, MA 02666
Tel: (508) 349-7004, Ext. 27 Fax: (508) 349-5505
cridley@truro-ma.gov

February 2, 2016

Ms. Maria Kuliopulos
White Sands Resort
PO Box 611
Provincetown, MA

Re: Decision for 706 Shore Road, White Sands Resort

Dear Ms. Kuliopulos:

Enclosed please find a copy of the Planning Board's decision on the revision to the Site Plan for 706 Shore Road, White Sands Resort. Please note specifically the conditions imposed by the Board, which include a bond for guarantee of performance.

Pursuant to §70.7.C it is the responsibility of the applicant to file a copy of the decision with the Barnstable County Registry of Deeds, or Land Court, as applicable prior to the issuance of a building permit. Evidence of such recording shall be filed with the Building Commissioner. The Town Clerk cannot certify that no appeal has been taken regarding this matter; however a copy of the Board's decision, the application and applicable plans have been filed with that office. The Town Clerk can provide you with a true copy attest, if the Registry requires such a document for recording purposes.

If you have any questions or comments, please do not hesitate to contact me.

Sincerely,

Carole Ridley
Planning Consultant

Enc.

cc:

Reggie Donoghue, Coastal Engineering (w/enc.)
Christopher Snow, Snow & Snow Law (w/enc.)
Building Commissioner (w/enc.)
Town Clerk (w/o enc.)



TOWN OF TRURO

Planning Board

P.O. Box 2030, Truro, MA 02666
Tel: (508) 349-7004 Fax: (508) 349-5505

COMMERCIAL DEVELOPMENT SITE PLAN REVIEW DECISION

Atlas Map 1 Parcel 5

Address: 706 Shore Road, Truro

Case Reference No: 2015-007SPR

Applicant: Maria Kuliopulos

Meeting Date: December 8, 2015, continued
to January 19, 2016

Decision Date: January 19, 2016

Barnstable County Registry of Deeds Plan Book 415, Page 57, and Plan Book 398, Page 55

At a duly posted and noticed Truro Planning Board hearing opened on December 8, 2015 and continued to January 19, 2016, the Board voted to approve with conditions an application for Commercial Development Site Plan Review pursuant to §70.3 of the Truro Zoning By-law for demolition of a building containing 19 motel units damaged by fire and reconstruction of a replacement building containing 17 rentable units and a hospitality room in the same location. The property is located at 706 Shore Road, Truro, Atlas Map 1 Parcel 5.

In its deliberation the Board considered the following submitted materials:

1. Commercial Development Application for Site Plan Review, received October 9, 2015
2. Plans entitled Proposed Plan for Replacement of Fire Damaged Building, White Sands Beach Club, Inc., 706 Shore Road, Truro, Massachusetts by Coastal Engineering company, Inc., 1":20'
 - Sheet C0.0.1 Title and Locus (dated 10-7-15, revised 11-10-15 and 12-29-15)
 - Sheet C1.2.1 Plan Showing Existing Site Conditions (dated 10-7-15, revised 11-10-15 and 12-29-15)
 - Sheet C2.0.1 Site Demolition Plan (dated 10-7-15, revised 11-10-15 and 12-29-15)
 - Sheet C2.1.1 Site Layout and Materials Plan (dated 9-16-15)
 - Sheet C2.2.1 Site Grading, Drainage and Utility Plan (dated 10-7-15, revised 10-28, 11-10 and 12-29-15)
 - Sheet C.2.4.1 Site Details (dated 10-7-15 dated 10-7-15, revised 11-10 and 12-29-15)
 - Sheet C2.4.2 Sewage System Disposal Modifications (dated 12-29-15)
3. Stormwater Report and Operations & Maintenance Manual, White Sands Beach Club, Inc., 706 Shore Road, Truro, Ma, prepared by Coastal Engineering Company, Inc., October 7, 2015 (revised 11/05/15)
4. Drawings provided by Avalon Building Systems for Maria Kuliopulos, 706 Shore Road, Truro, MA, dated 12/28/15 (revised 7/7/15, 7/30/15, 8/5/15, 9/1/15), 9/1/15, 1/4"=1', Sheets 1-7
6. Email from Maria Kuliopulos re: Review of Plans for White Sands Commercial Site Plan Review, November 3, 2015

7. Project Narrative from Maria Kuliopulos, November 3, 2015
8. Revised Site Plan 706 Shore Road for White Sands Beach club Inc., Dated 10/13/2010 by Felco, Inc. (previously approved site plan)
9. Certified abutters lists from Assessors in Provincetown and Truro, respectively
10. Payment to Town Clerk of \$250 fee
11. Information about Lighting Fixtures and Placement
12. Information about Landscape Plantings and Placement
13. Email from Maria Kuliopolis with additional responses to items identified in the 12/11/15 letter
14. Property Deed information submitted via email by Coastal Engineering Company, Inc.

Board Vote:

The Board voted on a motion by Mr. Sollog and seconded by Mr. Hopkins, as amended, to approve the Application for Commercial Development Site Plan Review for Maria Kuliopulos, (Case #2015-007SPR) with conditions pursuant to §70.3 of the Truro Zoning By-law for the for demolition of a building containing 19 motel units damaged by fire and reconstruction of a replacement building containing 17 rentable units and a hospitality room in the same location. The property is located at 706 Shore Road, White Sands Beach Club, Atlas Map1 Parcel 5 subject to the conditions enumerated below. This is based on the fact that with the imposed conditions, the review criteria/design guidelines in §70.3.F have been satisfied.

The Board Members voted 6-0-0 in favor: Mr. Boleyn, Ms. Tobia, Mr. Sollog, Mr. Riemer, Mr. Hopkins, and Mr. Roderick.

Waivers

There were no waivers requested nor are any granted by this decision.

Conditions

This Site Plan Approval for a Commercial Site Plan shall expire in two (2) years from the date of this approval.

1. The site plan approval is for a building to house 17 units and a hospitality unit for motel use. None of the 17 units shall be used as permanent dwelling units as this change in use would trigger different requirements for parking. If at any point in time any of the units are used as a dwelling unit, the parking requirement of 2 spaces per unit would need to be met for all 17 units.
2. There shall be no changes to the size, location or appearance of signage on the property without a permit in accordance with the Truro Sign Code.
3. Deliveries and dumpster service should be between the hours of 7 am and 7 pm.
4. As part of on-going property management, there will be a daily walk-around the property to pick up litter and debris.
5. Any unused equipment or belongings of the owner or patrons visitors may not be stored outside or otherwise in view of the public or abutters.

6. In light of the significant impact to adjacent properties from the additional story, the fence at the property line shall be upgraded and maintained by the applicant. Additional plantings of appropriate screening vegetation shall be planted along the south/west property boundary.
7. The unfinished roof located on the northeasterly portion of the property shall be fully restored and repaired in compliance with zoning and all applicable building codes prior to the issuance of a Certificate of Occupancy.
8. Only full cut-off or fully shielded dark-sky-compliant lighting that is fully compliant with Chapter IV Section 6 of the Truro Outdoor Lighting Bylaw shall be used to avoid light trespass on adjacent properties or the night sky. One year after the issuance of a Certificate of Occupancy the applicant to return to the Planning Board to review site lighting in an administrative non-hearing proceeding, at which time the Board may request reasonable mitigation measures such as a reduction in the number of lights that would not result in an additional cost to the applicant and may reduce costs and therefore is considered a reasonable request.
9. The project shall comply with the terms of the Order of Conditions, including construction protocols, issued by the Conservation Commission on November 2, 2016.
10. The existing refuse disposal area shall be screened with vegetation.
11. The applicant shall comply with all applicable Board of Health regulations and requirements.
12. The applicant shall implement the Long-term Operation and Maintenance Plan contained in the Stormwater Maintenance Report and Operations and Maintenance Manual prepared by Coastal Engineering revised 11/10/15.
13. To ensure that proposed landscaping and screening is maintained and provides an adequate buffer to adjacent properties, the applicant shall return to the Planning Board two years after the issuance of a Certificate of Occupancy for review by the Planning Board of landscape improvements in an administrative non-hearing proceeding, at which time the Board may require reasonable measures to improve screening and landscaping.
14. Prior to issuance of a Building Permit, the applicant shall provide the Planning Board with a list of building materials used on the exterior of the new units.
15. All utilities serving the site shall be constructed underground.
16. A dedicated underground waterline shall be installed for a fire suppression system compliant with all applicable fire safety regulations.
17. The height of wheel stops shall be reduced to ensure full utilization of parking spaces.
18. The applicant shall vigorously enforce parking within designated parking spaces.
19. HVAC shall be located on the parking lot side of the building and/or be screened by acoustic shielding to mitigate noise impacts to abutting properties.
20. To ensure that all work is performed as proposed on the site plan and consistent with the conditions the Planning Board, in accordance with section 70.3(I) prior to issuance of a Building Permit the applicant shall provide the Town of Truro with a performance bond submitted to the Town of Truro in an amount of \$75,000. A portion of the bond, \$60,000, shall be released in accordance with 70.3(F). The remaining \$15,000 value of the bond will be retained for the review of landscaping two years after issuance of the Certificate of Occupancy and will be released at that time if the landscaping conditions are satisfactorily met.

Pursuant to §70.6 of the Truro Zoning Bylaw, it shall be the responsibility of the applicant to obtain a true attested copy of the decision from the Town Clerk. The applicant shall be responsible for recording the Planning Board Commercial Site Plan decision at the Barnstable Registry of Deeds or Land Court, as applicable. Prior to the issuance of a building permit, the applicant shall present evidence of such recording to the Building Commissioner and the Planning Board Secretary.

Lise Maria Jakobson 2/2/16
Chairman, Truro Planning Board Date

Received, Office of the Town Clerk:

[Signature] FEBRUARY 2, 2016
Signature Date

To : Truro planning Board
From : White Sands Beach Club,inc/Maria Kuliopulos
Re: 1. Waiver request for the unit consolidation plan and
2. The submitting of additional info on the approved 1/19/15 site plan
Date : 11/ 21/16

Dear Carole,

Please find the following items to complete the package for the planning board:

1. Abutters list for Truro
2. Abutters list for Provincetown
3. Registry of deeds certification
4. List of concom approved plants *+ landscaping plans*
5. Storm water management reports(3)
6. Approved site plan of 1/19/15
7. Floor plans for the beachfront units as they exist *f Elevations*
8. Floor plans and elevations for the east wing of the motel as they were approved in 1996
9. Letter from the BOH approving the new consolidation
- 10- *proposed site plan*

The above list is to be added to the 10/31/16 list.

The changes to be made have no impact within the site or in relation to adjacent properties or streets or public services. The changes are the configuration of 8 motel rooms into 4 units in order to bring the property in conformity with the present density requirements. The property was grandfathered for 51 units. With the room consolidation we are down to 47 units. There are no changes to the exterior of the building and the site has been approved on 1/19/15.

The second part of my request is the submitting of paper work requested by the planning board in relation to the already approved site plan.

These are the outstanding issues:

Condition # 6. Upgrading the existing fence. Upon consultation with the conservation agent, fences are not permitted in the beach area. The present fence belong to the next property and we cannot touch it. Furthermore, the privet fence we had plan to put in that particular area is not Allowed per conservation concom board. In its place we intend to plant white pines to provide the screening requested.

Condition # 8. Please see the new dark sky lighting plan.

Condition # 14. The list of building materials for the outside is provided in the package.

Condition # 19. The compressors for the split A/C units cannot be placed in the front of the building as requested due to safety requirements for the walk way according to code. They cannot be placed on the ground either, since we are on the flood zone . Under normal operating conditions, any noise from the compressors will not be greater than the 19 AC units that existed there before and which are 5 feet more away from the property line than that existed on the property originally.

Condition # 20. Please find inclusive the copy of the performance bond as well as the copy of the registry of deeds.

cost: 5K → 10K



TOWN OF TRURO
HEALTH DEPARTMENT
P.O. Box 2030, Truro MA 02666
Tel: 508-214-0202 Fax: 508-349-5508

November 3, 2016

Maria Kuliopulos
White Sands Beach Club Inc.
PO Box 611
Provincetown, MA 02657

RE: Maria Kuliopulos, White Sands Beach Club, 706 Shore Rd., Review of Proposed Floor Plan to Combine Units for Existing Motel Building

Dear Ms. Kuliopulos:

Please be advised that the Truro Board of Health at their meeting held on November 1, 2016 voted unanimously to approve the proposed floor plan as presented.

FOR YOUR INFORMATION THE MOTION STATED:

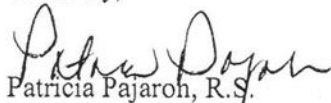
Jason Silva made a motion to approve the proposed floor plan stamped by the Health Department on October 31, 2016.

Peter Van Stratum seconded. Vote 3-0-0, motion carries.

Please be advised that the floor plan (sheet A 3.01) prepared by LUNA Design Group received by this department on 10/31/16 has a most recent revision date of 10/25/16.

Please feel free to contact me with any questions you may have.

Sincerely,


Patricia Pajaron, R.S.
Health/Conservation Agent

cc: Board of Health

From: **Emily Beebe** EBeeBe@truro-ma.gov
Subject: white sands
Date: Today at 3:45 PM
To: Jason Kuliopulos beachfrontwhitesands@gmail.com
Cc: Arozana Davis ADavis@truro-ma.gov

Hi Maria,

I have attached a copy of the plant list that Jonathan put together for you, which is date stamped and initialed.

My understanding is that the plants on this list were to be used for screening, and possibly for the pool area. The plants listed are native, and so they comply with the Order of Conditions. I hope this is what you were looking for.

I have not yet seen a planting plan, and would ask that you send us a copy if/when that has been prepared. As you know, the order of conditions does require a planting plan.

In summary, your plant list is approved, and we are ready to review a planting plan at such time as it is developed.

Thanks very much,

Emily

From: thetownoftruro@gmail.com [mailto:thetownoftruro@gmail.com]
Sent: Monday, November 21, 2016 3:28 PM
To: Emily Beebe
Subject: Message from Building Dept KM_C224e



Landscape

P.O. Box 171, North Truro, MA 02652
Phone: 508-342-2311

Maria Kuliopulos
White Sands Beach Club



LETTER OF TRANSMITTAL

TO:	Mr. Paul Olivera	DATE:	September 5, 2016
C/O:	Avalon Building Systems 3 Porter St. Suite 201 (2nd floor) Stoughton, MA 02072	PROJECT:	White Sands Motel/ Condo Turro MA
CC:	TODD HULLINGER MARIA KULIOPULOS	LDG PROJECT NUMBER:	TUR16001a

METHOD OF DELIVERY		
<input type="checkbox"/> U.S. MAIL	<input type="checkbox"/> SECOND DAY AIR	<input type="checkbox"/> HAND DELIVERED
<input type="checkbox"/> OVERNIGHT DELIVERY	<input type="checkbox"/> COURIER	<input checked="" type="checkbox"/> OTHER

COPIES	NUMBER	DESCRIPTION
1		Finishes Specs

Paul

Here are the selected interior and exterior materials

Exterior

- Siding- Hardi Plank Lap Siding - Smooth Face. Color Cobblestone.
- Roof: Certainteed Landmark Shingles, Color Weathered Wood
- Trim - AZEK 5/4" x 4" Window trim with AZEK Sub Sill Nose AZM-6933. Do not picture frame windows
- Corner Boards - AZEK 5/4 x 4"
- Soffits and Fascia- AZEK 1 x (size to match)
- Column Wraps - Field wrap 1 x AZEK - see details.
- Newel Post - AZEK Trade mark newel post wrap and cap.
- Railing system- RDI for rails and balusters Color: White/ Rails and balusters only.
- Decking - TREX Contour Decking, Color: Pebble Grey

Interior

Kitchen Cabinets: Maple per Signature Spec. Prefer to use Dartmouth in lieu of Saginaw.

Countertop - Granite: Color Dynamic Blue

Kitchen Floor: Sheet Vinyl Color: 9494

Carpet- Need Samples!



Western Surety Company

SITE IMPROVEMENT Performance Bond

Bond # 71820846

KNOW ALL PERSONS BY THESE PRESENTS: That we _____

White Sands Beach Club Inc
Principal, and WESTERN SURETY COMPANY, a corporation authorized to do surety business in the
State of Massachusetts as Surety, are held and firmly bound unto
Town of Truro

as Obligee, in the sum of Seventy-Five Thousand and 00/100
Dollars (\$ \$75,000.00) lawful money of the United States of America, for which
payment well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors,
and assigns firmly by these presents.

WHEREAS, the Principal has entered into an agreement with the Obligee, guaranteeing only that the
Principal will complete site improvements as per estimate prepared by: Avalon Builders and covering
the Commercial Development site plan review decision dated 1/19/16 which covers the work to be
done and date by which to be done

_____ attached to and made a part hereof at certain land known as
706 Shore Rd., N. Truro, MA

_____ all of which improvements shall be completed on or before the date
set forth in the agreement or any extension thereof, and the Principal provides this bond as security for
such agreement.

NOW, THEREFORE, the condition of this obligation is such, that if the Principal shall carry out all the
terms of said agreement relating to the site improvements only and perform all such work as set forth in
the attached agreement, then this obligation shall be null and void; otherwise, to remain in full force and
effect.

No party other than the Obligee shall have any rights hereunder as against the Surety.
The aggregate liability of the Surety on this bond obligation shall not exceed the sum stated above for
any reason whatsoever.

SIGNED, SEALED AND DATED THIS 20th DAY OF September, 2016

PRINCIPAL:

White Sands Beach Club Inc
By: *Maria Kuliszgulos*

SURETY:

WESTERN SURETY COMPANY

By: _____
Michael John Regan, Attorney-in-Fact

Western Surety Company

POWER OF ATTORNEY - CERTIFIED COPY

Bond No. 71820846

Know All Men By These Presents, that WESTERN SURETY COMPANY, a corporation duly organized and existing under the laws of the State of South Dakota, and having its principal office in Sioux Falls, South Dakota (the "Company"), does by these presents make, constitute and appoint Michael John Regan

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred, to execute, acknowledge and deliver for and on its behalf as Surety, bonds for:

Principal: White Sands Beach Club Inc

Obligee: Town of Truro

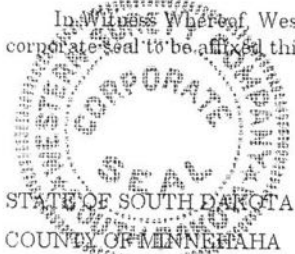
Amount: \$500,000.00

and to bind the Company thereby as fully and to the same extent as if such bonds were signed by the Senior Vice President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said attorney(s)-in-fact may do within the above stated limitations. Said appointment is made under and by authority of the following bylaw of Western Surety Company which remains in full force and effect.

"Section 7. All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

All authority hereby conferred shall expire and terminate, without notice, unless used before midnight of August 24, 2017, but until such time shall be irrevocable and in full force and effect.

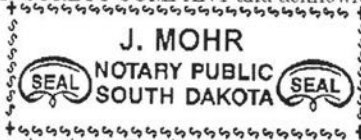
In Witness Whereof Western Surety Company has caused these presents to be signed by its Vice President, Paul T. Bruflat, and its corporate seal to be affixed this 20th day of September, 2016.



} ss

WESTERN SURETY COMPANY
Paul T. Bruflat
Paul T. Bruflat, Vice President

On this 20th day of September, in the year 2016, before me, a notary public, personally appeared Paul T. Bruflat, who being to me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of WESTERN SURETY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



J. Mohr
Notary Public - South Dakota

My Commission Expires June 23, 2021

I the undersigned officer of Western Surety Company, a stock corporation of the State of South Dakota, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable, and furthermore, that Section 7 of the bylaws of the Company as set forth in the Power of Attorney is now in force.

In testimony whereof, I have hereunto set my hand and seal of Western Surety Company this 20th day of September, 2016.

WESTERN SURETY COMPANY
Paul T. Bruflat
Paul T. Bruflat, Vice President

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.

Western Surety Company

POWER OF ATTORNEY - CERTIFIED COPY

Bond No. 71820846

Know All Men By These Presents, that WESTERN SURETY COMPANY, a corporation duly organized and existing under the laws of the State of South Dakota, and having its principal office in Sioux Falls, South Dakota (the "Company"), does by these presents make, constitute and appoint Michael John Regan

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred, to execute, acknowledge and deliver for and on its behalf as Surety, bonds for:

Principal: White Sands Beach Club Inc

Obligee: Town of Truro

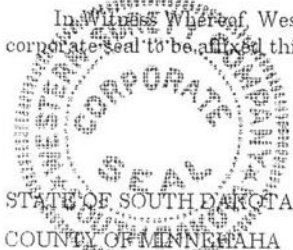
Amount: \$500,000.00

and to bind the Company thereby as fully and to the same extent as if such bonds were signed by the Senior Vice President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said attorney(s)-in-fact may do within the above stated limitations. Said appointment is made under and by authority of the following bylaw of Western Surety Company which remains in full force and effect.

"Section 7. All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

All authority hereby conferred shall expire and terminate, without notice, unless used before midnight of August 24, 2017, but until such time shall be irrevocable and in full force and effect.

In Witness Whereof, Western Surety Company has caused these presents to be signed by its Vice President, Paul T. Bruflat, and its corporate seal to be affixed this 20th day of September, 2016.

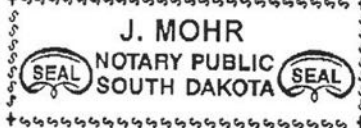


WESTERN SURETY COMPANY

Paul T. Bruflat

Paul T. Bruflat, Vice President

On this 20th day of September, in the year 2016, before me, a notary public, personally appeared Paul T. Bruflat, who being to me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of WESTERN SURETY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



J. Mohr

Notary Public - South Dakota

My Commission Expires June 23, 2021

I the undersigned officer of Western Surety Company, a stock corporation of the State of South Dakota, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable, and furthermore, that Section 7 of the bylaws of the Company as set forth in the Power of Attorney is now in force.

In testimony whereof, I have hereunto set my hand and seal of Western Surety Company this 20th day of September, 2016.

WESTERN SURETY COMPANY

Paul T. Bruflat

Paul T. Bruflat, Vice President

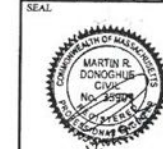
To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.

OWNER AND APPLICANT:
WHITE SANDS BEACH CLUB, INC.
C/O MARIA KULIOPULOS
 P.O. BOX 611
 PROVINCETOWN, MA 02657

TRURO PLANNING BOARD

DATE: _____

NO.	DATE	REVISION	BY
2	12-29-15	GENERAL REVISIONS & ADD NEW SEPTIC TANK DETAILS	MAP
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS	MAP

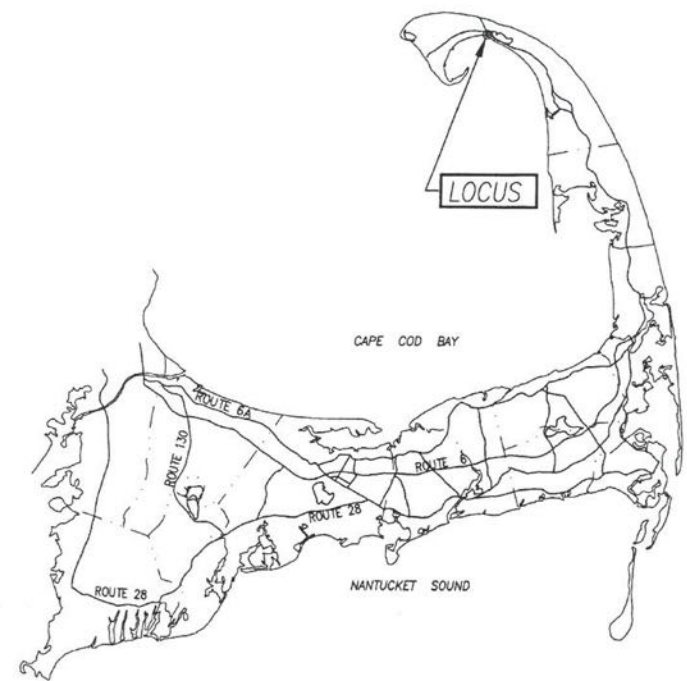


PROJECT
WHITE SANDS BEACH CLUB, INC
 706 SHORE ROAD
 TRURO, MA
 SHEET TITLE
PROPOSED SITE PLAN FOR REPLACEMENT OF A FIRE DAMAGED BUILDING

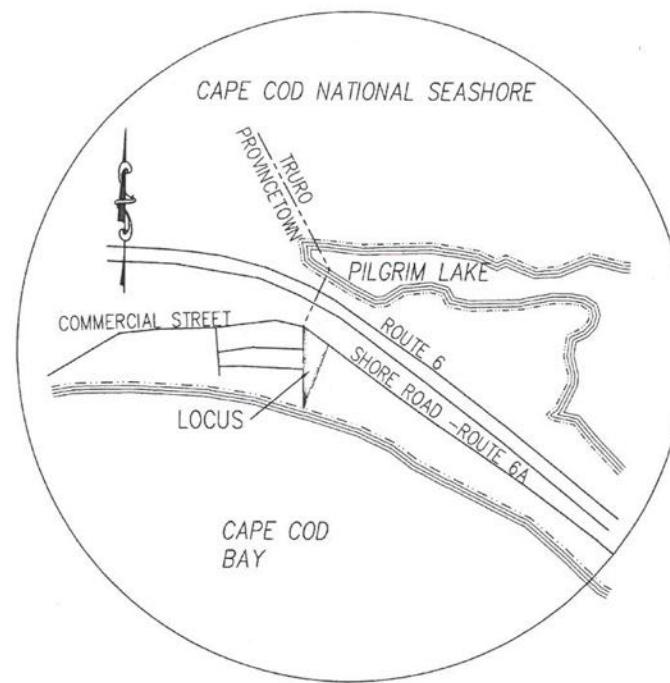
SCALE	AS NOTED
LATEST REVISION	C18260-DET.dwg
DATE	10-07-15
DRAWN BY	MAP
CHECKED BY	

C0.0.1
 1 OF 2 SHEETS
 PROJECT NO. C18260.00

MASS. COORD. SYSTEM NAD 1983 MAINLAND ZONE



CAPE COD, MASSACHUSETTS
 (NO SCALE)



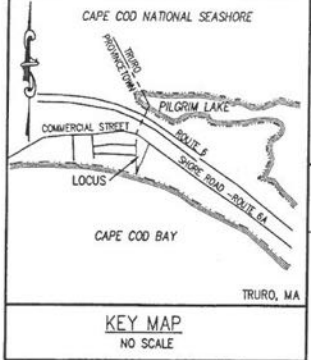
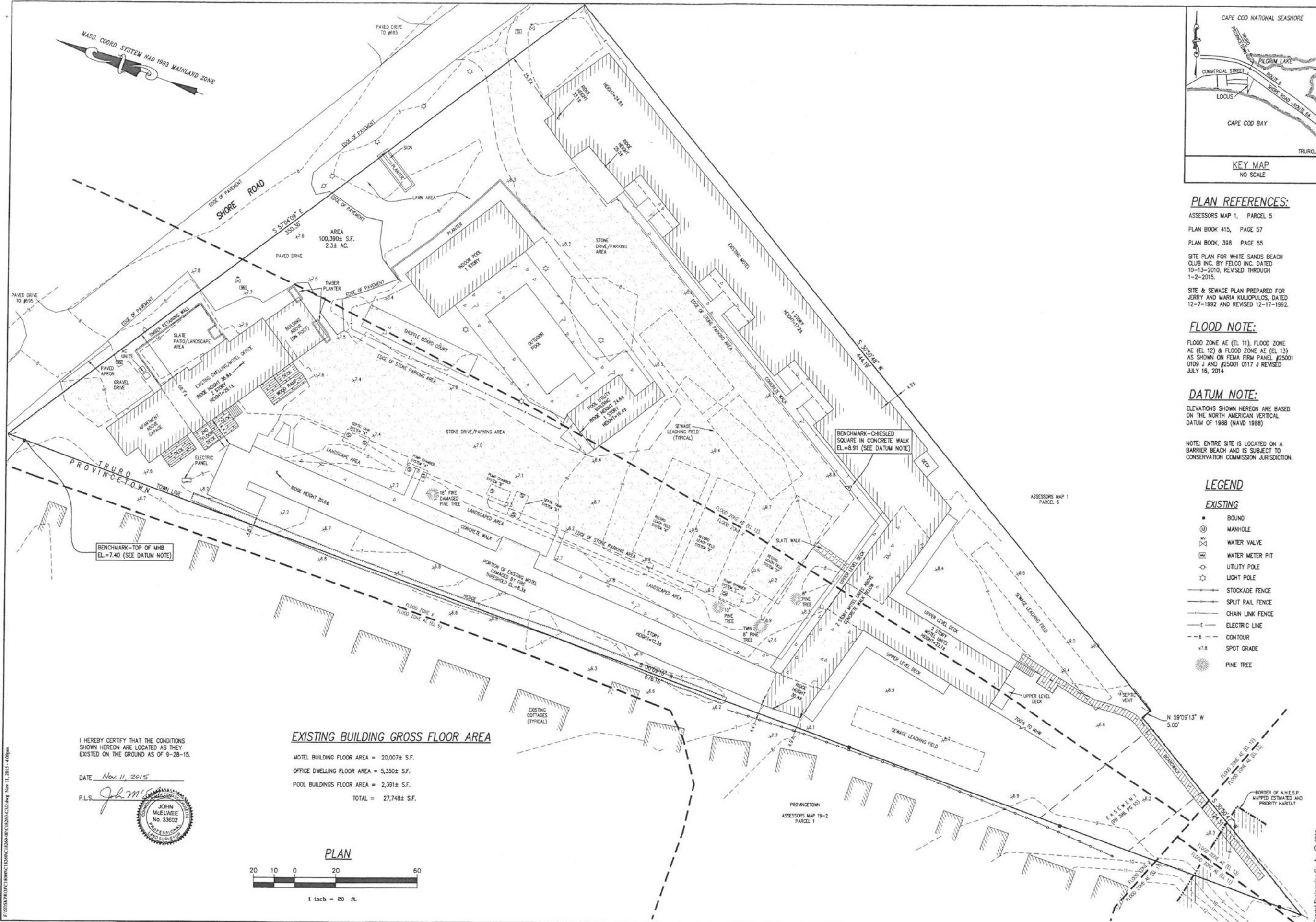
TRURO, MASSACHUSETTS
KEY MAP
 (NO SCALE)

PROPOSED SITE PLAN FOR REPLACEMENT OF A FIRE DAMAGED BUILDING WHITE SANDS BEACH CLUB, INC.

706 SHORE ROAD
TRURO, MASSACHUSETTS
DECEMBER 29, 2015

EXISTING CONDITIONS (ce)
DRAWING INDEX

C1.2.1	EXISTING CONDITIONS PLAN	11-10-15
C2.0.1	SITE DEMOLITION PLAN	12-29-15
C2.1.1	SITE LAYOUT AND MATERIALS PLAN	12-29-15
C2.2.1	SITE GRADING AND DRAINAGE PLAN	12-29-15
C2.4.1	SITE DETAILS	12-29-15
C2.4.2	SEWAGE DISPOSAL SYSTEM MODIFICATION DETAILS	12-29-15



PLAN REFERENCES:
 ASSESSORS MAP 1, PARCEL 5
 PLAN BOOK 415, PAGE 57
 PLAN BOOK, 398 PAGE 55
 SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010, REVISED THROUGH 1-2-2015.
 SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARIA KULIOPULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

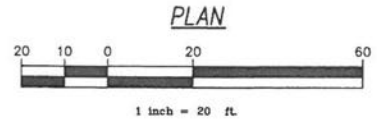
FLOOD NOTE:
 FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)
 NOTE: ENTIRE SITE IS LOCATED ON A BARRIER BEACH AND IS SUBJECT TO CONSERVATION COMMISSION JURISDICTION.

- LEGEND**
- EXISTING**
- BOUND
 - ⊙ MANHOLE
 - ⊗ WATER VALVE
 - ⊠ WATER METER PIT
 - UTILITY POLE
 - ☆ LIGHT POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE
 - - - CONTOUR
 - SPOT GRADE
 - ⊙ PINE TREE

EXISTING BUILDING GROSS FLOOR AREA

MOTEL BUILDING FLOOR AREA = 20,007± S.F.
 OFFICE DWELLING FLOOR AREA = 5,350± S.F.
 POOL BUILDINGS FLOOR AREA = 2,391± S.F.
 TOTAL = 27,748± S.F.



I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 9-28-15.

DATE Nov. 11, 2015

P.L.S. J.M. McElwee



COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy, Orleans, MA 02653
 508.255.6111 Fax: 508.255.6700

NO.	DATE	REVISION
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS

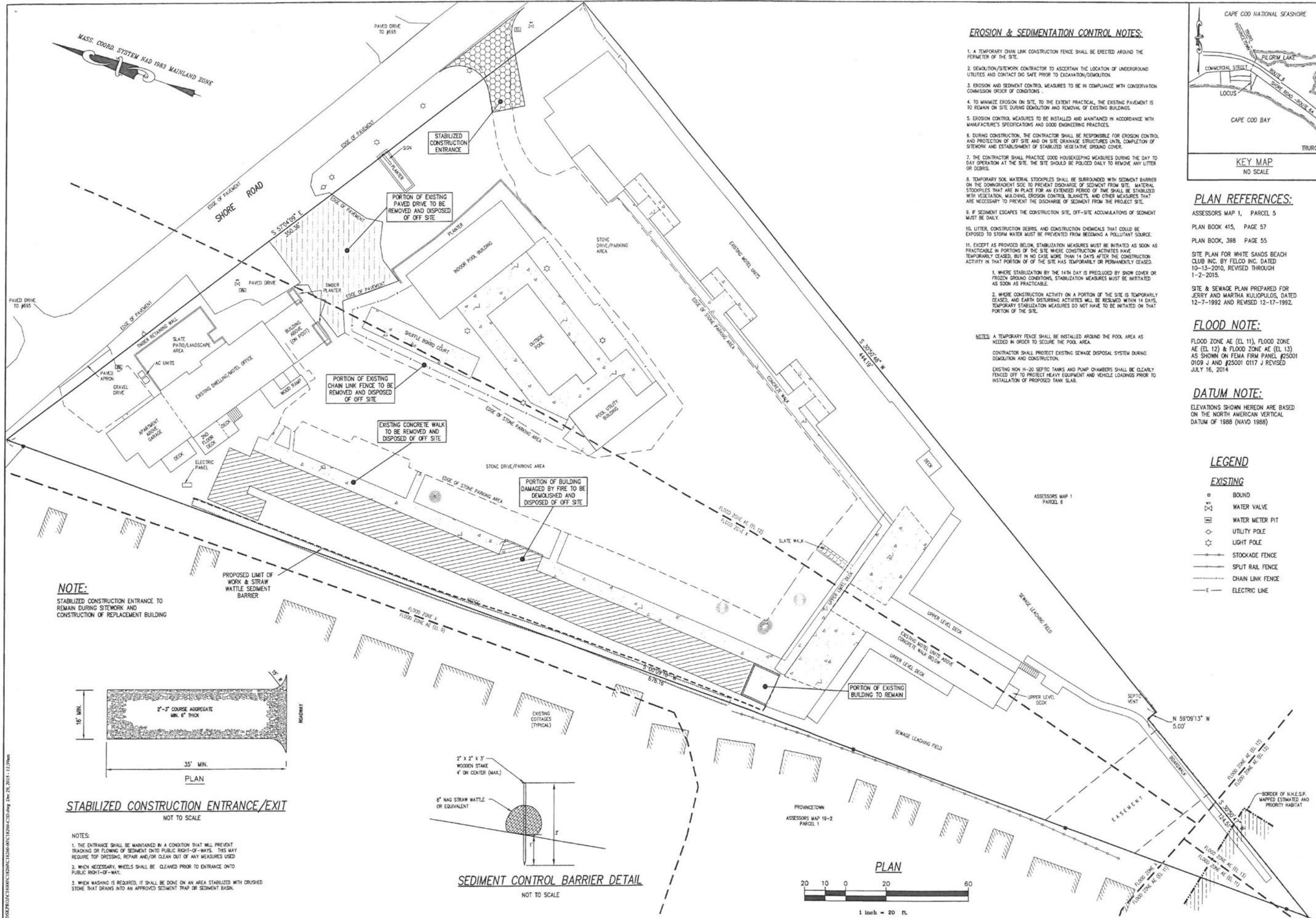
PROJECT: **WHITE SANDS BEACH CLUB, INC.**
 706 SHORE ROAD
 TRURO, MA

SHEET TITLE: **PLAN SHOWING EXISTING SITE CONDITIONS**

SCALE: **AS NOTED**
 DRAWING FILE: **C18260-C3D.dwg**
 DATE: **10-07-15**
 DRAWN BY: **MAP**
 CHECKED BY:

C1.21
 2 OF 5 SHEETS
 PROJECT NO. **C18260.00**

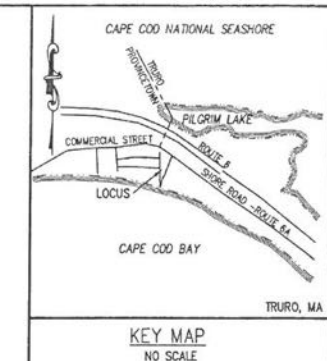
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EROSION & SEDIMENTATION CONTROL NOTES:

1. A TEMPORARY CHAIN LINK CONSTRUCTION FENCE SHALL BE ERECTED AROUND THE PERIMETER OF THE SITE.
2. DEMOLITION/SITWORK CONTRACTOR TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/DEMOLITION.
3. EROSION AND SEDIMENT CONTROL MEASURES TO BE IN COMPLIANCE WITH CONSERVATION COMMISSION ORDER OF CONDITIONS.
4. TO MINIMIZE EROSION ON SITE, TO THE EXTENT PRACTICAL, THE EXISTING PAVEMENT IS TO REMAIN ON SITE DURING DEMOLITION AND REMOVAL OF EXISTING BUILDINGS.
5. EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF OFF SITE AND ON SITE DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF STABILIZED VEGETATIVE GROUND COVER.
7. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
8. TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SEDIMENT BARRIER ON THE DOWNDRIFT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
9. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE DAILY.
10. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
11. EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

NOTES: A TEMPORARY FENCE SHALL BE INSTALLED AROUND THE POOL AREA AS NEEDED IN ORDER TO SECURE THE POOL AREA.
 CONTRACTOR SHALL PROTECT EXISTING SEWAGE DISPOSAL SYSTEM DURING DEMOLITION AND CONSTRUCTION.
 EXISTING NON H-20 SEPTIC TANKS AND PUMP CHAMBERS SHALL BE CLEARLY FENCED OFF TO PROTECT HEAVY EQUIPMENT AND VEHICLE LOADINGS PRIOR TO INSTALLATION OF PROPOSED TANK SLAB.



PLAN REFERENCES:

- ASSESSORS MAP 1, PARCEL 5
- PLAN BOOK 415, PAGE 57
- PLAN BOOK, 398 PAGE 55
- SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010, REVISED THROUGH 1-2-2015.
- SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KULIPILOS, DATED 12-7-1992 AND REVISED 12-17-1992.

FLOOD NOTE:

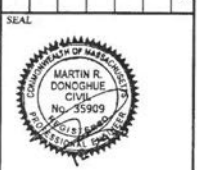
FLOOD ZONE AE (EL 11), FLOOD ZONE AE (EL 12) & FLOOD ZONE AE (EL 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISD JULY 16, 2014

DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy. Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION
2	12-29-15	GENERAL REVISIONS
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS

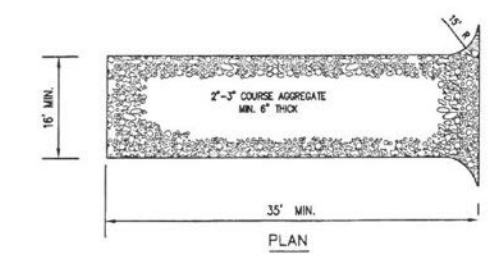


WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 TRURO, MA
 SHEET TITLE
SITE DEMOLITION PLAN

SCALE	AS NOTED
DRAWING FILE	C18260-C3D.dwg
DATE	10-07-15
DRAWN BY	MAP
CHECKED BY	

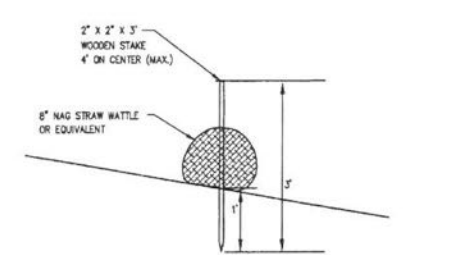
C2.0.1
 2 OF 2 SHEETS
 PROJECT NO. C18260.00

NOTE:
 STABILIZED CONSTRUCTION ENTRANCE TO REMAIN DURING SITWORK AND CONSTRUCTION OF REPLACEMENT BUILDING

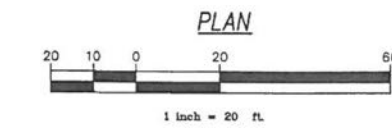


STABILIZED CONSTRUCTION ENTRANCE/EXIT
 NOT TO SCALE

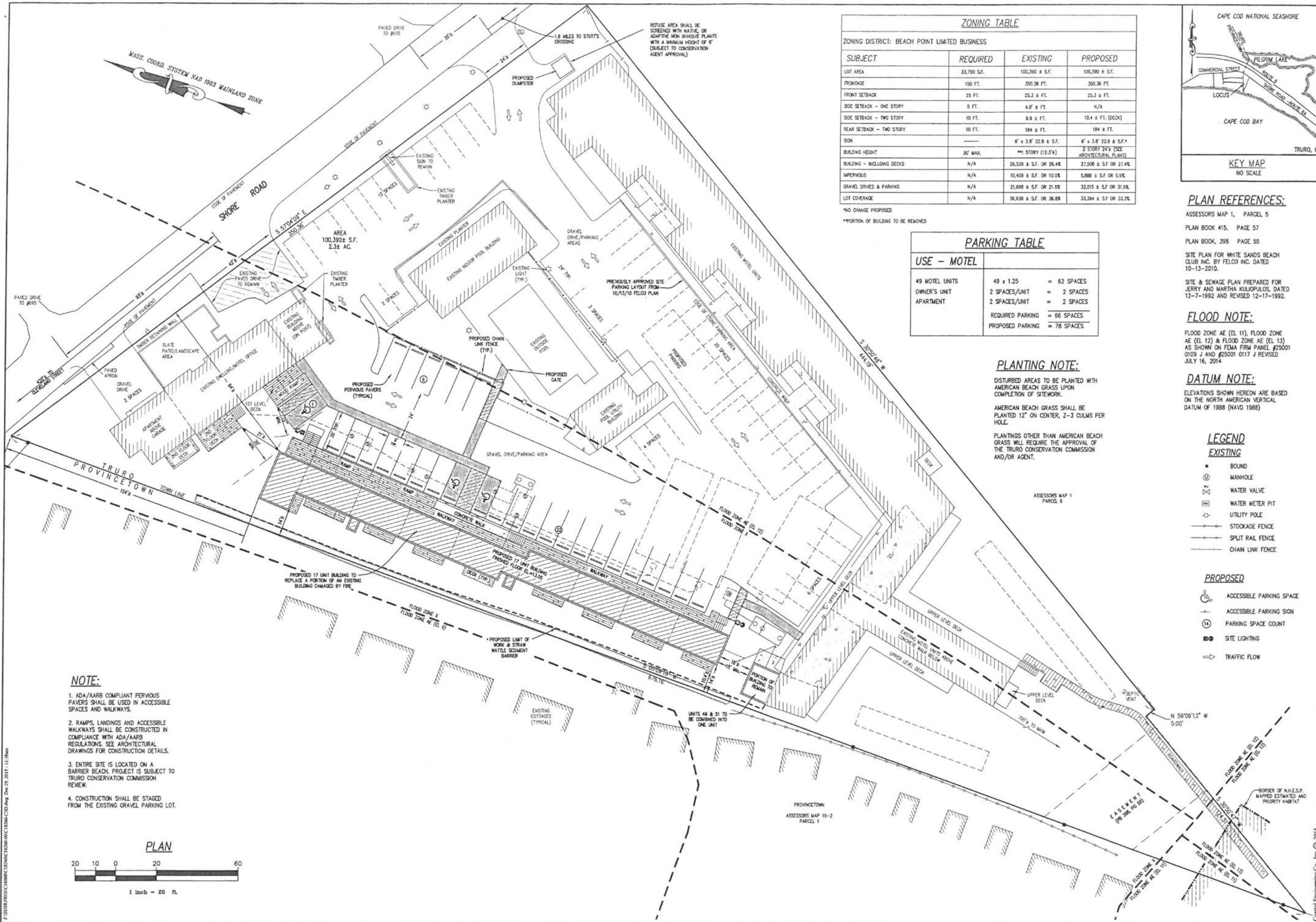
- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SEDIMENT CONTROL BARRIER DETAIL
 NOT TO SCALE



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ZONING TABLE

ZONING DISTRICT: BEACH POINT LIMITED BUSINESS

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA	33,790 S.F.	100,390 ± S.F.	100,390 ± S.F.
FRONTAGE	150 FT.	350.36 FT.	350.36 FT.
FRONT SETBACK	25 FT.	25.3 ± FT.	25.3 ± FT.
SIDE SETBACK - ONE STORY	5 FT.	4.8' ± FT.	N/A
SIDE SETBACK - TWO STORY	10 FT.	9.9 ± FT.	10.4 ± FT. (DECK)
REAR SETBACK - TWO STORY	10 FT.	184 ± FT.	184 ± FT.
SIGN	---	6' x 3.8' 22.8 ± S.F.	6' x 3.8' 22.8 ± S.F.*
BUILDING HEIGHT	30' MAX.	~1 STORY (12.5'±)	2 STORY 24'± (SEE ARCHITECTURAL PLANS)
BUILDING - INCLUDING DECKS	N/A	26,529 ± S.F. OR 26.4%	27,508 ± S.F. OR 27.4%
IMPERVIOUS	N/A	10,409 ± S.F. OR 10.0%	5,886 ± S.F. OR 5.9%
GRAVEL DRIVES & PARKING	N/A	21,888 ± S.F. OR 21.8%	32,015 ± S.F. OR 31.8%
LOT COVERAGE	N/A	36,936 ± S.F. OR 36.8%	33,394 ± S.F. OR 33.1%

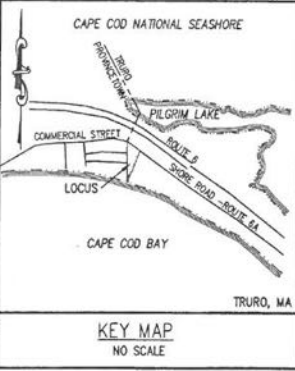
NO CHANGE PROPOSED
*PORTION OF BUILDING TO BE REMOVED

PARKING TABLE

USE - MOTEL	REQUIRED PARKING	PROPOSED PARKING
49 MOTEL UNITS	49 x 1.25 = 62 SPACES	66 SPACES
OWNER'S UNIT	2 SPACES/UNIT = 2 SPACES	2 SPACES
APARTMENT	2 SPACES/UNIT = 2 SPACES	2 SPACES
	REQUIRED PARKING	66 SPACES
	PROPOSED PARKING	78 SPACES

PLANTING NOTE:

DISTURBED AREAS TO BE PLANTED WITH AMERICAN BEACH GRASS UPON COMPLETION OF SITEWORK.
AMERICAN BEACH GRASS SHALL BE PLANTED 12" ON CENTER, 2-3 CULMS PER HOLE.
PLANTINGS OTHER THAN AMERICAN BEACH GRASS WILL REQUIRE THE APPROVAL OF THE TRURO CONSERVATION COMMISSION AND/OR AGENT.



PLAN REFERENCES:

ASSESSORS MAP 1, PARCEL 5
PLAN BOOK 415, PAGE 57
PLAN BOOK, 398 PAGE 55
SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010.
SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KULIOPULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

FLOOD NOTE:

FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:

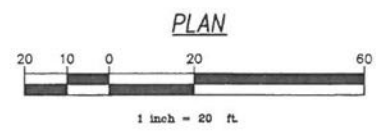
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

LEGEND

- EXISTING**
- BOUND
 - ⊕ MANHOLE
 - ⊗ WATER VALVE
 - ⊖ WATER METER PIT
 - UTILITY POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
- PROPOSED**
- ⊕ ACCESSIBLE PARKING SPACE
 - ⊕ ACCESSIBLE PARKING SIGN
 - ⊕ PARKING SPACE COUNT
 - ⊕ SITE LIGHTING
 - TRAFFIC FLOW

NOTE:

1. ADA/AARB COMPLIANT PERVIOUS PAVERS SHALL BE USED IN ACCESSIBLE SPACES AND WALKWAYS.
2. RAMPS, LANDINGS AND ACCESSIBLE WALKWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ADA/AARB REGULATIONS. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
3. ENTIRE SITE IS LOCATED ON A BARRIER BEACH. PROJECT IS SUBJECT TO TRURO CONSERVATION COMMISSION REVIEW.
4. CONSTRUCTION SHALL BE STAGED FROM THE EXISTING GRAVEL PARKING LOT.



COASTAL ENGINEERING COMPANY, INC.
280 Cranberry Hwy, Orleans, MA 02553
508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION
3	12-29-15	MODIFY PARKING
2	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS
1	10-28-15	ADD NOTES, LIGHTING, AND RELOCATE SIGN

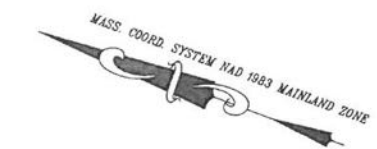
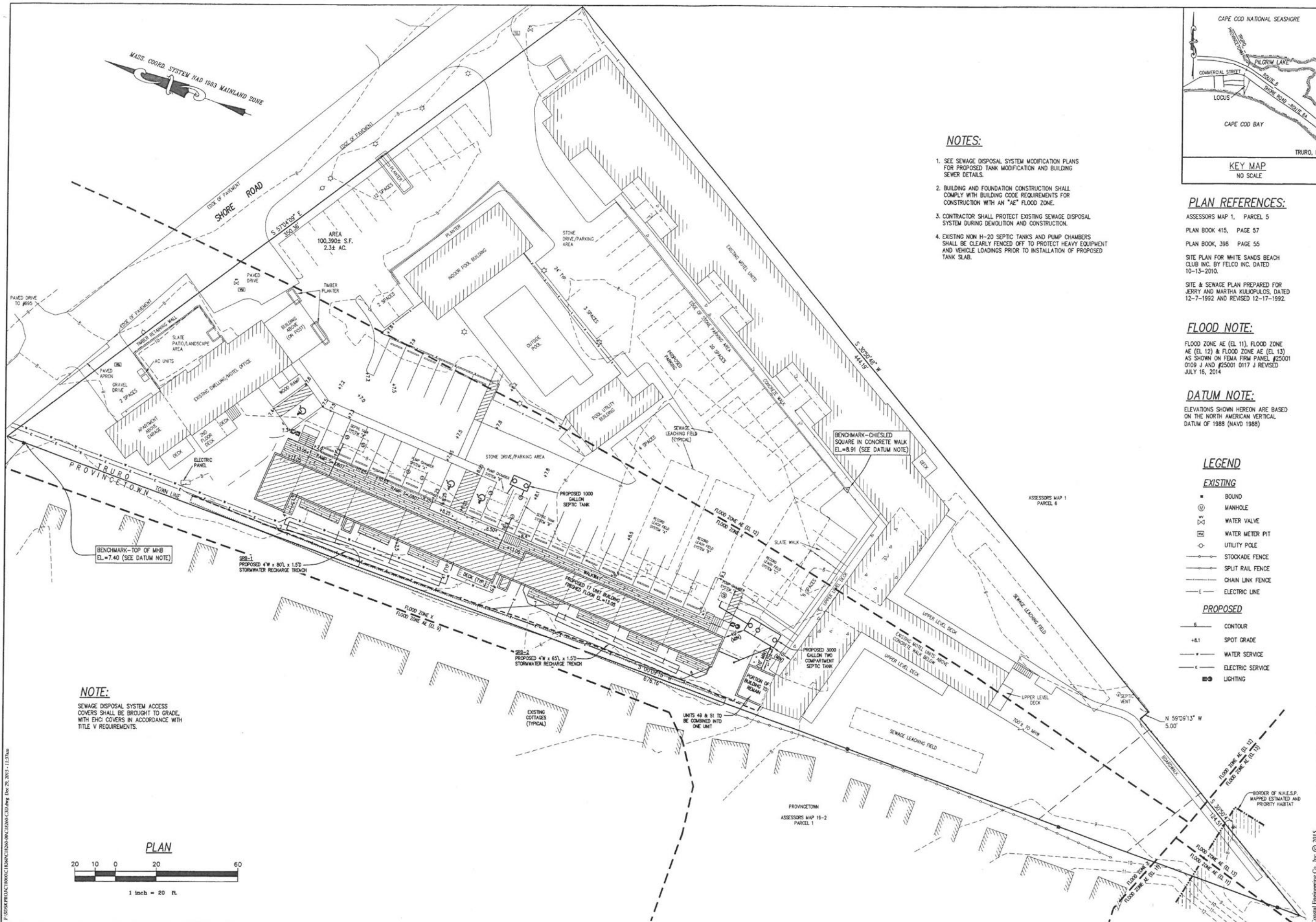


WHITE SANDS BEACH CLUB, INC.
TRURO, MA
706 SHORE ROAD
SHEET TITLE
SITE LAYOUT AND MATERIALS PLAN

PROJECT: 706 SHORE ROAD TRURO, MA
SCALE: AS NOTED
DRAWING FILE: C18260-C3D.dwg
DATE: 9-16-15
DRAWN BY: MAP
CHECKED BY:

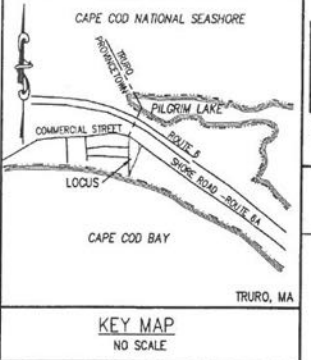
C2.1.1
4 OF 7 SHEETS
PROJECT NO.: C18260.00

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NOTES:

1. SEE SEWAGE DISPOSAL SYSTEM MODIFICATION PLANS FOR PROPOSED TANK MODIFICATION AND BUILDING SEWER DETAILS.
2. BUILDING AND FOUNDATION CONSTRUCTION SHALL COMPLY WITH BUILDING CODE REQUIREMENTS FOR CONSTRUCTION WITH AN "AE" FLOOD ZONE.
3. CONTRACTOR SHALL PROTECT EXISTING SEWAGE DISPOSAL SYSTEM DURING DEMOLITION AND CONSTRUCTION.
4. EXISTING NON H-20 SEPTIC TANKS AND PUMP CHAMBERS SHALL BE CLEARLY FENCED OFF TO PROTECT HEAVY EQUIPMENT AND VEHICLE LOADINGS PRIOR TO INSTALLATION OF PROPOSED TANK SLAB.



PLAN REFERENCES:

ASSESSORS MAP 1, PARCEL 5
 PLAN BOOK 415, PAGE 57
 PLAN BOOK 398, PAGE 55
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FLOOD NOTE:

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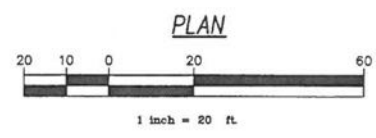
DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

LEGEND

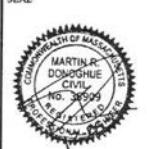
- EXISTING**
- BOUND
 - MANHOLE
 - WATER VALVE
 - WATER METER PIT
 - UTILITY POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE
- PROPOSED**
- CONTOUR
 - SPOT GRADE
 - WATER SERVICE
 - ELECTRIC SERVICE
 - LIGHTING

NOTE:
 SEWAGE DISPOSAL SYSTEM ACCESS COVERS SHALL BE BROUGHT TO GRADE, WITH EHG COVERS IN ACCORDANCE WITH TITLE V REQUIREMENTS.



COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy. Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION
3	12-29-15	REVISE PARKING AND SEPTIC TANK FOR SYSTEM B
2	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS
1	10-28-15	ADD LIGHTING AND NEW SIGN
		BY
		DATE



WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 TRURO, MA
SITE GRADING, DRAINAGE AND UTILITY PLAN

PROJECT	706 SHORE ROAD
SCALE	AS NOTED
DRAWING FILE	C18260-C3D.dwg
DATE	10-07-15
DRAWN BY	MAP
CHECKED BY	
C2.21	
PROJECT NO.	C18260.00

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NO.	DATE	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS	MAP	BY
2	12-29-15	GENERAL REVISIONS	MAP	
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS	MAP	



PROJECT: WHITE SANDS BEACH CLUB, INC
706 SHORE ROAD TRURO, MA
SHEET TITLE: SITE DETAILS

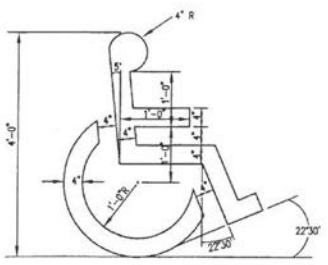
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DRAWING FILE: C18260-DET.dwg
DATE: 10-07-15
DRAWN BY: MAP
CHECKED BY:
PROJECT NO.: C18260.00

C2.4.1
5 OF 7 SHEETS

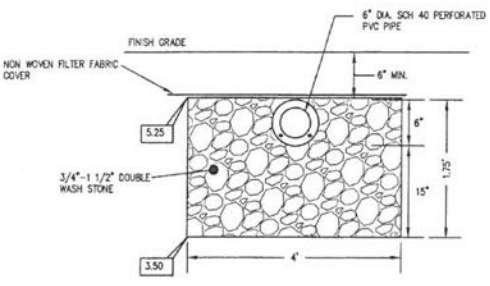
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- DEMOLITION/SITING CONTRACTOR TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/DEMOLITION.
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- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF OFF SITE AND ON SITE DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF STABILIZED VEGETATIVE GROUND COVER.
- THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
- TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SEDIMENT BARRIERS ON THE DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECCLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

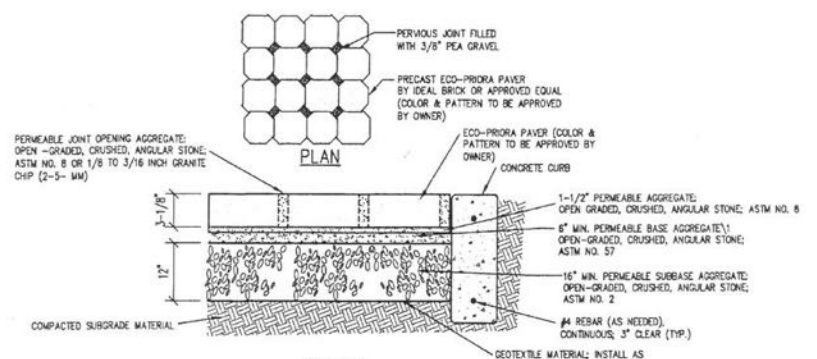
NOTE: SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.



PAINTED HANDICAP SYMBOL
NOT TO SCALE

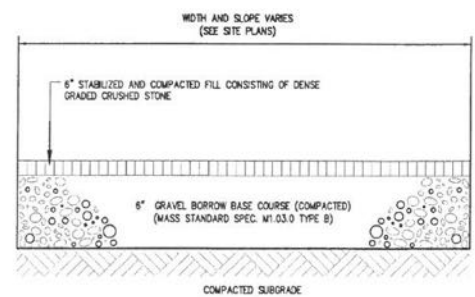


STORMWATER RECHARGE TRENCH DETAIL
NOT TO SCALE
NOTE: SRB-1: 80' x 4' W x 1.75'D
SRB-2: 65' x 4' W x 1.75'D

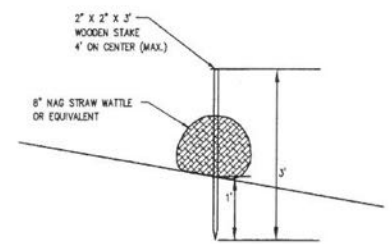


- NOTES:**
- CONTRACTOR SHALL FOLLOW MANUFACTURER'S PROCEDURES & SPECIFICATIONS FOR INSTALLATION OF ECO-PRIORA PAVERS.
 - INSTALLATION SHALL BE ADA/ANSI COMPLIANT.
 - COLOR AND PATTERN OF ECO-PRIORA PERMEABLE INTERLOCKING CONCRETE PAVERS SHALL BE APPROVED BY OWNER.

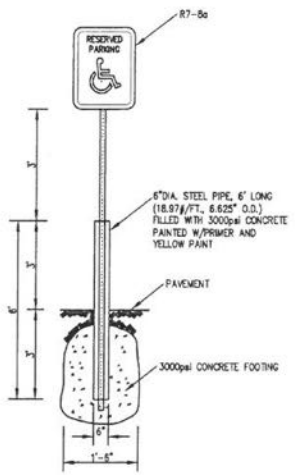
UNI ECO-PRIORA PERMEABLE PAVER DETAIL
NOT TO SCALE



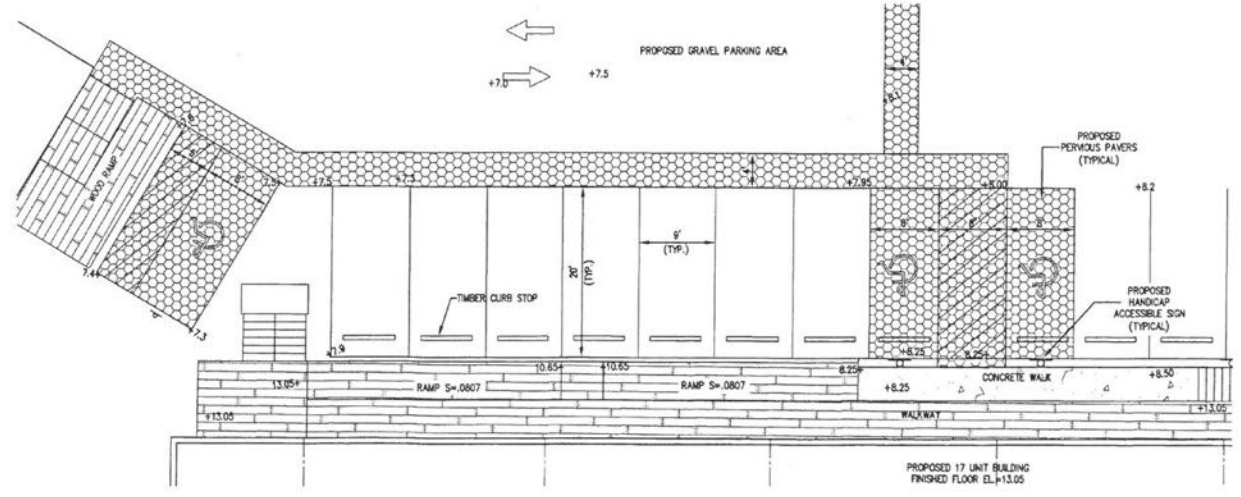
GRAVEL PARKING & DRIVE SECTION
NOT TO SCALE



SEDIMENT CONTROL BARRIER DETAIL
NOT TO SCALE



HANDICAP SIGN
NOT TO SCALE



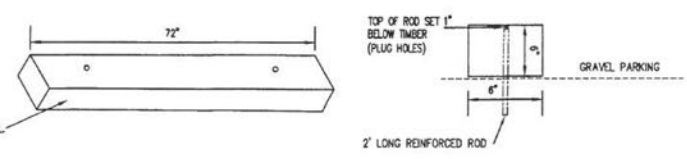
ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'

AGGREGATE TABLE GRADING REQUIREMENTS

NO. 8 BEDDING AGGREGATE	
SIEVE SIZE	PERCENT PASSING
1/2 INCH (12.5 MM)	100
3/8 INCH (9.5 MM)	85 TO 100
NO. 4 (4.75 MM)	10 TO 30
NO. 6 (2.36 MM)	0 TO 10
NO. 16 (1.18 MM)	0 TO 5

NO. 57 BASE AGGREGATE	
SIEVE SIZE	PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
1 INCH (25 MM)	95 TO 100
1/2 INCH (12.5 MM)	25 TO 60
NO. 4 (4.75 MM)	0 TO 10
NO. 6 (2.36 MM)	0 TO 5

NO. 2 SUBBASE AGGREGATE	
SIEVE SIZE	PERCENT PASSING
5 INCH (75 MM)	100
2 1/2 INCH (63 MM)	90 TO 100
2 INCH (50 MM)	35 TO 70
1 1/2 INCH (37.5 MM)	0 TO 15
3/4 INCH (19 MM)	0 TO 5



TIMBER CURB STOP DETAIL
NOT TO SCALE

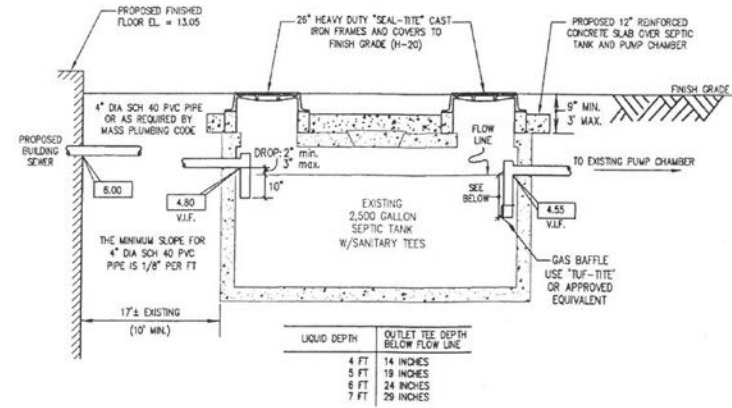
DESIGN CALCULATIONS—SYSTEM A MODIFICATION

DESIGN FLOW: MANAGER'S APT. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 EXISTING APT. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 UNITS 1 & 19 IN PROPOSED BLDG. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 HOSPITALITY ROOM IN PROPOSED BUILDING - 290± S.F. AT 75 GPD/1,000 S.F. = 22 GPD
 TOTAL FLOW SYSTEM A = 682 GPD

INSTALL: NEW BUILDING SEWER
 ANTI BOUYANCY SLABS: 10' x 15' x 1" REINFORCED CONCRETE H-20 SLAB OVER SEPTIC TANK
 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20'W. x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 682 GPD REQ'D.
 ONE (1) - 2500 GAL. SEPTIC TANK
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND THE CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHMATIC FLOW PROFILE—SYSTEM A MODIFICATION

ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

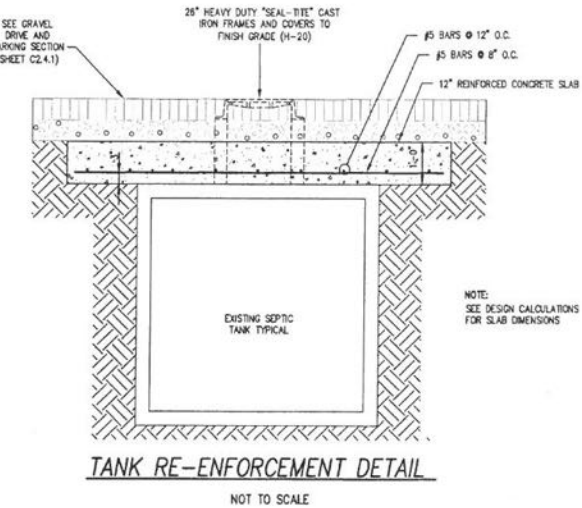
LIQUID DEPTH	OUTLET TEE DEPTH BELOW FLOW LINE
4 FT	14 INCHES
5 FT	19 INCHES
6 FT	24 INCHES
7 FT	29 INCHES

NOTES:

- INSTALLATION CONTRACTOR REPORT EXISTING SEWAGE DISPOSAL SYSTEM INVERTS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLING ANY SEWERS OR SYSTEM COMPONENTS.
- INSTALLER SHALL MODIFY INLET AND OUTLET TEES, AS NECESSARY IN ORDER TO COMPLY WITH SPECIFIED TEE AND GAS BAFFLE REQUIREMENTS.

LEGEND:

V.I.F. VERIFY IN FIELD



TANK RE-ENFORCEMENT DETAIL

NOT TO SCALE

NOTE: SEE DESIGN CALCULATIONS FOR SLAB DIMENSIONS

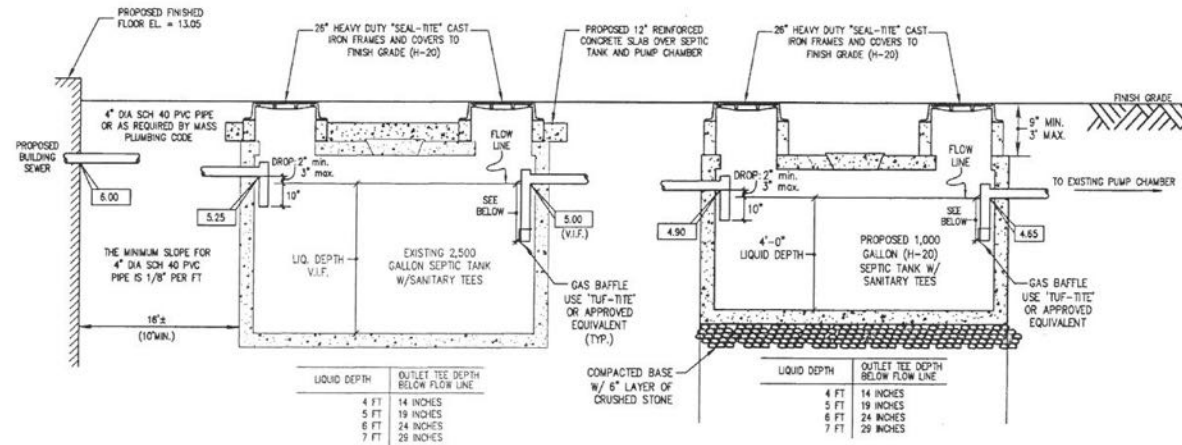
DESIGN CALCULATIONS—SYSTEM B MODIFICATION

DESIGN FLOW: EIGHT UNITS IN PROPOSED BLDG. - EIGHT BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 880 GPD (UNITS 3,5,7,9,23,25,27,29)

INSTALL: NEW BUILDING SEWER
 ONE (1) - 1,000 GAL. SEPTIC TANK (H-20)
 ANTI BOUYANCY SLABS: 10' x 15' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING SEPTIC TANK
 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20'W. x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 880 GPD REQ'D.
 ONE (1) - 2500 GAL. SEPTIC TANK
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND TITLE V CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHMATIC FLOW PROFILE—SYSTEM B MODIFICATION

ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

LIQUID DEPTH	OUTLET TEE DEPTH BELOW FLOW LINE
4 FT	14 INCHES
5 FT	19 INCHES
6 FT	24 INCHES
7 FT	29 INCHES

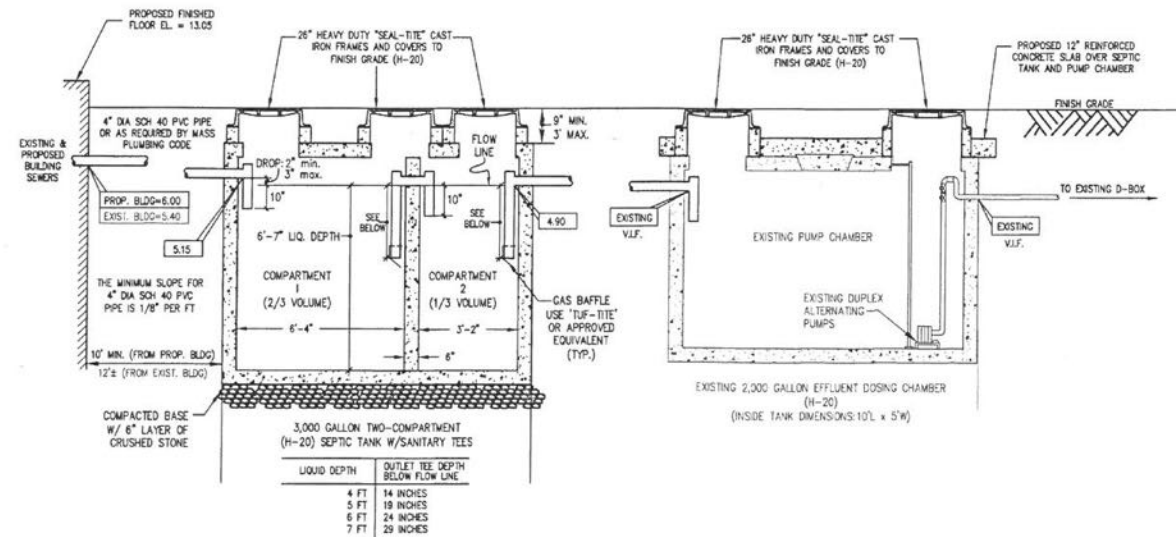
DESIGN CALCULATIONS—SYSTEM C MODIFICATION

DESIGN FLOW: SEVEN UNITS IN PROPOSED BLDG. & ONE COMBINED UNIT TO REMAIN - EIGHT BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 880 GPD (UNITS 11,15,17,31,33,35,37 & COMBINED UNIT)

INSTALL: NEW BUILDING SEWER AND SEWER TO PORTION OF BUILDING TO REMAIN.
 ONE (1) - 3,000 GAL. TWO COMPARTMENT SEPTIC TANK (H-20)
 ANTI BOUYANCY SLABS: 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20'W. x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 880 GPD REQ'D.
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND THE TITLE V CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHMATIC FLOW PROFILE—SYSTEM C MODIFICATION

ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

LIQUID DEPTH	OUTLET TEE DEPTH BELOW FLOW LINE
4 FT	14 INCHES
5 FT	19 INCHES
6 FT	24 INCHES
7 FT	29 INCHES

CONCRETE NOTES

- CONCRETE MIXTURE, FORM-WORK, DELIVERY AND PLACEMENT SHALL CONFORM TO REQUIREMENTS OF ACI 301 (LATEST EDITION), UNLESS OTHERWISE NOTED.
- CONCRETE MATERIALS SHALL BE: TYPE 1 OR 2 PORTLAND CEMENT, SAND AND GRAVEL AGGREGATES. CONCRETE SHALL BE AIR-ENRICHED PER ACR RECOMMENDATIONS. CONCRETE COMPRESSIVE STRENGTH (F_c) IN 28 DAYS, WHEN TESTED IN ACCORDANCE WITH ACI 318-LATEST EDITION, SHALL BE AS FOLLOWS: CONCRETE WORK - 5,000 PSI
- THE MAXIMUM CONCRETE SLUMP FOR SLABS SHALL BE 3". CONCRETE SHALL BE AIR ENRICHED TO 6% (+/- 1%).
- MIXING, TRANSPORTING, PLACING AND CURING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CURRENT AMERICAN CONCRETE INSTITUTE SPECIFICATIONS AND GUIDELINES.
- SLABS-ON-GRADE HAVE BEEN DESIGNED FOR BUOYANCY UPLIFT FORCES DUE TO GROUNDWATER OR FLOODING.
- CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGN WITH LIST OF ADMIXTURES TO THE ENGINEER FOR WRITTEN APPROVAL PRIOR TO THE WORKING AND PLACEMENT OF CONCRETE.
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT WHERE NOTED. RUSTED BARS WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED AT NO ADDITIONAL COST.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI PUBLICATION 315 AND CURRENT CRSI SPECIFICATIONS, LATEST EDITIONS.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER: BOTTOM OF FOOTINGS 2" FORWARDED SIDES OF FOOTINGS 2" SLAB ON GRADE 2" BELOW TOP SURFACE
- CONTINUOUS REINFORCEMENT SHALL HAVE CLASS "B" SPLICES (ACI 318-LATEST EDITION) OR SHALL BE LAPPED 40 BAR DIAMETERS MINIMUM, UNLESS NOTED OTHERWISE.
- REINFORCING BARS MAY NOT BE WELDED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER. WHEN APPROVED, WELDING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE CURRENT A.S.T.M.
- CONCRETE SHALL BE PROTECTED FROM FREEZING UNTIL THE CONCRETE HAS REACHED A STRENGTH OF 500 PSI. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH CURRENT A.C.I. CODE OF STANDARD PRACTICE SPECIFICATIONS AND GUIDELINES.
- REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RADII ESTABLISHED BY THE A.C.I. UNDER NO CIRCUMSTANCES SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS.
- FORMS SHALL BE OILED PRIOR TO THEIR ERECTION. REINFORCING BARS WHICH ARE COATED WITH FORM OIL OR ANY OTHER BOND BREAKING MATERIAL WILL BE REJECTED AND WILL REQUIRE REPLACEMENT AT NO ADDITIONAL COST.
- CONCRETE MAY CONTAIN FLY-ASH OR SLAG IF PROPOSED IN MIX DESIGN. EACH SHALL SATISFY ALL A.C.I. AND ASTM CURRENT REQUIREMENTS AND SPECIFICATIONS. SUBMIT MATERIAL DATA SHEETS AND A.C.I. CERTIFICATIONS TO ENGINEER FOR REVIEW.
- ADDITION OF WATER TO CONCRETE MIXES AT THE SITE IS NOT ALLOWED. SUCH CONCRETE SHALL BE IMMEDIATELY REJECTED.
- CONCRETE SHALL BE READY-MIXED AT PLANT COMPLYING WITH ASTM C94 AND ASTM C1116. SITE MIXING IS NOT ALLOWED.
- NOTIFY ENGINEER FOR INSPECTION OF COMPLETED INSTALLATION OF REINFORCEMENT AT LEAST TWO (2) FULL WORK DAYS PRIOR TO SCHEDULED POURING OF CONCRETE. DO NOT PLACE CONCRETE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- CONCRETE USED FOR SLABS-ON-GRADE SHALL BE TESTED BY AN INDEPENDENT A.C.I. CERTIFIED TESTING LAB, HIRSD, SCHEDULED, AND PAID FOR BY THE OWNER. THE FOLLOWING MINIMUM TESTING SHALL BE PERFORMED, AND FIELD/LAB-RESULT REPORTS SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL:
 * AIR ENTRAINMENT AT PLACEMENT - ASTM C-231-97
 * SLUMP - ASTM C-143
 * COMPRESSIVE STRENGTH - ASTM C-39
 CONCRETE CYLINDER SAMPLES SHALL BE OBTAINED FROM EVERY OTHER CONCRETE DELIVERY TRUCK FOR COMPRESSIVE STRENGTH TESTING. NINE (9) CYLINDERS SHALL BE MADE FROM EACH SAMPLE. THREE (3) CYLINDERS WILL BE TESTED AT 7-DAY CURE, AND SIX (6) CYLINDERS WILL BE TESTED AT 28-DAY CURE TO DETERMINE COMPRESSIVE STRENGTH OF THE CONCRETE IN ACCORDANCE WITH ASTM C39. AIR ENTRAINMENT AND SLUMP WILL BE TESTED AT EACH SAMPLE AS WELL. TEST RESULTS WHICH ARE DETERMINED BY THE ENGINEER TO BE DEFICIENT OR QUESTIONABLE WILL REQUIRE THAT THE CONTRACTOR PAY FOR ADDITIONAL TESTING AND CURING OF THE IN-PLACE CONCRETE, INCLUDING PETROGRAPHIC EXAMINATION WITH REPORT AS DIRECTED BY THE ENGINEER. CONCRETE DETERMINED BY THE ENGINEER TO REMAIN DEFICIENT AFTER FINAL TESTING SHALL BE ENTIRELY REMOVED AND REPLACED AT NO ADDITIONAL COST.
- SUBMIT TESTING AGENCY LAB REPORTS TO THE ENGINEER FOR REVIEW.
- CHAIR BARS FOR SECURE PLACEMENT AND POSITIONING OF REINFORCING STEEL IS TO BE PROVIDED. CHAIR BAR OR SIMILAR APPROVED MANUFACTURED DEVICES INTENDED FOR USE MUST BE SUBMITTED TO THE ENGINEER AND APPROVED IN WRITING PRIOR TO ORDERING MATERIALS. REINFORCING SUPPORTS SHALL BE OF PROPER HEIGHT, LENGTH, SPACING, SIZE AND MATERIAL TYPE, AND SUBMITTAL SHALL INCLUDE THIS DATA WITH CURRENT MANUFACTURER DATA SHEETS. IN NO CASE SHALL BROCK, WOOD, OR OTHER NON-CONFORMING REINFORCING STEEL SUPPORTS BE USED.
- CONCRETE USED IN SLABS-ON-GRADE SHALL CONTAIN PLANT INTRODUCED "FIBER MESH" FIBRILLATED POLYPROPYLENE FIBERS (SYNTHETIC INDUSTRIES) COMPLYING WITH ASTM C1116, TYPE II, 3/8" TO 1 1/2" INCHES LONG, WITH ADDITION RATE OF 0.10% TO 0.20% BY VOLUME (1.5 LB./CU. YD. TO 3.0 LB./CU. YD.).

COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy, Orleans, MA 01953
 508.255.6511 Fax: 508.255.6700

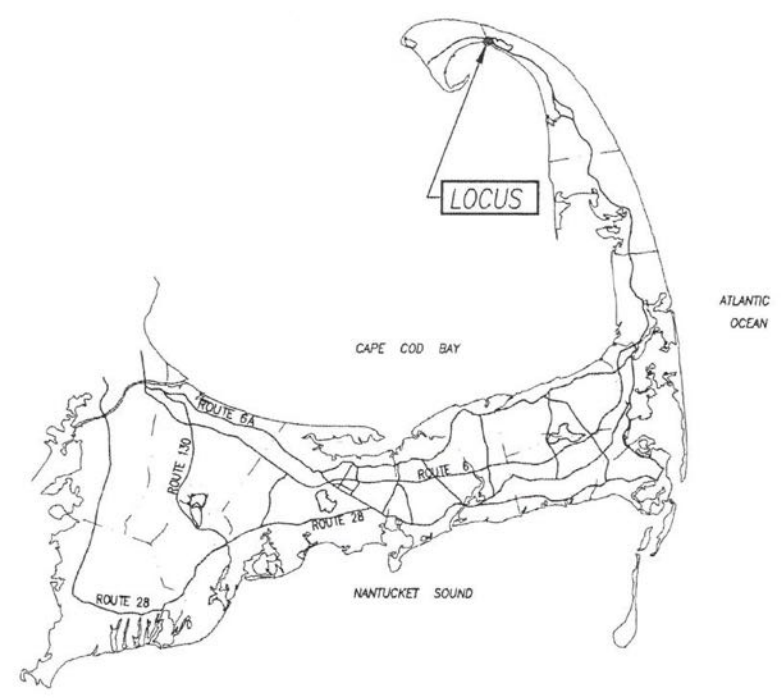


WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 SHEET TITLE

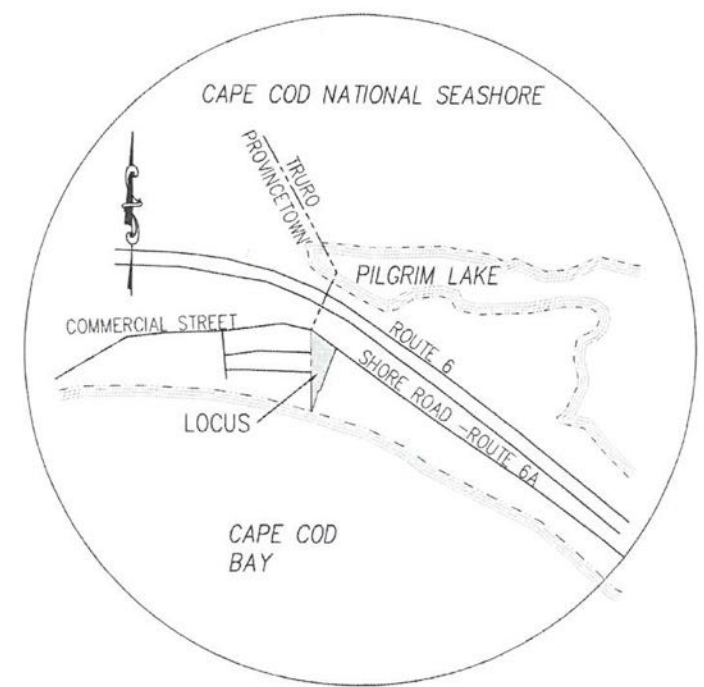
SEWAGE DISPOSAL SYSTEM MODIFICATIONS

PROJECT	AS NOTED
SCALE	AS NOTED
DRAWING FILE	C18260-DET.dwg
DATE	12-29-15
DRAWN BY	MAP/MJB
CHECKED BY	
C2.4.2	
PROJECT NO.	C18260.01

OWNER AND APPLICANT:
WHITE SANDS BEACH CLUB, INC.
C/O MARIA KULIOPULOS
 P.O. BOX 611
 PROVINCETOWN, MA 02657



CAPE COD, MASSACHUSETTS
(NO SCALE)



TRURO, MASSACHUSETTS
KEY MAP
(NO SCALE)

TRURO PLANNING BOARD

DATE: _____

PROPOSED SITE PLAN FOR REPLACEMENT OF A FIRE DAMAGED BUILDING WHITE SANDS BEACH CLUB, INC.

706 SHORE ROAD
TRURO, MASSACHUSETTS
DECEMBER 29, 2015

PROPOSED CONDITIONS (EA)

DRAWING INDEX

C1.2.1	EXISTING CONDITIONS PLAN	11-10-15
C2.0.1	SITE DEMOLITION PLAN	12-29-15
C2.1.1	SITE LAYOUT AND MATERIALS PLAN	11-23-16
C2.2.1	SITE GRADING AND DRAINAGE PLAN	06-06-16
C2.4.1	SITE DETAILS	11-23-16
C2.4.2	SEWAGE DISPOSAL SYSTEM MODIFICATION DETAILS	12-29-15

SRK	MRD	MAP	MAP	BY

NO.	DATE	REVISION
4	11-23-16	UNIT CONSOLIDATION AND OFFICE RELOCATION
3	6-06-16	SHOW FIRE SERVICE WATER LINE & NOTES
2	12-29-15	GENERAL REVISIONS & ADD NEW SEPTIC TANK DETAILS
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS

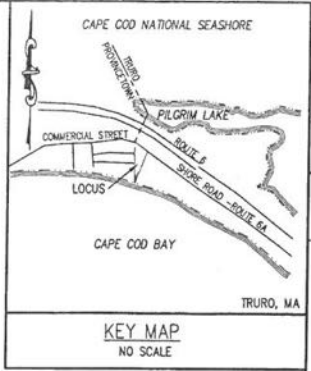
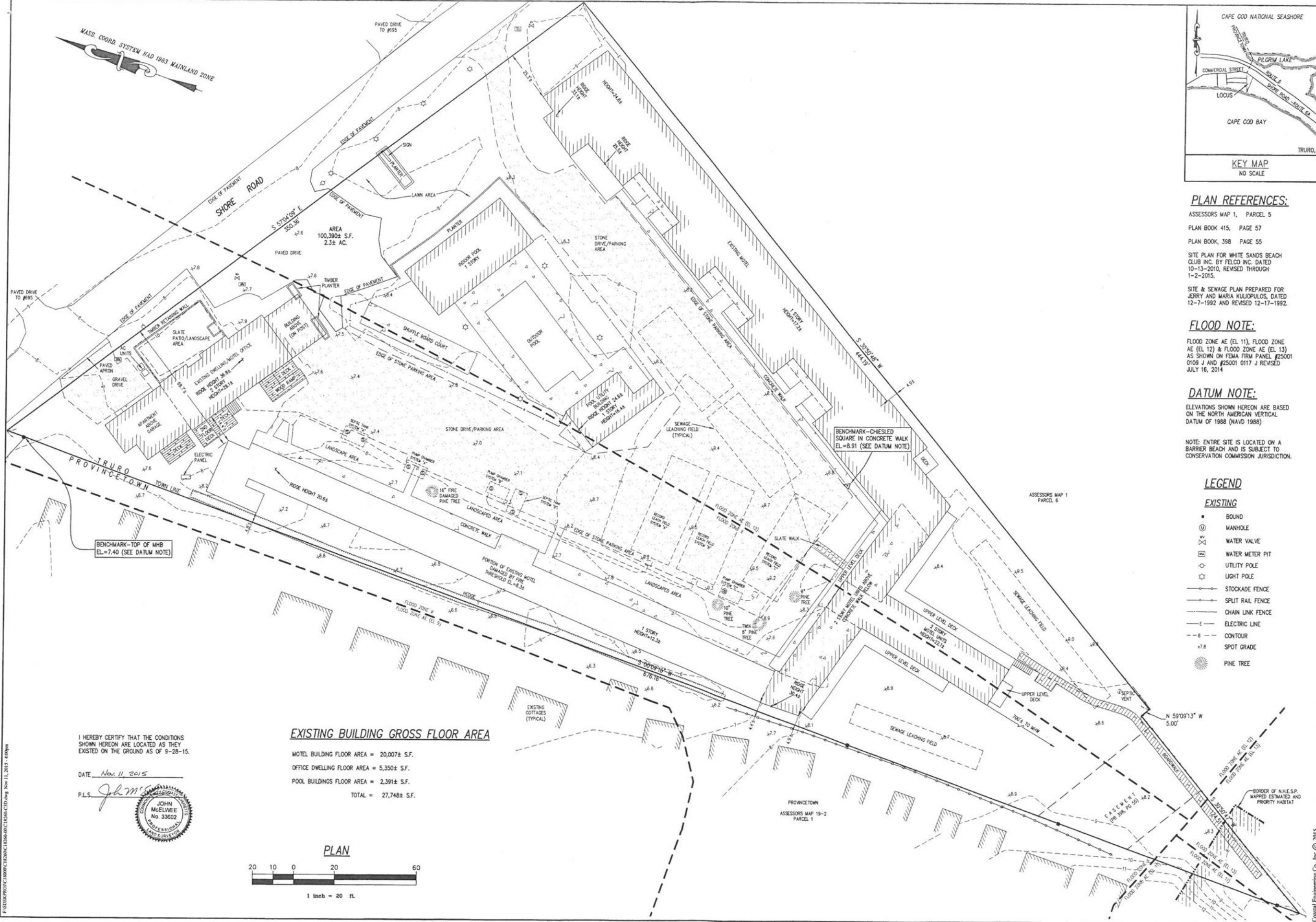


WHITE SANDS BEACH CLUB, INC.
 TRURO, MA
 706 SHORE ROAD
**PROPOSED SITE PLAN FOR REPLACEMENT
 OF A FIRE DAMAGED BUILDING**

SCALE	AS NOTED
LATEST REVISION	C18260-DET.dwg
DATE	12-29-15
DRAWN BY	MAP
CHECKED BY	

C0.0.1
 1 of 1 SHEETS
 PROJECT NO. C18260.00

F:\MSA\PROJECTS\18260\18260-DET.dwg, Sheet 11, Date: 12/29/15



PLAN REFERENCES:
 ASSESSORS MAP 1, PARCEL 5
 PLAN BOOK 415, PAGE 57
 PLAN BOOK, 398 PAGE 55
 SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010, REVISED THROUGH 1-2-2015.
 SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARIA KULIOPULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

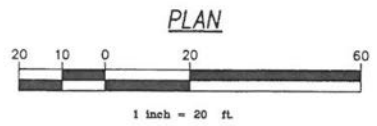
FLOOD NOTE:
 FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)
 NOTE: ENTIRE SITE IS LOCATED ON A BARRIER BEACH AND IS SUBJECT TO CONSERVATION COMMISSION JURISDICTION.

- LEGEND**
- EXISTING**
- BOUND
 - ⊙ MANHOLE
 - ⊗ WATER VALVE
 - ⊞ WATER METER PIT
 - ⊕ UTILITY POLE
 - ⊛ LIGHT POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE
 - - - CONTOUR
 - +7.8 SPOT GRADE
 - ⊙ PINE TREE

EXISTING BUILDING GROSS FLOOR AREA

MOTEL BUILDING FLOOR AREA = 20,007± S.F.
 OFFICE DWELLING FLOOR AREA = 5,350± S.F.
 POOL BUILDINGS FLOOR AREA = 2,391± S.F.
 TOTAL = 27,748± S.F.



I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 9-28-15.

DATE Nov. 11, 2015

P.L.S. *J.M.S.*
 JOHN McELWEE
 No. 33602
 PROFESSIONAL LAND SURVEYOR

COASTAL ENGINEERING COMPANY, INC.
 200 Cranberry Hwy, Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION
1	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS

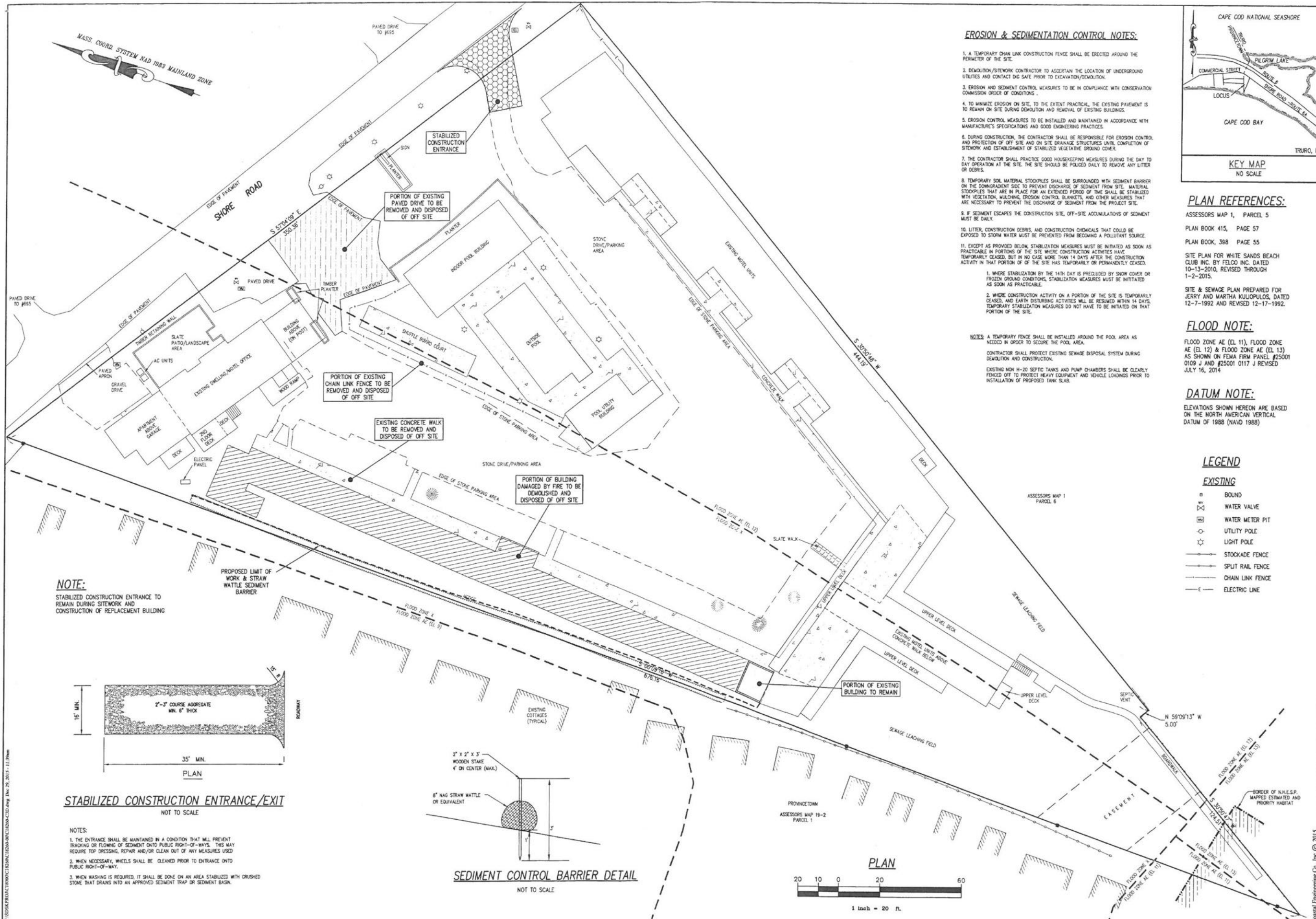
SEAL

PROJECT: WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 TRURO, MA
 SHEET TITLE: PLAN SHOWING EXISTING SITE CONDITIONS

SCALE: AS NOTED
 DRAWING FILE: C18260-C3D.dwg
 DATE: -10-07-15
 DRAWN BY: MAP
 CHECKED BY:

C1.2.1
 2 OF 6 SHEETS
 PROJECT NO. C18260.00

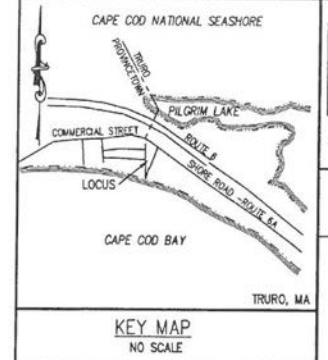
P:\SSK\PROJECTS\C18260\C18260-C3D.dwg Nov 11, 2015 - 4:09pm



EROSION & SEDIMENTATION CONTROL NOTES:

1. A TEMPORARY CHAIN LINK CONSTRUCTION FENCE SHALL BE ERECTED AROUND THE PERIMETER OF THE SITE.
2. DEMOLITION/SITING CONTRACTOR TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/DEMOLITION.
3. EROSION AND SEDIMENT CONTROL MEASURES TO BE IN COMPLIANCE WITH CONSERVATION COMMISSION ORDER OF CONDITIONS.
4. TO MINIMIZE EROSION ON SITE, TO THE EXTENT PRACTICAL, THE EXISTING PAVEMENT IS TO REMAIN ON SITE DURING DEMOLITION AND REMOVAL OF EXISTING BUILDINGS.
5. EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF OFF SITE AND ON SITE DRAINAGE STRUCTURES UNTIL COMPLETION OF SITING AND ESTABLISHMENT OF STABILIZED VEGETATIVE GROUND COVER.
7. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
8. TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SEDIMENT BARRIER ON THE DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
9. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE DAILY.
10. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
11. EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

NOTES: A TEMPORARY FENCE SHALL BE INSTALLED AROUND THE POOL AREA AS NEEDED IN ORDER TO SECURE THE POOL AREA.
 CONTRACTOR SHALL PROTECT EXISTING SEWAGE DISPOSAL SYSTEM DURING DEMOLITION AND CONSTRUCTION.
 EXISTING NON H-20 SEPTIC TANKS AND PUMP CHAMBERS SHALL BE CLEARLY FENCED OFF TO PROTECT HEAVY EQUIPMENT AND VEHICLE LOADINGS PRIOR TO INSTALLATION OF PROPOSED TANK SLAB.



PLAN REFERENCES:

- ASSESSORS MAP 1, PARCEL 5
- PLAN BOOK 415, PAGE 57
- PLAN BOOK 388, PAGE 55
- SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010, REVISED THROUGH 1-2-2015.
- SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KULOPOULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

FLOOD NOTE:

FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014.

DATUM NOTE:

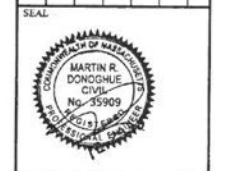
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

LEGEND

- EXISTING**
- BOUND
 - WATER VALVE
 - WATER METER PIT
 - UTILITY POLE
 - LIGHT POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE

COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy, Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION	BY
2	12-29-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS	MAP
1	11-10-15	GENERAL REVISIONS	MAP



WHITE SANDS BEACH CLUB, INC.
 700 SHORE ROAD
 TRURO, MA

SITE DEMOLITION PLAN

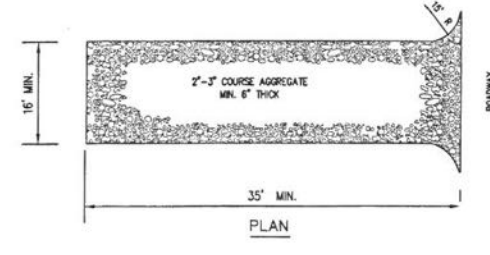
PROJECT: WHITE SANDS BEACH CLUB, INC. TRURO, MA
 SHEET TITLE: SITE DEMOLITION PLAN

SCALE: AS NOTED
 DRAWING FILE: C18260-C3D.dwg
 DATE: 10-07-15
 DRAWN BY: MAP
 CHECKED BY:

C2.0.1

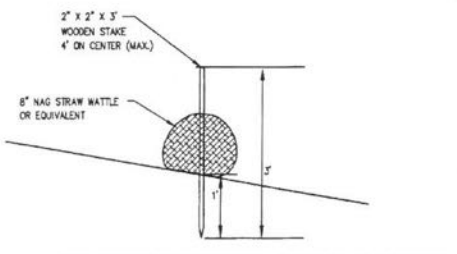
3 OF 6 SHEETS
 PROJECT NO: C18260.00

NOTE:
 STABILIZED CONSTRUCTION ENTRANCE TO REMAIN DURING SITING AND CONSTRUCTION OF REPLACEMENT BUILDING

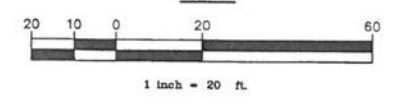


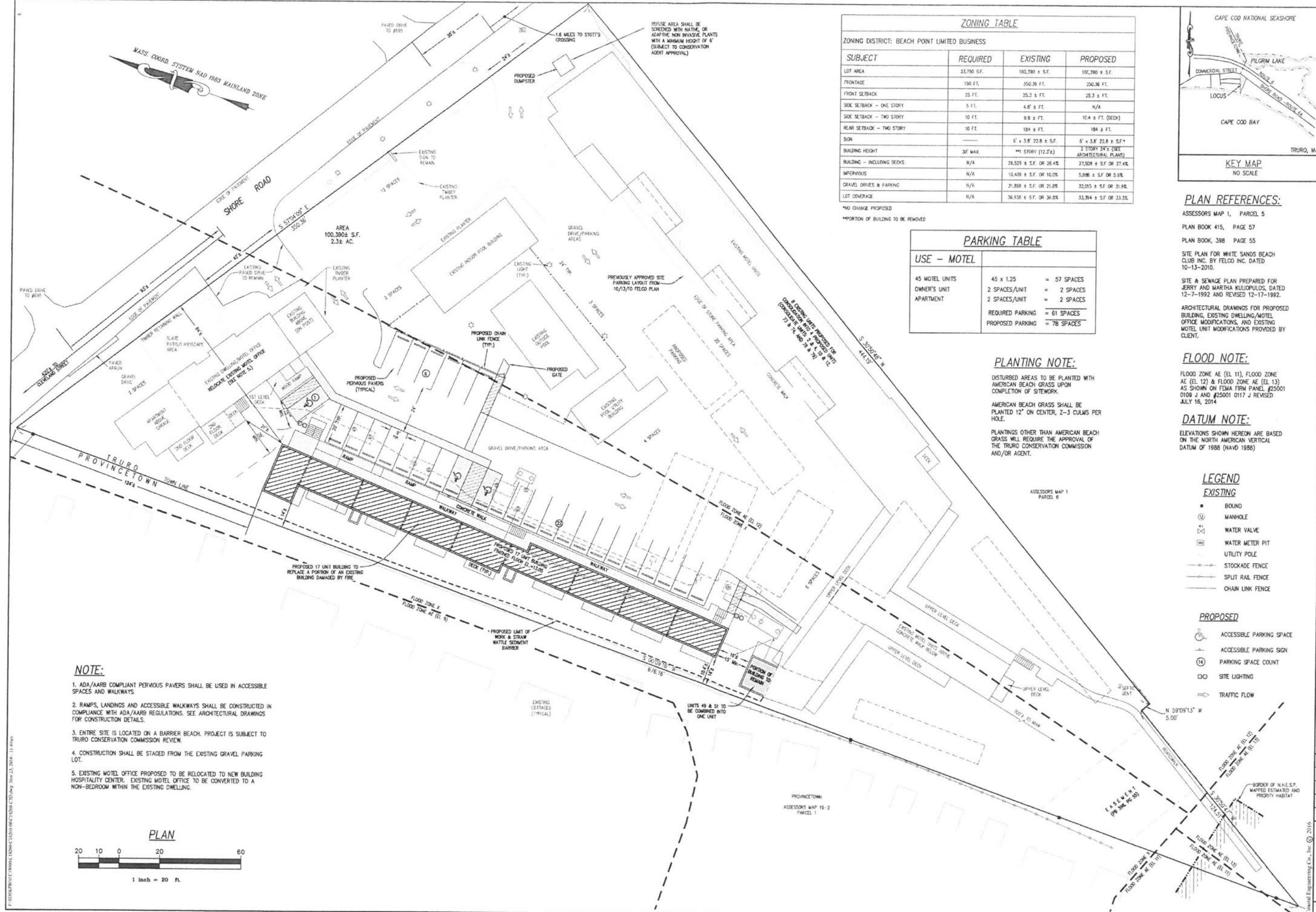
STABILIZED CONSTRUCTION ENTRANCE/EXIT
 NOT TO SCALE

- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP SPRINKLING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SEDIMENT CONTROL BARRIER DETAIL
 NOT TO SCALE





ZONING TABLE

ZONING DISTRICT: BEACH POINT LIMITED BUSINESS

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA	33,750 S.F.	100,390 ± S.F.	100,390 ± S.F.
FRONTAGE	150 FT.	350.36 FT.	350.36 FT.
FRONT SETBACK	25 FT.	25.3 ± FT.	25.3 ± FT.
SIDE SETBACK - ONE STORY	5 FT.	4.8' ± FT.	N/A
SIDE SETBACK - TWO STORY	10 FT.	9.9 ± FT.	10.4 ± FT. (DECK)
REAR SETBACK - TWO STORY	10 FT.	184 ± FT.	184 ± FT.
SIGN		6' x 3.8' 22.8 ± S.F.	8' x 3.8' 22.8 ± S.F.*
BUILDING HEIGHT	30' MAX.	**1 STORY (12.2'±)	2 STORY 24'± (SEE ARCHITECTURAL PLANS)
BUILDING - INCLUDING DECKS	N/A	76,529 ± S.F. OR 28.4%	77,508 ± S.F. OR 27.4%
IMPERVIOUS	N/A	10,409 ± S.F. OR 10.0%	5,886 ± S.F. OR 5.9%
GRAVEL DRIVES & PARKING	N/A	21,898 ± S.F. OR 21.8%	32,015 ± S.F. OR 31.9%
LOT COVERAGE	N/A	36.936 ± S.F. OR 36.8%	33,394 ± S.F. OR 33.3%

*NO CHANGE PROPOSED
**PORTION OF BUILDING TO BE REMOVED

PARKING TABLE

USE - MOTEL		
45 MOTEL UNITS	45 x 1.25	= 57 SPACES
OWNER'S UNIT	2 SPACES/UNIT	= 2 SPACES
APARTMENT	2 SPACES/UNIT	= 2 SPACES
	REQUIRED PARKING	= 61 SPACES
	PROPOSED PARKING	= 76 SPACES

PLANTING NOTE:

DISTURBED AREAS TO BE PLANTED WITH AMERICAN BEACH GRASS UPON COMPLETION OF SITEWORK.
AMERICAN BEACH GRASS SHALL BE PLANTED 12" ON CENTER, 2-3 CULMS PER HOLE.
PLANTINGS OTHER THAN AMERICAN BEACH GRASS WILL REQUIRE THE APPROVAL OF THE TRURO CONSERVATION COMMISSION AND/OR AGENT.

FLOOD NOTE:

FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

LEGEND

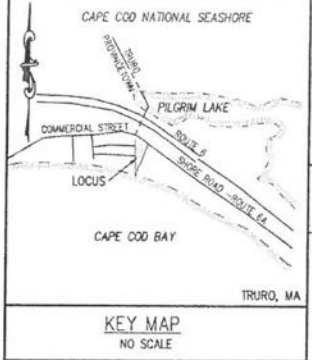
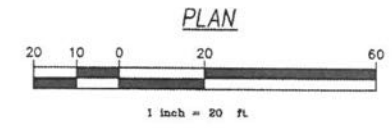
- EXISTING**
- BOUND
 - ⊕ MANHOLE
 - ⊗ WATER VALVE
 - ⊕ WATER METER PIT
 - ⊕ UTILITY POLE
 - ⊕ STOCKADE FENCE
 - ⊕ SPLIT RAIL FENCE
 - ⊕ CHAIN LINK FENCE

PROPOSED

- ⊕ ACCESSIBLE PARKING SPACE
- ⊕ ACCESSIBLE PARKING SIGN
- ⊕ PARKING SPACE COUNT
- ⊕ SITE LIGHTING
- ⊕ TRAFFIC FLOW

NOTE:

1. ADA/AARB COMPLIANT PERVIOUS PAVERS SHALL BE USED IN ACCESSIBLE SPACES AND WALKWAYS.
2. RAMPS, LANDINGS AND ACCESSIBLE WALKWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ADA/AARB REGULATIONS. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
3. ENTIRE SITE IS LOCATED ON A BARRIER BEACH. PROJECT IS SUBJECT TO TRURO CONSERVATION COMMISSION REVIEW.
4. CONSTRUCTION SHALL BE STAGED FROM THE EXISTING GRAVEL PARKING LOT.
5. EXISTING MOTEL OFFICE PROPOSED TO BE RELOCATED TO NEW BUILDING HOSPITALITY CENTER. EXISTING MOTEL OFFICE TO BE CONVERTED TO A NON-BEDROOM WITHIN THE EXISTING DWELLING.



PLAN REFERENCES:

- ASSESSORS MAP 1, PARCEL 5
- PLAN BOOK 415, PAGE 57
- PLAN BOOK 398, PAGE 55
- SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010.
- SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KILIPOPOLOS, DATED 12-7-1992 AND REVISED 12-17-1992.
- ARCHITECTURAL DRAWINGS FOR PROPOSED BUILDING, EXISTING DWELLING/MOTEL OFFICE MODIFICATIONS, AND EXISTING MOTEL UNIT MODIFICATIONS PROVIDED BY CLIENT.

COASTAL ENGINEERING COMPANY, INC.
260 Cranbury Hwy., Orleans, MA 02653
508.255.6511 Fax: 508.255.6700

NO.	DATE	BY	REVISION
4	11-23-16	SRK	UNIT CONSOLIDATION AND OFFICE RELOCATION
3	12-29-15	MRD	MODIFY PARKING
2	11-10-15	MAP	GENERAL REVISIONS & RESPONSE TO PLANNER COMMENTS
1	10-28-15	MRD	ADD NOTES, LIGHTING, AND RELOCATE SIGN

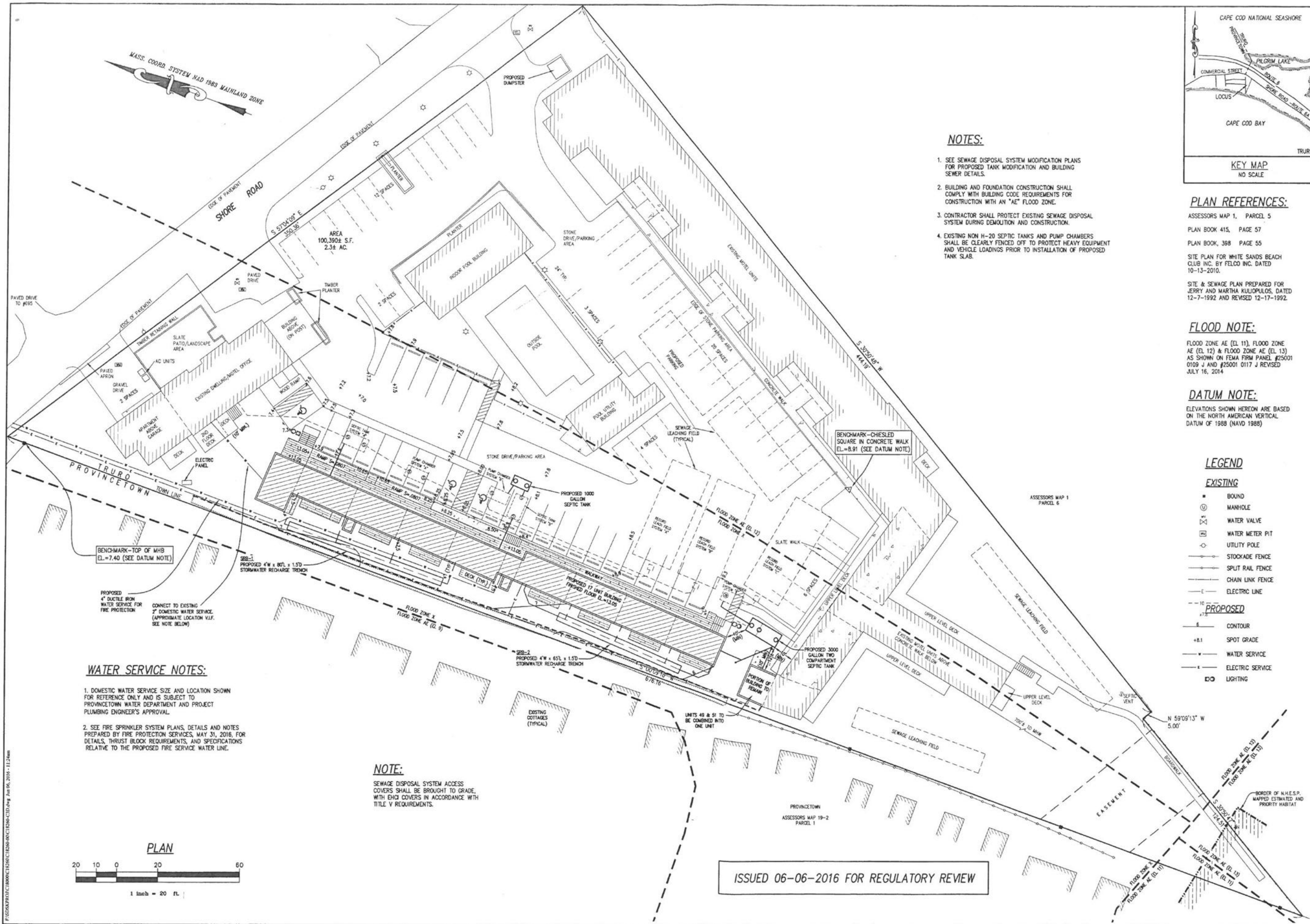


PROJECT: **WHITE SANDS BEACH CLUB, INC.**
706 SHORE ROAD TRURO, MA
SHEET TITLE: **SITE LAYOUT AND MATERIALS PLAN**

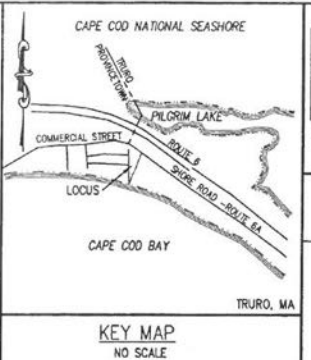
SCALE	AS NOTED
DRAWING FILE	C18260-C3D.dwg
DATE	11-16-16
DRAWN BY	MAP
CHECKED BY	

C2.11

PROJECT NO: C18260.00



- NOTES:**
- SEE SEWAGE DISPOSAL SYSTEM MODIFICATION PLANS FOR PROPOSED TANK MODIFICATION AND BUILDING SEWER DETAILS.
 - BUILDING AND FOUNDATION CONSTRUCTION SHALL COMPLY WITH BUILDING CODE REQUIREMENTS FOR CONSTRUCTION WITH AN "AE" FLOOD ZONE.
 - CONTRACTOR SHALL PROTECT EXISTING SEWAGE DISPOSAL SYSTEM DURING DEMOLITION AND CONSTRUCTION.
 - EXISTING NON H-20 SEPTIC TANKS AND PUMP CHAMBERS SHALL BE CLEARLY FENCED OFF TO PROTECT HEAVY EQUIPMENT AND VEHICLE LOADINGS PRIOR TO INSTALLATION OF PROPOSED TANK SLAB.



PLAN REFERENCES:

ASSESSORS MAP 1, PARCEL 5
 PLAN BOOK 415, PAGE 57
 PLAN BOOK, 398 PAGE 55

SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010.

SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KULIOPULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

FLOOD NOTE:

FLOOD ZONE AE (EL 11), FLOOD ZONE AE (EL 12) & FLOOD ZONE AE (EL 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

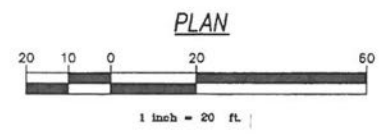
- LEGEND**
- EXISTING**
- BOUND
 - MANHOLE
 - WATER VALVE
 - WATER METER PIT
 - UTILITY POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE
- PROPOSED**
- CONTOUR
 - SPOT GRADE
 - WATER SERVICE
 - ELECTRIC SERVICE
 - LIGHTING

WATER SERVICE NOTES:

- DOMESTIC WATER SERVICE SIZE AND LOCATION SHOWN FOR REFERENCE ONLY AND IS SUBJECT TO PROVINCETOWN WATER DEPARTMENT AND PROJECT PLUMBING ENGINEER'S APPROVAL.
- SEE FIRE SPRINKLER SYSTEM PLANS, DETAILS AND NOTES PREPARED BY FIRE PROTECTION SERVICES, MAY 31, 2016, FOR DETAILS, THRUST BLOCK REQUIREMENTS, AND SPECIFICATIONS RELATIVE TO THE PROPOSED FIRE SERVICE WATER LINE.

NOTE:

SEWAGE DISPOSAL SYSTEM ACCESS COVERS SHALL BE BROUGHT TO GRADE, WITH ENCH COVERS IN ACCORDANCE WITH TITLE V REQUIREMENTS.



ISSUED 06-06-2016 FOR REGULATORY REVIEW

COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy. Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

NO.	DATE	REVISION
1	10-28-15	ADD LIGHTING AND NEW SIGN
2	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNERS COMMENTS
3	12-29-15	REVISE PARKING AND SEPTIC TANK FOR SYSTEM B
4	6-06-16	SHOW FIRE SERVICE WATER LINE & NOTES



WHITE SANDS BEACH CLUB, INC.
 TRURO, MA
 706 SHORE ROAD
 SHEET TITLE
SITE GRADING, DRAINAGE AND UTILITY PLAN

PROJECT: 706 SHORE ROAD
 SCALE: AS NOTED
 DRAWING FILE: C18260-C3D.dwg
 DATE: 10-07-15
 DRAWN BY: MAP
 CHECKED BY:

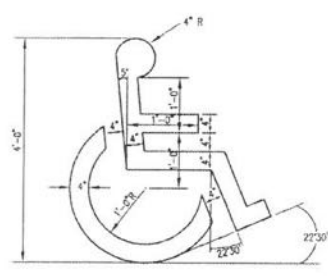
C2.2.1
 1 OF 2 SHEETS
 PROJECT NO. C18260.00

P:\STANDARD\PROJECTS\C18260\AC\18260-C3D.dwg, Jun 06, 2016, 11:24am

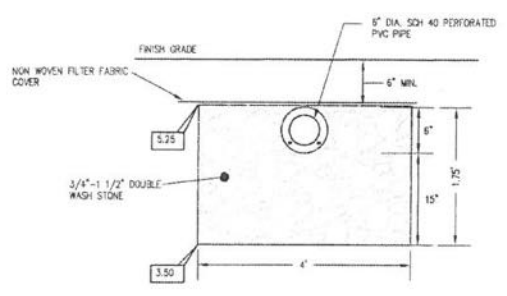
EROSION & SEDIMENTATION CONTROL NOTES:

1. A TEMPORARY CHAIN LINK CONSTRUCTION FENCE SHALL BE ERECTED AROUND THE PERIMETER OF THE SITE.
2. DEMOLITION/SITING CONTRACTOR TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/DEMOLITION.
3. EROSION AND SEDIMENT CONTROL MEASURES TO BE IN COMPLIANCE WITH TOWN OF TRURO REGULATIONS.
4. TO MINIMIZE EROSION ON SITE, TO THE EXTENT PRACTICAL, THE EXISTING PAVEMENT IS TO REMAIN ON SITE DURING DEMOLITION AND REMOVAL OF EXISTING BUILDINGS.
5. EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND PROTECTION OF OFF SITE AND ON SITE DRAINAGE STRUCTURES UNTIL COMPLETION OF SITEWORK AND ESTABLISHMENT OF STABILIZED VEGETATIVE GROUND COVER.
7. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
8. TEMPORARY SOIL MATERIAL STOCKPILES SHALL BE SURROUNDED WITH SEDIMENT BARRIER ON THE DOWNGRADIENT SIDE TO PREVENT DISCHARGE OF SEDIMENT FROM SITE. MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION, MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM THE PROJECT SITE.
9. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
10. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
11. EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 1. WHERE STABILIZATION BY THE 14th DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

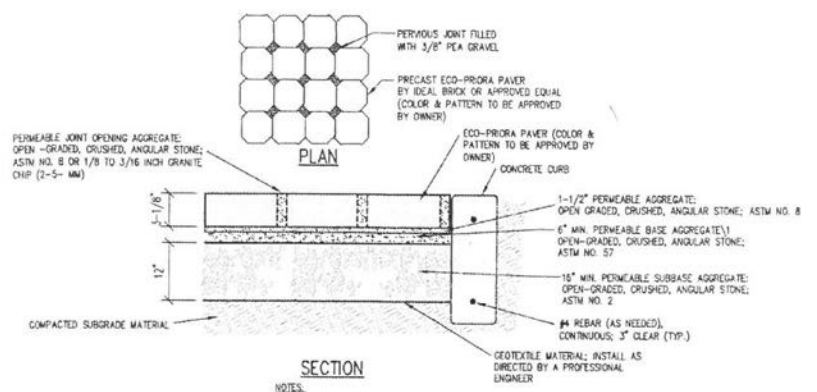
NOTE: SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.



PAINTED HANDICAP SYMBOL
NOT TO SCALE

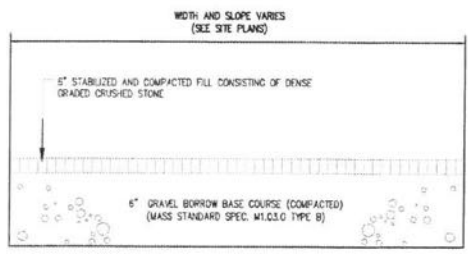


STORMWATER RECHARGE TRENCH DETAIL
NOT TO SCALE
NOTE: SRB-1: 80" L x 4' W x 1.75'D
SRB-2: 65" L x 4' W x 1.75'D

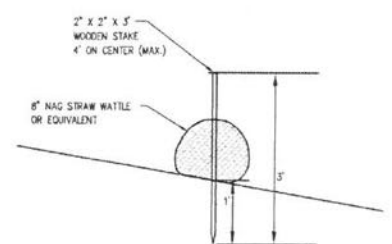


- NOTES:**
1. CONTRACTOR SHALL FOLLOW MANUFACTURER'S PROCEDURES & SPECIFICATIONS FOR INSTALLATION OF ECO-PRIOA PAVERS.
 2. INSTALLATION SHALL BE ADA/AAPE COMPLIANT.
 3. COLOR AND PATTERN OF ECO-PRIOA PERMEABLE INTERLOCKING CONCRETE PAVERS SHALL BE APPROVED BY OWNER.

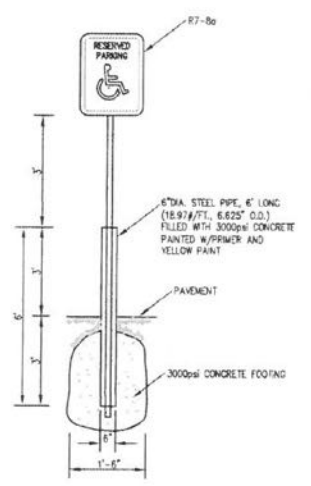
UNI ECO-PRIOA PERMEABLE PAVER DETAIL
NOT TO SCALE



GRAVEL PARKING & DRIVE SECTION
NOT TO SCALE



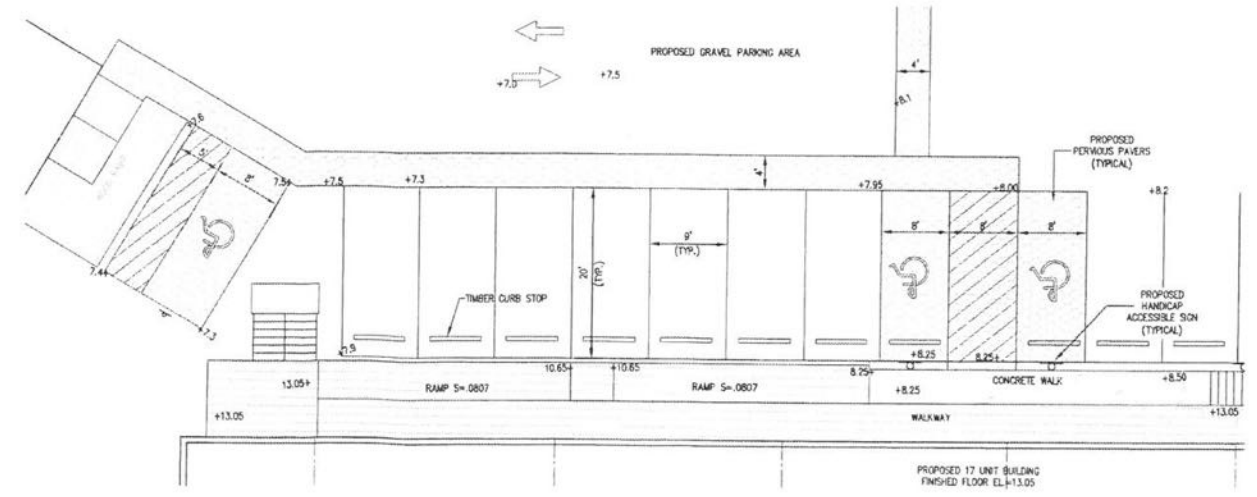
SEDIMENT CONTROL BARRIER DETAIL
NOT TO SCALE



HANDICAP SIGN
NOT TO SCALE

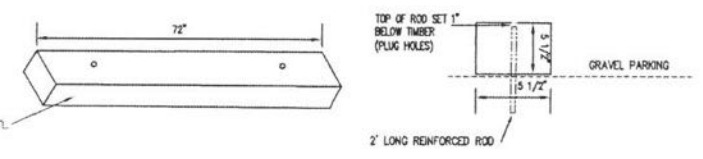
AGGREGATE TABLE GRADING REQUIREMENTS

NO. 8 BEDDING AGGREGATE	
SIEVE SIZE	PERCENT PASSING
1/2 INCH (12.5 MM)	100
3/8 INCH (9.5 MM)	85 TO 100
NO. 4 (4.75 MM)	10 TO 30
NO. 8 (2.36 MM)	0 TO 10
NO. 16 (1.18 MM)	0 TO 5
NO. 57 BASE AGGREGATE	
SIEVE SIZE	PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
1 INCH (25 MM)	85 TO 100
1/2 INCH (12.5 MM)	25 TO 50
NO. 4 (4.75 MM)	0 TO 10
NO. 8 (2.36 MM)	0 TO 5
NO. 2 SUBBASE AGGREGATE	
SIEVE SIZE	PERCENT PASSING
3 INCH (75 MM)	100
2 1/2 INCH (63 MM)	90 TO 100
2 INCH (50 MM)	35 TO 70
1 1/2 INCH (37.5 MM)	0 TO 15
3/4 INCH (19 MM)	0 TO 5



ACCESSIBLE PARKING DETAIL
SCALE: 1"=10'

NOTE: MAXIMUM SLOPE 2% WITHIN ACCESSIBLE PARKING SPACE AND ADJACENT ACCESS AISLE.



TIMBER CURB STOP DETAIL
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
3	11-23-16		CURB STOP DETAIL REVISION
2	12-29-15		GENERAL REVISIONS
1	11-03-15		GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS



WHITE SANDS BEACH CLUB, INC.
TRURO, MA
706 SHORE ROAD

SHEET TITLE
SITE DETAILS

PROJECT	AS NOTED
DRAWING FILE	C:\8260-DET.dwg
DATE	10-07-16
DRAWN BY	MAP
CHECKED BY	

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PROJECT NO. C18260.00

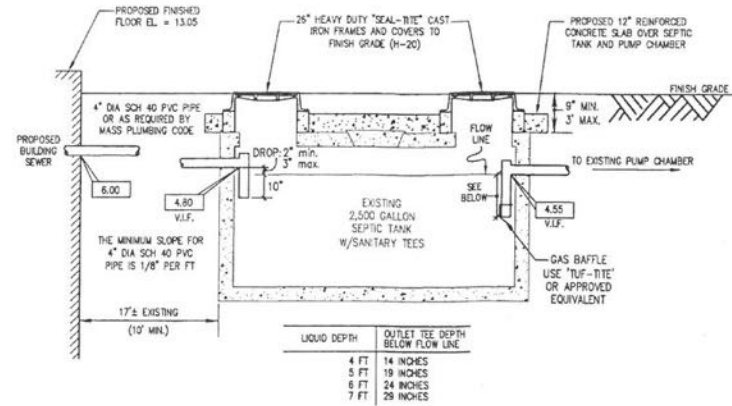
DESIGN CALCULATIONS—SYSTEM A MODIFICATION

DESIGN FLOW: MANAGER'S APT. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 EXISTING APT. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 UNITS 1 & 19 IN PROPOSED BLDG. - TWO BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 220 GPD
 HOSPITALITY ROOM IN PROPOSED BUILDING - 290± S.F. AT 75 GPD/1,000 S.F. = 22 GPD
 TOTAL FLOW SYSTEM A = 682 GPD

INSTALL: NEW BUILDING SEWER
 ANTI BOUANCY SLABS: 10' x 15' x 1" REINFORCED CONCRETE H-20 SLAB OVER SEPTIC TANK
 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20"W x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 682 GPD REQ'D.
 ONE (1) - 2500 GAL. SEPTIC TANK
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND THE CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHEMATIC FLOW PROFILE—SYSTEM A MODIFICATION

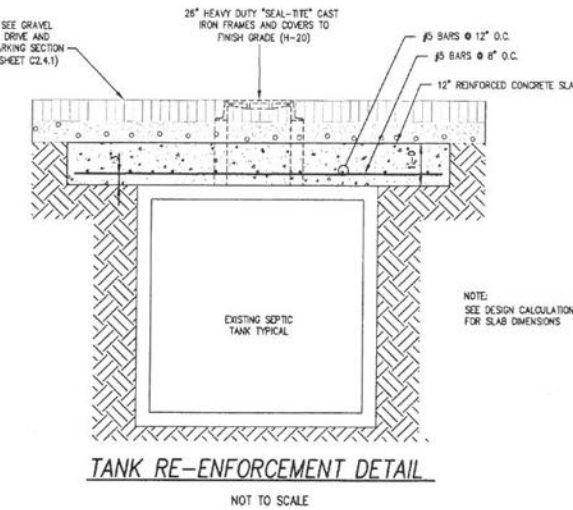
ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

NOTES:

- INSTALLATION CONTRACTOR REPORT EXISTING SEWAGE DISPOSAL SYSTEM INVERTS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLING ANY SEWERS OR SYSTEM COMPONENTS.
- INSTALLER SHALL MODIFY INLET AND OUTLET TEES, AS NECESSARY IN ORDER TO COMPLY WITH SPECIFIED TEE AND GAS BAFFLE REQUIREMENTS.

LEGEND:

V.L.F. VERIFY IN FIELD



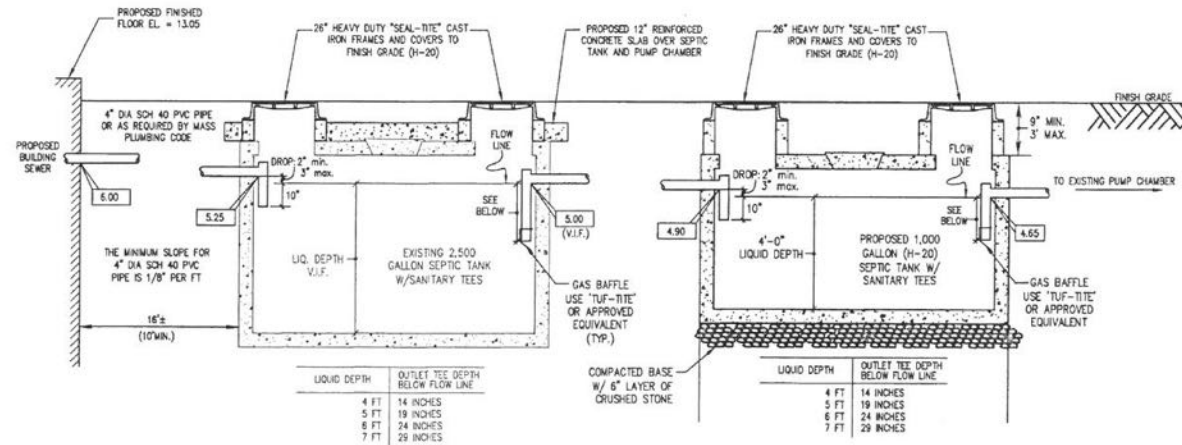
DESIGN CALCULATIONS—SYSTEM B MODIFICATION

DESIGN FLOW: EIGHT UNITS IN PROPOSED BLDG. - EIGHT BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 880 GPD (UNITS 3,5,7,9,23,25,27,&29)

INSTALL: NEW BUILDING SEWER
 ONE (1) - 1,000 GAL. SEPTIC TANK (H-20)
 ANTI BOUANCY SLABS: 10' x 15' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING SEPTIC TANK
 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20"W x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 880 GPD REQ'D.
 ONE (1) - 2500 GAL. SEPTIC TANK
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND TITLE V CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHEMATIC FLOW PROFILE—SYSTEM B MODIFICATION

ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

CONCRETE NOTES

- CONCRETE MIXTURE, FORM-WORK, DELIVERY AND PLACEMENT SHALL CONFORM TO REQUIREMENTS OF AC 301 (LATEST EDITION), UNLESS OTHERWISE NOTED.
- CONCRETE MATERIALS SHALL BE: TYPE 1 OR 2 PORTLAND CEMENT, SAND AND GRAVEL AGGREGATES. CONCRETE SHALL BE AIR-ENTRAINED PER AD RECOMMENDATIONS. CONCRETE COMPRESSIVE STRENGTH (F'_c) IN 28 DAYS, WHEN TESTED IN ACCORDANCE WITH AD 318-LATEST EDITION, SHALL BE AS FOLLOWS: CONCRETE WORK - 5,000 PSI
- THE MAXIMUM CONCRETE SLUMP FOR SLABS SHALL BE 3". CONCRETE SHALL BE AIR ENTRAINED TO 6% (+/-) 1%.
- MIXING, TRANSPORTING, PLACING AND CURING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CURRENT AMERICAN CONCRETE INSTITUTE SPECIFICATIONS AND GUIDELINES.
- SLABS-ON-GRADE HAVE BEEN DESIGNED FOR BUOYANCY UPLIFT FORCES DUE TO GROUNDWATER OR FLOODING.
- CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGN WITH LIST OF ADMIXTURES TO THE ENGINEER FOR WRITTEN APPROVAL PRIOR TO THE MIXING AND PLACEMENT OF CONCRETE.
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT WHERE NOTED. RUSTED BARS WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED AT NO ADDITIONAL COST.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH AD PUBLICATION 315 AND CURRENT CRSI SPECIFICATIONS, LATEST EDITIONS.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER: BOTTOM OF FOOTINGS 3"; FORMED SIDES OF FOOTINGS 2"; SLAB ON GRADE 2" BELOW TOP SURFACE.
- CONTINUOUS REINFORCEMENT SHALL HAVE CLASS "B" SPLICES (AC 318-LATEST EDITION) OR SHALL BE LAPPED 40 BAR DIAMETERS MINIMUM, UNLESS NOTED OTHERWISE.
- REINFORCING BARS MAY NOT BE WELDED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER. WHEN APPROVED, WELDING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE CURRENT A.W.S.
- CONCRETE SHALL BE PROTECTED FROM FREEZING UNTIL THE CONCRETE HAS REACHED A STRENGTH OF 500 PSI. PROVIDE PROPER CONCRETE PROTECTION OR HEAT IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH CURRENT AD CODE OF STANDARD PRACTICE SPECIFICATIONS AND GUIDELINES.
- REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RAH ESTABLISHED BY THE A.C.I. UNDER NO CIRCUMSTANCES SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS.
- FORMS SHALL BE OILED PRIOR THEIR ERECTION. REINFORCING BARS WHICH ARE COATED WITH FORM OIL OR ANY OTHER BOND BREAKING MATERIAL WILL BE REJECTED AND WILL REQUIRE REPLACEMENT AT NO ADDITIONAL COST.
- CONCRETE MAY CONTAIN FLY-ASH OR SLAG. IF PROPOSED IN MIX DESIGN, EACH SHALL SATISFY ALL AC AND ASTM CURRENT REQUIREMENTS AND SPECIFICATIONS. SUBMIT MATERIAL DATA SHEETS AND AD CERTIFICATIONS TO ENGINEER FOR REVIEW.
- ADDITION OF WATER TO CONCRETE MIXES AT THE SITE IS NOT ALLOWED. SUCH CONCRETE SHALL BE IMMEDIATELY REJECTED.
- CONCRETE SHALL BE READY-MIXED AT PLANT COMPLYING WITH ASTM C94 AND ASTM C1116. SITE MIXING IS NOT ALLOWED.
- NOTIFY ENGINEER FOR INSPECTION OF COMPLETED INSTALLATION OF REINFORCEMENT AT LEAST TWO (2) FULL WORK DAYS PRIOR TO SCHEDULED PLACEMENT OF CONCRETE. DO NOT PLACE CONCRETE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- CONCRETE USED FOR SLABS-ON-GRADE SHALL BE TESTED BY AN INDEPENDENT AD CERTIFIED TESTING LAB, HIRED, SCHEDULED, AND PAID FOR BY THE OWNER. THE FOLLOWING MINIMUM TESTING SHALL BE PERFORMED, AND FIELD/LAB-RESULT REPORTS SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL:
 * AIR ENTRAINMENT AT PLACEMENT - ASTM C-231-97
 * SLUMP - ASTM C-143
 * COMPRESSIVE STRENGTH - ASTM C-39
 CONCRETE CYLINDER SAMPLES SHALL BE OBTAINED FROM EVERY OTHER CONCRETE DELIVERY TRUCK FOR COMPRESSIVE STRENGTH TESTING. NINE (9) CYLINDERS SHALL BE MADE FROM EACH SAMPLE. THREE (3) CYLINDERS WILL BE TESTED AT 7-DAY CURE, AND SIX (6) CYLINDERS WILL BE TESTED AT 28-DAY CURE TO DETERMINE COMPRESSIVE STRENGTH OF THE CONCRETE IN ACCORDANCE WITH ASTM C39. AIR ENTRAINMENT AND SLUMP WILL BE TESTED AT EACH SAMPLE AS WELL. TEST RESULTS WHICH ARE DETERMINED BY THE ENGINEER TO BE DEFICIENT OR QUESTIONABLE WILL REQUIRE THAT THE CONTRACTOR PAY FOR ADDITIONAL TESTING AND CURING OF THE IN-PLACE CONCRETE, INCLUDING PETROGRAPHIC EXAMINATION WITH REPORT AS DIRECTED BY THE ENGINEER. CONCRETE DETERMINED BY THE ENGINEER TO REMAIN DEFICIENT AFTER FINAL TESTING SHALL BE ENTIRELY REMOVED AND REPLACED AT NO ADDITIONAL COST.
- SUBMIT TESTING AGENCY LAB REPORTS TO THE ENGINEER FOR REVIEW.
- CHAIR BARS FOR SECURE PLACEMENT AND POSITIONING OF REINFORCING STEEL IS TO BE PROVIDED. CHAIR BAR OR SIMILAR APPROVED MANUFACTURED DEVICES INTENDED FOR USE MUST BE SUBMITTED TO THE ENGINEER AND APPROVED IN WRITING PRIOR TO ORDERING MATERIALS. REINFORCING SUPPORTS SHALL BE OF PROPER HEIGHT, LENGTH, SPACING, SIZE AND MATERIAL TYPE. AND SUBMITTAL SHALL INCLUDE THIS DATA WITH CURRENT MANUFACTURER DATA SHEETS. IN NO CASE SHALL BROOK, WOOD, OR OTHER NON-CONFORMING REINFORCING STEEL SUPPORTS BE USED.
- CONCRETE USED IN SLABS-ON-GRADE SHALL CONTAIN PLANT INTRODUCED "FIBER MESH" FIBRILLATED POLYPROPYLENE FIBERS (SYNTHETIC INDUSTRIES) COMPLYING WITH ASTM C1116, TYPE B, 1/4 TO 1 1/2 INCHES LONG, WITH ADDITION RATE OF 0.10% TO 0.20% BY VOLUME (1.5 LB./CU. YD. TO 3.0 LB./CU. YD.).

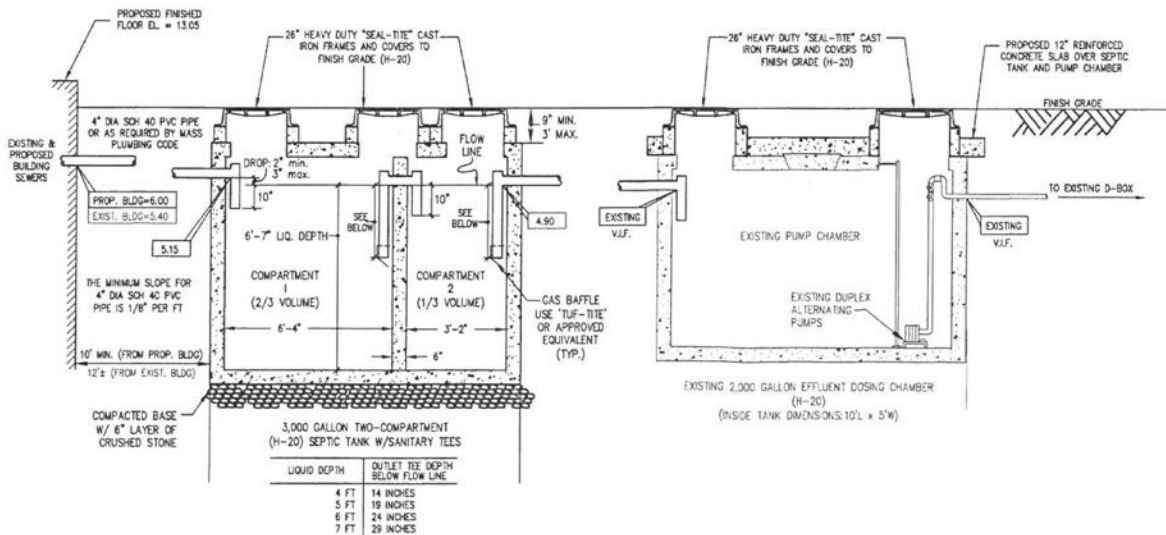
DESIGN CALCULATIONS—SYSTEM C MODIFICATION

DESIGN FLOW: SEVEN UNITS IN PROPOSED BLDG. & ONE COMBINED UNIT TO REMAIN - EIGHT BEDROOMS AT 110 GAL. PER DAY PER BEDROOM = 880 GPD (UNITS 11,15,17,31,33,35,37 & COMBINED UNIT)

INSTALL: NEW BUILDING SEWER AND SEWER TO PORTION OF BUILDING TO REMAIN.
 ONE (1) - 3,000 GAL. TWO COMPARTMENT SEPTIC TANK (H-20)
 ANTI BOUANCY SLABS: 9' x 14' x 1" REINFORCED CONCRETE H-20 SLAB OVER EXISTING PUMP CHAMBER
 CAST IRON COVERS TO GRADE OVER TANK OPENINGS AS SPECIFIED IN THE DETAILS

RETAIN: ONE (1) - 50'L x 20"W x 0.5'D. LEACHING FIELD V₁* = 1,000 GPD > 880 GPD REQ'D.
 ONE (1) - 1,500 GAL. PUMP CHAMBER
 ONE (1) - DISTRIBUTION BOX

* BASED ON RECORD PLANS AND THE TITLE V CODE IN EFFECT AT THE TIME THE SYSTEM WAS INSTALLED.



SCHEMATIC FLOW PROFILE—SYSTEM C MODIFICATION

ALL NEW INSTALLATIONS MUST CONFORM TO THE MINIMUM REQUIREMENTS OF TITLE 5

COASTAL ENGINEERING COMPANY, INC.
 260 Cranberry Hwy, Orleans, MA 02653
 508.255.6511 Fax: 508.255.6700

BY	
DATE	
NO.	



WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 TRURO, MA
SEWAGE DISPOSAL SYSTEM MODIFICATIONS

PROJECT SHEET TITLE
 SCALE: AS NOTED
 DRAWING FILE: C18260-DET.dwg
 DATE: 12-29-15
 DRAWN BY: MAP/MJB
 CHECKED BY:

C2.4.2
 2 OF 2 SHEETS
 PROJECT NO. C18260.01

F:\GIS\PROJECTS\CONTRACTS\CONTRACTS\18260-DET.dwg Date: 09/29/2015 11:33am



**BRUCE
RONAYNE
HAMILTON
ARCHITECTS**

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

893 TURNPIKE ROAD
P.O. BOX 104
NEW TOWN, NH 03858
NEW HAMPSHIRE 03858

NO DESIGN OR CONSTRUCTION SHALL BE BASED ON THESE DRAWINGS UNLESS THEY ARE ACCOMPANIED BY A WRITTEN AGREEMENT FROM BRUCE RONAYNE HAMILTON ARCHITECTS. THE ARCHITECTS ASSUME NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS.

REV. NO.	DESCRIPTION OF REV.	REV. DATE

BEACHFRONT WHITE SANDS MOTEL
206 SHORE RD
N. TOWN, MA

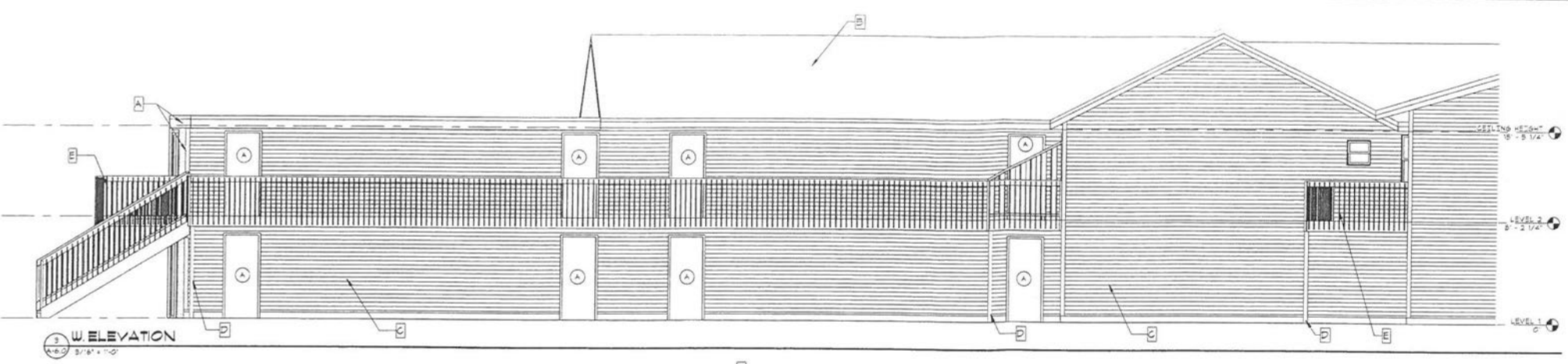
EXISTING EXTERIOR ELEVATIONS

DATE: 10/25/16
DRAWN BY: BM

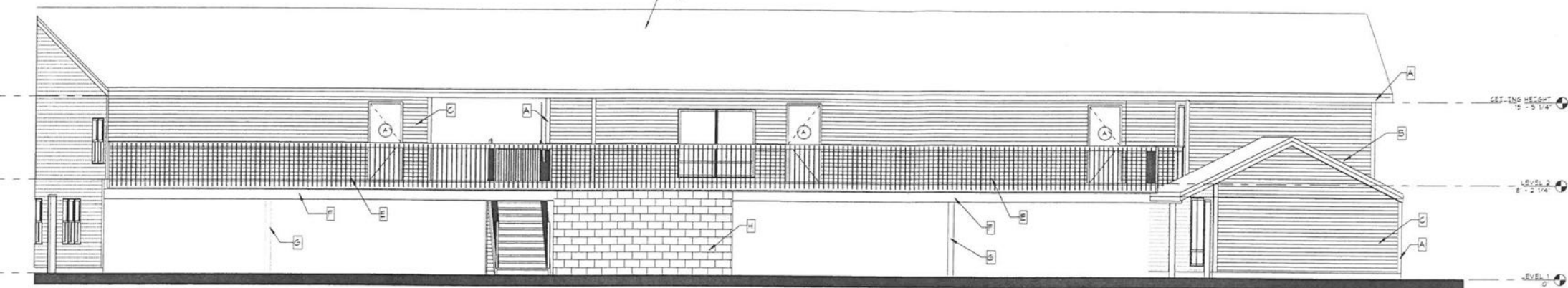
SCALE: 3/16" = 1'-0"

PROJECT NO: 16015

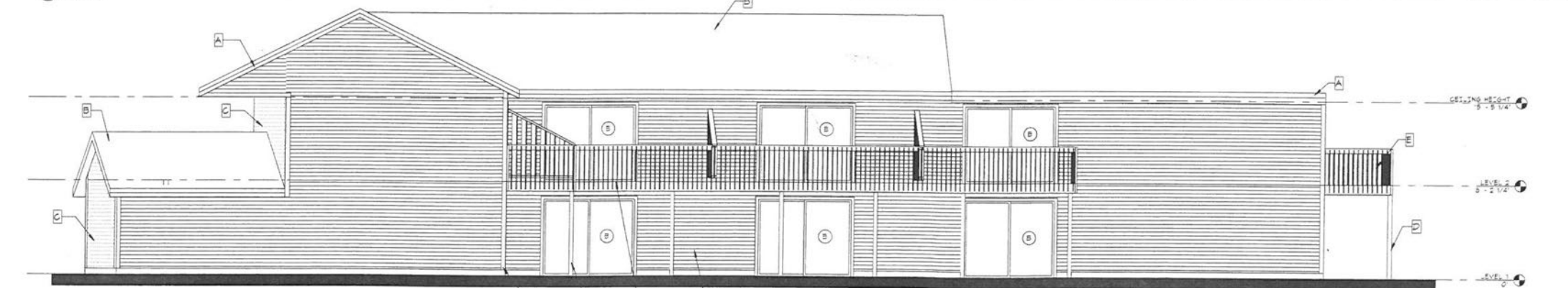
- MATERIAL NOTES:**
- [A] WOOD TRIMS, PAINTED, CORNER BOARDS
 - [B] ARCHITECTURAL ASPHALT SHINGLES
 - [C] WOOD SIDING
 - [D] 4" X 4" WOOD DECK COLUMNS
 - [E] WOOD DECKING HAND RAILS
 - [F] HEADER
 - [G] 6" X 6" COLUMNS
 - [H] CMU BLOCKING
- [A] TYPICAL 8'-2" EXTERIOR DOOR
- [B] TYPICAL 8' GLASS SLIDER



W. ELEVATION
A-B 3/16" = 1'-0"



N. ELEVATION
A-B 3/16" = 1'-0"



E. ELEVATION
A-B 3/16" = 1'-0"



S. ELEVATION
A-C 3/16" = 1'-0"



BRUCE
HAMILTON
ARCHITECTS

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION
NEW HAMPSHIRE 02711

333 TRINITY ROAD
NEW BRUNSWICK
NEW HAMPSHIRE 02711

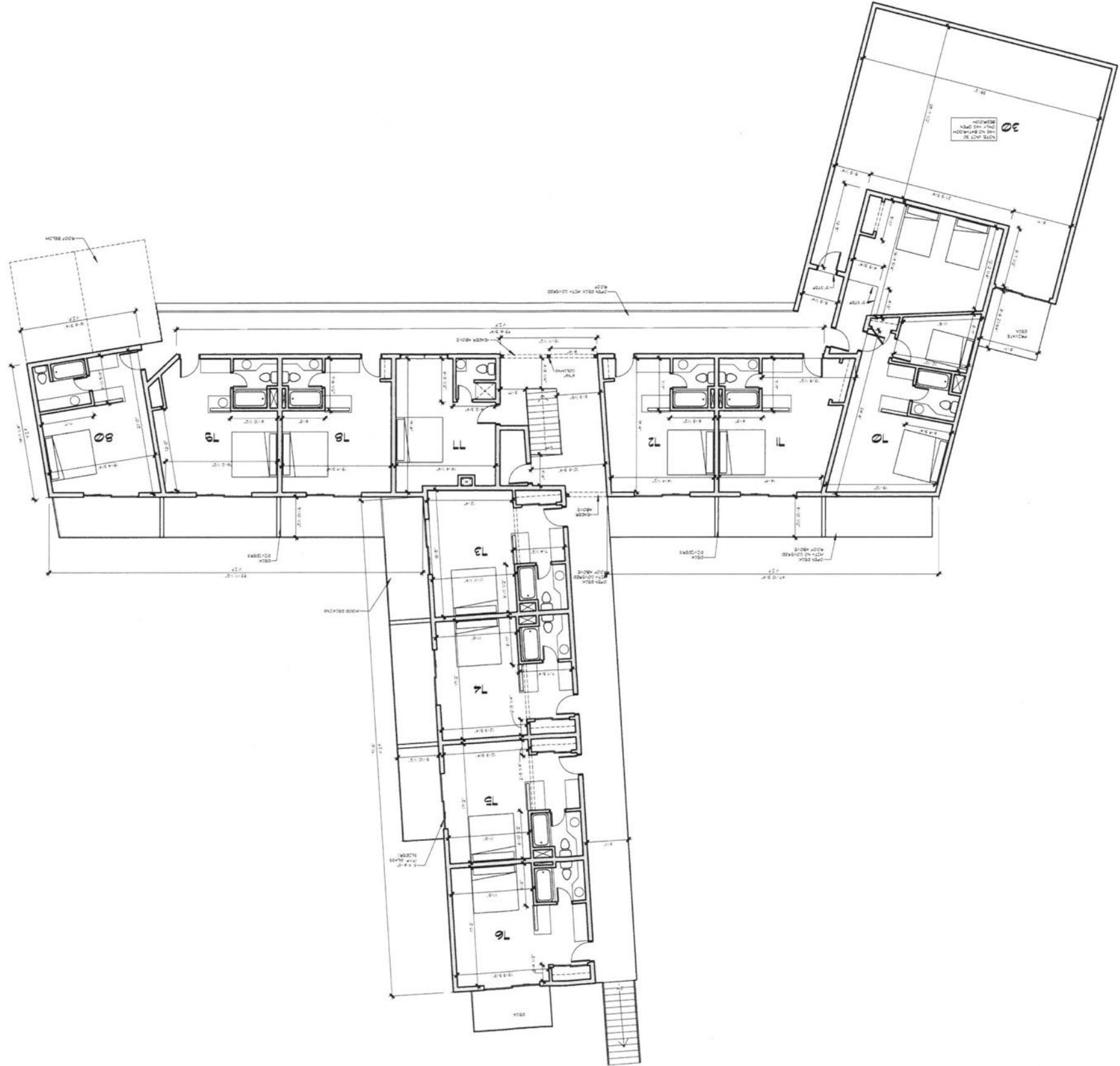
REV DATE

REV NO

DESCRIPTION (IF ANY)

DATE
11/16/16
DRAWN BY
BM

SCALE
1/8" = 1'-0"
SHEET NO
A-20



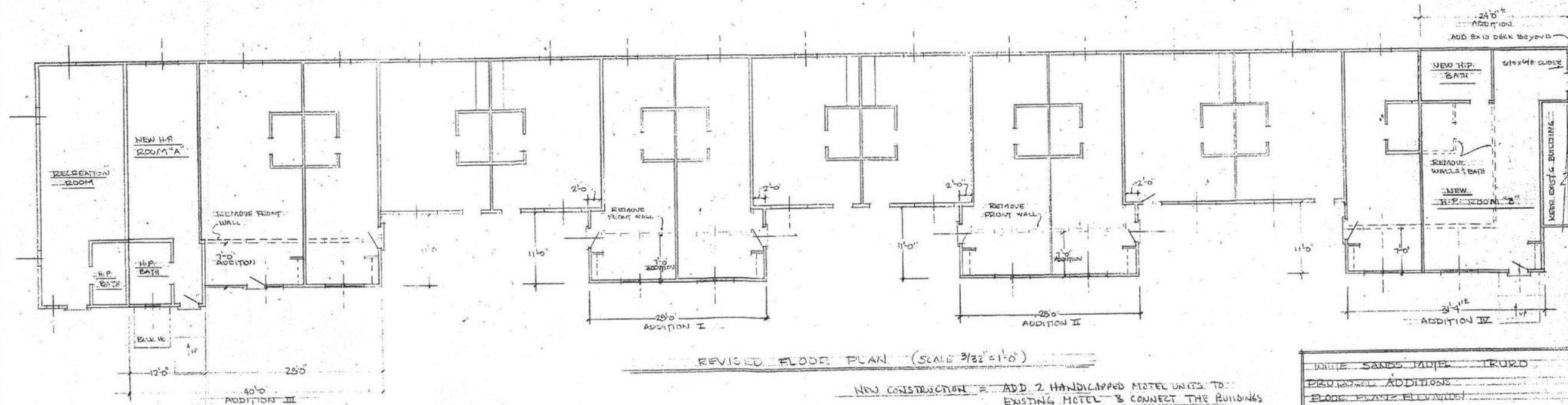
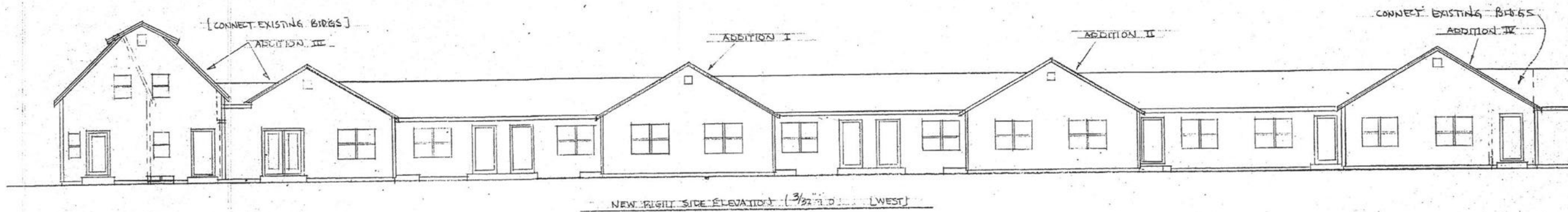
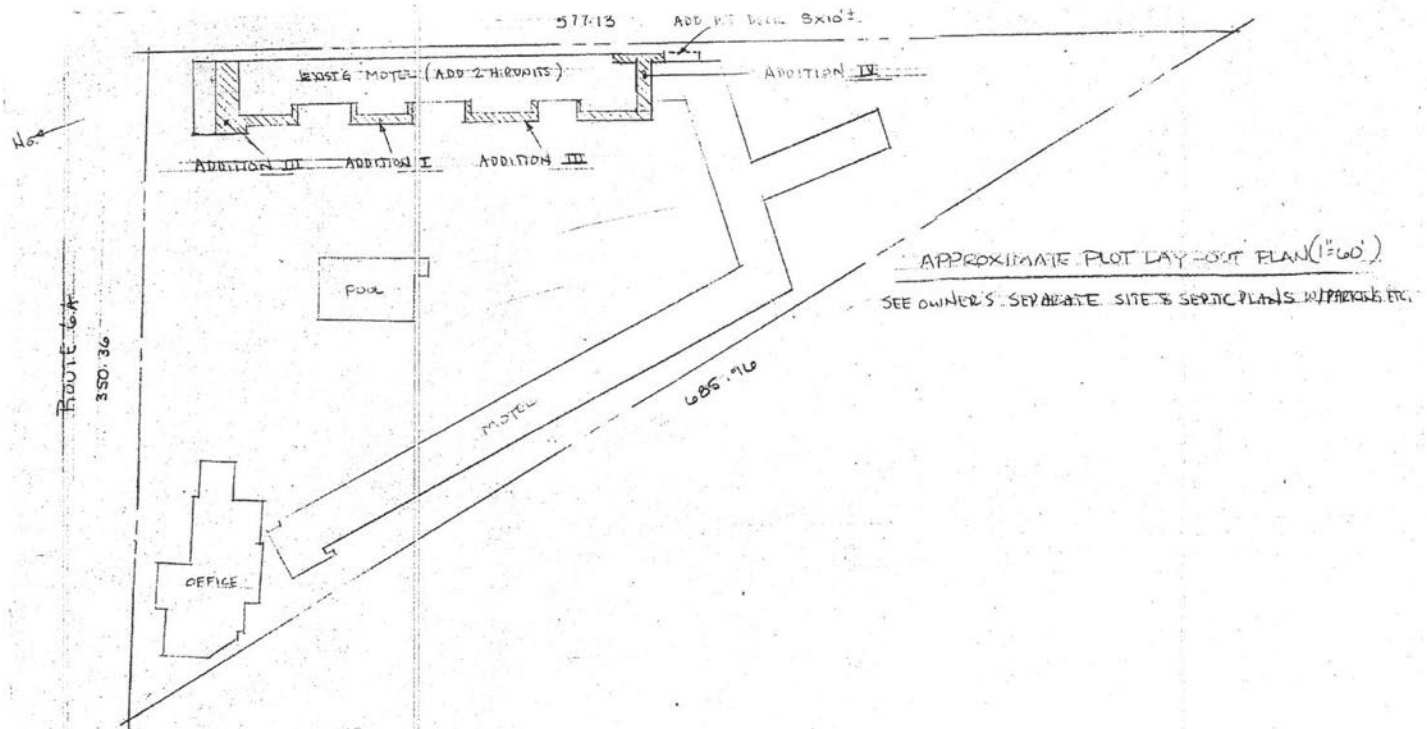
1/8" = 1'-0"
SECOND FLOOR PLAN

PROJECT
206 SHORE RD.
N. TRURO, MA

PROJECT
EXISTING SECOND FLOOR PLAN

DATE
11/16/16
DRAWN BY
BM

SCALE
1/8" = 1'-0"
SHEET NO
A-20



REVISED FLOOR PLAN (SCALE 3/32"=1'-0")

NEW CONSTRUCTION = ADD 2 HANDICAPPED MOTEL UNITS TO EXISTING MOTEL & CONNECT THE BUILDINGS

WHITE SANDS MOTEL TRURO
PROPOSED ADDITIONS
FLOOR PLANS ELEVATIONS
JANUARY SCALE NOTES
M. J. JENKINS



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

COMMERCIAL DEVELOPMENT APPLICATION FOR SITE PLAN REVIEW

Case #2016-008 S, P, R

Date 12/21/16

To the Town Clerk and the Planning Board of the Town of Truro, MA

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70.3 of the Truro Zoning By-law (Complete I, II & III) *Modification*
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning By-law (Complete I & III)

I. General Information

Description of Property and Proposed Project This project consists of combining 8 units into 4 by opening a 5 foot wall between the units. This project reduces the density, and parking

Property Address 706 Shore Rd Map(s) and Parcel(s) 1 + 5

Registry of Deeds title reference: Book 415, Page 57, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Maria Kuliopulos / White Sands Beach Club, Inc

Applicant's Legal Mailing Address P.O. Box 611, Provincetown MA 02657

Applicant's Phone(s), Fax and Email beachfrontwhitesands@gmail.com

Applicant is one of the following: (please check appropriate box)

- Owner
- Prospective Buyer*
- Other* *Written Permission of the owner is required for submittal of this application.

Owner's Name and Address Maria Kuliopulos

Representative's Name and Address _____

Representative's Phone(s), Fax and Email _____

II. **Waiver(s) Request** – Waivers from any of the items listed in §70.3.D, must be identified below and a separate sheet shall be attached indicating in detail the reason for said waiver(s) pursuant to §70.3.D. *Note that items 1(a-d), 2 and 3.a (1 – 6) of §70.3.D shall not be waived.*

- 1.e: 3 copies of drainage calculations
- 3.b: Existing Conditions Plan (specific waiver requests and reason must be attached)
- 3.c: Proposed Conditions Plan (specific waiver requests and reason must be attached)
- 3.d: Proposed Landscaping Plan (specific waiver requests and reason must be attached)

III. Signature(s)

Maria Kuliopulos
Applicant(s)/Representative Signature

Maria Kuliopulos
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

From: Jason Kullipulos beachfrontwhitesands@gmail.com
Subject: Re: 2016-008SPR Application additions
Date: Today at 9:18 AM
To: Carole Ridley cridley@truro-ma.gov

Dear Carole,

Please find the following items you requested for the Planning Board review:

1. Enlarged copies of the revised light plan with the dark sky lamps . Copies also were provided

With the application with the October plan, but in smaller sizes.

2. Enlarged copies of the planting plan and the approved plants by the ConCom. These plans were submitted in October but in smaller sizes. The planting plan was for some reason not Submitted to the ConCom and will be submitted to them in the spring, since I will not be available during their meeting s.

3. Correspondence from Coastal engineering re: 70.3D.b.3 and 70.3.D.3.C.9

The site plan for this project does not change other than the zoning issues that are listed on

Plan.

4. The project estimate for taking down the five foot sections between the rooms is about

\$ 5,000.

5. The plans that I submitted by architect Joseph Luna clearly show which units are combined in

A 3.00 as well as the location of the office.

Plan A 3.01, by Luna , shows how the rooms are to be combined.

6. The most recent architectural plans that I submitted by architect Bruce Hamilton and Joe

Kelly were submitted to show the elevations of the buildings as well as how the rooms are

situated now and nothing else.

Please let me know if this will be it.

Thanks

Maria

From: Stacy Kanaga skanaga@coastalengineeringcompany.com
Subject: 2016-008 Modification to Commercial Development Site Plan Review
Date: Today at 1:03 PM
To: Jason Kuliopulos beachfrontwhitesands@gmail.com

Maria,

Based on the letter provided by the Town of Truro on December, 19, 2016, here are my responses to you for #2 Waivers:

70.3.D.3.b.3: existing 2-ft contours on the existing conditions plan.

Sheet C1.2.1 from the Commercial Development Site Plan Review Decision (Case Reference No. 2015-007SPR) dated January 19, 2016 (2015 Project Decision) shows an existing contour interval of 1-foot. This is a more frequent contour interval than what is required under the Site Plan Review requirements.

70.3.D.3.c.9: Location of Streets and Drive.

Sheet 2.0.1 from the 2015 Project Decision shows the identification of all streets and driveways. There are no curbs and gutters at the streets and driveways within the vicinity of the project. This sheet was not re-submitted with the November 23, 2016 because there are no proposed changes to this sheet.

Sheet 2.1.1 from the materials submitted on November 23, 2016 shows the distances to the nearest streets and curb cuts for both sides of Shore Road within the vicinity of the project.

Please let me know if you need anything else Maria. I hope you have a nice New Year celebration if I do not hear from you.

Thanks,
Stacy k

--

Stacy Kanaga, P.E.
Civil Project Engineer
Coastal Engineering Company, Inc.
260 Cranberry Highway, Orleans, MA 02653
Orleans - Sandwich - Nantucket
Phone 508-255-6511 ext. 347

www.CoastalEngineeringCompany.com

INADVERTENT DISCLOSURE –

The information contained in this e-mail is confidential and privileged, intended for



Po Box 373, North Truro, Ma 02652
Phone : 508 349 7334

Maria Kuliopolis
White Sands Beach Club
706 Shore Road
North Truro, MA 02652

PLANT LIST

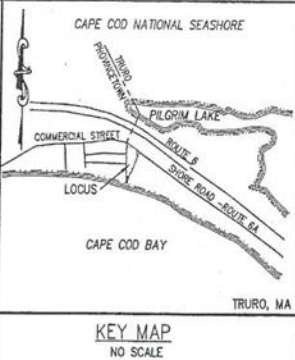
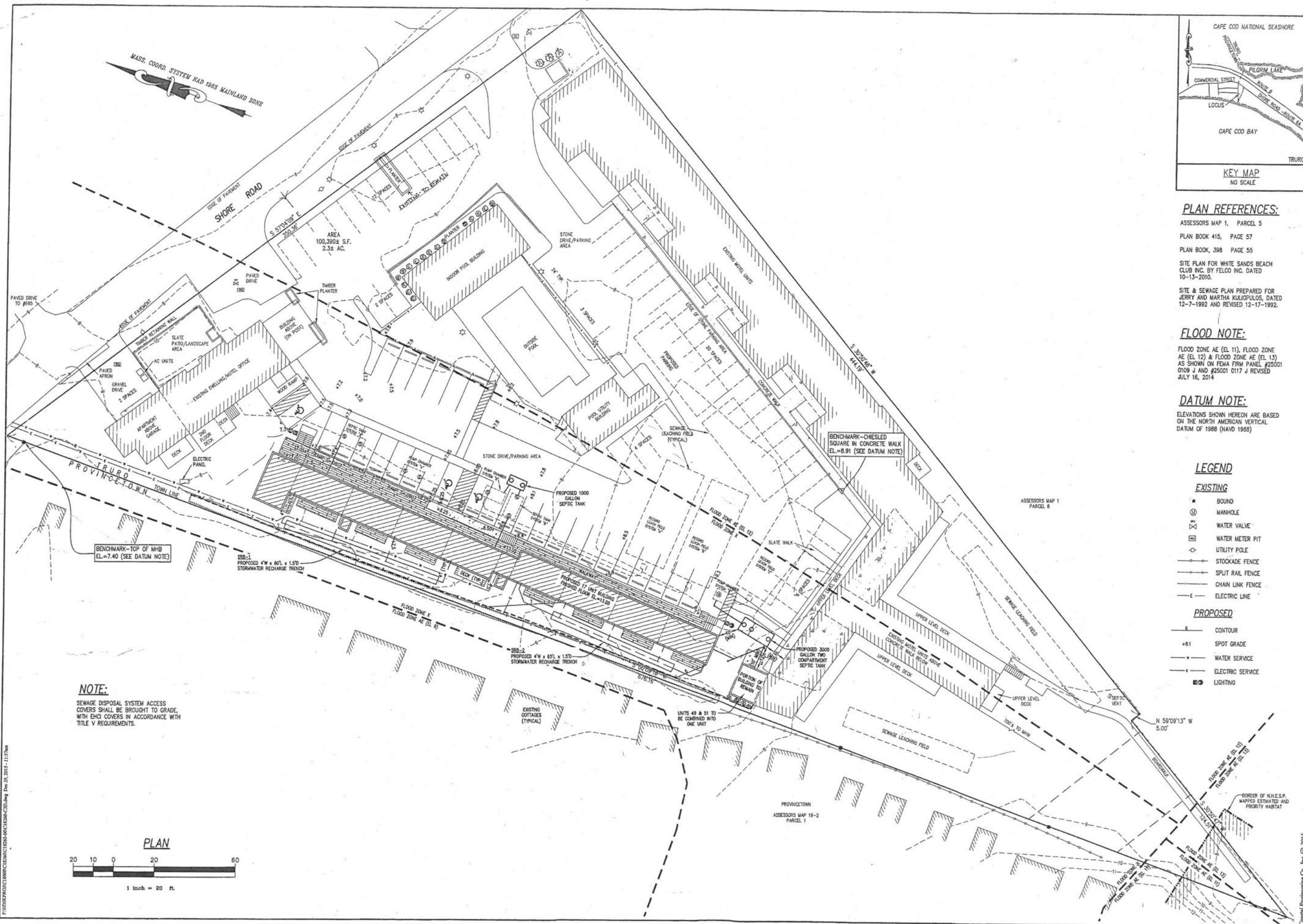
- A : *Juniperus virginiana* - Red Cedar
B : *Pinus strobus* - White Pine
C : *Hydrangea quercifolia* - Oakleaf Hydrangea
D : *Viburnum dentatum* - Viburnum Arrow wood
E : ~~Shade~~ Bush

SHAD

GB 11/2/16

Conservation Commission
TOWN OF TRURO

NOV 03 2016



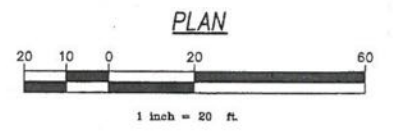
PLAN REFERENCES:
 ASSESSORS MAP 1, PARCEL 5
 PLAN BOOK 415, PAGE 57
 PLAN BOOK, 398 PAGE 55
 SITE PLAN FOR WHITE SANDS BEACH CLUB INC. BY FELCO INC. DATED 10-13-2010.
 SITE & SEWAGE PLAN PREPARED FOR JERRY AND MARTHA KUJOPULOS, DATED 12-7-1992 AND REVISED 12-17-1992.

FLOOD NOTE:
 FLOOD ZONE AE (EL. 11), FLOOD ZONE AE (EL. 12) & FLOOD ZONE AE (EL. 13) AS SHOWN ON FEMA FIRM PANEL #25001 0109 J AND #25001 0117 J REVISED JULY 16, 2014

DATUM NOTE:
 ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

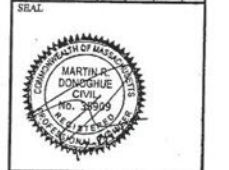
- LEGEND**
- EXISTING**
- BOUND
 - ⊙ MANHOLE
 - ⊕ WATER VALVE
 - ⊞ WATER METER PIT
 - ⊙ UTILITY POLE
 - STOCKADE FENCE
 - SPLIT RAIL FENCE
 - CHAIN LINK FENCE
 - ELECTRIC LINE
- PROPOSED**
- CONTOUR
 - +8.1 SPOT GRADE
 - WATER SERVICE
 - ELECTRIC SERVICE
 - ⊙ LIGHTING

NOTE:
 SEWAGE DISPOSAL SYSTEM ACCESS COVERS SHALL BE BROUGHT TO GRADE, WITH ENO COVERS IN ACCORDANCE WITH TITLE V REQUIREMENTS.



Jonathan Rice
 Landscaping Plan

NO.	DATE	REVISION
1	10-28-15	ADD LIGHTING AND NEW SIGN
2	11-10-15	GENERAL REVISIONS & RESPONSE TO PLANNER'S COMMENTS
3	12-29-15	REVISE PARKING AND SEPTIC TANK FOR SYSTEM B

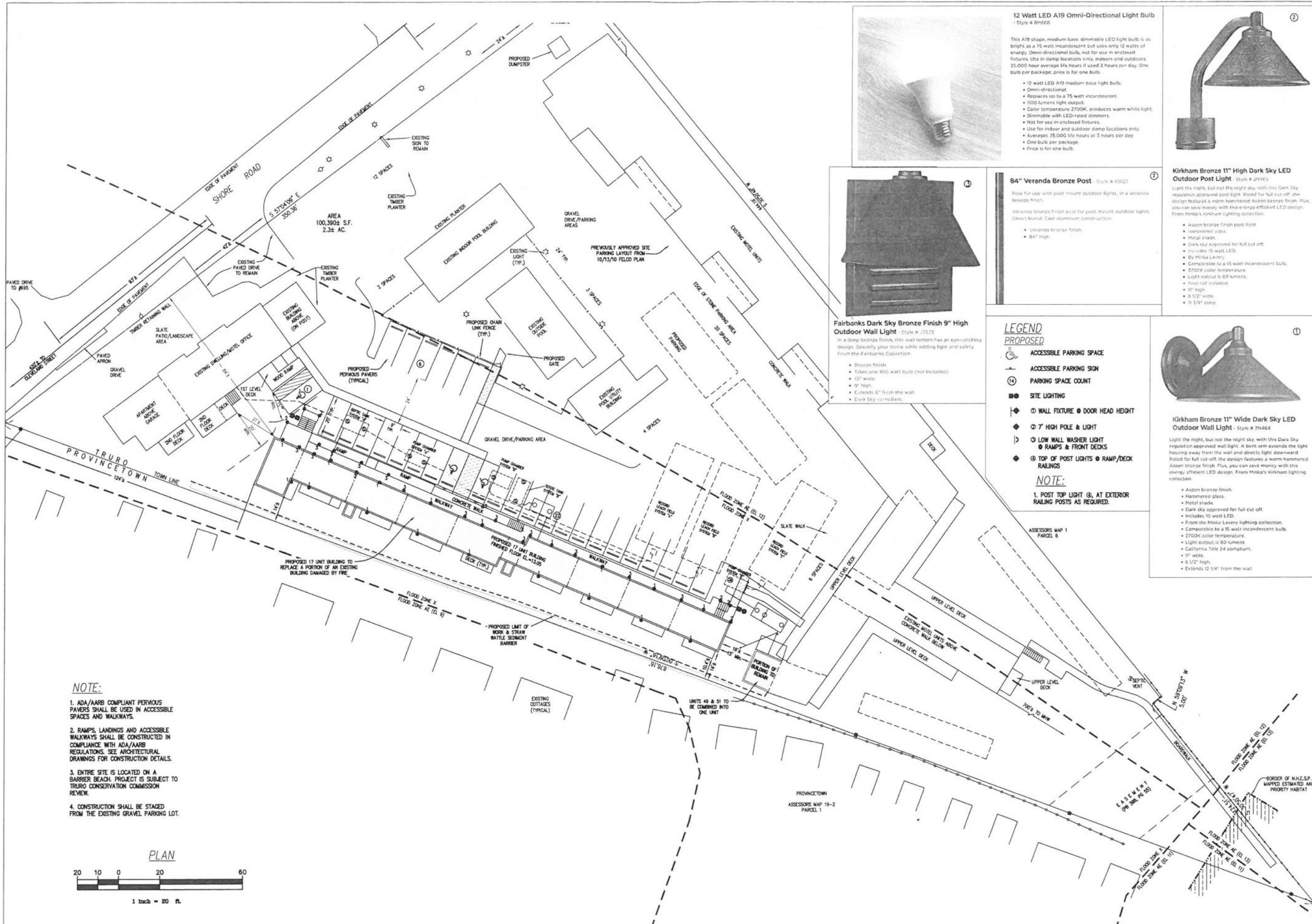


WHITE SANDS BEACH CLUB, INC.
 706 SHORE ROAD
 TRURO, MA

PROJECT: WHITE SANDS BEACH CLUB, INC.
 SCALE: AS NOTED
 DRAWING FILE: C18260-C3D.dwg
 DATE: 10-07-16
 DRAWN BY: MAP
 CHECKED BY:

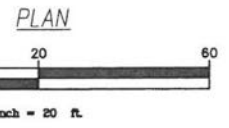
C2.2.1
 1 OF 2 SHEETS
 PROJECT NO. C18260.00

P:\PROJECTS\C18260\C18260-C3D.dwg Date: 10/7/16 11:37 AM



NOTE:

1. ADA/AARB COMPLIANT PERVIOUS PAVERS SHALL BE USED IN ACCESSIBLE SPACES AND WALKWAYS.
2. RAMPS, LANDINGS AND ACCESSIBLE WALKWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ADA/AARB REGULATIONS. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
3. ENTIRE SITE IS LOCATED ON A BARRIER BEACH. PROJECT IS SUBJECT TO TRURO CONSERVATION COMMISSION REVIEW.
4. CONSTRUCTION SHALL BE STAGED FROM THE EXISTING GRAVEL PARKING LOT.



12 Watt LED A19 Omni-Directional Light Bulb
Style # 2146E8

This A19 shape, medium base, dimmable LED light bulb is as bright as a 75 watt incandescent but uses only 12 watts of energy. Omni-directional bulb, not for use in enclosed fixtures. Use in damp locations only, indoors and outdoors. 25,000 hour average life hours if used 3 hours per day. One bulb per package, price is for one bulb.

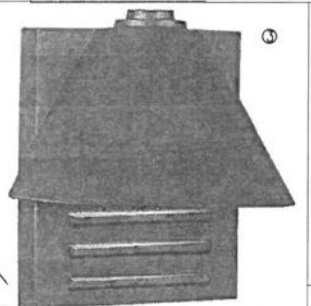
- 12 watt LED A19 medium base light bulb.
- Omni-directional.
- Replaces up to a 75 watt incandescent.
- 1100 lumens light output.
- Color temperature 2700K, produces warm white light.
- Dimmable with LED-rated dimmers.
- Not for use in enclosed fixtures.
- Use for indoor and outdoor damp locations only.
- Average: 25,000 life hours at 3 hours per day.
- One bulb per package.
- Price is for one bulb.



Kirkham Bronze 11" High Dark Sky LED Outdoor Post Light - Style # 2146E5

Light the night, but not the night sky, with this Dark Sky regulation approved post light. Rated for full cut-off, the design features a warm hammered Aspen bronze finish. Plus, you can save money with this energy efficient LED design. From Minka's Kirkham lighting collection.

- Aspen bronze finish post light.
- Hammered glass.
- Metal shade.
- Dark sky approved for full cut-off.
- 10 watts 10 watt LED.
- By Minka Lavery.
- Comparable to a 15 watt incandescent bulb.
- 2700K color temperature.
- Light output is 80 lumens.
- Frost not included.
- 11" high.
- 1 1/2" wide.
- 1 1/2" dia.



Fairbanks Dark Sky Bronze Finish 9" High Outdoor Wall Light - Style # 217373

In a sleek bronze finish, this wall lantern has an eye-catching design. Beautify your home while adding light and safety. From the Fairbanks Collection.

- Bronze finish.
- Takes one 60 watt bulb (not included).
- 10" wide.
- 9" high.
- Extends 6" from the wall.
- Dark Sky compliant.

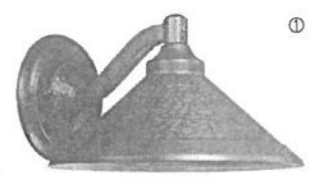
84" Veranda Bronze Post - Style # 219227

Pole for use with post mount outdoor lights. In a veranda bronze finish.

Veranda bronze finish pole for post mount outdoor lights. Direct burial. Cast aluminum construction.

- Veranda bronze finish.
- 84" high.

- LEGEND**
- PROPOSED**
- Ⓜ ACCESSIBLE PARKING SPACE
 - Ⓜ ACCESSIBLE PARKING SIGN
 - Ⓜ PARKING SPACE COUNT
 - Ⓜ SITE LIGHTING
 - Ⓜ WALL FIXTURE
 - Ⓜ DOOR HEAD HEIGHT
 - Ⓜ 7' HIGH POLE & LIGHT
 - Ⓜ LOW WALL WASHER LIGHT
 - Ⓜ RAMPS & FRONT DECKS
 - Ⓜ TOP OF POST LIGHTS
 - Ⓜ RAMP/DECK RAILINGS
- NOTE:**
1. POST TOP LIGHT Ⓜ, AT EXTERIOR RAILING POSTS AS REQUIRED.



Kirkham Bronze 11" Wide Dark Sky LED Outdoor Wall Light - Style # 2146E4

Light the night, but not the night sky, with this Dark Sky regulation approved wall light. A built arm extends the light housing away from the wall and directs light downward. Rated for full cut-off, the design features a warm hammered Aspen bronze finish. Plus, you can save money with this energy efficient LED design. From Minka's Kirkham lighting collection.

- Aspen bronze finish.
- Hammered glass.
- Metal shade.
- Dark sky approved for full cut-off.
- Includes 10 watt LED.
- From the Minka Lavery lighting collection.
- Comparable to a 15 watt incandescent bulb.
- 2700K color temperature.
- Light output is 80 lumens.
- California Title 24 compliant.
- 11" wide.
- 6 1/2" high.
- Extends 12 1/4" from the wall.

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Any reproduction or use of this drawing or any part thereof without the express written permission of D.P.E.'s office. Violators will be prosecuted to the full extent of the law. D.P. EVERS ARCHITECTURE 2004

certification

REVISIONS		
DATE	MARK	DESCRIPTION
01.02.15	MARK	FOR APPROVAL
01.12.15	MARK	FOR APPROVAL
DATE		

D.P. EVERS ARCHITECTURE

DIANE P. EVERS, AIA

ARCHITECT

P.O. BOX 703
REHOBOTH, MA 02769
TEL.: (508) 252-5146

project

WHITE SANDS BEACH CLUB, INC.

706 SHORE RD.
TRURO, MA

Drawn by:

Check by: DPE

Revised on:

SCALE: AS-SHOWN

SITE LIGHTING PLAN

C-3.1

2004 © COPYRIGHT D.P. EVERS ARCHITECTURE



TOWN OF TRURO

Planning Department

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004 Fax: (508) 349-5505

Memorandum

To: Planning Board
Fr: Carole Ridley
Date: January 12, 2017
Re: Staff Report

2016-009SPR 2016-009SPR Adventure Bound Camping Resorts seeks approval of an application for Commercial Site Plan Review pursuant to §70.3 of the Truro Zoning By-law for the redevelopment of Horton's Camping Resort, including proposed sewer and water systems, upgrades to existing electrical, a proposed wastewater treatment facility, and the realignment of existing campsites and gravel roadways. The property is located at 67 South Highland Road, Map 37 Parcel 15.

Background

According to Assessor's records, Map 37, Parcel 15 is 32.22 acres, and is located within the National Seashore. The site is therefore within the Seashore Zoning District. The site has been used as a campground since the 1950's. Campgrounds are not listed as an allowed use in the Seashore District. Therefore the campground use is considered a pre-existing non-conforming use.

On May 4, 2016 the Building Commissioner issued a *Notice of Zoning Bylaw Violation and Order to Cease, Desist and Correct*. The owner had undertaken site clearing, primarily in the southeastern portion of the site nearest to Dewline Road, and also was in the process of installing a wastewater treatment system to service this property and also the North Truro Campgrounds, as well as other utilities. To accommodate the new treatment plant, 25 campsites are being relocated to the southeastern portion of the property. These and other campsites, which previously had been used for tent camping, are being modified for use by recreational vehicles.

The applicant has appealed the Building Commissioner's order to the Zoning Board of Appeals. That public hearing on that appeal is scheduled to be continued on January 23, 2017. The applicant's representative, Donald Nagle, met with the Planning Board last May for a pre-application meeting. A follow up letter to Mr. Nagle from that meeting is enclosed.

The applicant also has filed with Natural Heritage and Endangered Species Program for review of impacts to habitat of state-listed rare species. According to Amy Hoenig of NHESP, that review is suspended pending the submission of additional information.

Correspondence from the Cape Cod National Seashore Superintendent George Price also is attached. The National Park Service determined that the Certificate of Suspension of Condemnation expired December 31, 2016.

Historical documents about the use of the campground also are attached.

Completeness of Application

The following materials were submitted to Town Clerk on November 1, 2016:

Horton's Camping Resort North Truro, MA Site Plan Review Application Package, including

- Commercial Development Application for Site Plan Review
- Site Plan Review Narrative
- Appendix A: MESA Permit Application
- Appendix B: Water Service Design
- Appendix C: Water Controls Building Details
- Appendix D: Lightship WWTF Plans

Plans Entitled Site Plan Review Documents Prepared for Adventure Bound Camping Resorts, Issue Date October 26, 2016, Prepared by Beta, Inc., Signed by Kevin Aguiar, Civil Engineer

- Sheet G1.1 Title Sheet and Index
- Sheet 1-3 Topographical Plans No. 1-3, scale 1"=40'
- C1.1-C1.3 Site Preparation Plan No. 1-3, scale 1"=40'
- C2.1-C.2.3 Site Plan No. 1-3, scale 1"=40'
- W-1 Pre-existing Canopy, scale 1"=40'
- W-2 Restoration Plan, scale 1"=40'
- W-3 Restoration Details, scale 1"=10'
- 1-2 Water Service Plans No. 1-2, scale 1"=40'

An application review letter was sent to Mr. Kevin Aguiar on November 16, 2016 identifying information necessary to complete the application.

On November 22, 2016 Mr. Nagle sent a letter to the Chair requesting an extension of the 65 day timeline for opening the public hearing to provide the applicant more time to review to the November 16th letter and generate the outstanding information listed in the letter.

On December 27, 2016 the applicant submitted the following supplemental information:

- Letter from Kevin Aguiar to Carole Ridley re: Adventure Bound Camping Resorts – Cape Cod Horton's Campground, 67 Highland Road, North Truro, (Map 37, Parcel 15) 2016-008SPR Commercial Development Site Plan Review

Staff Comments

The December 27th letter from Mr. Aguiar noted that the majority of outstanding items listed in the application review letter refer to information that needs to be added to plans. Mr. Aguiar did not submit revised plans reflecting the required information, and rather described how the applicant proposed to meet the plan requirements, indicating that revised plans would be submitted at a later date to accommodate other agency comments.

In a recent telephone communication on January 10, 2017, Mr. Nagle informed me that he would like the public hearing to be opened and continued pending the decision of the Zoning Board of Appeals. He proposes to make an information presentation to the Board, reserving rights to contest the requirement for site plan review.

Mr. Nagle was notified that the Planning Board would like to make use of technical assistance at the applicant's expense as it is authorized to do under section 70.3.c.2. The assistance would

encompass review of the restoration plan and legal advise of Town Counsel. Mr. Nagle indicated that the applicant would not agree to fund this expense because they do not believe they are required to undergo site plan review.

Requested Waivers

The application package contains written requests for the following waivers of information:

- 70.3.D.1.e.1 3 copies of drainage calculations
- 70.3.D.3.b.4 General location of trees having a caliper of 10 inches or more
- 70.3.D.3.c.5 Stormwater drainage, calculated using 2, 10 and 50-year storm events

Planning Board Action

Sections 70.3 F & G of the Zoning Bylaw are provided below in blue. If the Board feels that they have sufficient information, the Board should make findings with respect to each condition, finding the application compliant, non-compliant, suggesting conditions to ensure compliance, or designating as not relevant to the case.

Accordingly, the Board may wish to undertake the following:

1. Vote on waiver requests (if any)
2. Make findings with respect to the review criteria/design guidelines below; and
3. Vote to approve, conditionally approve or deny the application based on specific reasons.

If the Board feels it does not have sufficient information with which to make findings and act on the application, the Board may also seek to continue the hearing to obtain additional information. A continuance should be made to a date certain and confirmed in writing by the applicant.

F. Review Criteria/Design Guidelines

The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw.
2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses.
3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro.
4. The proposal provides for the protection of significant or important natural, historic, or scenic features.
5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention.
6. The proposal adequately provides for refuse disposal.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use.
8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool.
9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction.
10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises.
11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area.
12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground.
13. The project shall not place excessive demands on Town services.
14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged.
15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site.
16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s).

G. Findings of the Planning Board

The concurring vote of four members of the Planning Board shall approve a Commercial Site Plan in the form submitted or with reasonable conditions, unless it finds that (a) the application for site plan approval is incomplete, or (b) the imposition of reasonable conditions will not ensure that the project will conform to the standards and criteria described herein, or (c) the project does not comply with the requirements of the Zoning By-law.

PREPARED FOR
ADVENTURE BOUND CAMPING RESORTS

Horton's Camping Resort
North Truro, MA

Site Plan Review Application Package

PREPARED BY



6 Blackstone Valley Place
Suite 101
Lincoln, Rhode Island 02865
401.333.2382
www.BETA-Inc.com

October 2016



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

COMMERCIAL DEVELOPMENT APPLICATION FOR SITE PLAN REVIEW

Date 10/25/2016

To the Town Clerk and the Planning Board of the Town of Truro, MA

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70.3 of the Truro Zoning By-law (Complete I, II & III)
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning By-law (Complete I & III)

I. General Information

Description of Property and Proposed Project The proposed project is for the redevelopment of Horton's Camping Resort. The project includes proposed sewer and water systems, upgrades to the existing electrical, a proposed wastewater treatment facility, and the realignment of existing campsites and gravel roadways.

Property Address 67 South Highland Road Map(s) and Parcel(s) 37-15-0

Registry of Deeds title reference: Book 26095, Page 3, or Certificate of Title

Number N/A and Land Ct. Lot # N/A and Plan # N/A

Applicant's Name Adventure Bound Camping Resorts - Cape Cod

Applicant's Legal Mailing Address 46 Highland Road, North Truro MA 02652

Applicant's Phone(s), Fax and Email P: 508-487-1847; Email: manager@abcapecod.com

Applicant is one of the following: (please check appropriate box)

- Owner
- Prospective Buyer*
- Other* *Written Permission of the owner is required for submittal of this application.

Owner's Name and Address A/C Mobile Home Park, Inc., 905 16th Place, Vero Beach FL 32960

Representative's Name and Address BETA Group, Inc.; 6 Blackstone Valley Place, Suite 101, Lincoln RI 02865

Representative's Phone(s), Fax and Email P: 401-333-2382; F: 401-333-9225; Email: KAguiar@BETA-inc.com

II. **Waiver(s) Request** – Waivers from any of the items listed in §70.3.D, must be identified below and a separate sheet shall be attached indicating in detail the reason for said waiver(s) pursuant to §70.3.D. *Note that items 1(a-d), 2 and 3.a (1 – 6) of §70.3.D shall not be waived.*

- 1.e: 3 copies of drainage calculations
- 3.b: Existing Conditions Plan (specific waiver requests and reason must be attached)
- 3.c: Proposed Conditions Plan (specific waiver requests and reason must be attached)
- 3.d: Proposed Landscaping Plan (specific waiver requests and reason must be attached)

III. Signature(s)

[Signature]
Applicant(s)/Representative Signature

[Signature]
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

SITE PLAN REVIEW

PROJECT NARRATIVE

Adventure Bound Camping Resorts is proposing a utility improvements project for Horton's Campground, initiated by the MassDEP requiring an upgrade of the existing sewage disposal system at the park to comply with requirements for enhanced treatment of sewage prior to discharge to groundwater. The project includes upgrades to the sanitary sewer, water, and electric services throughout the campground. The project site is located at 67 South Highland Road in North Truro, MA, and is split into two areas known as the upper and lower campgrounds. The following is a brief description of the proposed work.

Lower Campground

The lower campground includes a total of 83 campsites, including existing sanitary, water, and electric services. The proposed improvements within the lower area include upgrading the sanitary service by installing a new sanitary collection system located within the existing campground roadway network, a centralized treatment facility, and a leaching field. The upgrade includes new sanitary and electric service connections to each of the 83 campsites. The proposed work is anticipated to require approximately 4-ft. wide trenches within both the existing gravel roadways and campsites in order to install the sanitary line and services. The lower campground work will also include minor water service upgrades by installing water connections to ensure water is provided to all 83 campsites. The proposed electric work is anticipated to require approximately 2-ft. wide trenches within the existing gravel roadway and approximately 1-ft. wide trenches within the campsites to install the water services.

Upper Campground

The upper campground includes a total of 135 campsites including existing sanitary, water, and electric services. In addition, the existing water line provides service to the public restrooms which are centrally located in the upper area. The proposed improvements for the upper campground include providing sanitary, water, and electric services to all 135 campsites and installing a small utility shed. The sanitary collection system and service connections have previously been installed. Similarly to the lower campground, the sanitary collection system and services require an approximately 4-ft. wide trench in both the existing gravel roadway network as well as the campsites. The electric line required an approximately 2-ft. wide trench within the gravel roadway and a 1-ft. wide trench within the campsites. The proposed water line work is anticipated to require approximately 2-ft. wide trenches within the existing gravel roadway and approximately 1-ft. wide trenches within the campsites to install the water services.

The attached application details the requirements of the Commercial Development Application for Site Plan Review according to Section 70.3 Commercial Development of the Town of Truro Zoning Bylaw. The following documentation addresses the requirements of Sections 70.3 D – Procedures and Plan Requirements and 70.3 F – Review Criteria/Design Guidelines. The design plan set is attached.

SITE PLAN REVIEW

§70.3 D. Procedures and Plan Requirements

a. General

1. North Arrow/Location Map: A north arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.

Refer to Sheet G1.1 Title Sheet and Index of the Plan Set for the North Arrow/Location Map.

2. Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed. This information shall be placed in a table format which must list all parking; setbacks; percent of lot coverage, broken down by parking, walkways, building(s), etc.; number of dwelling units; total amount of square feet; size of signs, and any other applicable zoning information necessary for the proper review of the site plan.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for applicable Zoning Information.

3. Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for Assessor and Deed Information.

4. Graphic Scale

Refer to the Plan Set for all graphic scales which have been provided as necessary on individual sheets.

5. Title Block: Including the name and description of the project; the address of the property; the names of the record owner(s) and the applicant(s); and the date of the preparation of the plan(s) and subsequent revision dates.

Refer to the Plan Set for all information required for the Title Block.

6. Legend of all symbols

Refer to the Plan Set for the Legend of all symbols which have been provided as necessary on individual sheets.

SITE PLAN REVIEW

b. Existing Conditions Plan

1. Total area and dimensions of the lot shown on a surveyed plan conforming to the requirements of the Barnstable County Registry of Deeds.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for lot information.

2. Location of existing buildings (including the number of stories, overall height in feet, and gross floor area in square feet of all existing buildings), parking, drives, walks, lighting service areas, all utilities, drainage facilities, easements, and other appurtenances, including setbacks from property lines.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for all location information.

3. Existing contours based on two foot (2') contour intervals.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for existing two foot (2') contour intervals.

4. General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH), all resource areas as defined in M.G.L. Chapter 131, Section 40, landscaping and other significant natural features.

A waiver is being requested for this requirement for pre-existing conditions of the upper camping area due to the applicant being unable to obtain the necessary information regarding the pre-existing landscape features of the site. However, a 2015 aerial photograph included in the restoration plan depicts the general appearance of the tree canopy.

5. Respective floor areas and/or square footage of existing uses of buildings and/or the property.

See below and refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for respective floor areas and existing uses of buildings on the property.

Parcel ID: 37-15-0

i. 1-Story Building

Floor Area = 190 SF; Use = Wellhouse

ii. 2-Story Building

Floor Area = 1,709 SF; 2nd Story Area = 1,307 SF; Use = Office/Retail Store

SITE PLAN REVIEW

iii. **1-Story Building**

Floor Area = 1,320 SF; Use = Bath House

iv. **2-Story Building**

Floor Area = 1,330 SF; 2nd Story Area = 1,295 SF; Use = Residential

v. **1-Story Building**

Floor Area = 1,185 SF; Use = Bath House

vi. **1-Story Building**

Floor Area = 349 SF; Use = Wellhouse

vii. **1-Story Building**

Floor Area = 544 SF; Use = Office

Parcel ID: 37-19-0

i. **1-Story Building**

Floor Area = 240 SF; Use = Bathrooms (Men)

ii. **1-Story Building**

Floor Area = 240 SF; Use = Bathrooms (Women)

iii. **1-Story Building**

Floor Area = 152 SF; Use = Sink

6. Existing location(s) of any freestanding sign(s).

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for existing locations of freestanding signs.

7. National Flood Insurance Program flood hazard elevation.

Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for the National Flood Insurance Program flood hazard elevation.

8. Massachusetts Natural Heritage Endangered Species Act jurisdiction.

A MESA Permit Application has been submitted by Wilkinson Ecological Design, Inc. to Natural Heritage for review. A copy of the application is included in the appendix to this submittal.

SITE PLAN REVIEW

c. Proposed Conditions Plan

1. Building Location: Identification of all building(s) to be located on the site. The number of stories, overall height in feet and gross floor area in square feet of all buildings shall be indicated.

Refer to the Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. and typical shed details provided in the appendix to this submittal for proposed building information.

2. Building Elevation: A drawing(s) of the exterior of all building(s), as viewed from all sides, including dimensions, at a scale of no smaller than 1/8" = 1'-0". This drawing must be at least 8" x 11" in size.

Refer to the Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. and typical shed details provided in the appendix to this submittal for proposed building information.

3. Location of Parking/Walkways: Identification of the location of all parking and walkways, including curb cuts that will be used for site access from adjacent roadways or access points. Parking shall be consistent with the requirements outlined in §30.9.

This is a pre-existing use and there are no proposed parking areas or walkways being installed.

4. Easements/Legal Conditions: Identification of legal encumbrances(s), including easements, that are related to the site's physical development, and a listing of any condition(s) placed upon the site by the Board of Appeals, Planning Board, Conservation Commission, Board of Health or any other public body or agency with the authority to place conditions on the site's development.

An electric utility easement will be required for connection to the utility pole located adjacent to Dewline Road.

5. Stormwater Drainage: All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.

The Applicant seeks waiver of this Section because no impervious area will be created by the proposed upgrades, except for the treatment plant facility and the small utility shed. The shed footprint will be approximately 36 square feet and the facility building footprint will equal approximately 775 square feet. The roof of the buildings will be gabled, and rainwater will be collected by gutters and downspouts, and discharged to pervious ground surface immediately adjacent to the facility to infiltrate. Site conditions will be restored to conditions that existed prior to

SITE PLAN REVIEW

construction; therefore, the peak runoff for the pre and post construction conditions will be the same.

6. Grades: Topography and a grading plan of the site.

The site will be restored to conditions that existed prior to construction. Refer to the Topographic Plans No. 1-3 by Outermost Land Survey, Inc. for the existing topography of the site including two foot (2') contours.

7. Location of Walls: Identification of the location, height and materials to be used for all retaining walls to be located on the site.

This is a pre-existing use and there are no proposed retaining walls being installed.

8. Signs: Identification of the location, height and materials to be used for all signs to be located on the site. Signs will be reviewed using the Town of Truro Sign Code section of the zoning bylaw.

This is a pre-existing use and there are no proposed signs being installed.

9. Location of Streets/Drives: Identification of all streets and driveways including the type and dimensions of curbs and gutters. Distances to all the nearest streets and/or curb cuts shall be shown for both sides of any street which is adjacent to the site.

The existing gravel roadways will be restored to conditions that existed prior to construction. Three sections of the gravel roadway will be realigned in order to keep the roadway within the applicant's property. Refer to Site Plans No. 1-3 for the realignment and restoration of existing gravel roadways.

10. Outdoor Storage/Display Areas: Identification of the location and type of outdoor storage and display areas on the site.

This is a pre-existing use and there are no proposed outdoor storage or display areas being installed.

11. Refuse Areas: Identification of the location of each outdoor refuse storage area, including the method of storage and screening. All refuse areas must be fully enclosed.

This is a pre-existing use and there are no proposed additional refuse areas being installed. There are currently three dumpsters located in the northeast part of the lower campground which provide recycling services. All other refuse is picked up daily from campsites and hauled to the dump by campground staff.

SITE PLAN REVIEW

12. Lighting Facilities: Identification of all illumination, indicating the direction and the degree of illumination offered by the lighting facilities and including specifications of the light fixture(s) to be used.

This is a pre-existing use and there are no proposed additional lights being installed.

13. Location of Wetlands/Notice of Intent: All resource areas as defined in M.G.L. Chapter 131, Section 40. The applicant shall file a Notice of Intent with the Truro Conservation Commission concurrently with the application to the Planning Board for Site Plan Review.

There is no known jurisdictional wetland or resource area within the project area.

14. Location and Description of Utilities. Identification of all utilities, including sewer line locations and profiles and storm drainage systems.

Refer to Site Plans No. 1-3 and Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. for all proposed sanitary, water, and electric utilities. The sanitary line has previously been designed by Lightship Engineering and approved by MassDEP under Permit No. 955-0. Refer to Figures 8-14 included in the appendix to this submittal for all sanitary plan and profiles as designed by Lightship Engineering. The sanitary system has previously been installed for the upper campground. There are no proposed storm drainage systems within the project area.

15. Parking and Driveway Cross Section: a cross section identifying the proposed construction of driveways and parking areas on the site.

This is a pre-existing use and there are no proposed driveways or parking areas on the site.

16. Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s).

This is a pre-existing use and the only disturbed area will be the existing gravel roadways, which will be restored to conditions that existed prior to construction.

SITE PLAN REVIEW

d. Proposed Landscaping Plan:

1. A landscape schedule for, and identification of, the location of all perimeter and interior landscaping, including but not limited to, proposed paving materials for walkways; fences; stonewalls; and all planting materials to be placed on the site. In addition, all existing trees over 10 inches diameter at breast height (DBH) to be saved or removed shall be shown on the site plan.

Refer to the Landscape Plans: Sheets W1-W3 by Wilkinson Ecological Design, Inc. for the proposed landscaping and restoration plans.

e. Building Plans:

1. Elevations showing exterior materials and features including but not limited to doors, windows, trim, roof, lighting and including the height of the building(s).

Refer to the Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. and typical shed details provided in the appendix to this submittal for proposed building elevations.

2. Floor plans with dimensions.

Refer to the Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. and typical shed details provided in the appendix to this submittal for proposed floor plans.

f. Project Estimate:

1. The estimated date of initiation and the time required to complete the proposed project and any and all phases thereof; together with a written cost estimate with a breakdown of the building(s) and all site improvements.

The project will be initiated upon completion of local regulatory review. A subsequent phase includes construction of a sewer collection pipe running along South Highland Road and Highland Road to the North Truro Camping Area ("NTCA"). This pipe will collect sewage discharge from the NTCA to the sewage treatment facility at Horton's Campground. Sewage, water, and electric service will be provided to each campsite as NTCA, similar to plans for Horton's campground. This phase is not included in the current site plan application.

SITE PLAN REVIEW

§70.3 F. Review Criteria/Design Guidelines

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw.

The application has been submitted according to all applicable provisions of the Zoning Bylaw, as the described utility upgrades are to existing campground facilities that are non-conforming, pre-existing uses prior to enactment of Truro local zoning bylaws.

2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses.

Any noise, dust, smoke, or vibration resulting from project construction will be mitigated as necessary to protect abutting properties and the surrounding areas from impacts. Post-construction conditions will not exceed pre-construction conditions.

3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro.

This is a pre-existing use and there is no proposed lighting being installed on the site. There will be no night work required for the construction of this project, and thus no temporary construction lighting shall be used.

4. The proposal provides for the protection of significant or important natural, historic, or scenic features.

A MESA Permit Application has been submitted by Wilkinson Ecological Design, Inc. for review. Refer to the Appendix for a copy of the MESA application, which details the protection of significant natural, historic, or scenic features.

5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention.

Refer to the Landscape Plans: Sheets W1-W3 by Wilkinson Ecological Design, Inc. for the proposed landscaping and restoration plans.

6. The proposal adequately provides for refuse disposal.

This is a pre-existing use and there are no proposed refuse areas being installed. There are currently three dumpsters located in the northeast part of the lower

SITE PLAN REVIEW

campground which provide recycling services. All other refuse is picked up daily from campsites and hauled to the dump by campground staff.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use.

The proposed sewage disposal has previously been designed by Lightship Engineering and approved by MassDEP under Permit No. 955-0. Refer to Figures 8-14 provided in the appendix to this submittal for all plans, profiles, and details for the sanitary system.

Refer to the Water Service Plans No. 1-2 by Bennett Environmental Associates, Inc. for the water supply design.

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool.

This is a pre-existing use and there is no proposed drainage system being installed on the site. Site conditions will be restored to conditions that existed prior to construction; therefore, the flow patterns and peak runoff for the pre and post construction conditions will be the same.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction.

Refer to Site Preparation Plans No. 1-3 for all erosion control to be utilized on site. Erosion control techniques to be utilized include silt sock and staked haybales, as appropriate. Silt sock shall be utilized as needed on all steep slopes within the site in order to control runoff to adjacent properties and streets both during and after construction.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises.

This is a pre-existing use and there are no proposed features as listed above as part of the project.

SITE PLAN REVIEW

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area.

This is a pre-existing use and there are no proposed architectural buildings or structures part of the project.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground.

All proposed electric, telephone, cable, and other such utilities and equipment shall be placed underground in the locations as depicted on Site Plans No. 1-3.

13. The project shall not place excessive demands on Town services.

The project will not have any impact on demands of the Town services. The project includes a new wastewater treatment facility (WWTF) on site which will service the new sanitary disposal system. The WWTF has been designed by Lightship Engineering and approved by MassDEP under Permit No. 955-0.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged.

This is a pre-existing use and there are no proposed curb cuts on the site. There is no existing curb within the project area and all roadways and driveways will remain gravel.

15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site.

This a pre-existing use and there are no modifications to the existing gravel roadway widths or traffic patterns being performed as part of the project. The realignment of the roadways within the property will not impact the circulation within and access to and from the site.

16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s).

This is a pre-existing use and there are no proposed bike racks on the site.

Appendix A
MESA Permit Application



WILKINSON
ECOLOGICAL DESIGN

October 31, 2016

Natural Heritage and Endangered Species Program
Amy Hoenig, Endangered Species Regulatory Review
Massachusetts Division of Fisheries & Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

RE:

MESA Project Review - Horton's Camping Resort, Truro
NHESP Tracking No.: 16-35870

Dear Ms. Hoenig,

On behalf of Adventure Bound Campground Resorts, Wilkinson Ecological Design Inc. (WED), submits the MESA Project Review Checklist with \$1,800.00 filing fee for a wastewater collection, treatment and disposal system. Also included is a revised Restoration Plan and a Restoration Plan Narrative, both prepared by WED and dated October 28, 2016, a Wastewater Collection, Treatment and Disposal plan, prepared by Lightship Engineering, and project descriptions for proposed work and for after-the-fact work that occurred in the upper loop at Horton's Camping Resort. We have been contracted by Adventure Bound Campground to develop a plan to restore the area impacted during the installation of wastewater treatment components in the upper loop. On September 21, 2016, we submitted to NHESP a preliminary draft Restoration Plan, dated September 9, 2016, representative photos of the upper camping loop with existing conditions, project locus, and cover letter as part of a pre-consultation filing with NHESP.

The provision of sewage treatment was mandated by the Massachusetts Department of Environmental Protection and subject to an Administrative Consent Order which were copied to the Town of Truro through the Truro Health Agent. The Town of Truro issued a Stop Work Order on May 4, 2016, citing local zoning bylaw violations. The sewage treatment project includes two campgrounds, Horton's Camping Resort and North Truro Camping Area, both owned by Adventure Bound Campground in Truro. Both campgrounds are located within the Cape Cod National Seashore (CCNS). Horton's Camping Resort is divided into an upper and lower camping loop.

We look forward to your comments and guidance regarding this restoration project in the hopes that restoration of the habitats of the state-listed rare species mapped for this site can be recovered as quickly as possible.

Sincerely,

Erin Hilley, Conservation Biologist MS
508-255-1113 ext. 110 (office)
erin@wilkinsonecological.com



MESA PROJECT REVIEW CHECKLIST

Massachusetts Endangered Species Act M.G.L. c. 131A and Regulations (321 CMR 10.00)

Massachusetts Division of Fisheries & Wildlife
Natural Heritage & Endangered Species Program

~~~~ CONTACT INFORMATION ~~~~

If you already completed your Notice of Intent- Form 3, you can send page 1 of the NOI in place of questions 1 through 4 in this section

1. Project Location:

Horton's Camping Resort & North Truro Campgrou Truro 02666
Street Address/Location City/Town Zip Code
Map 36: Parcel 174 & Map 37: Parcel 15 & 19
Assessors Map/Plat Number Parcel /Lot Number

2. Applicant:

A/C Mobile Home Park, Inc.
First Name Last Name Company
905 16th Place
Mailing Address
Vero Beach Florida 32960
City/Town State Zip Code
Phone Number Fax Number Email address

3. Property owner (if different from applicant):

First Name Last Name Company
Mailing Address
City/Town State Zip Code
Phone Number Fax Number Email address

4. Representative (if any):

Wilkinson Ecological Design, Inc.
Company
Erin Hilley
Contact Person First Name Contact Person Last Name
28 Lots Hollow Rd
Mailing Address
Orleans MA 02653
City/Town State Zip Code
(508) 255 1113 (Ext 110) 508 255 9477 erin@wilkinsonecological.com
Phone Number Fax Number Email address

~~~~ADDITIONAL INFORMATION~~~~

- 1. Will this project require a filing with the Conservation Commission and/or DEP?  No  Yes
- 2. Will this project meet any threshold for a MA Environmental Policy Act (MEPA) filing (excluding rare species, 301 CMR 11.03 (2))?  No  Yes
- 3. Has this project previously been issued a NHESP Tracking Number (either by previous NOI Submittal or MESA Information Request Form)?  No  Yes

If Yes - Tracking No. 16-35870

~~~~PROJECT DESCRIPTION (attach separate sheet, as needed)~~~~

Please note, certain projects or activities are exempt from review, see 321 CMR 10.14. The MESA does not allow project segmentation. Your filing must reflect all anticipated work associated with the proposed project (CMR 321 10.16).

Please see included project descriptions.

~~~~INCLUDE THE FOLLOWING INFORMATION~~~~

*The NHESP will notify the applicant within 30 days if the materials submitted do not satisfy requirements for a filing and request submission of any missing materials (321 CMR 10.18(1)).*

**ALL Applicants must submit:**

- USGS map (1:24,000 or 1:25,000) with property boundary clearly outlined
- Project plans for entire site (including wetland Resource Areas, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work)
- Assessor's map or right-of-way plan of site
- Project description
- Statement/proof that applicant is the Record Owner or that applicant is a person authorized in writing by the record owner to submit this filing
- Photographs representative of the site

**Projects altering\* 10 or more acres, must also submit:**

- A vegetation cover type map of the site
- Project plans showing Priority Habitat boundaries

The NHESP may request additional information, such as, but not limited to, species and habitat surveys, wetland reports, soil map and reports, and stormwater management reports (321 CMR 10.16).

\*Alteration: Any physical alteration of land, soils, drainage or destruction of plant life, see "Project or Activity" (321 CMR 10.02).

~~~~ FILING FEES ~~~~

See Fee Schedule below

a. Total MESA Fee Paid \$1,800.00 b. Acreage of Disturbance* ~10.5 Acres c. Total Site Acreage 32 Acres

~~~~ REQUIRED SIGNATURES ~~~~

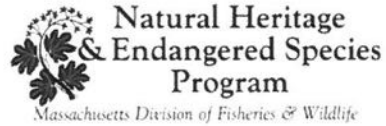
I hereby certify under the penalties of perjury that the foregoing MESA filing and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

Signature of Property Owner/Record Owner of Property \_\_\_\_\_ Date \_\_\_\_\_  


Signature of Applicant (required, if different from Owner) \_\_\_\_\_ Date \_\_\_\_\_

**Please send form, required information, and filing fee (payable to "Comm. of MA - NHESP") to:**

Regulatory Review  
 Natural Heritage & Endangered Species Program  
 1 Rabbit Hill Road  
 Westborough, MA 01581



**Questions regarding this form should be directed according to the county that the property is located:**

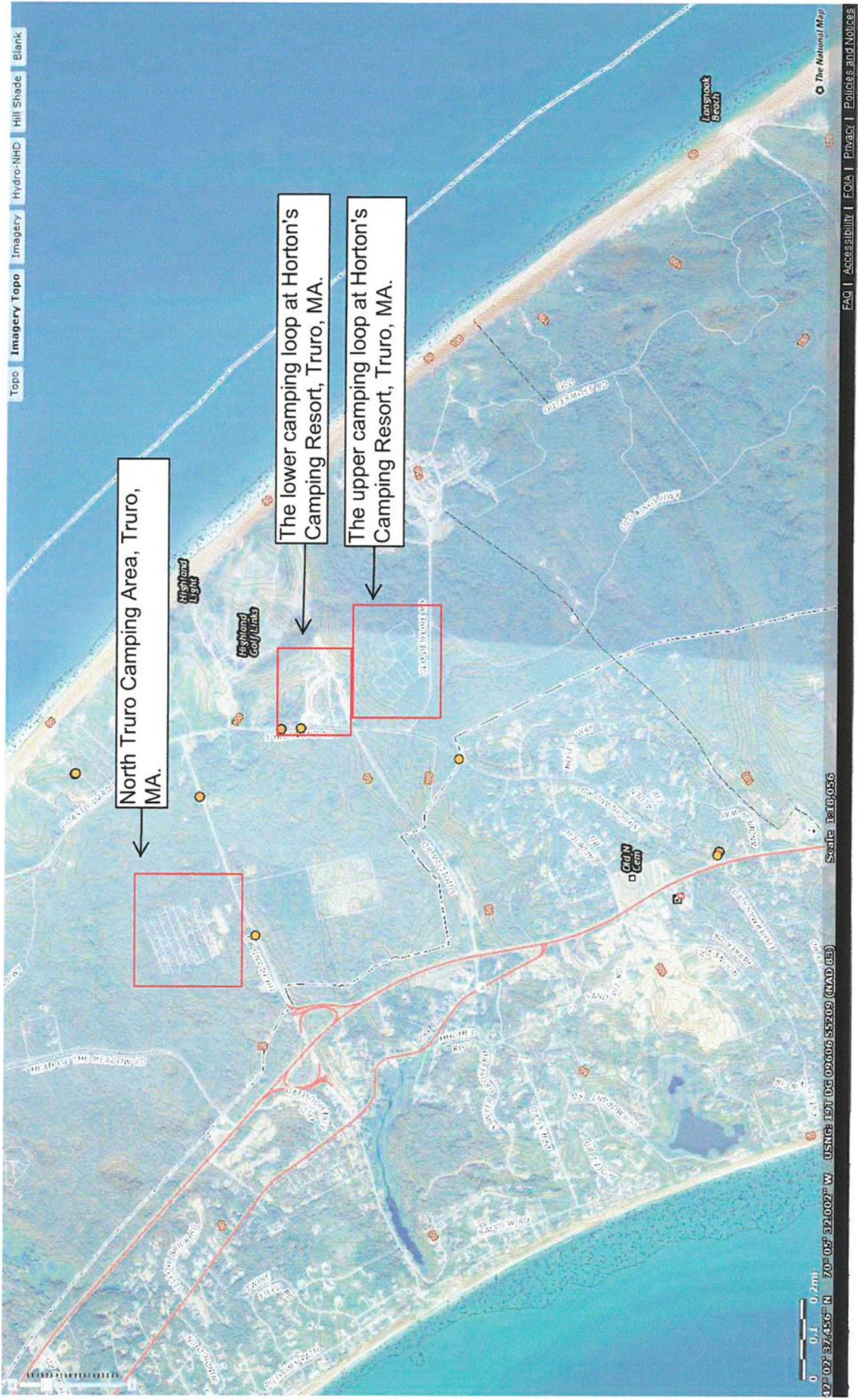
Berkshire, Essex, Franklin, Hampshire, Hampden, Middlesex & Worcester Counties call: 508-389-6361  
 Barnstable, Bristol, Dukes, Nantucket, Norfolk, Plymouth & Suffolk Counties call: 508-389-6385

**PROJECT REVIEWS**  
 321 CMR 10.18

| Project Definition         | Project Criteria                                                         | Fee                                         | Response Time                                 |
|----------------------------|--------------------------------------------------------------------------|---------------------------------------------|-----------------------------------------------|
| Simple                     | Less than 5 acres of disturbance*                                        | \$ 300.00                                   | 60 days from determination of complete filing |
| Intermediate<br>(Moderate) | 5 to 20 acres of disturbance*                                            | \$ 1800.00                                  | 60 days from determination of complete filing |
| Complex                    | More than 20 acres of disturbance* or project requires wetlands variance | \$ 4000.00                                  | 60 days from determination of complete filing |
| Linear                     | Projects greater than 1 mile in length.                                  | \$ 4000.00 per Priority Habitat intersected | 60 days from determination of complete filing |

\* Disturbance means direct physical disturbance of the land surface or waterbody, soil and/or vegetation, if only a portion of the project site is located within Priority Habitat, indicate total area of disturbance for site as a whole.

MESA Project Review Checklist - Site Locus: Horton's Camping Resort & North Truro Camping Area, Truro, MA  
NHESP Tracking #16-35870  
Prepared by Wilkinson Ecological Design Inc.





# Assessors Map - 46 Highland Road

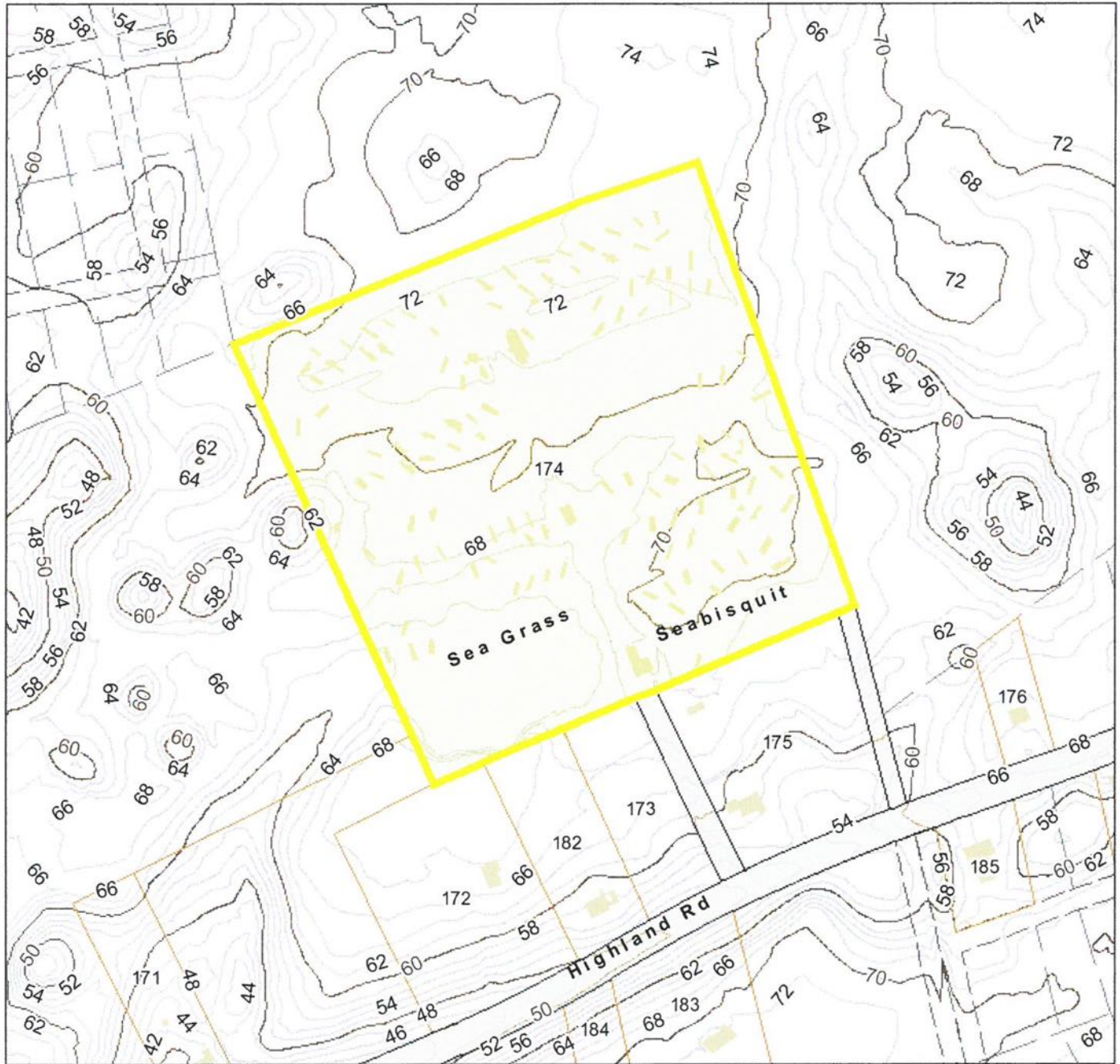
Truro, MA



October 7, 2016

1 inch = 268 Feet

www.cai-tech.com



|              |                               |               |
|--------------|-------------------------------|---------------|
| Street Names | — — Cadastral_Original_Parcel | — — Index     |
| FEE          | Private Right of Way          | Intermediate  |
| PRIV_ROW     | Buildings                     | Right of Ways |
| ROW          |                               |               |

Map 36, Parcel 174

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



# Assessors Map 67 So Highland Rd

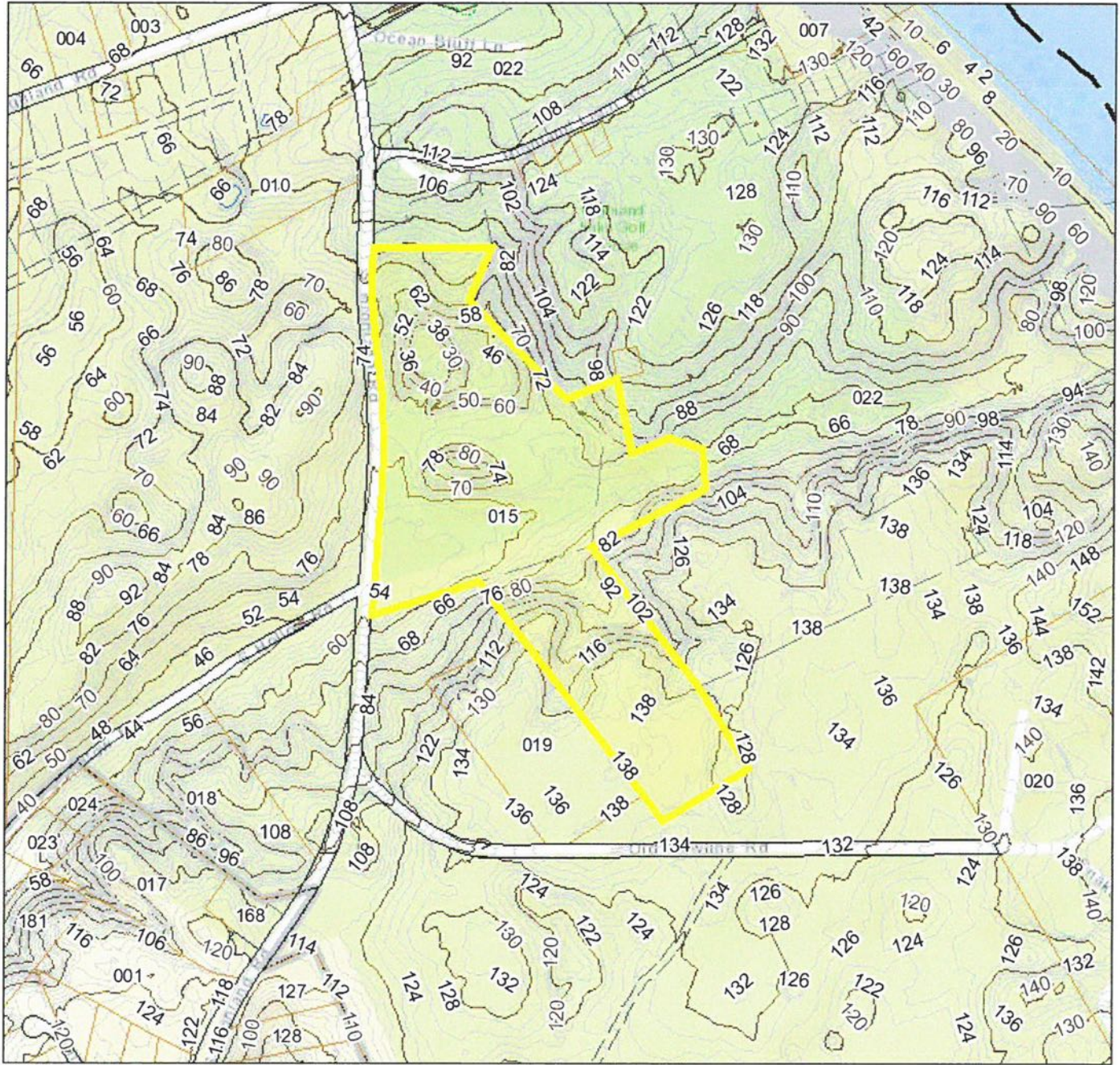
Truro, MA



October 7, 2016

1 inch = 537 Feet

www.cai-tech.com



|  |                   |  |                                |  |              |
|--|-------------------|--|--------------------------------|--|--------------|
|  | MASSGIS Town Line |  | Cape_Cod_National_Seashore_bnd |  | Wetland      |
|  | FEE               |  | Cadastral_Original_Parcel      |  | Index        |
|  | PRIV_ROW          |  | Private Right of Way           |  | Intermediate |
|  | ROW               |  | Water                          |  |              |

Map 37, Parcel 15

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



# Assessors Map 10 Old Dewline Rd

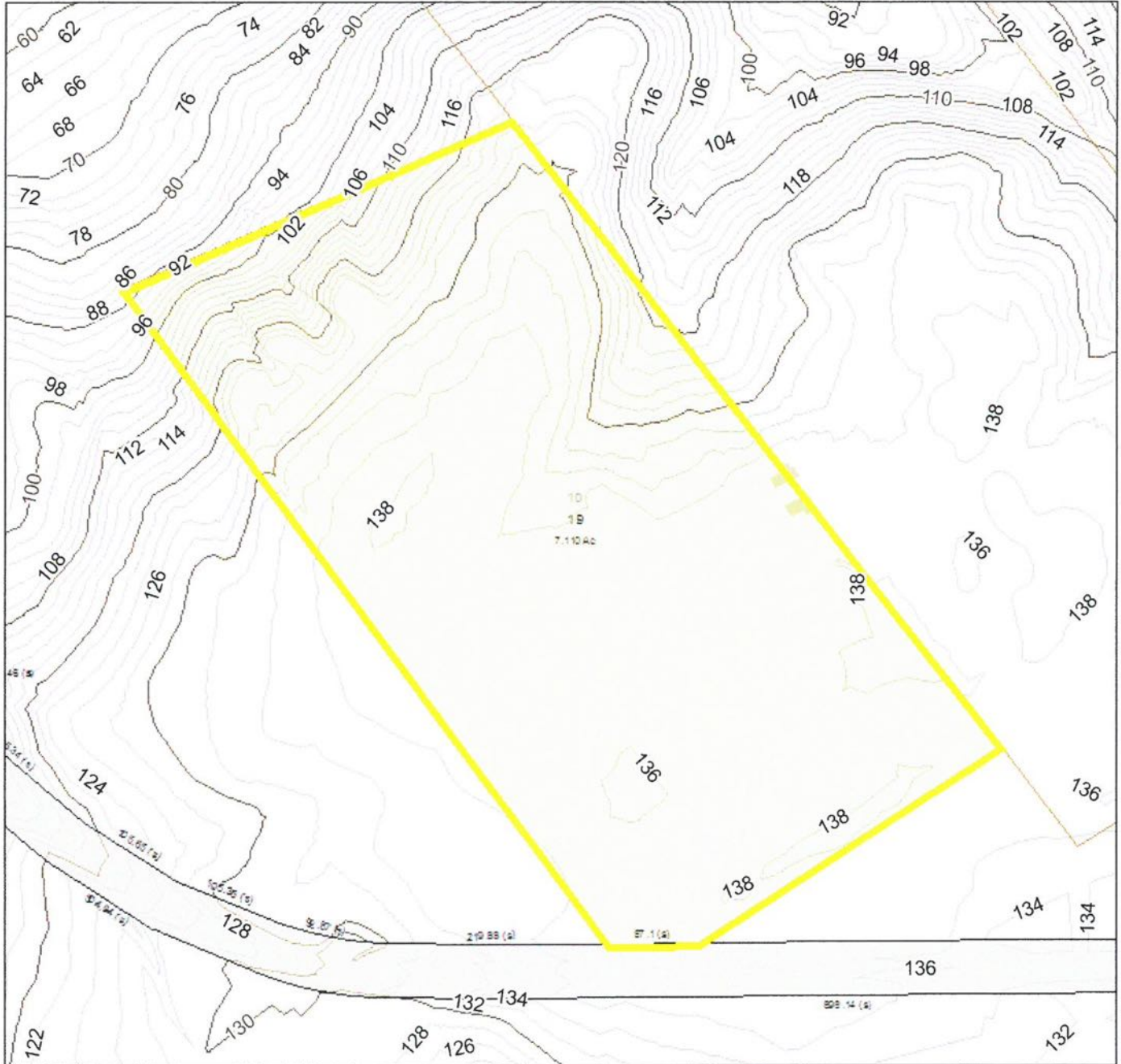
Truro, MA



October 7, 2016

1 inch = 134 Feet

www.cai-tech.com



|  |               |  |              |
|--|---------------|--|--------------|
|  | FEE           |  | Index        |
|  | PRIV_ROW      |  | Intermediate |
|  | Buildings     |  |              |
|  | Right of Ways |  |              |

Map 37, Parcel 19

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



MESA Project Review Checklist - Project Description  
NHESP Tracking No.: 16-35870  
Prepared by Wilkinson Ecological Design Inc.

#### Introduction:

Adventure Bound Camping Resorts is proposing a utility improvements project for Horton's Camping Resort and North Truro Camping Area (NTCA), initiated by the MassDEP requiring an upgrade of the existing sewage disposal system at the park to comply with requirements for enhanced treatment of sewage prior to discharge to groundwater. The project includes upgrades to the sanitary sewer, water, and electric services throughout the campgrounds. Horton's is located at 67 South Highland Road in North Truro, MA, and is split into two areas known as the upper and lower campgrounds based on elevation and not cardinal direction. NTCA is located at 46 Highland Road and is approximately a half a mile away from Horton's Camping Resort as the crow flies. Upgrades at NTCA are part of the subsequent project phase which includes construction of a sewer collection pipe running from Horton's campground along South Highland Road and Highland Road to the NTCA from Horton's campground. This pipe will collect sewage discharge from the NTCA to the sewage treatment facility at Horton's Campground. Sewage, water, and electric service will be provided to each campsite at NTCA, similar to plans for Horton's campground. This phase is not included in the current site plan application. The project will be initiated upon completion of local regulatory review.

#### Project Descriptions

##### Horton's Camping Resort - Lower Campground

The lower campground includes a total of 83 campsites, including existing sanitary, water, and electric services. The proposed improvements within the lower area include upgrading the sanitary service by installing a new sanitary collection system located within the existing campground roadway network, a centralized treatment facility, and a leaching field. The upgrade includes new sanitary and electric service connections to each of the 83 campsites. The proposed work is anticipated to require approximately 4-ft. wide trenches within both the existing gravel roadways and campsites in order to install the sanitary line and services. The lower campground work will also include minor water service upgrades by installing water connections to ensure water is provided to all 83 campsites. The proposed electric work is anticipated to require approximately 2-ft. wide trenches within the existing gravel roadway and approximately 1-ft. wide trenches within the campsites to install the water services. The water, sewer and electric service lines will be installed in the lower camp ground area within the gravel roadways, as well as the grassed and wooded areas. The limit of disturbance for these installations will be limited to the necessary trench area which will be restored to existing conditions. Once lines are installed, the native soil will be returned to the trench in a timely manner and any leaf/needle litter spread back over the impacted area if applicable.

Lower campground anticipated disturbance for water, sewer and electric installation:

- Water - 935 square feet
- Electric - 2,225 square feet
- Sewer - 33,915 square feet



The MADEP mandated wastewater treatment plant will be located in the eastern portion of the lower camp ground area. The existing area is already serviced by a gravel roadway and is used for storage for the campground. It is an open area with very few trees that has already been developed as part of the existing camp ground.

#### Horton's Camping Resort - Upper Campground

The upper campground includes a total of 135 campsites including existing sanitary, water, and electric services. In addition, the existing water line provides service to the public restrooms which are centrally located in the upper area. The proposed improvements for the upper campground include providing sanitary, water, and electric services to all 135 campsites. The sanitary collection system and service connections have previously been installed. Similarly to the lower campground, the sanitary collection system and services require an approximately 4-ft. wide trench in both the existing gravel roadway network as well as the campsites. The electric line required an approximately 2-ft. wide trench within the gravel roadway and a 1-ft. wide trench within the campsites. The proposed water line work is anticipated to require approximately 2-ft. wide trenches within the existing gravel roadway and approximately 1-ft. wide trenches within the campsites to install the water services.

The water and electric service lines will be installed in areas initially disturbed during installation of sanitary sewer collection system (Spring 2016). The existing topsoil was stockpiled and is proposed to be used to restore campsite areas while the gravel roadways have been re-graded and realigned to prevent the encroachment onto adjoining properties. The limit of disturbance for these installations will be limited to the necessary trench area which will be restored to existing conditions. Once lines are installed, the native soil will be returned to the trench in a timely manner and any leaf/needle litter spread back over the impacted area if applicable.

Upper campground anticipated disturbance for water and electric service installation:

Water - 11,020 square feet

Electric - 12,580 square feet

#### Horton's Camping Resort - Upper Campground - After the Fact

It is our understanding that sewer lines, per the Wastewater Collection, Treatment and Disposal System, dated March 2015, and prepared by Lightship Engineering, were installed in the early spring 2016, at Horton's Camping Resort in what is called the upper loop. The Town of Truro issued a Stop Work Order on May 4, 2016, citing local zoning bylaw violations.

During the installation of subsurface sewer collection pipes in the upper camping loop, understory vegetation and top soil within the existing internal dirt and gravel road system and at individual campsites were impacted within an approximately 11.7-acre area. Also included in the 11.7-acre area is a bathhouse and pockets of preserved vegetation. It has been difficult to determine pre-existing conditions to fully understand the extent of the impacted area, however, based on surrounding vegetation and personal accounts, an understory typical of pitch pine-oak woodlands prevailed between sites. We do not know the number of trees that were removed, however, we have compared the canopy cover shown in Google images, dated 5/23/2015, and 6/7/2014, with existing canopy conditions obtained through survey, field checking, and a recently obtained satellite image. Our comparison shows that approximately 6-acres of canopy was affected, however, we are not confident that our analysis of canopy using Google images makes clear the difference between tree canopy, shading, and taller understory woody plants and believe that 6-acres may be an inflated calculation. Photos sent to NHESP in September 2016, along with our Conceptual Restoration Plan, show existing conditions at the upper camping loop.

QUITCLAIM DEED

Property Address: 67 South Highland Rd & 10 Old Dewline Rd, Truro, Massachusetts, MA

I, **ROBERT S. HORTON** for consideration paid in the amount of **ONE MILLION SIX HUNDRED EIGHTY-FIVE THOUSAND SEVEN HUNDRED TWENTY and 00/100 (\$1,685,720.00) DOLLARS**, hereby grant to **A/C MOBILE HOME PARK, INC.**, of 906 16<sup>th</sup> Place, Vero Beach, FL 32960, with **QUITCLAIM COVENANTS**, the land with any buildings thereon, situated in Truro, Barnstable County, Massachusetts, described as follows:

Parcel One: Beginning at a stake and stone two hundred (200) feet westerly from the big rock on the town highway leading to Highland Light and starting from a stake and stone, thence southeasterly fifty-two feet (52) feet to a stake and stone, thence southerly two hundred and forty-five (245) feet to a stake and stone, thence southwesterly one hundred and ninety-six (196) feet to a stake and stone, thence southeasterly seven hundred and thirty (735) feet to a stake a stone, thence southerly three hundred and sixty-four (364) feet, to a stake and stone; thence westerly eight hundred and seventy (870) feet to a stake and stone on the border of the Old King's Highway so called, thence northerly along the said King's Highway one thousand three hundred and ninety-five (1395) feet to a stake and stone just south of the metal garage now or formerly owned by I.M. Small, thence easterly one hundred and sixty-five (165) feet to a stake and stone, thence northerly twenty-nine (29) feet to a stake and stone, thence easterly twenty-six (26) feet to a stake and stone, thence northerly forty (40) feet to the southeast corner of the stable wall, thence easterly to the point of beginning, excepting therefrom a parcel of land of approximately 2 ½ acres conveyed by Sumner C. Horton to Mary L. Horton by Quitclaim Deed dated May 31, 1961 and recorded in the Barnstable County Registry of Deeds Book 1119, Page 448. This land is bounded on the north, east and south by land now or formerly of I.M. Small and on the west by the King's Highway so called. All measurements are approximate. The right is reserved to allow the drainage from the Highland House through its sewer pipe and over the land and into the valley of the land mentioned above as it has run since the Highland House was built.

Parcel Two: Starting from the stake and stone where line crosses the boundary of former Orchard deed, two hundred (200) feet northerly from the north corner of the orchard, moving up hill easterly towards golf line fence two hundred and thirty-eight (238) feet; thence southerly two hundred and ninety-four (294) feet; thence easterly one hundred and fifty-four (154) feet to the golf line fence; thence southeasterly one hundred and forty (140) feet to a stake and stone by golf line fence in the valley; thence up the hill southerly one hundred and forty-five (145) feet; thence westerly four hundred and ninety (490) feet to the southeast corner of the orchard fence; thence westerly along said orchard fence three hundred and sixty-four (364) feet to the northerly corner of the orchard, the distance from this corner to where the original orchard line and the new line intersect is two hundred (200) feet. These figures are approximate both as to distance and direction.

Parcel Three: A certain parcel of land situated in said Truro at North Truro at Highland and southwesterly from the Highland Light, said land is bounded and described as follows: on the north by land of Ernest Hayes Small, formerly land of Isaac M. Small, twenty-four (24) rods; on the east by land of Lillian J. Small formerly Arthur N. Small forty (40) rods; on the south by land of the estate of Michael A. Rich, now or formerly, twenty-four (24) rods; on the west by land now or formerly of the estate of the late Edward E. Small (40) rods. The whole containing six (6) acres more or less.

Parcel Four: A certain piece of land situated in said Truro at North Truro and southwesterly from Highland Light said land is bounded and described as follows: Beginning at the southwest corner thereof by land now or formerly of the estate of the late Edward E. Small, thence running northerly by land formerly of the late Hannah Coan and land formerly of the estate of the late James Hughes sixty-four and one fourth ( $64 \frac{1}{4}$ ) rods to land of Ernest Hayes Small formerly owned by Isaac M. Small and more formerly owned by David H. Loring, thence easterly by land of the same twenty-seven (27) rods; thence southerly by land of Isaac M. Small to land now or formerly of the estate of Edward E. Small before mentioned sixty (60) rods and ten (10) feet, thence westerly by land of the said Edward E. Small's estate twenty-one (21) rods and thirteen (13) feet to the place of beginning.

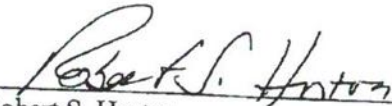
Parcel Five: Beginning at the northwest corner thereof at a concrete bound at a pile of stones, thence easterly in range of land of Samuel N. Aldrich four hundred five and  $\frac{89}{100}$  (405.89) feet to a stake in range of land of Sumner C. Horton; thence southeasterly in range of land of said Horton seven hundred forty-five (745) feet, more or less, to an iron pipe; thence westerly in range of land of said Aldrich four hundred two and  $\frac{85}{100}$  (402.85) feet to a stake at a pile of stones; thence northwesterly in range of land of said Aldrich eight hundred thirteen (813) feet, more or less, to the concrete bound at the point of beginning. Containing about 7.1 acres.

The premises described above are conveyed subject to and with the benefit of all rights, restrictions, reservations, easements, appurtenances and rights of way of record, insofar as the same are still in force and applicable.

The grantor hereby releases any and all rights of homestead in the property.

For my title, see Deeds recorded in Barnstable County Registry of Deeds in Book 2699, Page 138 and Book 2699, Page 137.


Witness my hand and seal this 21<sup>st</sup> day of February, 2012.

  
Robert S. Horton

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss.

On this 21<sup>st</sup> day of February, 2012, before me, the undersigned notary public, personally appeared Robert S. Horton, proved to me through satisfactory evidence of identification, being  driver's license or other state or federal governmental document bearing a photographic image,  oath or affirmation of a credible witness known to me who knows the above signatory, or  my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by him/her voluntarily for its stated purpose.

  
Notary Public



JENNIFER L. THYNG  
NOTARY PUBLIC  
COMMONWEALTH OF MASSACHUSETTS  
My commission expires on June 11, 2015

MESA Project Review Checklist - Photographs taken October 14, 2016  
NHESP Tracking #16-35870  
Prepared by Wilkinson Ecological Design Inc.



View north showing the entrance to North Truro Camping Area off Highland Road in North Truro.



View from the central campground road northerly toward one of the restroom buildings

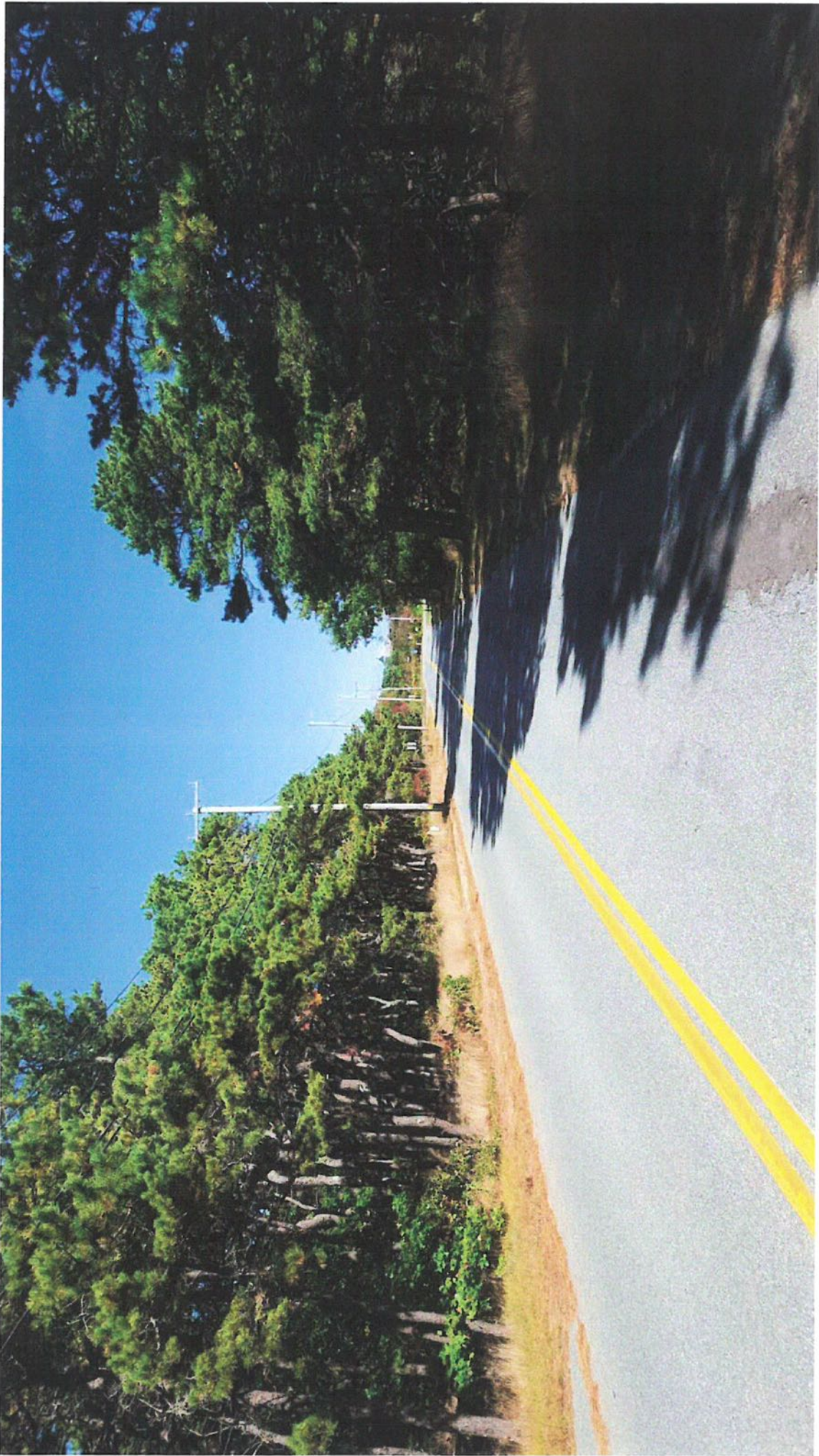


View westerly from the central campground road showing a typical North Truro campground side road with campsites.

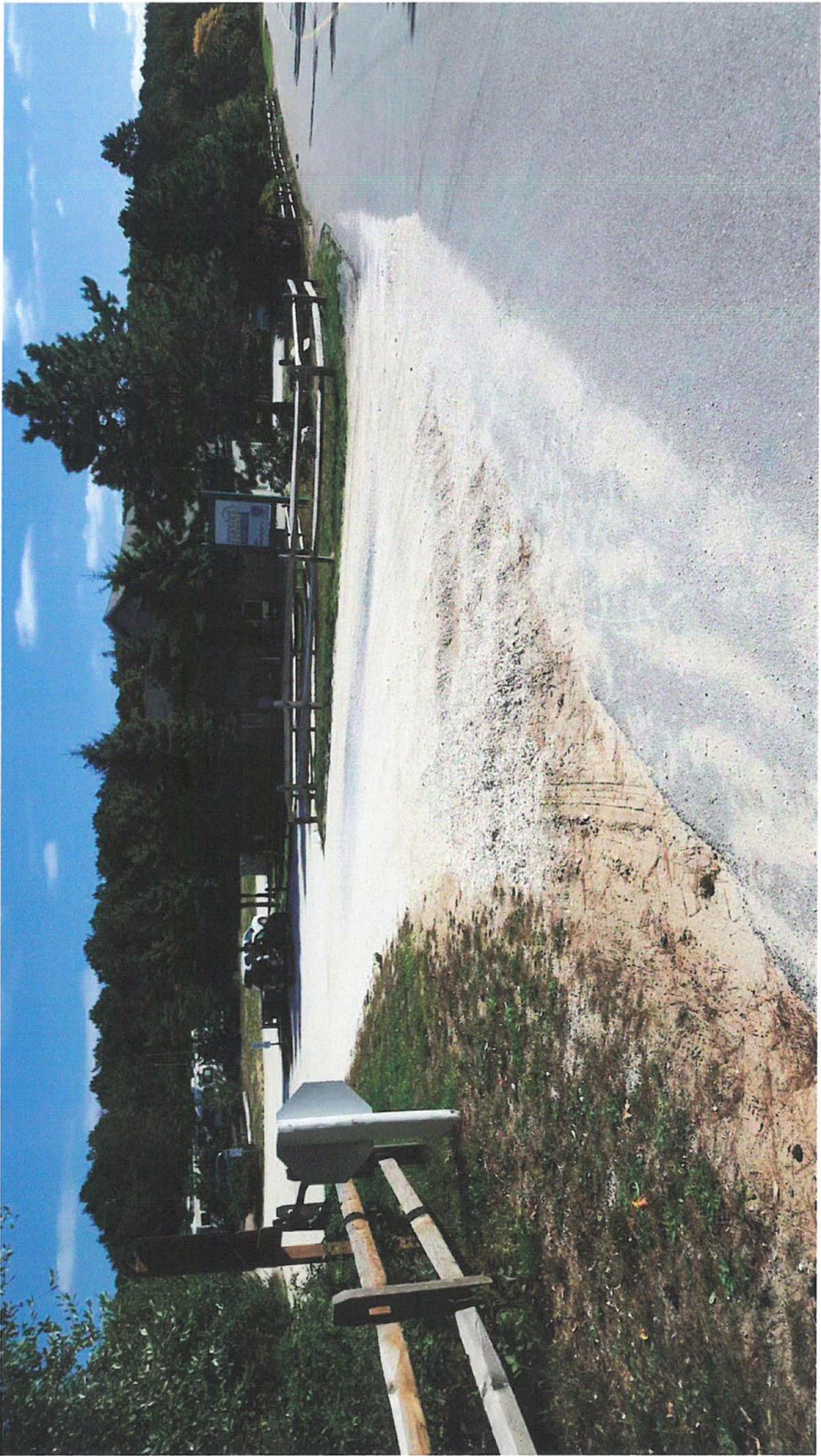


Photo showing a typical North Truro campground campsite.





View east showing Highland Road on the route to Horton's Camping Resort.



View southerly showing the entrance of Horton's Camping Resort from South Highland Road.



View east showing a typical road section within Horton's Camping Resort.



Photo shows a few typical campsites at Horton's Camping Resort.



View west showing typical campsites at Horton's Camping Resort.



Photo shows a couple typical campsites at Horton's Camping Resort.

# MESA Project Review Checklist - Potential Vernal Pools & DEP Wetlands Detailed with Vegetation

NHESP Tracking #16-35870

Prepared by Wilkinson Ecological Design Inc.







**Appendix B**  
Water Service Design

**ADVENTURE BOUND CAMPING, CAPE COD AT HORTON'S  
67 SOUTH HIGHLAND ROAD - NORTH TRURO, MA  
TRANSIENT NON-COMMUNITY WATER SUPPLY, PWS ID# 4300001**

**WATER SUPPLY DESIGN CRITERIA  
ATMOSPHERIC STORAGE AND BOOSTER PUMP**

**PROJECTED WATER USAGE (Title 5 Design Flow Estimate)**

Sanitary Design Flow

134 campsites @ 90 gpd/campsite = 12,060 gpd

**WATER SUPPLY DESIGN CRITERIA**

Projected Daily Water Usage: (based on Title 5) = 12,060 gpd

Estimated Peak Demand

- Hourly Demand = 12,060 gpd/24 hour day = 8.38 gpm

- Peak Hourly Demand = 12,060 gpd/6 hour peak use = 33.5 gpm

- Instantaneous Demand = 200% peak hourly demand = 67 gpm

**STORAGE TANK AND BOOSTER PUMP CAPACITY**

Instantaneous Demand x 2 hours = 8,040 gallons

Safety Factor = 20%

Storage Capacity = 1.20 x 8,040 gallons = 9,648 gallons

**PROPOSED BOOSTER PUMPS CAPACITY [2 x 37 gpm = 74 gpm] > INSTANTANEOUS DEMAND [67 gpm]**

**EFFECTIVE STORAGE VOLUME, ATMOSPHERIC TANK = 10,032 gallons**

**EFFECTIVE STORAGE VOLUME, HYDROPNEUMATIC TANKS = 2 x 40 gallons = 80 gallons**

**PROPOSED STORAGE TANKS (3) [10,112 gal] > 3 HR INSTANTANEOUS DEMAND + 20% [9,648 gal]**

**Appendix C**  
Water Controls Building Details

[Our Company](#)

[Sheds & Small Buildings](#)

[New England Barns & Garages](#)

[Custom Buildings](#)

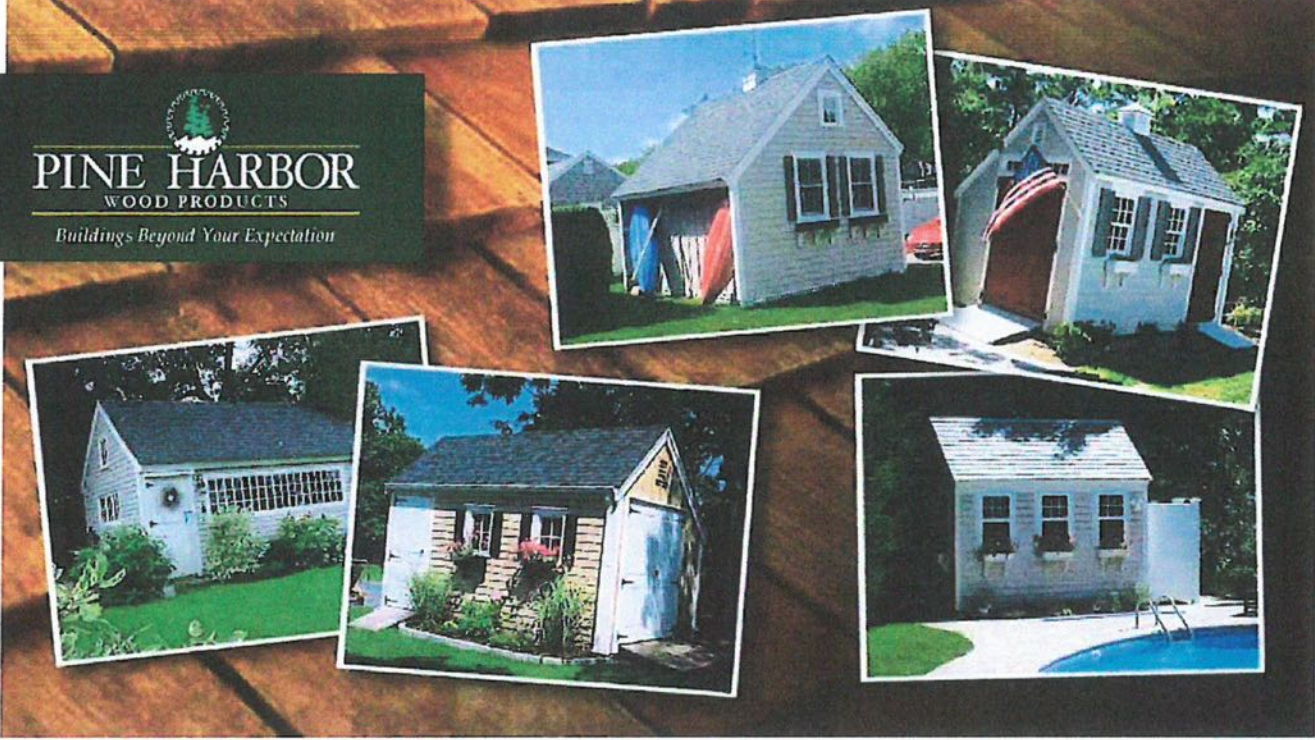
[Outdoor Living Products](#)

[Swings Sets & Basketball Hoops](#)

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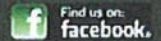
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# Cuttyhunk

When you need just a little more space, the Cuttyhunk may be the perfect fit for you. Its lean-to design can be installed against another building or stand alone. The lower front wall is 6'5" and has a 3/12 roof pitch. We include an appropriately sized double door with no windows included. Customized options on this design have limited availability.

When you need just a little more space, the Cuttyhunk may be the perfect fit for you. Its lean-to design can be installed against another building or stand alone. The lower front wall is 6'5" and has a 3/12 roof pitch. We include an appropriately sized double door with no windows included. Customized options on this design have limited availability.

Visit our Cuttyhunk Gallery  
We invite you to visit our [Gallery](#) to see the uncommon and stunning buildings created by Pine Harbor for our satisfied customers.

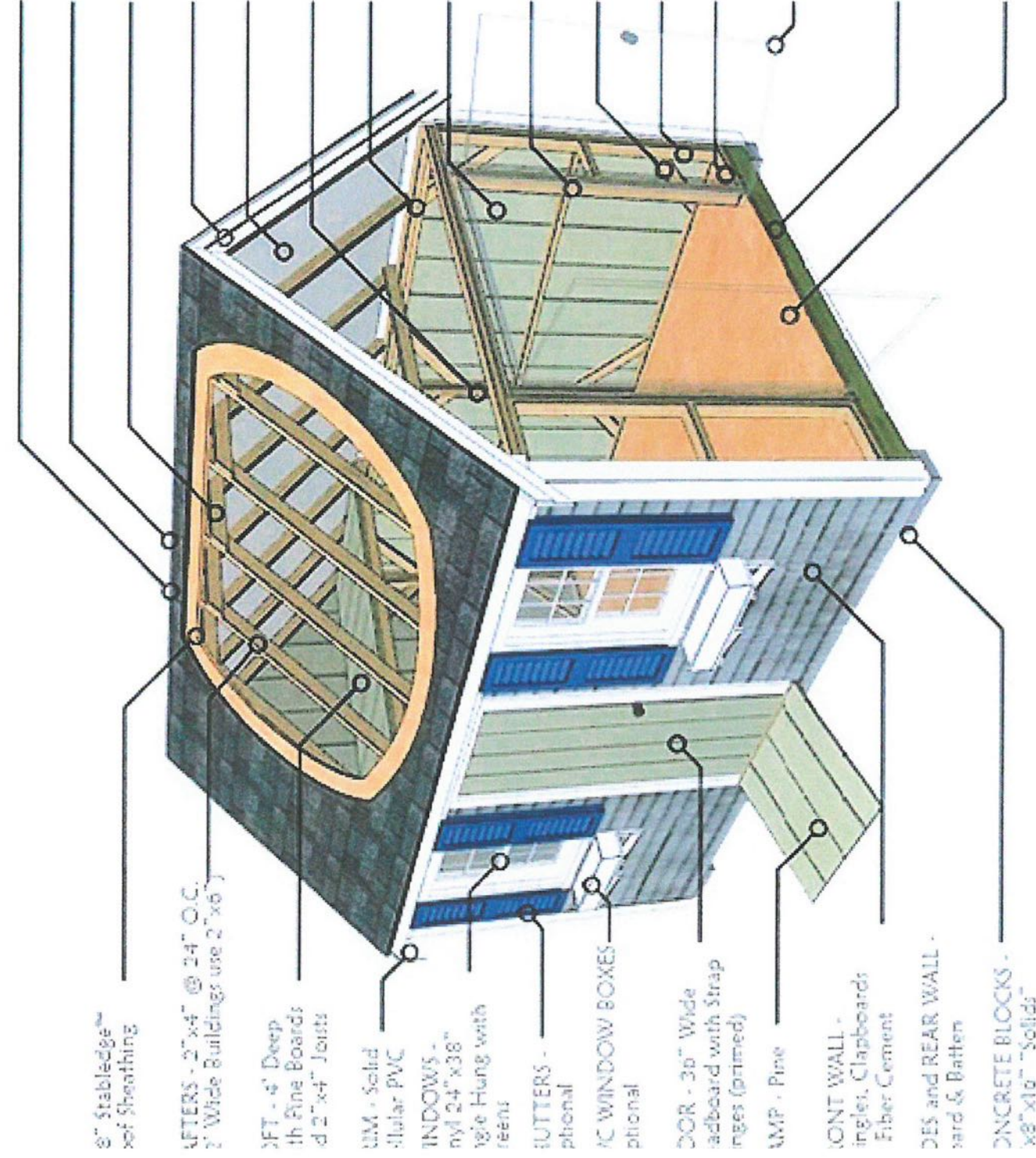
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Classic Standard Features

Classic Cutaway Diagram

## So Much Comes Standard Classic Features

- Solid concrete block footings
- 2"x6" pressure treated joists 16" O.C. - 2"x8" for 12' wide buildings
- 5/8" Stabledge™ flooring 50 year warranty
- Triple 2"x4" wall corners
- Double 2"x4" door posts
- European spruce premium framing, panelized walls
- Premium wide pine wall sheathing on interior
- 6'5" interior wall height
- Diagonal wind bracing at corners
- 5/8" Stabledge™ roof sheathing
- 4' deep storage loft (Quivett Cape only)
- Solid cell
- Classic vi
- 36"x72" br
- Lockable
- 8"x8" alun
- White ced siding on
- Board & b
- 3-lab aspl
- Variety of
- 12' walls c
- 14' walls c



25 Year Asphalt Roof Shingles

ROOF PITCH - 10/12

COLLAR TIES - 2"x4" @ 24" O.C.

TRIM - Solid Cellular PVC

GABLE VENT - 8"x8" Aluminum

CENTER WALL SUPPORT - (2) 2"x4"

TOP PLATES - 2"x4" + 2"x8"

WALLS - Panelized Eurospruce 2"x4" with Premium 1"x12" Pine Sheathing (Total Wall Height = 6'4 1/2")

DOOR FRAMES - (2) 2"x4"

WIND BRACING - Diagonal 2"x4" Top and Bottom

Triple 2"x4" at Corners

2"x4" Sole Plate

OPTIONAL DOORS on Cable End

FLOOR JOISTS - Pressure Treated 2"x6" @ 16" O.C. (12' Wide Buildings use Pressure Treated 2"x8" @ 16" O.C.)

FLOORING - 5/8" Stabledge™

8" Stabledge™  
Pine Sheathing

RAFTERS - 2"x4" @ 24" O.C.  
(12' Wide Buildings use 2"x6")

JOIST - 4" Deep  
with Pine Boards  
and 2"x4" Joists

TRIM - Solid  
Cellular PVC

WINDOWS -  
nyl 24" x38"  
style Hung with  
recess

BUTTERS -  
phonal

AC WINDOW BOXES  
phonal

DOOR - 36" Wide  
radboard with strap  
handles (primed)

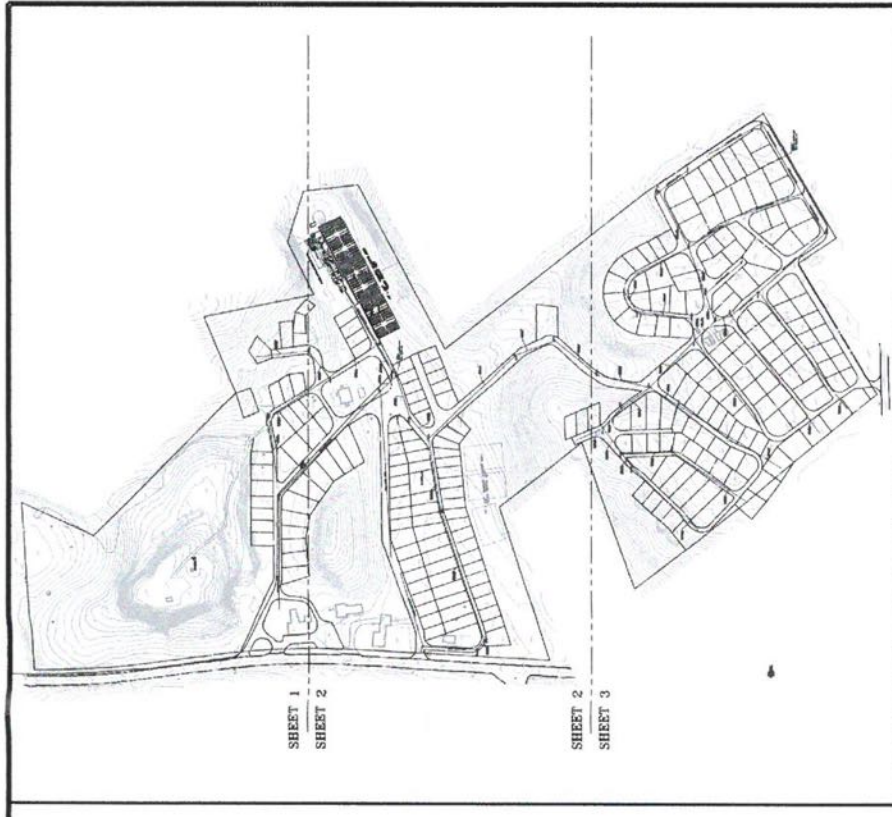
TRIM - Pine

FRONT WALL -  
ingles, Clapboards  
Fiber Cement

DECK and REAR WALL -  
yard & Batten

CONCRETE BLOCKS -  
x8"x16" Solids™

**Appendix D**  
Lightship Engineering – WWTF Plans



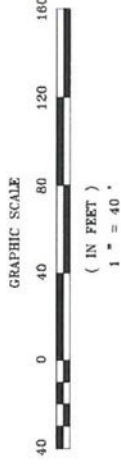
LOCUS MAP

**GENERAL NOTES:**

1. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE SYSTEM UNLESS CONSTRUCTED AS SHOWN. ANY CHANGES SHALL BE APPROVED IN WRITING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.

**CONSTRUCTION NOTES:**

1. ALL CONSTRUCTION SHALL CONFORM TO THE STATE ENVIRONMENTAL CODE, TITLE 5, AND THE REQUIREMENTS OF THE LOCAL BOARD OF HEALTH.
2. ALL COMPONENTS OF THE WASTEWATER TREATMENT PLANT SHALL BE INSTALLED PER THE SPECIFICATIONS PROVIDED BY F.R. MAHONY & ASSOCIATES.
3. SEWER LINES FROM CAMPSITES SHALL BE 4" SDR 35 PIPE, LATERALS CONNECTING CAMPSITES TO THE MAIN SHALL AS SHOWN BELOW, AND THE MAIN SHALL BE AS SHOWN BELOW.
4. LOCATION OF UNDERGROUND WATER AND ELECTRIC SERVICES ARE UNKNOWN. PRIOR TO CONSTRUCTION ELECTRIC SHALL BE MARKED OUT BY A PRIVATE COMPANY. IF WATER LINES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE SLEEVED OR RELOCATED SO THAT THEY ARE 10' AWAY FROM ANY SEWER CONNECTION. IF NOT, THE SEWER LINE SHALL BE SLEEVED WITHIN 10' OF ANY WATER LINE LOCATION.
5. ALL EXISTING CESSPOOLS SHALL BE LOCATED, PUMPED, AND FILLED WITH CLEAN SAND.



MATCH LINE, SHEET 2

|                                                                 |                                                                                                                               |                                                                                                                                                     |
|-----------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>HIGHWAYS--ROADS--TRAILS</b><br>PAVED<br>UNPAVED<br>PAV/UNPAV | <b>VEGETATION--ORANGE--HYDR</b><br>TRUCK MARK<br>BRUSH/CUTTED WOODS<br>TREE GROUP                                             | <b>OTHER SYMBOLS</b><br>STAKE<br>LIGHT POLES<br>FLAG POLE<br>PROP. EST. P. LOC.<br>APPROX. LOC. SEWER LINE<br>APPROX. LOC. WATER MAIN<br>PAVED ROAD |
| <b>DRIVEWAY--PARKING</b><br>PAVED<br>GRAVE                      | <b>TOPOGRAPHY</b><br>ROCK APPROX. SP<br>ROCK APPROX. LINE<br>INTERMEDIATE APPROX.<br>INTERMEDIATE APPROX.<br>INTERMEDIATE CIP | <b>FIELD CONTROL</b><br>CONTROLLING POINT<br>ADDITIONAL & UTILITY<br>POINT                                                                          |
| <b>BARRIERS</b><br>FRAME<br>CONCRETE WALL<br>STONE WALL         |                                                                                                                               |                                                                                                                                                     |
| <b>SEWERAGE--WATER SUPPLY</b><br>SEWER<br>WATER                 |                                                                                                                               |                                                                                                                                                     |

SEAL OF THE COMMONWEALTH OF MASSACHUSETTS  
**KENNETH J. BEALS**  
 CIVIL ENGINEER  
 No. 24343  
 State of Massachusetts  
 10/11/2013  
 SURVEY PROVIDED BY  
 BEALS AND THOMAS, INC.

**TIMOTHY CONROY**  
 LICENSE NO. 41270

**LIGHTSHIP REF. NUMBER**  
**883.1.1**  
**SHEET NO:** 3 OF 21

**SOURCE**  
 Base Site Plan Provided by  
 Beals and Thomas, Inc.  
 Site Plan, dated 04/19/2012

**CADD FILE**  
 P:\883\Draw\883\WwTreatmentPlan\Draw\Final.dwg  
**DRAWN BY:** JJC  
**REVIEWED BY:** TC  
**DATE:** 10/11/2013  
**DWG SCALE:** AS SHOWN

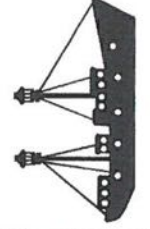
**DRAWING TITLE**  
**FIGURE 3**  
 Horton's Camping  
 Sewer System Layout  
 (1 of 3)

**PROJECT NAME AND LOCATION**  
 Wastewater Collection Treatment  
 and Disposal  
 48 Highland Rd - 87 S. Highland Rd  
 Truro, Massachusetts

**CLIENT NAME AND LOCATION**  
 Adventure Bound Camping Resorts  
 110 43RD Avenue Southwest  
 Vero Beach, Florida 32966

| NO. | DATE  | DESCRIPTION       |
|-----|-------|-------------------|
| 1   | 01/15 | UPDATE WTP LAYOUT |
|     |       |                   |
|     |       |                   |
|     |       |                   |

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| NO. | DATE  | DESCRIPTION       |
|-----|-------|-------------------|
| 1   | 01/15 | UPDATE WTP LAYOUT |
| 2   | 02/15 | ADD MIXING TANK   |
| 3   | 03/15 | ADD RESERVE AREA  |
| 4   | 03/15 | RESIZE SAS        |

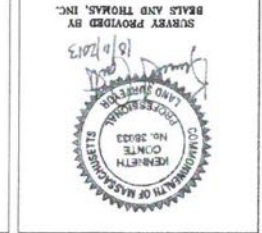
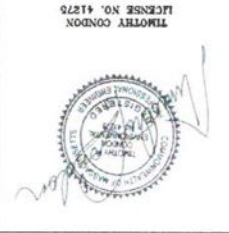
| PROJECT NAME AND LOCATION                                           |
|---------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>Turo, Massachusetts |

| CLIENT NAME AND LOCATION                                                                  |
|-------------------------------------------------------------------------------------------|
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32908 |

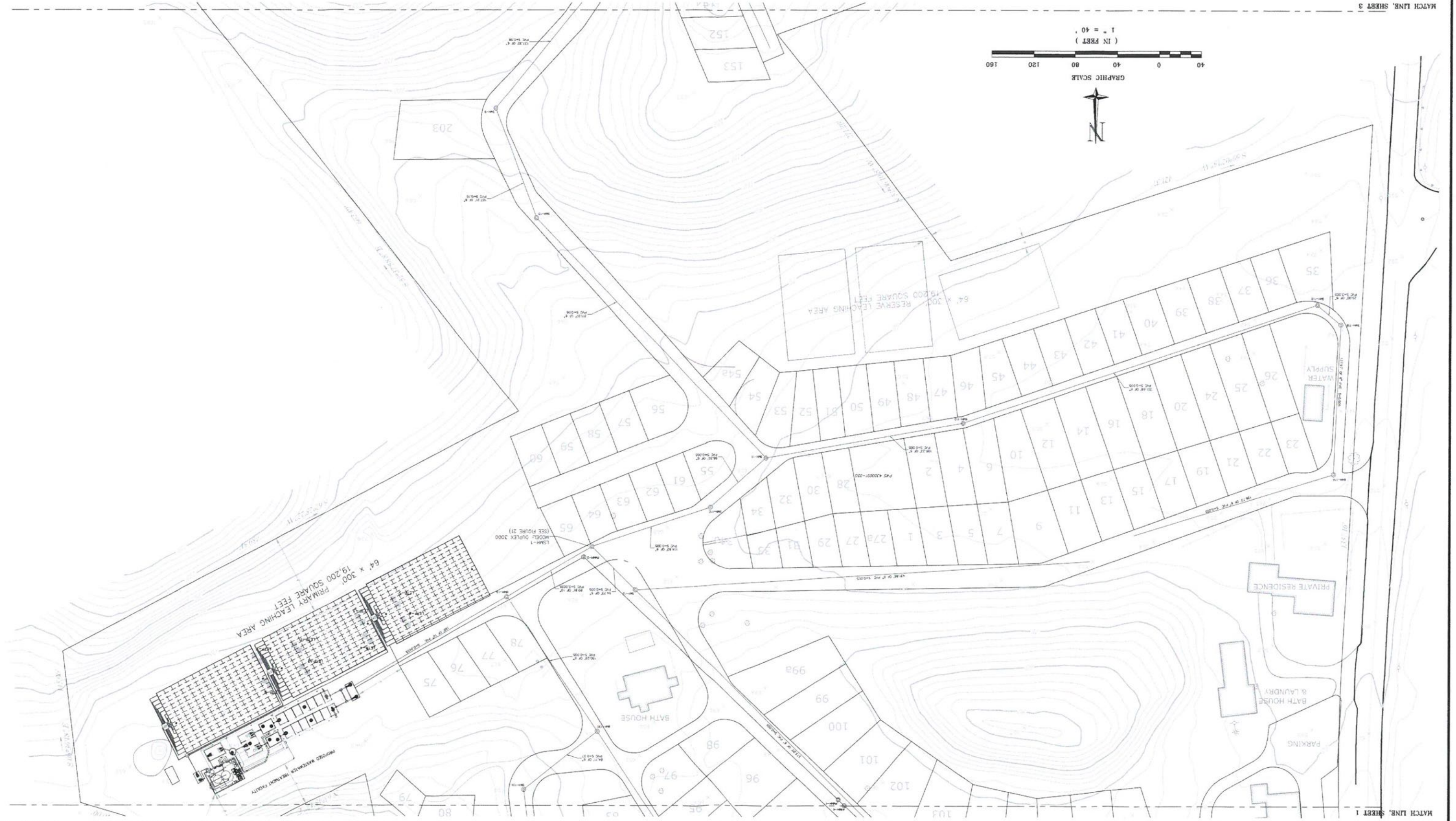
**FIGURE 4**  
Horton's Camping  
Sewer System Layout  
(2 of 3)

| SOURCE                                                                              |
|-------------------------------------------------------------------------------------|
| Base Site Plan Provided by<br>Beals and Thomas, Inc.<br>Site Plan, dated 04/19/2012 |
| CADD FILE<br>P:\083\Turo\010\Wastewater\Plan\Turo-Horton.dwg                        |
| REVIEWED BY: TC                                                                     |
| DATE: 10/11/2013                                                                    |
| DWG SCALE: AS SHOWN                                                                 |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO: 4 OF 21



| SYMBOL   | DESCRIPTION            |
|----------|------------------------|
| (Symbol) | VEGETATION-GRASS-HYDR. |
| (Symbol) | OTHER SYMBOLS          |
| (Symbol) | CLUBS                  |
| (Symbol) | PAVING                 |
| (Symbol) | DRIVEWAY-PARKING       |
| (Symbol) | BARRIERS               |
| (Symbol) | STONE WALL             |
| (Symbol) | CONCRETE               |
| (Symbol) | FIELD CONTROL          |
| (Symbol) | ADDITIONAL POINT       |
| (Symbol) | ADDITIONAL SYMBOLS     |



MATCH LINE, SHEET 3

MATCH LINE, SHEET 1



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| <b>PROJECT NAME AND LOCATION</b><br>Wastewater Collection Treatment and Disposal<br>Troy, Massachusetts<br>46 Highland Rd - 67 S. Highland Rd | <b>CLIENT NAME AND LOCATION</b><br>Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32968 |
|-----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|

**DRAWING TITLE**  
Horton's Camping Sewer System Layout  
(3 of 3)


|                                                                                                |                            |
|------------------------------------------------------------------------------------------------|----------------------------|
| <b>SOURCE</b><br>Base Site Plan Provided by Beale and Thomas, Inc. Site Plan, dated 04/19/2012 | <b>CADD FILE</b>           |
| <b>DRAWN BY:</b> JJC                                                                           | <b>DATE:</b> 10/11/2013    |
| <b>REVIEWED BY:</b> TC                                                                         | <b>DMG SCALE:</b> AS SHOWN |

LICHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO: 5 OF 21

THOMAS CONDON  
LICENSE NO. 41270

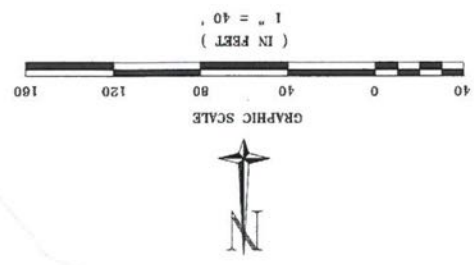


BEALE AND THOMAS, INC.  
SURVEY PROVIDED BY



OTHER SYMBOLS

|                        |                        |
|------------------------|------------------------|
| ROAD                   | ROAD                   |
| PAVED ROAD             | PAVED ROAD             |
| UNPAVED ROAD           | UNPAVED ROAD           |
| DRIVEWAY-PARKING       | DRIVEWAY-PARKING       |
| BARBERS                | BARBERS                |
| WALL                   | WALL                   |
| STONE WALL             | STONE WALL             |
| BUILDINGS              | BUILDINGS              |
| STRUCTURES             | STRUCTURES             |
| FIELD CONTROL          | FIELD CONTROL          |
| VERTICAL POINT         | VERTICAL POINT         |
| HORIZONTAL & ELEVATION | HORIZONTAL & ELEVATION |



MODEL: 3048P-122  
(SEE FIGURE 21)

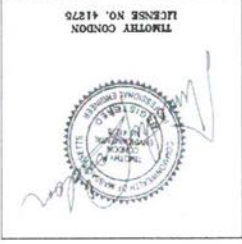
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|                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------|
| PROJECT NAME AND LOCATION<br>Nantuxet Collection Treatment and Disposal<br>46 Highland Rd - 67 S. Highland Rd<br>Troy, Massachusetts |
| CLIENT NAME AND LOCATION<br>Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32968                |

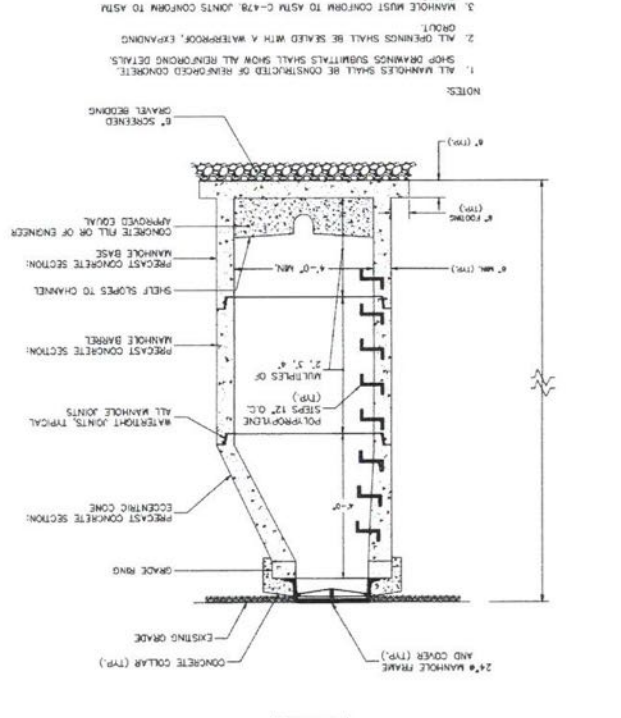
|                                                              |
|--------------------------------------------------------------|
| DRAWING TITLE<br><b>FIGURE 6</b><br>Gravity Sewer<br>Details |
|--------------------------------------------------------------|

|                                      |
|--------------------------------------|
| SOURCE<br>Lightship Engineering, LLC |
| CADD FILE<br>P:\883111\883111.dwg    |
| DRAWN BY: JJC                        |
| REVIEWED BY: TC                      |
| DATE: 10/11/2013                     |
| DWG SCALE: AS SHOWN                  |

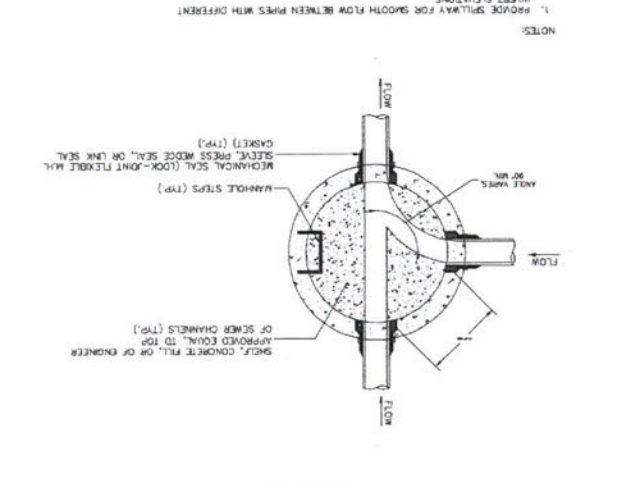
|                                         |
|-----------------------------------------|
| LIGHTSHIP REF. NUMBER<br><b>883.1.1</b> |
| SHEET NO: 6 OF 21                       |



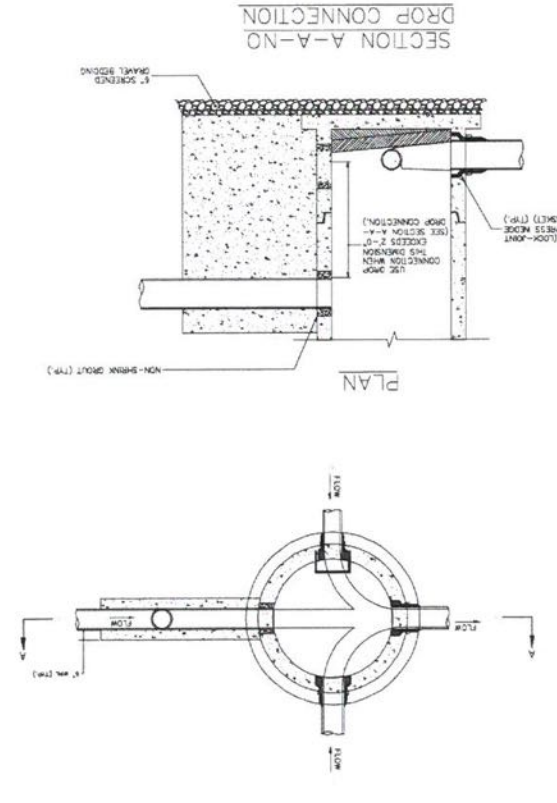
TYPICAL PRECAST CONCRETE MANHOLE



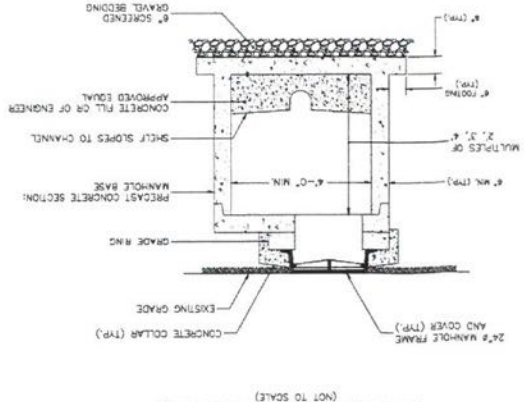
TYPICAL PRECAST CONCRETE MANHOLE AT PIPE JUNCTIONS



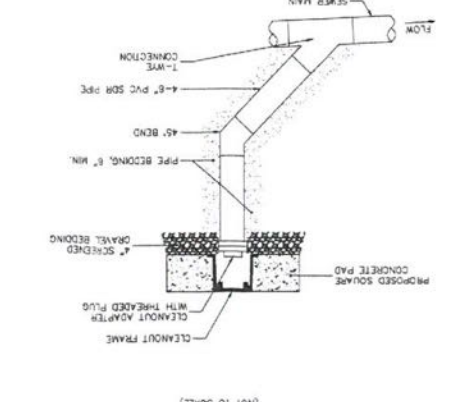
TYPICAL DROP MANHOLE



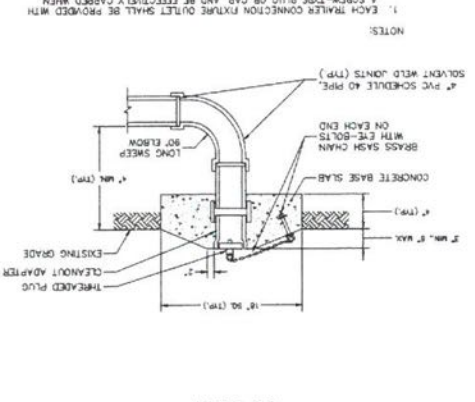
TYPICAL PRECAST CONCRETE SHALLOW MANHOLE



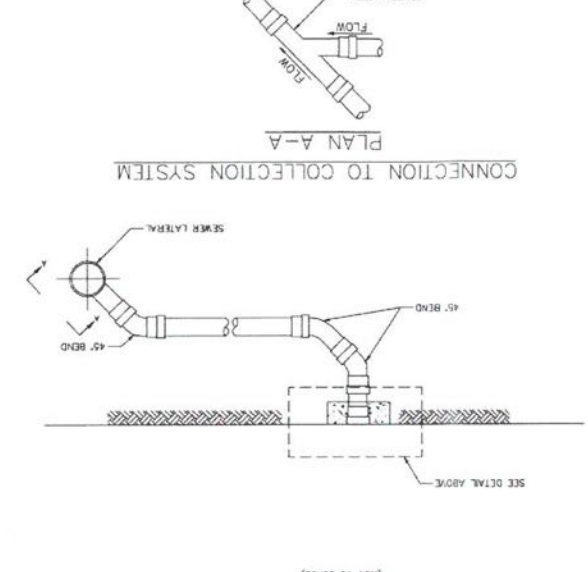
SEWER MAIN CLEANOUT DETAIL



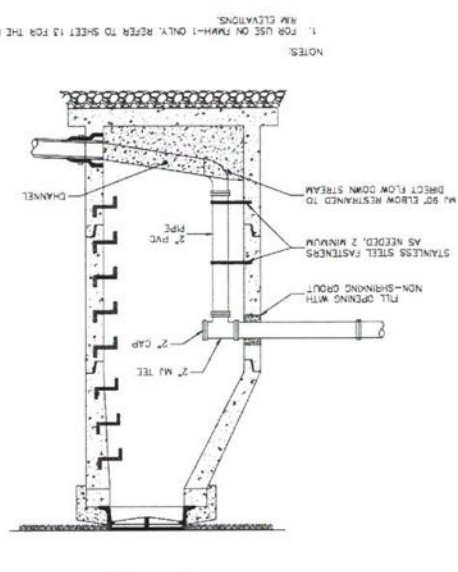
MOBILE HOME SANITARY SEWER CONNECTION



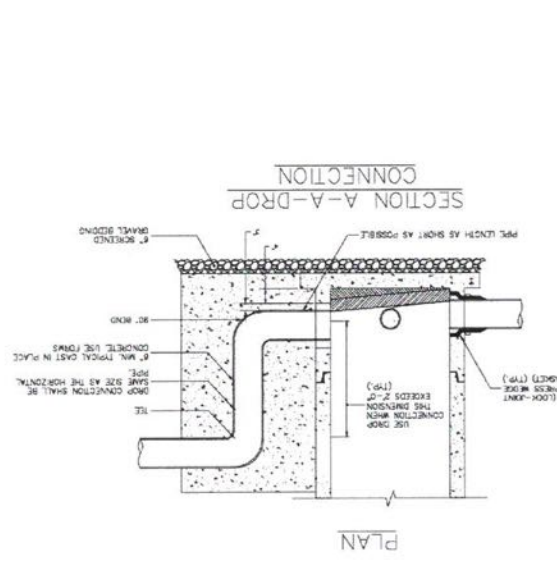
TYPICAL CAMPSITE CONNECTION



FORCE MAIN TO GRAVITY SEWER MANHOLE



SECTION A-A-DROP CONNECTION



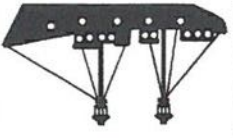
NOTES:  
 1. INVERT ELEVATIONS SHALL BE SMOOTH FLOW BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS.

NOTES:  
 1. FOR USE ON PIPING ONLY, REFER TO SHEET 13 FOR THE INVERT AND INVERT ELEVATIONS.

NOTES:  
 1. ALL MANHOLES SHALL BE CONSTRUCTED OF REINFORCED CONCRETE.  
 2. ALL DRAWINGS SHALL SHOW ALL REINFORCING DETAILS.  
 3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF, EXPANDING GROUT.  
 4. ALL MANHOLES MUST CONFORM TO ASTM C-478. JOINTS CONFORM TO ASTM C-414.

NOTES:  
 1. WHERE THE SPACING OF MANHOLES EXCEEDS 400 FEET, A CLEANOUT SHALL BE PUT IN PLACE.  
 2. A PIPE SIZE OF 4" OR 6" INCHES REQUIRES A 4" INCH CLEANOUT. A PIPE SIZE OF 8" INCHES REQUIRES A 6" INCH CLEANOUT.

NOTES:  
 1. EACH TRAILER CONNECTION PICTURE OUTLET SHALL BE PROVIDED WITH A SCREW-TYPE PLUG OR CAP, AND BE EFFECTIVELY CAPPED WHEN NOT IN USE.  
 2. A PIPE SIZE OF 4" OR 6" INCHES REQUIRES A 4" INCH CLEANOUT. A PIPE SIZE OF 8" INCHES REQUIRES A 6" INCH CLEANOUT.



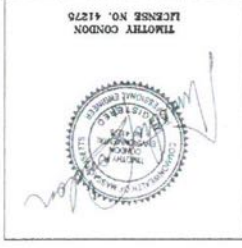
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| PROJECT NAME AND LOCATION                                                                                 |
|-----------------------------------------------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>40 Highland Rd - 67 S. Highland Rd<br>Troy, Massachusetts |
| CLIENT NAME AND LOCATION                                                                                  |
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southeast<br>Vero Beach, Florida 32966                 |

| DRAWING TITLE                     |
|-----------------------------------|
| Force Main<br>Details<br>FIGURE 7 |

| SOURCE                                               |
|------------------------------------------------------|
| Lightship Engineering, LLC                           |
| CADD FILE                                            |
| P:\001\Draw\2010\Wastewater\Draw\Draw-Force Main.dwg |
| DRAWN BY:                                            |
| JJC                                                  |
| REVIEWED BY:                                         |
| TC                                                   |
| DATE:                                                |
| 10/11/2013                                           |
| DMG SCALE:                                           |
| AS SHOWN                                             |

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**883.1.1**  
 SHEET NO: 7 OF 21

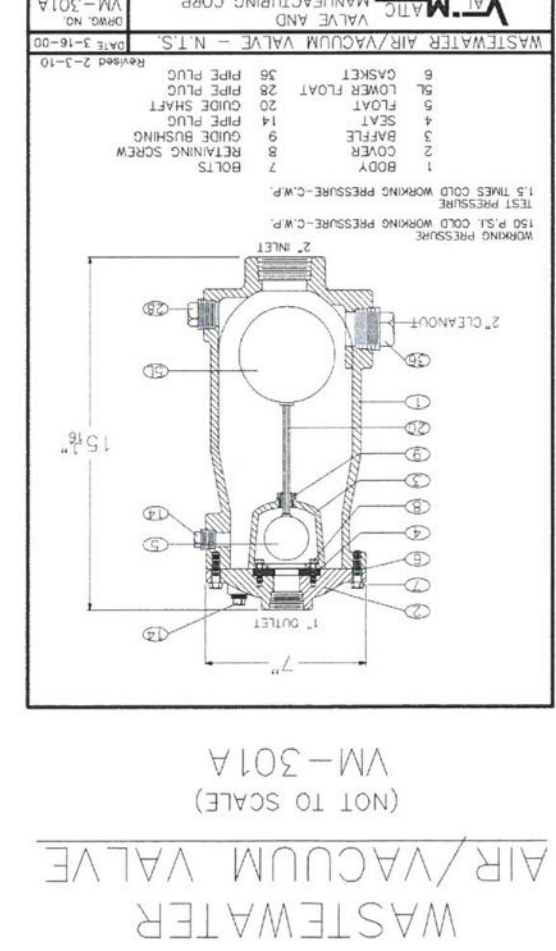
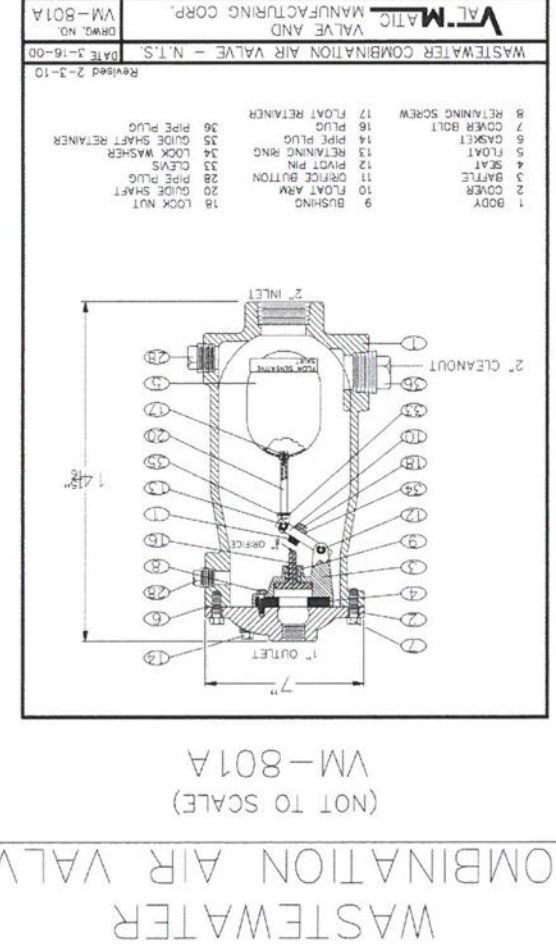
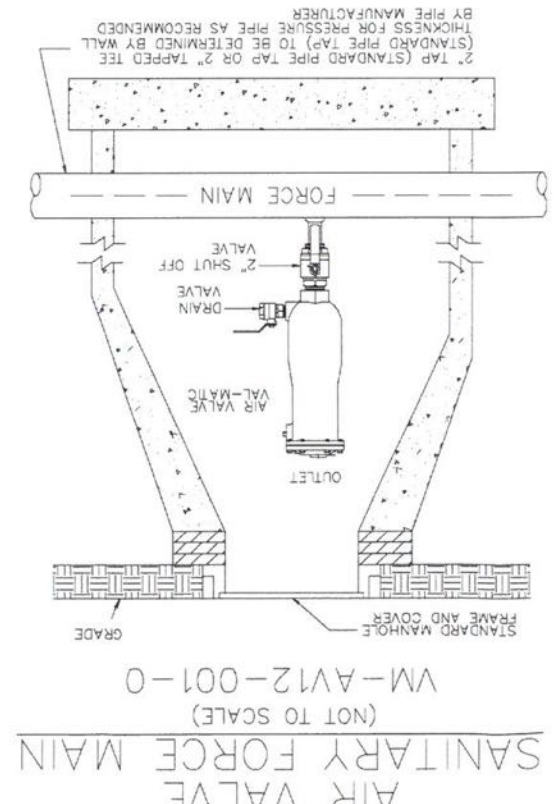
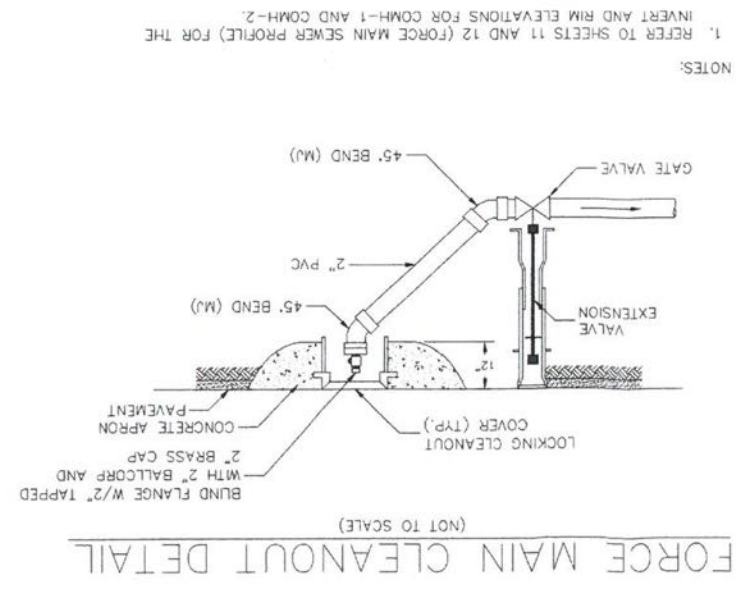
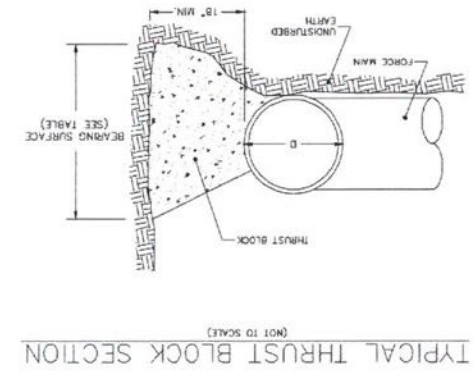
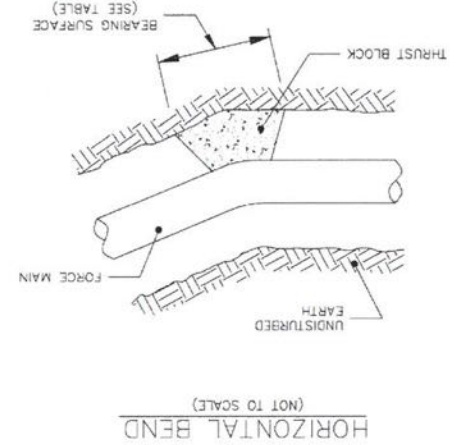


NOTES:

1. EXPOSE THRUST BLOCK TO UNDISTURBED SOIL EXCAVATION INTO TRENCH WALL MAY BE NECESSARY.
2. FORM VERTICAL SURFACES OF POURED CONCRETE THRUST BLOCKS EXCEPT ON BEARING SURFACE.
3. ENGAGE ALL FITTINGS IN POLYETHYLENE WEAFF, DO NOT ALLOW CONCRETE TO DIRECTLY CONTACT JOINTS OR FITTING BOLTS.

| DIAMETER OF BENDS [IN.] | BEARING SURFACE DIMENSIONS [IN.] |
|-------------------------|----------------------------------|
| PIPE, D [IN.]           | 45' 49' 54' 57'                  |
| 2                       | 7'7" 8'8" 9'9" 10'10"            |
| 3                       | 9'9" 9'9" 10'10" 11'11"          |
| 4                       | 10'10" 10'10" 11'11" 11'11"      |

MINIMUM SURFACE AREA BASED ON WASTEWATER PRESSURE OF 150 P.S.I. AND ALLOWABLE SOIL PRESSURE OF 1,000 P.S.F.



**LIGHTSHIP ENGINEERING**  
 ENVIRONMENTAL & LAND-USE CONSULTANTS  
 39 Industrial Park Road • Unit C • Plymouth, Massachusetts 02360 • TEL: (508) 830-3344 • FAX: (508) 830-3360

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| PROJECT NAME AND LOCATION                    |
|----------------------------------------------|
| Wastewater Collection Treatment and Disposal |
| 48 Highland Rd - 67 S. Highland Rd           |
| Troy, Massachusetts                          |

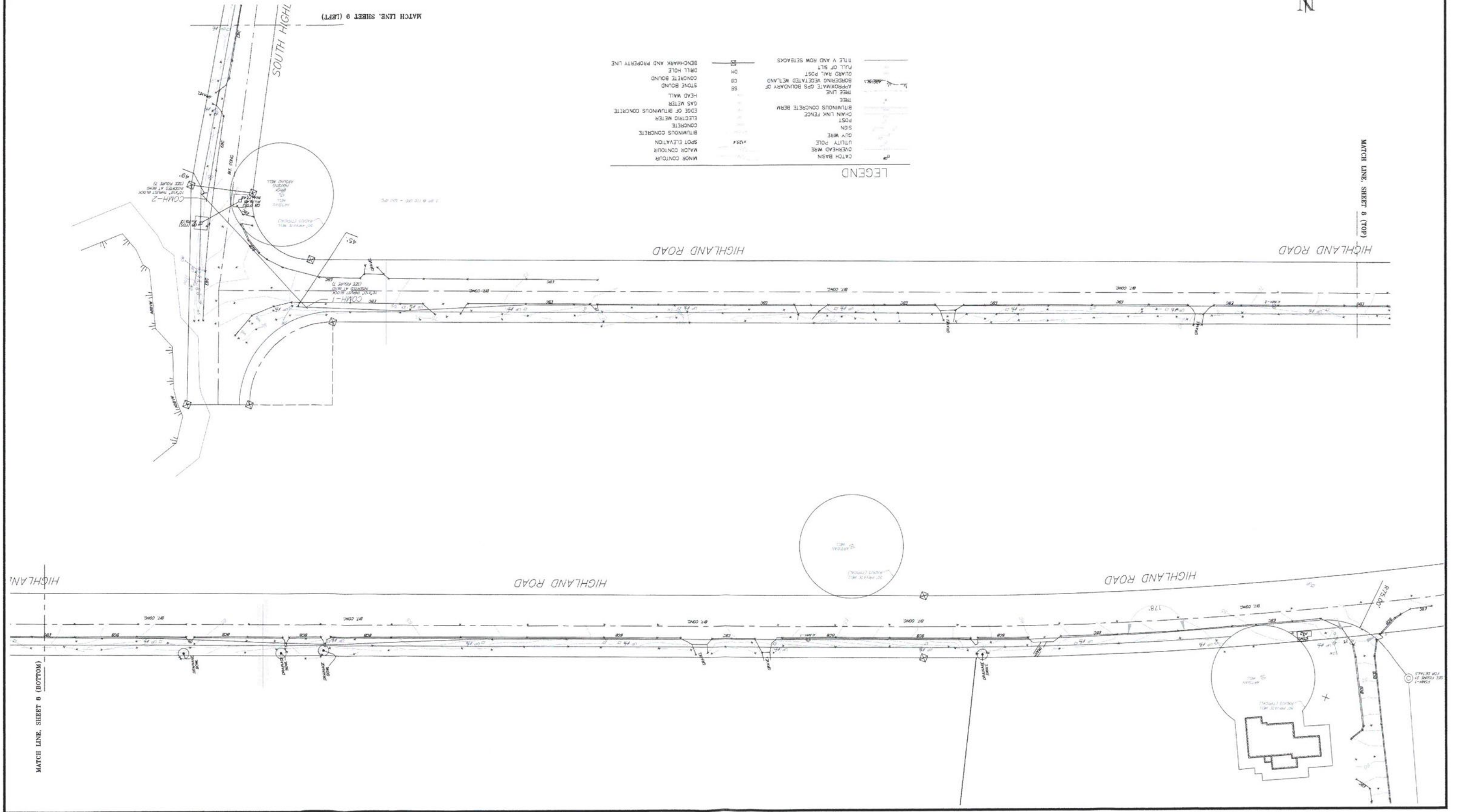
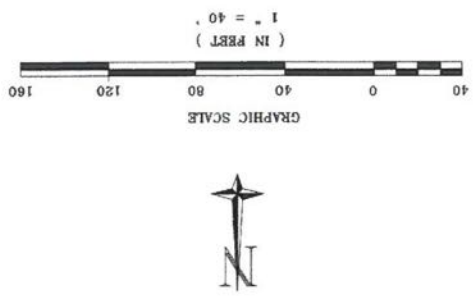
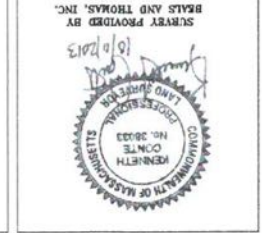
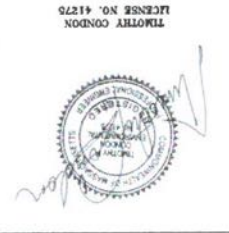
| CLIENT NAME AND LOCATION        |
|---------------------------------|
| Adventure Bound Camping Resorts |
| 110 43RD Avenue Southwest       |
| Vero Beach, Florida 32968       |

**FIGURES 8**  
 Force Main  
 Sewer Plan  
 (1 of 2)

| SOURCE                                         |
|------------------------------------------------|
| Lightship Engineering, LLC                     |
| CADD FILE                                      |
| P:\003\Troy\003\Wastewater\Plan\Force-Main.dwg |

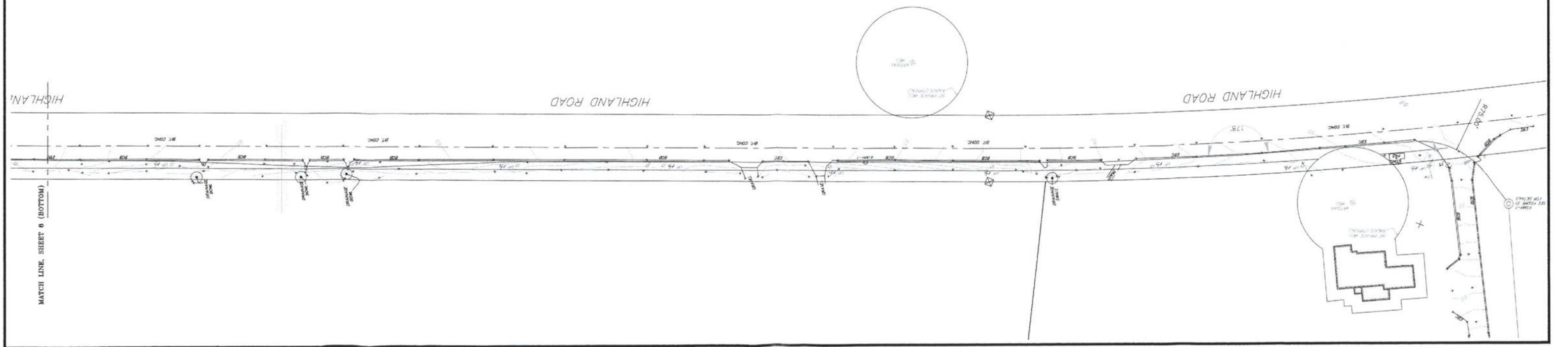
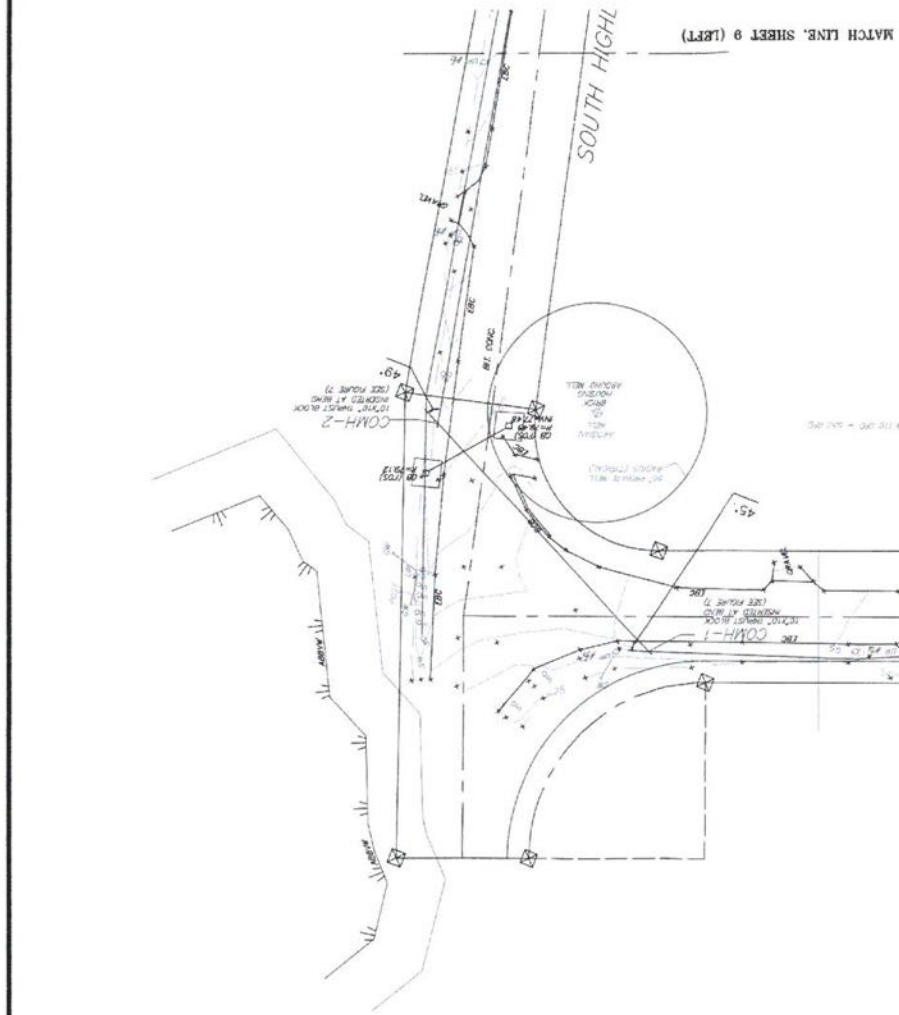
| DRAWN BY:    |
|--------------|
| JJC          |
| REVIEWED BY: |
| TC           |
| DATE:        |
| 10/11/2013   |
| DWG SCALE:   |
| AS SHOWN     |

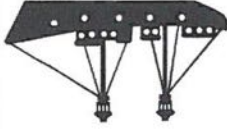
LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 8 OF 21



**LEGEND**

|                                                         |     |
|---------------------------------------------------------|-----|
| FILE V AND ROW SETBACKS                                 | --- |
| FULL OF SILT                                            | --- |
| CLAYD RAIL POST                                         | --- |
| BORDERING VEGETATED WETLAND                             | --- |
| APPROXIMATE GPS BOUNDARY OF TREE LINE                   | --- |
| CHAIN LINK FENCE                                        | --- |
| BITUMINOUS CONCRETE BERM                                | --- |
| CATCH BASIN                                             | ○   |
| OVERHEAD WIRE                                           | --- |
| UTILITY POLE                                            | --- |
| SIGN                                                    | --- |
| POST                                                    | --- |
| CHAIN LINK FENCE                                        | --- |
| BITUMINOUS CONCRETE BERM                                | --- |
| TREE LINE                                               | --- |
| APPROXIMATE GPS BOUNDARY OF BORDERING VEGETATED WETLAND | --- |
| CLAYD RAIL POST                                         | --- |
| FULL OF SILT                                            | --- |
| FILE V AND ROW SETBACKS                                 | --- |





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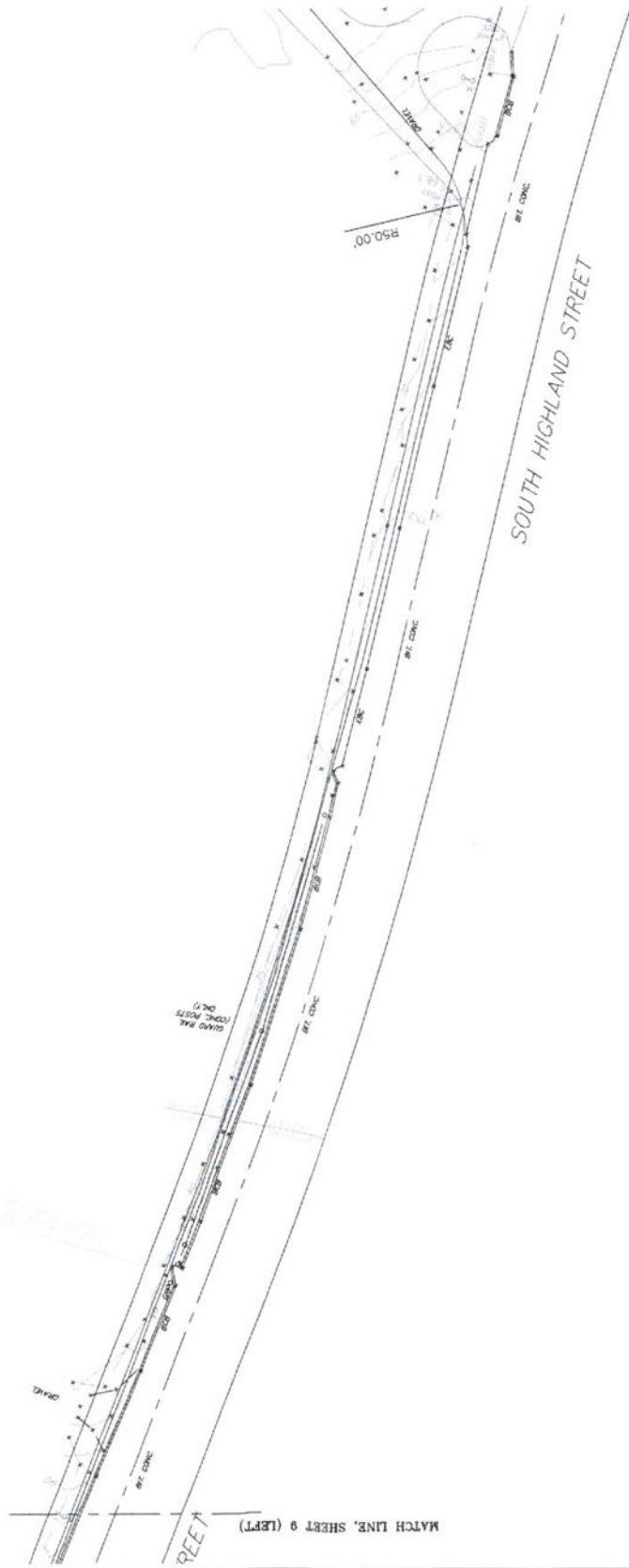
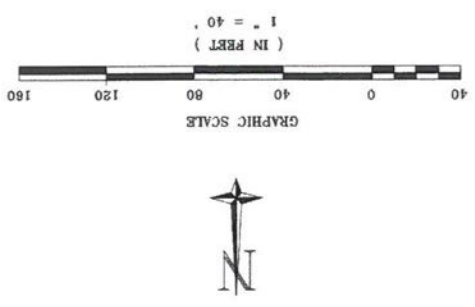
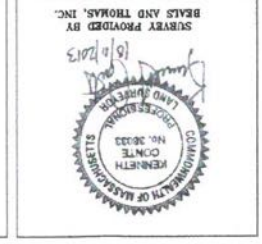
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|                                  |                                                                                           |
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| <b>PROJECT NAME AND LOCATION</b> | Wastewater Collection Treatment and Disposal<br>Troy, Massachusetts                       |
| <b>CLIENT NAME AND LOCATION</b>  | Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32988 |

**DRAWING TITLE**  
Force Main  
Sewer Plan  
(2 of 2)

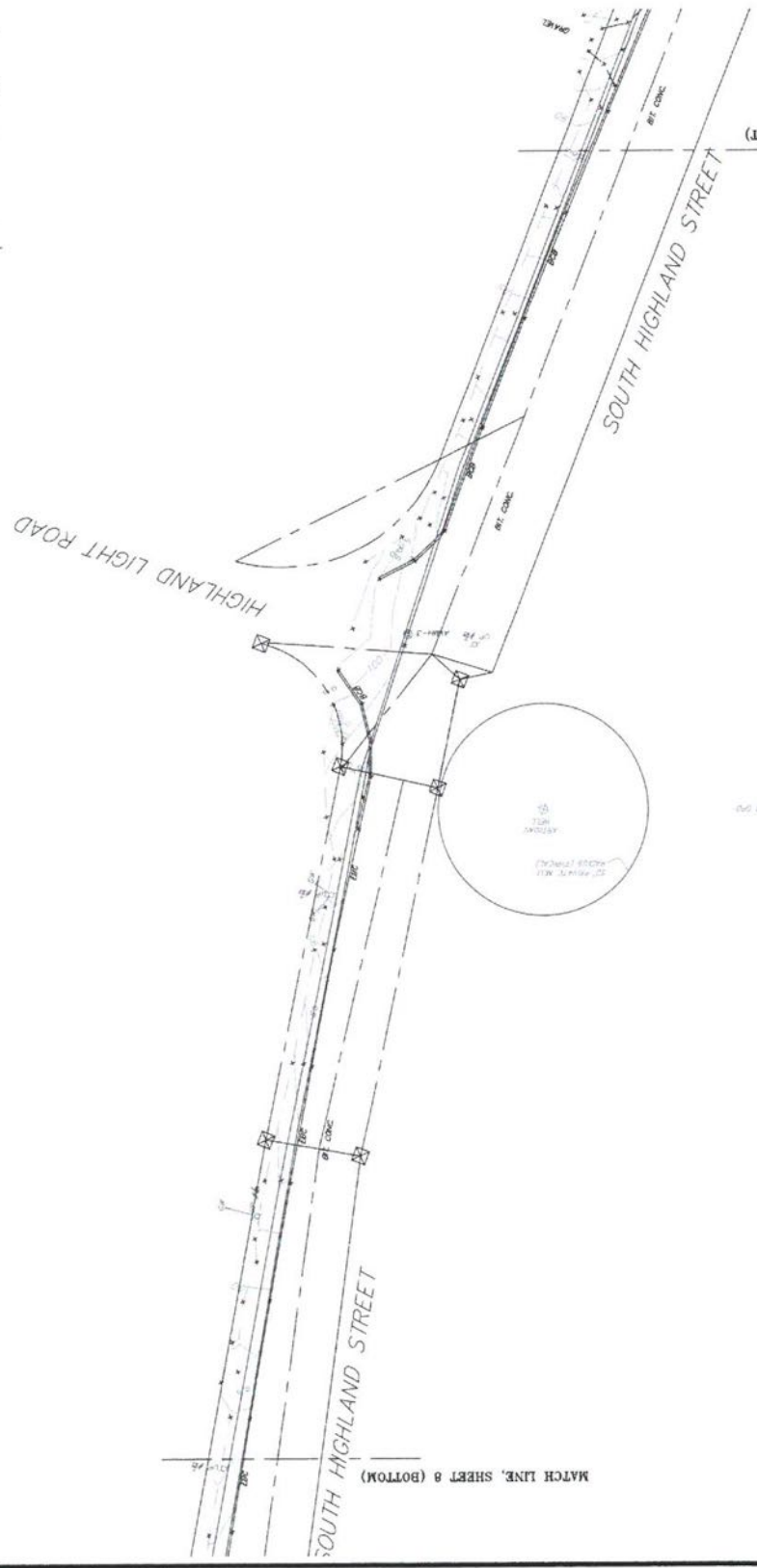
|                     |                                                 |
|---------------------|-------------------------------------------------|
| <b>SOURCE</b>       | Lightship Engineering, LLC                      |
| <b>CADD FILE</b>    | P:\000_Troy\2013\Wastewater_Troy\Troy-Final.dwg |
| <b>DRAWN BY:</b>    | JJC                                             |
| <b>REVIEWED BY:</b> | TC                                              |
| <b>DATE:</b>        | 10/11/2013                                      |
| <b>DWG SCALE:</b>   | AS SHOWN                                        |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO: 9 OF 21



**LEGEND**

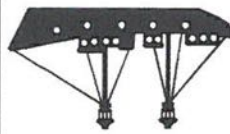
|                            |           |                             |           |
|----------------------------|-----------|-----------------------------|-----------|
| MINOR CONTOUR              | 1/8" = 1' | CATCH BASIN                 | 1/8" = 1' |
| MAJOR CONTOUR              | 1/4" = 1' | OVERHEAD WIRE               | 1/8" = 1' |
| SPOT ELEVATION             | 1/8" = 1' | UTILITY POLE                | 1/8" = 1' |
| BRUNNINGS CONCRETE         | 1/8" = 1' | UTILITY WIRE                | 1/8" = 1' |
| CONCRETE                   | 1/8" = 1' | POST                        | 1/8" = 1' |
| ELECTRIC WIRE              | 1/8" = 1' | CHAIN LINK FENCE            | 1/8" = 1' |
| EDGE OF BRUNNINGS CONCRETE | 1/8" = 1' | BRUNNINGS CONCRETE BERM     | 1/8" = 1' |
| HEAD WALL                  | 1/8" = 1' | THREE LINE                  | 1/8" = 1' |
| STONE BOUND                | 1/8" = 1' | APPROXIMATE GPS BOUNDARY OF | 1/8" = 1' |
| CONCRETE BOUND             | 1/8" = 1' | BOGSSING VEGETATED WETLAND  | 1/8" = 1' |
| DUAL RAIL POST             | 1/8" = 1' | QUAD RAIL POST              | 1/8" = 1' |
| FULL OF SILT               | 1/8" = 1' | BENCHMARK AND PROPERTY LINE | 1/8" = 1' |
| BITLE V AND ROW SETBACKS   | 1/8" = 1' |                             |           |



MATCH LINE, SHEET 9 (LEFT)

MATCH LINE, SHEET 8 (BOTTOM)

MATCH LINE, SHEET 9 (RIGHT)



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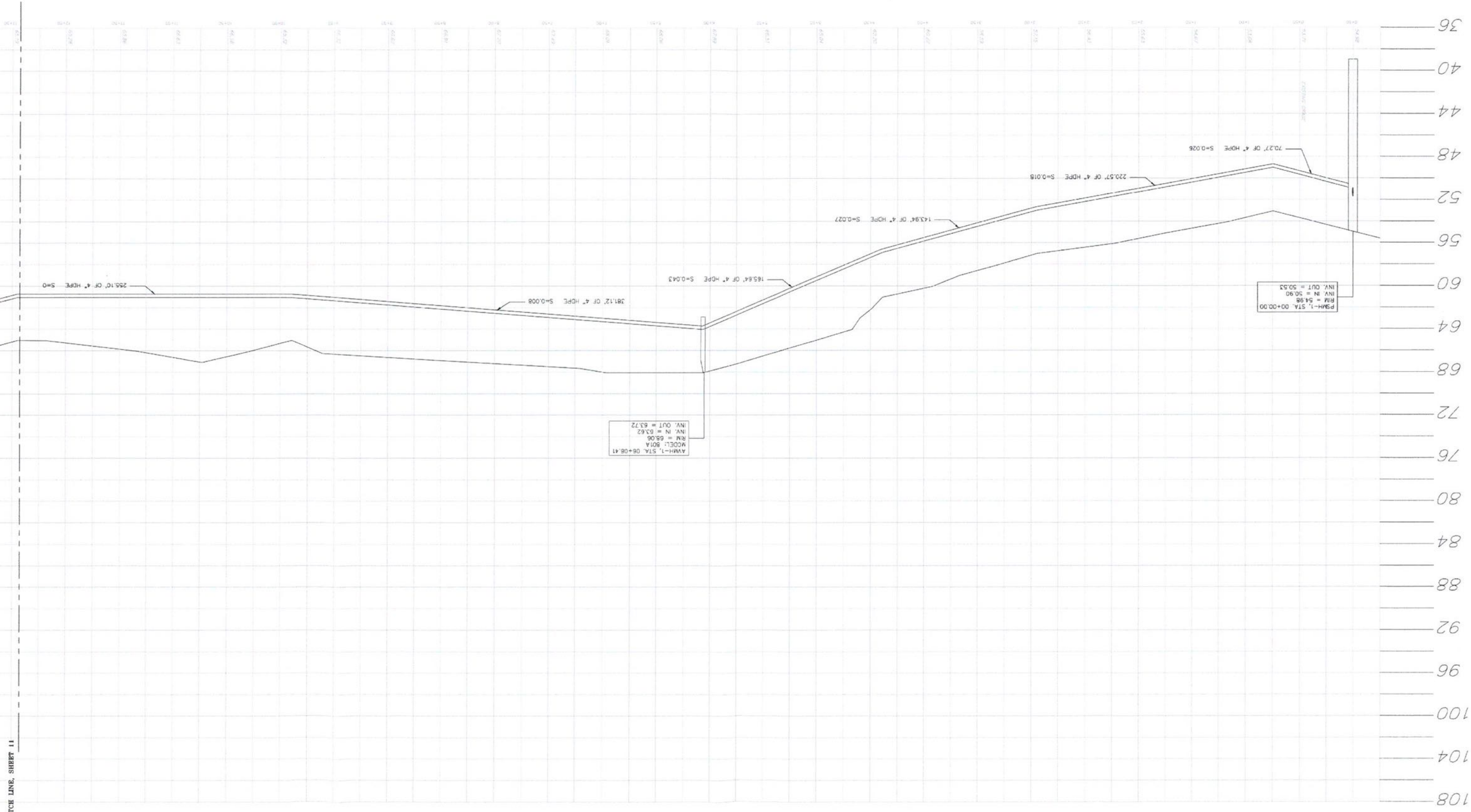
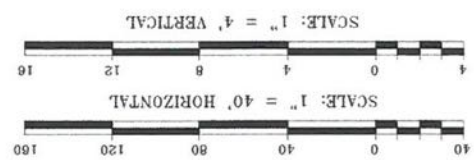
| PROJECT NAME AND LOCATION                                                                                  |
|------------------------------------------------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>46 Highland Rd - 67 S. Highland Rd<br>Truro, Massachusetts |
| CLIENT NAME AND LOCATION                                                                                   |
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32908                  |

**FIGURE 10**  
Force Main  
Sewer Profile  
(1 of 5)

SOURCE  
Lightship Engineering, LLC  
CADD FILE  
P:\add\truro\2010\Rawwater\Plan\Truro-Profile.dwg

DRAWN BY: JJC  
REVIEWED BY: TC  
DATE: 10/11/2013  
DWG SCALE: AS SHOWN

LIGHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO: 10 OF 21



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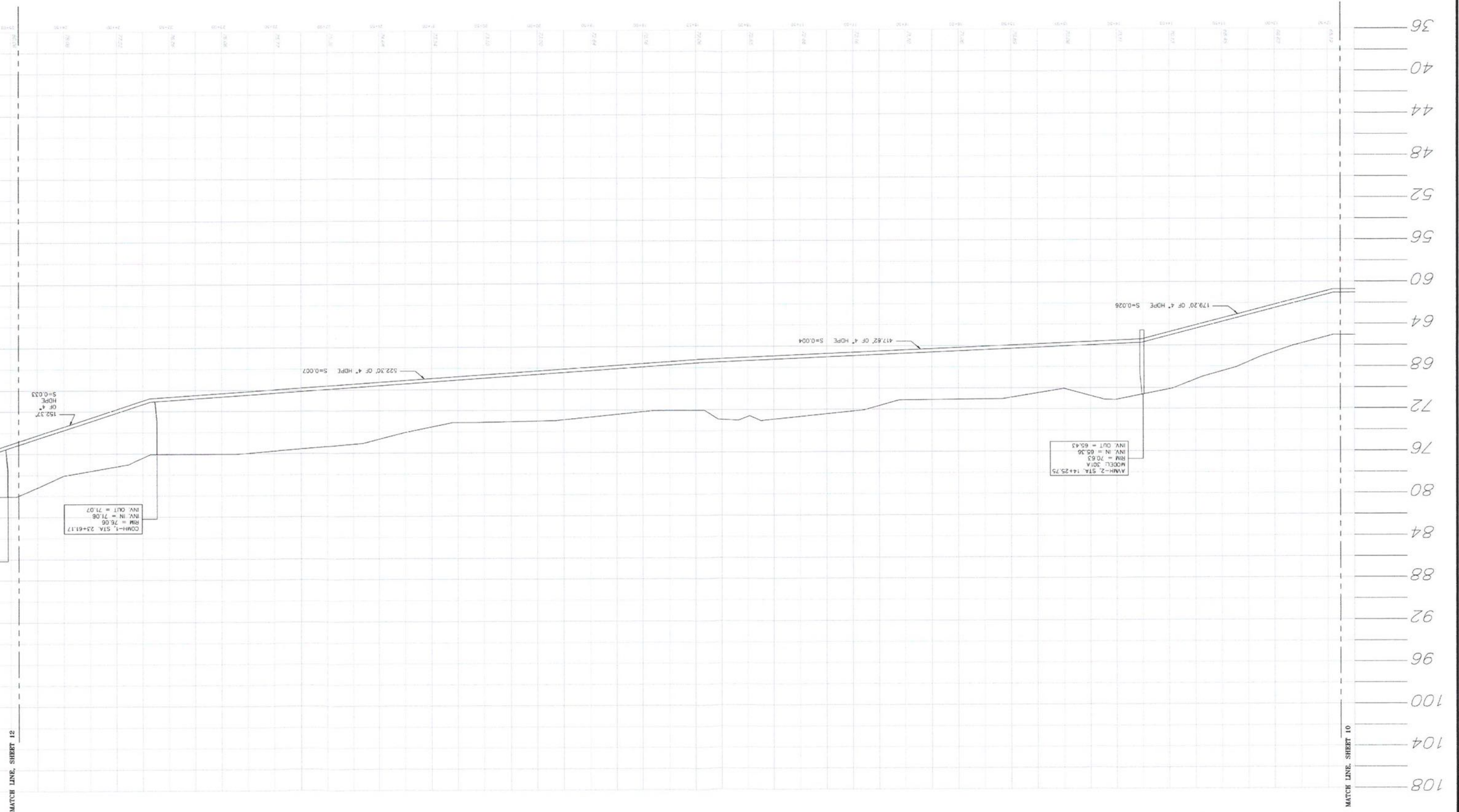
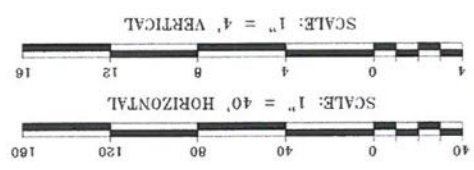
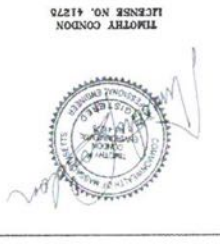
| NO. | DATE | DESCRIPTION |
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|-----------------------------------------------------------------------------------------------------------------------------------------------|
| <b>PROJECT NAME AND LOCATION</b><br>Wastewater Collection Treatment and Disposal<br>46 Highland Rd - 67 S. Highland Rd<br>Troy, Massachusetts |
| <b>CLIENT NAME AND LOCATION</b><br>Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32966                  |

**DRAWING TITLE**  
**FORCE MAIN**  
**Sewer Profile**  
 (2 of 5)

|                                                                    |
|--------------------------------------------------------------------|
| <b>SOURCE</b><br>Lightship Engineering, LLC                        |
| <b>CADD FILE</b><br>P:\083\Troy\2010\Wastewater\Plan\Troy-Head.dwg |
| <b>DRAWN BY:</b><br>JJC                                            |
| <b>REVIEWED BY:</b><br>JC                                          |
| <b>DATE:</b><br>10/11/2013                                         |
| <b>DWG SCALE:</b><br>AS SHOWN                                      |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 11 OF 21



MATCH LINE, SHEET 12

MATCH LINE, SHEET 10



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| <b>PROJECT NAME AND LOCATION</b><br>Wastewater Collection Treatment and Disposal<br>Troy, Massachusetts<br>48 Highland Rd - 67 S. Highland Rd | <b>CLIENT NAME AND LOCATION</b><br>Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32968 |
|-----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|

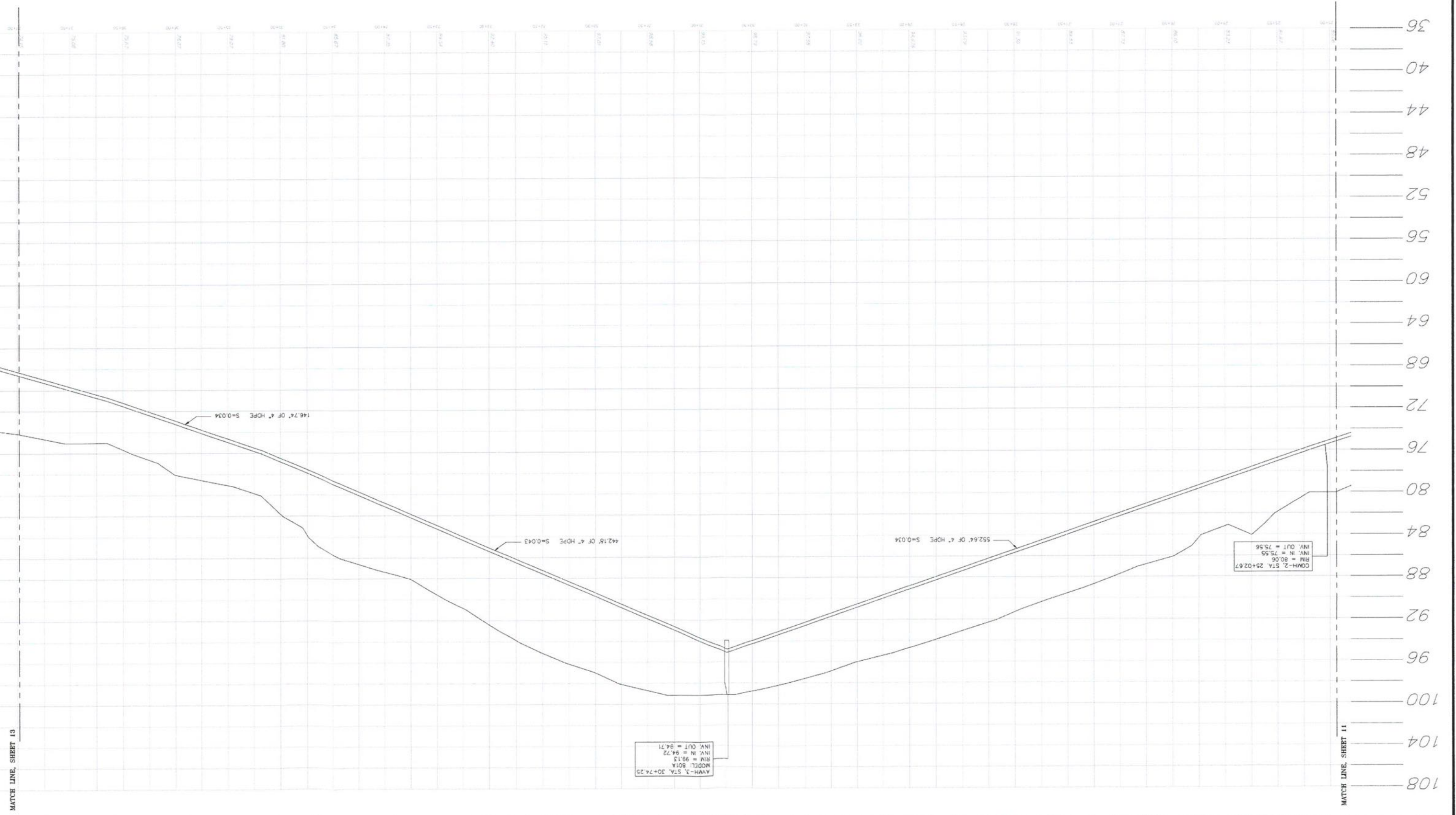
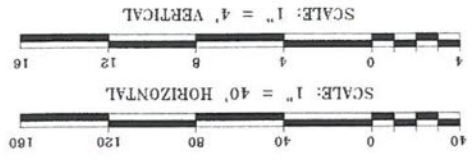
**FIGURE 12**  
**Force Main**  
**Sewer Profile**  
 (3 of 5)

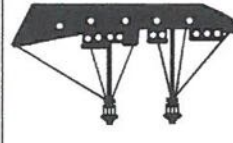
|                                             |                                                                         |
|---------------------------------------------|-------------------------------------------------------------------------|
| <b>SOURCE</b><br>Lightship Engineering, LLC | <b>CADD FILE</b><br>P:\000\Troy\2010\Adventure\Plan\Trace-ForceMain.dwg |
| <b>REVIEWED BY:</b> TC                      | <b>DRAWN BY:</b> JJC                                                    |
| <b>DATE:</b> 10/11/2013                     | <b>DMG SCALE:</b> AS SHOWN                                              |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 12 OF 21



TIMOTHY CONDON  
 LICENSE NO. 41270





**LIGHTSHIP**  
ENGINEERING

ENVIRONMENTAL & LAND-USE CONSULTANTS  
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| NO. | DATE | DESCRIPTION |
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| PROJECT NAME AND LOCATION                    |
|----------------------------------------------|
| Wastewater Collection Treatment and Disposal |
| 46 Highland Rd - 67 S. Highland Rd           |
| Truro, Massachusetts                         |

| CLIENT NAME AND LOCATION        |
|---------------------------------|
| Adventure Bound Camping Resorts |
| 110 43RD Avenue Southwest       |
| Vero Beach, Florida 32968       |

**DRAWING TITLE**  
Force Main  
Sewer Profile  
(4 of 5)

**FIGURE 13**

| SOURCE                     |
|----------------------------|
| Lightship Engineering, LLC |

| CADD FILE                                            |
|------------------------------------------------------|
| M:\2013\Truro\1013\Wastewater\Profile\Truro-1013.dwg |

| REVIEWED BY: |
|--------------|
| JJC          |

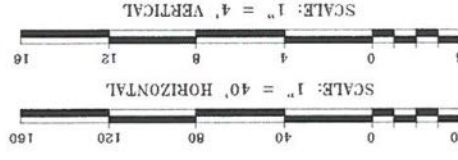
| DATE:      |
|------------|
| 10/11/2013 |

| DRG SCALE: |
|------------|
| AS SHOWN   |

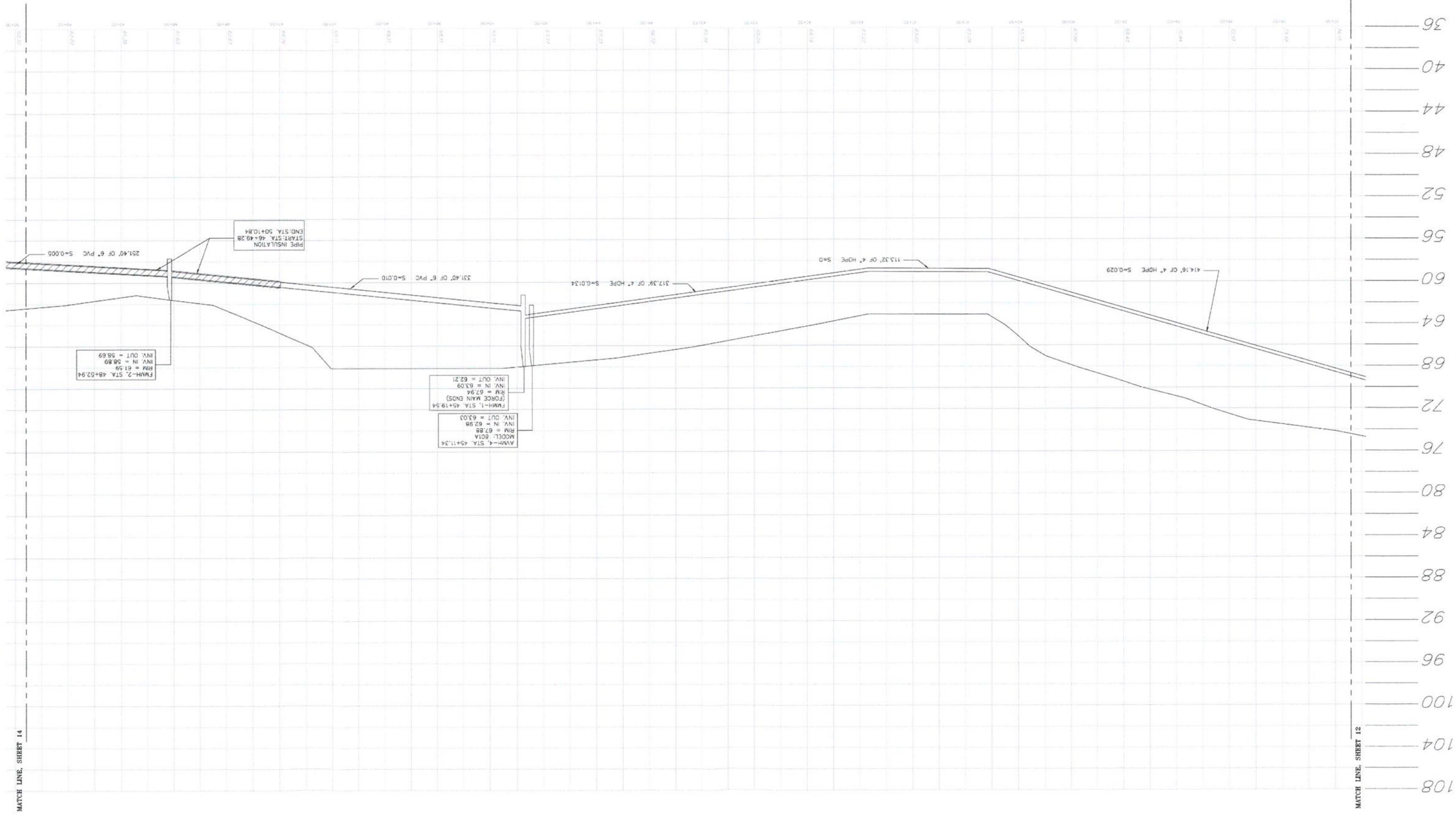
LICHTSHIP REF. NUMBER  
**883.1.1**

SHEET NO.: 13 OF 21

THOMAS CONDON  
LICENSE NO. 41275



DETAIL NOTES:  
1. THIS PLAN AND PROFILE IS PART OF A SET OF DRAWINGS.



MATCH LINE, SHEET 14

MATCH LINE, SHEET 12



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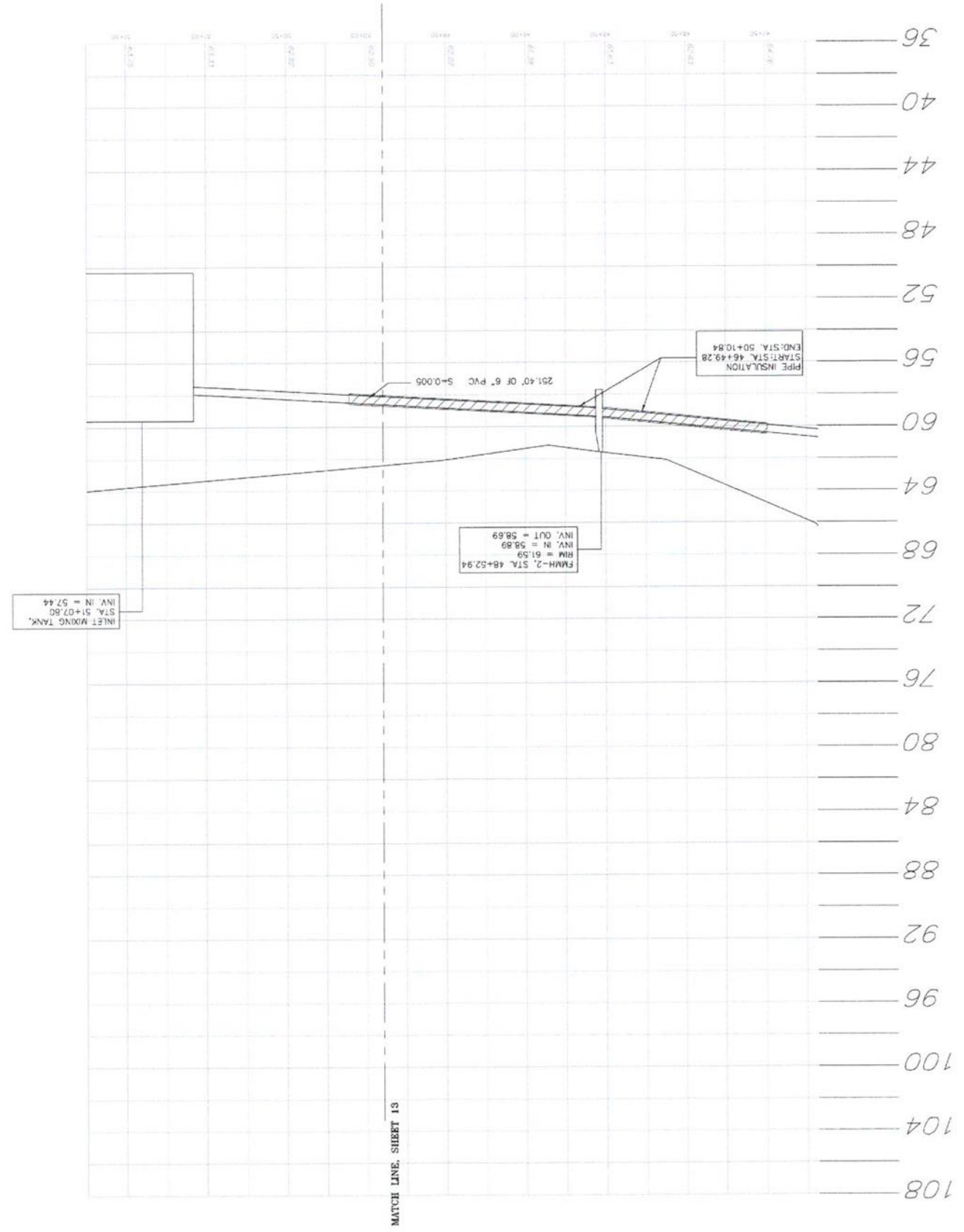
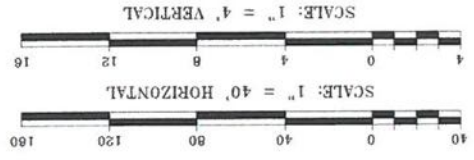
| NO. | DATE  | DESCRIPTION    |
|-----|-------|----------------|
| 1   | 02/15 | ADD INLET TANK |

| PROJECT NAME AND LOCATION                                                                                  |
|------------------------------------------------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>48 Highland Rd - 87 S. Highland Rd<br>Truro, Massachusetts |
| CLIENT NAME AND LOCATION                                                                                   |
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32908                  |

**FIGURE 14**  
 Force Main  
 Sewer Profile  
 (5 of 5)

| SOURCE                                         |
|------------------------------------------------|
| Lightship Engineering, LLC                     |
| CADD FILE                                      |
| P:\AS\Truro\2015\Wastewater\Truro-Figure14.dwg |
| DRAWN BY:                                      |
| JJC                                            |
| REVIEWED BY:                                   |
| TC                                             |
| DATE:                                          |
| 10/11/2013                                     |
| DMG SCALE:                                     |
| AS SHOWN                                       |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 14 OF 21





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| NO. | DATE  | DESCRIPTION       |
|-----|-------|-------------------|
| 1   | 01/15 | UPDATE WTP LAYOUT |
| 2   | 02/15 | UPDATE WTP LAYOUT |
| 3   | 03/16 | RESIZE SAS        |


| PROJECT NAME AND LOCATION                                                                                  |
|------------------------------------------------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>46 Highland Rd - 67 S. Highland Rd<br>Truro, Massachusetts |

| CLIENT NAME AND LOCATION                                                                  |
|-------------------------------------------------------------------------------------------|
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32988 |

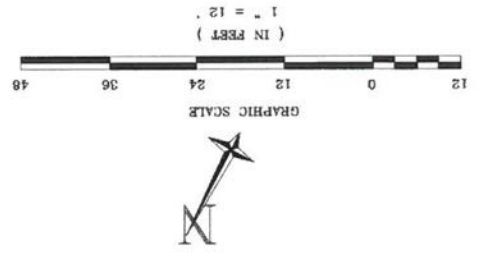
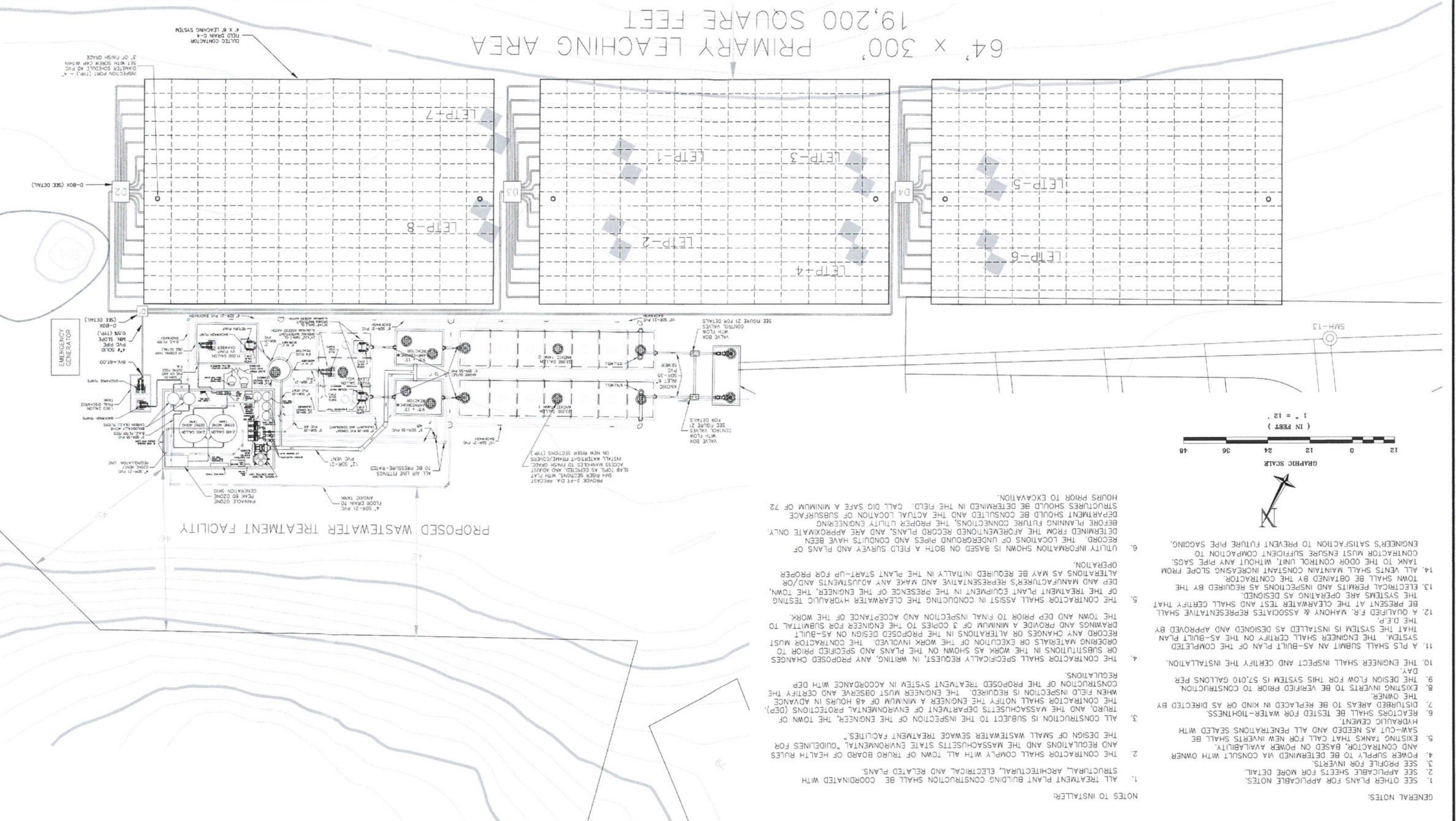
| SOURCE                                                                              |
|-------------------------------------------------------------------------------------|
| Base Site Plan Provided by<br>Beals and Thomas, Inc.<br>Site Plan, dated 04/19/2012 |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 15 OF 21

THOMAS CONDON  
 LICENSE NO. 41275



GENERAL NOTES:  
 1. SEE OTHER PLANS FOR APPLICABLE NOTES.  
 2. SEE APPLICABLE SHEETS FOR MORE DETAIL.  
 3. SEE PROFILE FOR INVERTS.  
 4. POWER SUPPLY TO BE DETERMINED VIA CONSULT WITH OWNER AND CONTRACTOR, BASED ON POWER AVAILABILITY.  
 5. EXISTING TANKS THAT CALL FOR NEW INVERTS SHALL BE SAW-CUT AS NEEDED AND ALL PENETRATIONS SEALED WITH HYDRAULIC CEMENT.  
 6. REACTORS SHALL BE TESTED FOR WATER-TIGHTNESS.  
 7. DISTURBED AREAS TO BE REPLACED IN KIND OR AS DIRECTED BY THE OWNER.  
 8. EXISTING INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION. THE DESIGN FLOW FOR THIS SYSTEM IS 57,010 GALLONS PER DAY.  
 9. THE ENGINEER SHALL INSPECT AND CERTIFY THE INSTALLATION.  
 10. THE CONTRACTOR SHALL SUBMIT AN AS-BUILT PLAN OF THE COMPLETED SYSTEM.  
 11. A PLS SHALL SUBMIT AN AS-BUILT PLAN ON THE AS-BUILT PLAN THAT THE SYSTEM IS INSTALLED AS DESIGNED AND APPROVED BY THE D.E.P.  
 12. A QUALIFIED F.R. MAHONY & ASSOCIATES REPRESENTATIVE SHALL BE PRESENT AT THE CLEARWATER TEST AND SHALL CERTIFY THAT THE SYSTEMS ARE OPERATING AS DESIGNED.  
 13. ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY THE TOWN SHALL BE OBTAINED BY THE CONTRACTOR.  
 14. ALL VENTS SHALL MAINTAIN CONSTANT INCREASING SLOPE FROM TANK TO THE ODOR CONTROL UNIT, WITHOUT ANY PIPE SAGS. CONTRACTOR MUST ENSURE SUFFICIENT COMPACTON TO ENGINEER'S SATISFACTION TO PREVENT FUTURE PIPE SAGGING.  
 15. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS, AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL DIG SAFE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION.



- NOTES TO INSTALLER:
1. ALL TREATMENT PLANT BUILDING CONSTRUCTION SHALL BE COORDINATED WITH STRUCTURAL, ARCHITECTURAL, ELECTRICAL AND RELATED PLANS.
  2. THE CONTRACTOR SHALL COMPLY WITH ALL TOWN OF TRURO BOARD OF HEALTH RULES AND REGULATIONS AND THE MASSACHUSETTS STATE ENVIRONMENTAL "GUIDELINES FOR THE DESIGN OF SMALL WASTEWATER SEWAGE TREATMENT FACILITIES."
  3. ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF THE ENGINEER, THE TOWN OF TRURO, AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTIONS (DEP). THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE WHEN FIELD INSPECTION IS REQUIRED. THE ENGINEER MUST OBSERVE AND CERTIFY THE CONSTRUCTION OF THE PROPOSED TREATMENT SYSTEM IN ACCORDANCE WITH DEP REGULATIONS.
  4. THE CONTRACTOR SHALL SPECIFICALLY REQUEST, IN WRITING, ANY PROPOSED CHANGES OR SUBSTITUTIONS IN THE WORK AS SHOWN ON THE PLANS AND SPECIFIED PRIOR TO ORDERING MATERIALS OR EXECUTION OF THE WORK INVOLVED. THE CONTRACTOR MUST RECORD ANY CHANGES OR ALTERATIONS IN THE PROPOSED DESIGN ON AS-BUILT DRAWINGS AND PROVIDE A MINIMUM OF 3 COPIES TO THE ENGINEER FOR SUBMITTAL TO THE TOWN AND DEP PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE WORK.
  5. THE CONTRACTOR SHALL ASSIST IN CONDUCTING THE CLEARWATER HYDRAULIC TESTING OF THE TREATMENT PLANT EQUIPMENT IN THE PRESENCE OF THE ENGINEER, THE TOWN, DEP AND MANUFACTURER'S REPRESENTATIVE AND MAKE ANY ADJUSTMENTS AND/OR ALTERATIONS AS MAY BE REQUIRED INITIALLY IN THE PLANT START-UP FOR PROPER OPERATION.
  6. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS, AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL DIG SAFE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION.

OBSERVATION HOLE DATA

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-24'      | B         | 10 in 2/1 |            |           |         |
| 24-48'     | C1        | 10 in 2/1 |            |           |         |
| 48-120'    | C2        | 10 in 2/1 |            |           |         |

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-24'      | B         | 10 in 2/1 |            |           |         |
| 24-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-120'    | C2        | 10 in 2/1 |            |           |         |

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-16'      | B         | 10 in 2/1 |            |           |         |
| 16-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-24'      | B         | 10 in 2/1 |            |           |         |
| 24-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-16'      | B         | 10 in 2/1 |            |           |         |
| 16-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

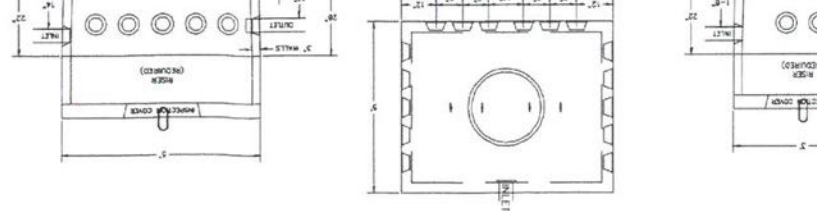
| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-16'      | B         | 10 in 2/1 |            |           |         |
| 16-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

SEWAGE FLOW CALCULATIONS  
 310 CAR 15 205 (2) - THREE Y  
 NORTH BRUNO CAMPING RESORT:  
 1 STORE x 200 GPD/STORE = 200 GPD  
 10 BEDROOMS x 110 GPD/BEDROOM = 1,100 GPD  
 7 WASHERS x 400 GPD/WASHER = 2,800 GPD  
 252 SITES x 90 GPD/SITE = 22,680 GPD  
 1 STORE x 200 GPD/STORE = 200 GPD  
 330 SITES x 90 GPD/SITE = 29,700 GPD  
 HORTON'S CAMPING RESORT:  
 1 STORE x 200 GPD/STORE = 200 GPD  
 252 SITES x 90 GPD/SITE = 22,680 GPD  
 1 STORE x 200 GPD/STORE = 200 GPD  
 2 BEDROOMS x 110 GPD/BEDROOM = 220 GPD  
 TOTAL ESTIMATED FLOW = 57,010 GPD  
 57,600 GPD > 57,010 GPD REQUIRED

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-24'      | B         | 10 in 2/1 |            |           |         |
| 24-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

DISTRIBUTION BOXES  
 (NOT TO SCALE)

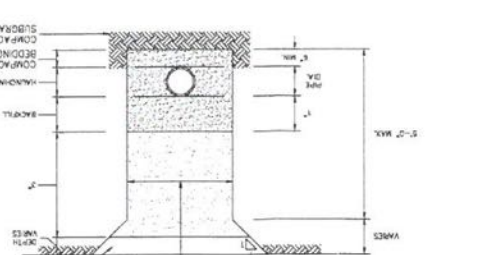
DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M



NOTE: THE DISTRIBUTION BOX SHALL BE CAST WITH 4000 PSI CONCRETE.  
 2. THE INLET ELEVATION OF ALL OUTLETS SHALL BE EQUAL TO EACH OTHER AND LOCATED AT LEAST TWO FEET BELOW THE INVERT ELEVATION OF THE INLET.  
 3. OUTLET DISTRIBUTION LINES SHALL BE LEVEL FOR A MINIMUM OF ONE FEET TWO FEET OF THEIR LENGTH. THERE SHALL BE AT LEAST ONE OUTLET FOR EACH EFFLUENT DISTRIBUTION LINE.  
 4. EVERY DISTRIBUTION BOX SHALL HAVE A WATER TIGHT MANHOLE WITH COVER.  
 5. EVERY DISTRIBUTION BOX SHALL HAVE A MANHOLE SUMP OF SIX INCHES AS MEASURED BELOW THE OUTLET INVERT ELEVATION.  
 6. DISTRIBUTION BOXES BUILT GREATER THAN NINE INCHES BELOW GRADE SHALL BE EQUIPPED WITH RISERS.

DISTRIBUTION PIPE TRENCH  
 (NOT TO SCALE)

DATE: 12/04/2012  
 WITNESSED BY: CHRISTOPHER DISONIS, DEP.  
 CHECKED BY: BRADY LAFREYRE  
 PERC RATE: N/A, MN/M

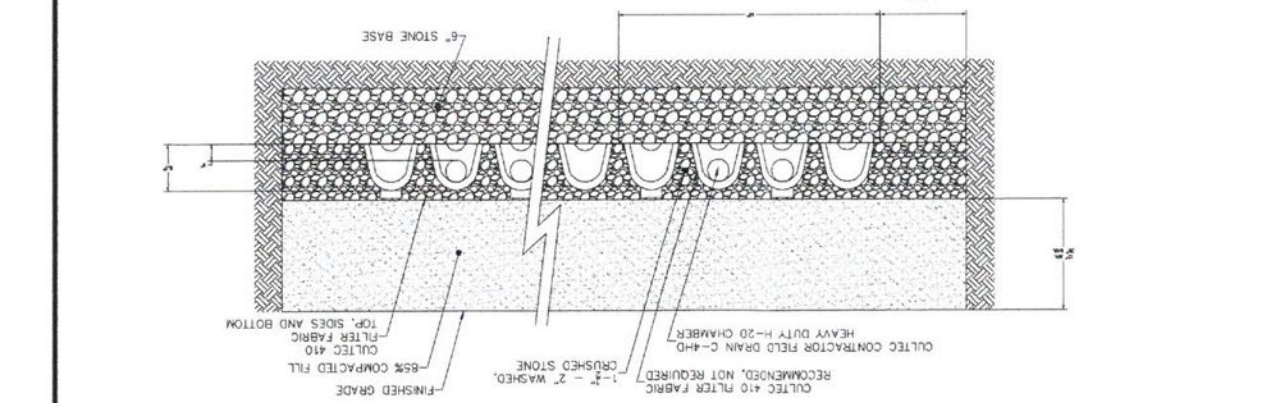


NOTES:  
 1. THE MINIMUM SEPARATION DISTANCE BETWEEN ANY TWO TRENCHES SHALL BE THREE TIMES THE EXCEEDING WIDTH OR DEPTH, WHICHEVER IS GREATER.  
 2. TRENCHES SHALL BE STUTTED, WHERE POSSIBLE, WITH THEIR LONG DIMENSION PERPENDICULAR TO THE SLOPE OF THE NATURAL SOIL. WHERE POSSIBLE THEY SHALL FOLLOW THE CONTOUR LINES.  
 3. TRENCHES CONSTRUCTED AT DIFFERENT ELEVATIONS SHALL BE DESIGNED TO PREVENT EFFLUENT FROM THE HIGHER TRENCHES FLOWING INTO THE LOWER TRENCHES.  
 4. TRENCHES SHALL BE STUTTED, WHERE POSSIBLE, WITH THEIR LONG DIMENSION PERPENDICULAR TO THE SLOPE OF THE NATURAL SOIL. WHERE POSSIBLE THEY SHALL FOLLOW THE CONTOUR LINES.

DISTRIBUTION BOX INVERT ELEVATIONS

| D-BOX | INLET | OUTLET |
|-------|-------|--------|
| D1    | 60.90 | 60.73  |
| D2    | 60.58 | 60.41  |
| D3    | 60.01 | 59.84  |
| D4    | 59.43 | 59.27  |

NOTE:  
 1. SEE FIGURE 15 - WASTEWATER TREATMENT FACILITY & SOIL ABSORPTION SYSTEM FOR D-BOX LOCATIONS.  
 2. UPDATE SAS DETAILS 1 03/15



GROUNDWATER ELEVATION

| DEPTH [ft] | SOIL TYPE | REMARKS   | DEPTH [ft] | SOIL TYPE | REMARKS |
|------------|-----------|-----------|------------|-----------|---------|
| 0-5'       | A         | 10 in 2/1 |            |           |         |
| 5-24'      | B         | 10 in 2/1 |            |           |         |
| 24-36'     | C1        | 10 in 2/1 |            |           |         |
| 36-64'     | C2        | 10 in 2/1 |            |           |         |
| 64-120'    | C3        | 10 in 2/1 |            |           |         |

REVISIONS

| NO. | DATE  | DESCRIPTION        |
|-----|-------|--------------------|
| 1   | 03/15 | UPDATE SAS DETAILS |

PROJECT NAME AND LOCATION  
 Wastewater Collection Treatment and Disposal  
 48 Highland Rd - 07 S. Highland Rd  
 Turo, Massachusetts

CLIENT NAME AND LOCATION  
 Adventure Bound Camping Resorts  
 110 43RD Avenue Southside  
 Vero Beach, Florida 32968

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DRAWING TITLE  
 Soil Absorption  
 FIGURE 16  
 System Details

SOURCE  
 Lightship Engineering, LLC

CADD FILE  
 P:\05\Draws\2012\Wastewater\Plant\Draw-Headlag

REVIEWED BY: JFC  
 DATE: 10/11/2013  
 DWG SCALE: AS SHOWN

LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO.: 16 OF 21

TIMOTHY CONDON  
 LICENSE NO. 41270



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| NO. | DATE | REVISION       | DESCRIPTION |
|-----|------|----------------|-------------|
| 1   | 2/12 | REV./DIM.      | JJC         |
| 2   | 2/15 | ADD INLET TANK |             |

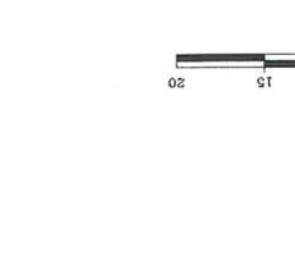
**PROJECT NAME AND LOCATION**  
Wastewater Collection Treatment and Disposal  
48 Highland Rd - 67 S. Highland Rd  
Troy, Massachusetts

**CLIENT NAME AND LOCATION**  
Adventure Bound Camping Resorts  
110 43RD Avenue Southwest  
Vero Beach, Florida 32966

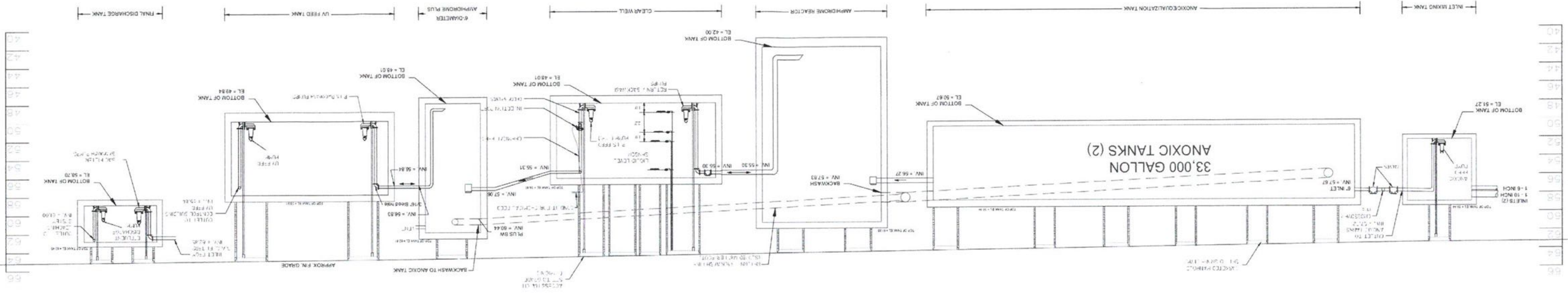
**DRAWING TITLE**  
FIGURE 17  
Process Flow  
Schematic/  
Hydraulic Profile

**SOURCE**  
F.R. Mahoney & Associates, Inc.  
LIGHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO. 17 OF 21

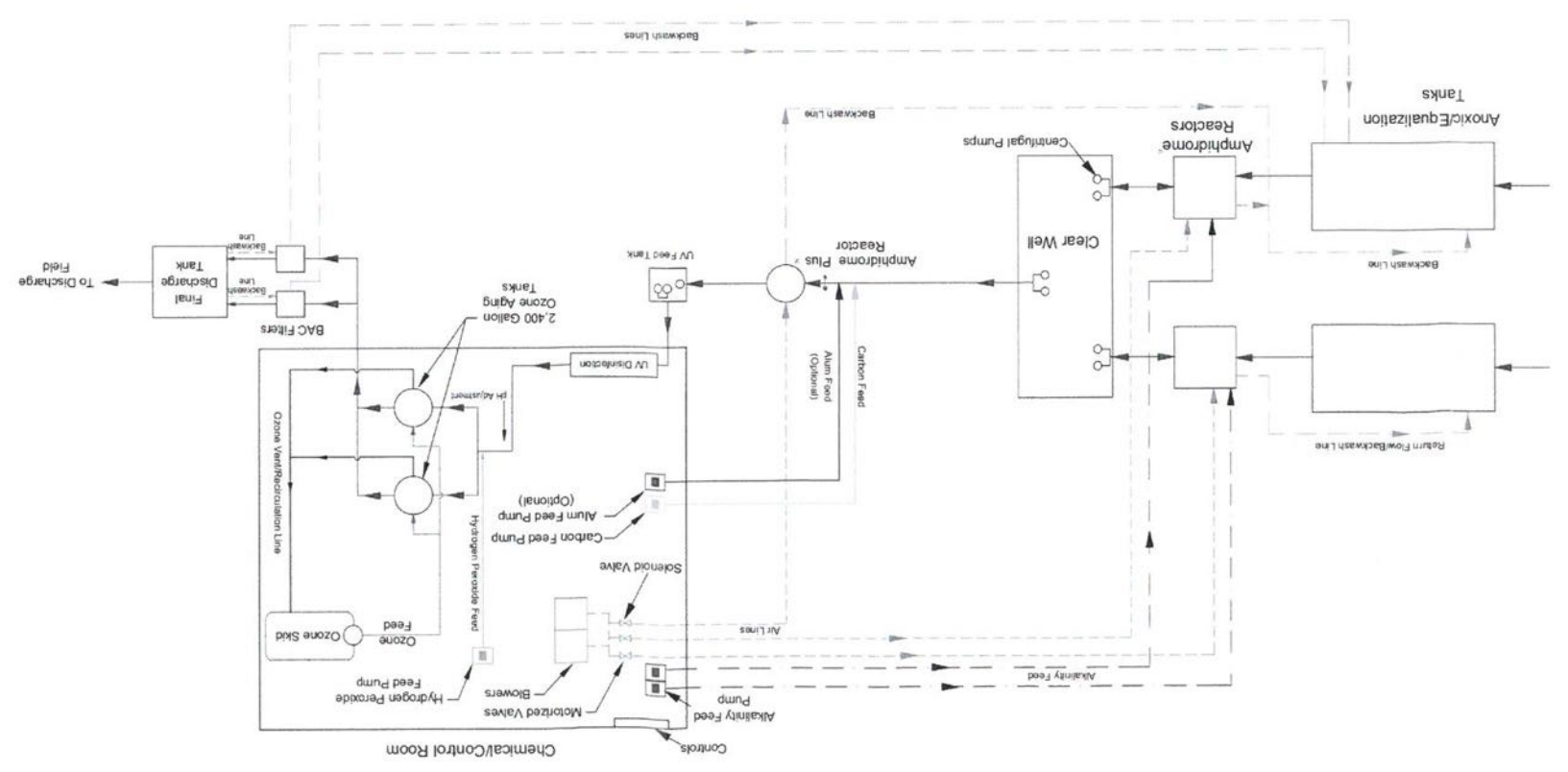
**DATE:** 10/11/2013  
**REVIEWED BY:** JJC, TC  
**DRAWN BY:** FRM  
**CADD FILE:** P:\883\Draws\883.1.1\Wastewater\Process Flow-Schematic.dwg  
**DMG SCALE:** AS SHOWN  
**AS SHOWN**



1" = 5' (IN FEET)  
GRAPHIC SCALE  
0 5 10 15 20



PROCESS FLOW SCHEMATIC



MANUFACTURER'S SPECIFICATIONS

| NO. | DESCRIPTION                | MANUFACTURER'S SPECIFICATIONS |
|-----|----------------------------|-------------------------------|
| 1   | 33,000 GALLON ANOXIC TANKS | FRP, 30" DIA., 12' HIGHS      |
| 2   | AMPHITROME REACTORS        | FRP, 30" DIA., 12' HIGHS      |
| 3   | CLEAR WELL                 | FRP, 30" DIA., 12' HIGHS      |
| 4   | UV FEED TANK               | FRP, 30" DIA., 12' HIGHS      |
| 5   | DISCHARGE TANK             | FRP, 30" DIA., 12' HIGHS      |
| 6   | 6-DIAMETER PUS             | FRP, 30" DIA., 12' HIGHS      |
| 7   | AMPHITROME REACTOR         | FRP, 30" DIA., 12' HIGHS      |
| 8   | ANOXIC QUALIFICATION TANK  | FRP, 30" DIA., 12' HIGHS      |
| 9   | INLET MIXING TANK          | FRP, 30" DIA., 12' HIGHS      |
| 10  | UV FEED TANK               | FRP, 30" DIA., 12' HIGHS      |
| 11  | DISCHARGE TANK             | FRP, 30" DIA., 12' HIGHS      |
| 12  | 6-DIAMETER PUS             | FRP, 30" DIA., 12' HIGHS      |
| 13  | AMPHITROME REACTOR         | FRP, 30" DIA., 12' HIGHS      |
| 14  | ANOXIC QUALIFICATION TANK  | FRP, 30" DIA., 12' HIGHS      |
| 15  | INLET MIXING TANK          | FRP, 30" DIA., 12' HIGHS      |
| 16  | UV FEED TANK               | FRP, 30" DIA., 12' HIGHS      |
| 17  | DISCHARGE TANK             | FRP, 30" DIA., 12' HIGHS      |
| 18  | 6-DIAMETER PUS             | FRP, 30" DIA., 12' HIGHS      |
| 19  | AMPHITROME REACTOR         | FRP, 30" DIA., 12' HIGHS      |
| 20  | ANOXIC QUALIFICATION TANK  | FRP, 30" DIA., 12' HIGHS      |
| 21  | INLET MIXING TANK          | FRP, 30" DIA., 12' HIGHS      |
| 22  | UV FEED TANK               | FRP, 30" DIA., 12' HIGHS      |
| 23  | DISCHARGE TANK             | FRP, 30" DIA., 12' HIGHS      |
| 24  | 6-DIAMETER PUS             | FRP, 30" DIA., 12' HIGHS      |
| 25  | AMPHITROME REACTOR         | FRP, 30" DIA., 12' HIGHS      |
| 26  | ANOXIC QUALIFICATION TANK  | FRP, 30" DIA., 12' HIGHS      |
| 27  | INLET MIXING TANK          | FRP, 30" DIA., 12' HIGHS      |
| 28  | UV FEED TANK               | FRP, 30" DIA., 12' HIGHS      |
| 29  | DISCHARGE TANK             | FRP, 30" DIA., 12' HIGHS      |
| 30  | 6-DIAMETER PUS             | FRP, 30" DIA., 12' HIGHS      |

REVISIONS

| NO. | DATE       | DESCRIPTION             |
|-----|------------|-------------------------|
| 1   | 10/11/2013 | ISSUED FOR CONSTRUCTION |
| 2   | 10/11/2013 | REVISED PER COMMENTS    |
| 3   | 10/11/2013 | REVISED PER COMMENTS    |
| 4   | 10/11/2013 | REVISED PER COMMENTS    |
| 5   | 10/11/2013 | REVISED PER COMMENTS    |
| 6   | 10/11/2013 | REVISED PER COMMENTS    |
| 7   | 10/11/2013 | REVISED PER COMMENTS    |
| 8   | 10/11/2013 | REVISED PER COMMENTS    |
| 9   | 10/11/2013 | REVISED PER COMMENTS    |
| 10  | 10/11/2013 | REVISED PER COMMENTS    |
| 11  | 10/11/2013 | REVISED PER COMMENTS    |
| 12  | 10/11/2013 | REVISED PER COMMENTS    |
| 13  | 10/11/2013 | REVISED PER COMMENTS    |
| 14  | 10/11/2013 | REVISED PER COMMENTS    |
| 15  | 10/11/2013 | REVISED PER COMMENTS    |
| 16  | 10/11/2013 | REVISED PER COMMENTS    |
| 17  | 10/11/2013 | REVISED PER COMMENTS    |
| 18  | 10/11/2013 | REVISED PER COMMENTS    |
| 19  | 10/11/2013 | REVISED PER COMMENTS    |
| 20  | 10/11/2013 | REVISED PER COMMENTS    |
| 21  | 10/11/2013 | REVISED PER COMMENTS    |
| 22  | 10/11/2013 | REVISED PER COMMENTS    |
| 23  | 10/11/2013 | REVISED PER COMMENTS    |
| 24  | 10/11/2013 | REVISED PER COMMENTS    |
| 25  | 10/11/2013 | REVISED PER COMMENTS    |
| 26  | 10/11/2013 | REVISED PER COMMENTS    |
| 27  | 10/11/2013 | REVISED PER COMMENTS    |
| 28  | 10/11/2013 | REVISED PER COMMENTS    |
| 29  | 10/11/2013 | REVISED PER COMMENTS    |
| 30  | 10/11/2013 | REVISED PER COMMENTS    |

DATE OF DESIGN



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 39 Industrial Park Road • Unit C • Plymouth, Massachusetts 02360 • TEL: (508) 830-3344 • FAX: (508) 830-3360

| NO. | DATE | DESCRIPTION     |
|-----|------|-----------------|
| 1   | 2/12 | ELEV./DIM., JJC |

REVISIONS

|                           |                                                                                                           |
|---------------------------|-----------------------------------------------------------------------------------------------------------|
| PROJECT NAME AND LOCATION | Wastewater Collection Treatment and Disposal<br>Turo, Massachusetts<br>46 Highland Rd - 67 S. Highland Rd |
| CLIENT NAME AND LOCATION  | Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32966                 |

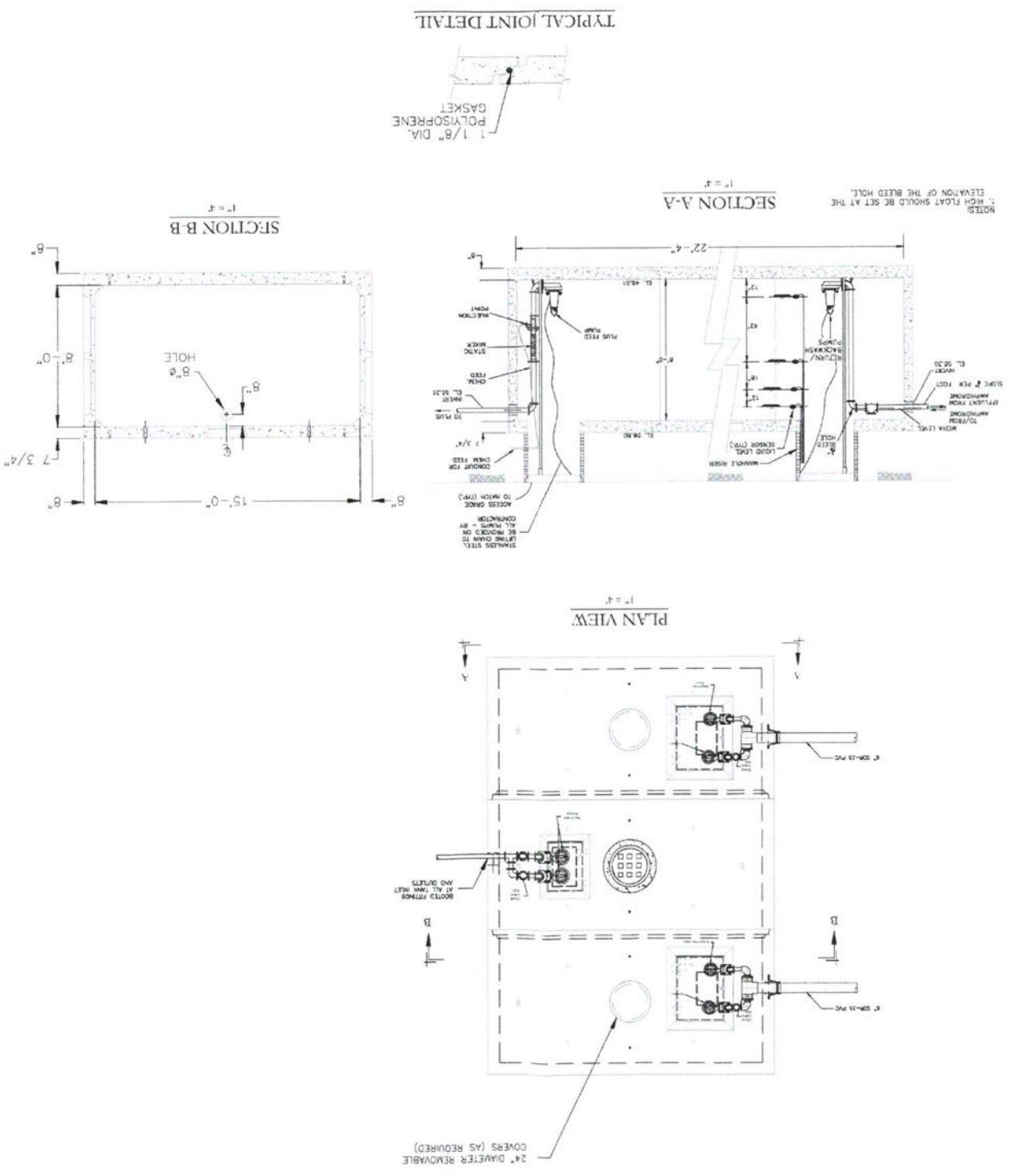
**FIGURE 18**  
 Anoxic Equalization  
 Tanks/Clearwell

|              |                                                                                            |
|--------------|--------------------------------------------------------------------------------------------|
| SOURCE       | F.R. Mahoney & Associates, Inc.<br>CADD FILE<br>P:\00\Turo\2015\Wastewater\Turo-Tank-Equal |
| DRAWN BY:    | FRM                                                                                        |
| REVIEWED BY: | JJC, TC                                                                                    |
| DATE:        | 10/11/2013                                                                                 |
| DWG SCALE:   | AS SHOWN                                                                                   |

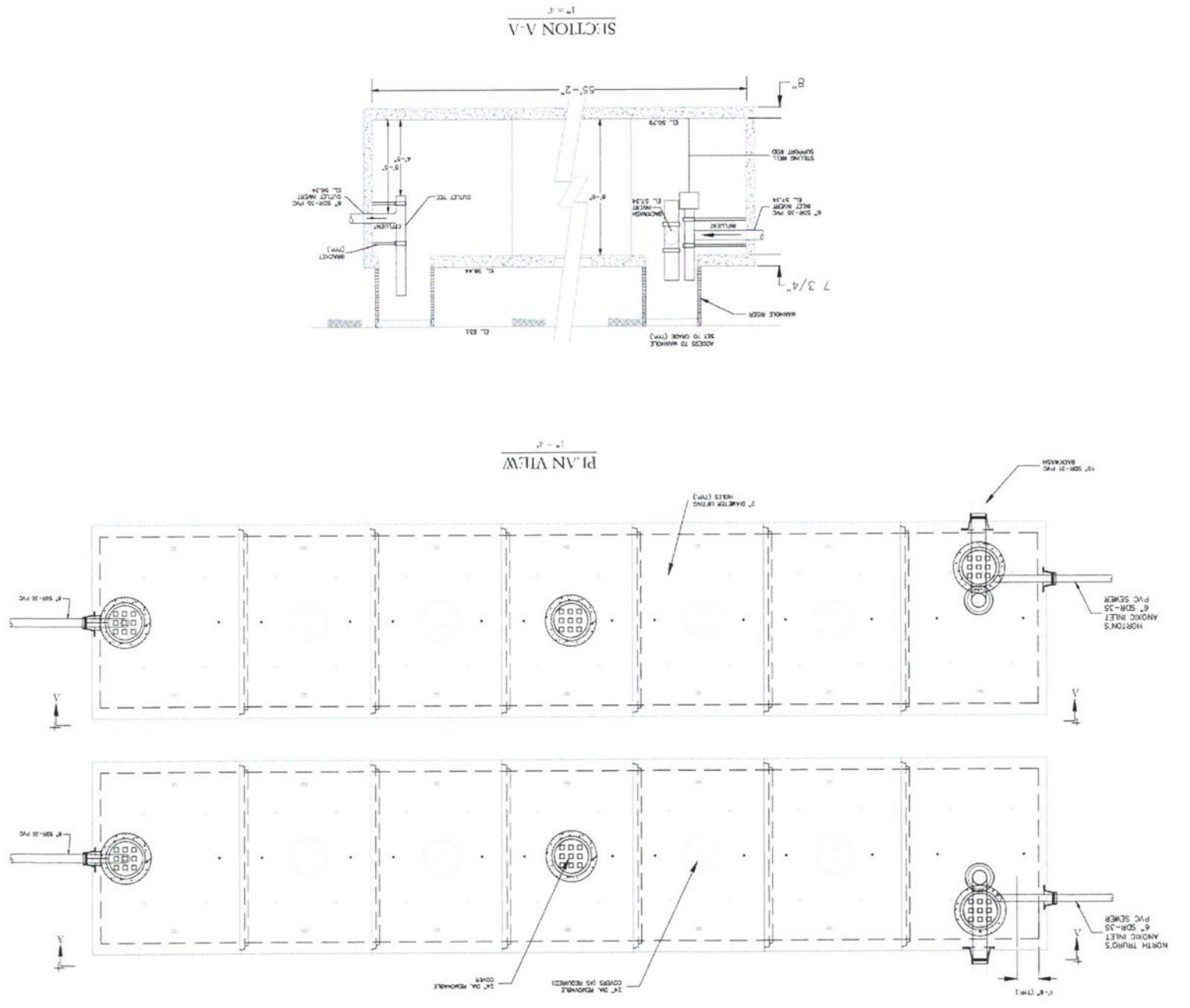
LIGHTSHIP REF. NUMBER  
**883.1.1**  
 SHEET NO: 18 OF 21



**CLEARWELL: 20,000 GALLONS**  
 ROTUNDO TANK MODEL LWT810-19 or EQUAL



**33,000 GALLON ANOXIC / EQUALIZATION TANKS**  
 ROTUNDO TANK MODELS LWT810-20 AND LWT810-24 or EQUAL





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**LIGHTSHIP ENGINEERING**

| NO. | DATE | DESCRIPTION     |
|-----|------|-----------------|
| 1   | 2/12 | ELEV./DIM., JJC |

REVISIONS

PROJECT NAME AND LOCATION  
 Wastewater Collection Treatment and Disposal  
 46 Highland Rd - 07 S. Highland Rd  
 Turo, Massachusetts

CLIENT NAME AND LOCATION  
 Adventure Bound Camping Resorts  
 110 48RD Avenue Southwest  
 Vero Beach, Florida 32968

DRAWING TITLE  
**FIGURE 19**  
 9.5' X 13'  
 Reactor

SOURCE  
 F.R. Mahoney & Associates, Inc.  
 Lightship Engineering, LLC

CADD FILE  
 P:\03\Turo\2010\Wastewater\Plan\Turo-Reactor

DATE: 10/11/2013  
 DWG SCALE: AS SHOWN

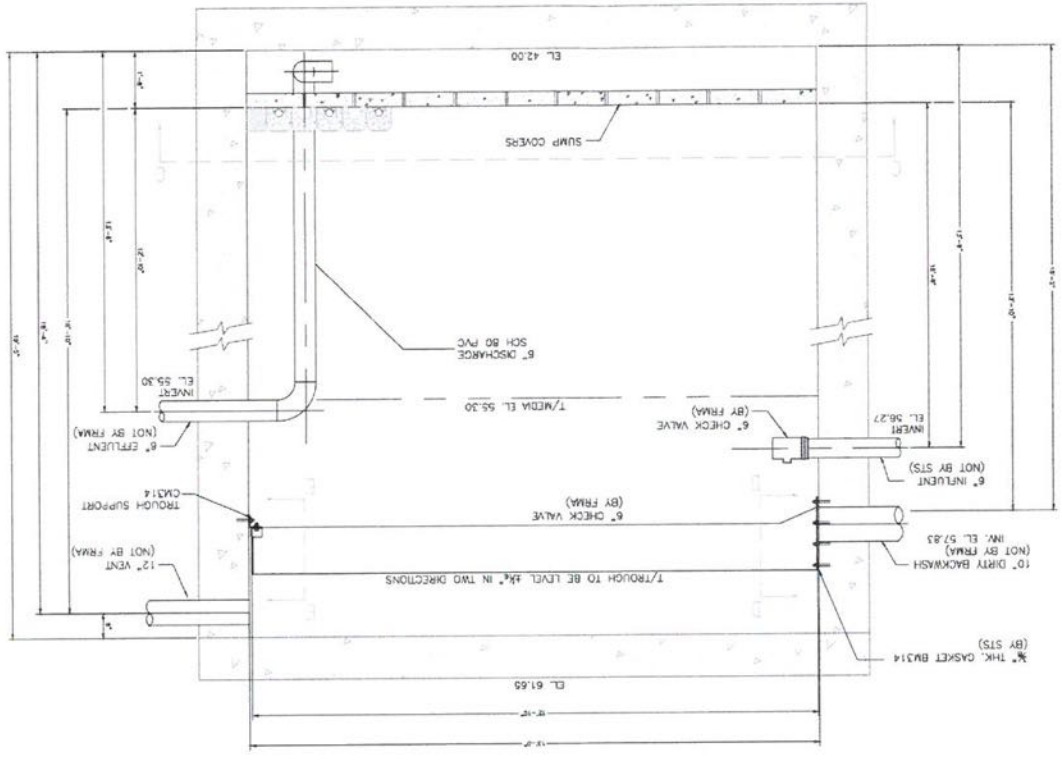
REVIEWED BY: JJC, TC  
 DRAWN BY: FRM

883.1.1

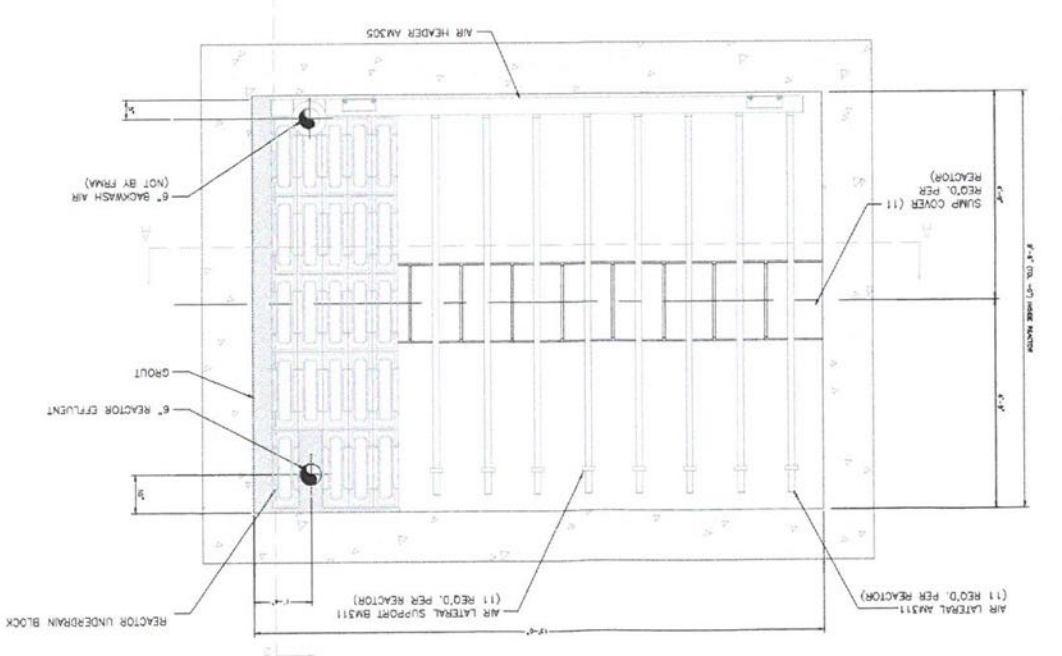
SHEET NO: 19 OF 21

PROFESSIONAL SEAL  
 LICENSE NO. 41275  
 TIMOTHY GORDON

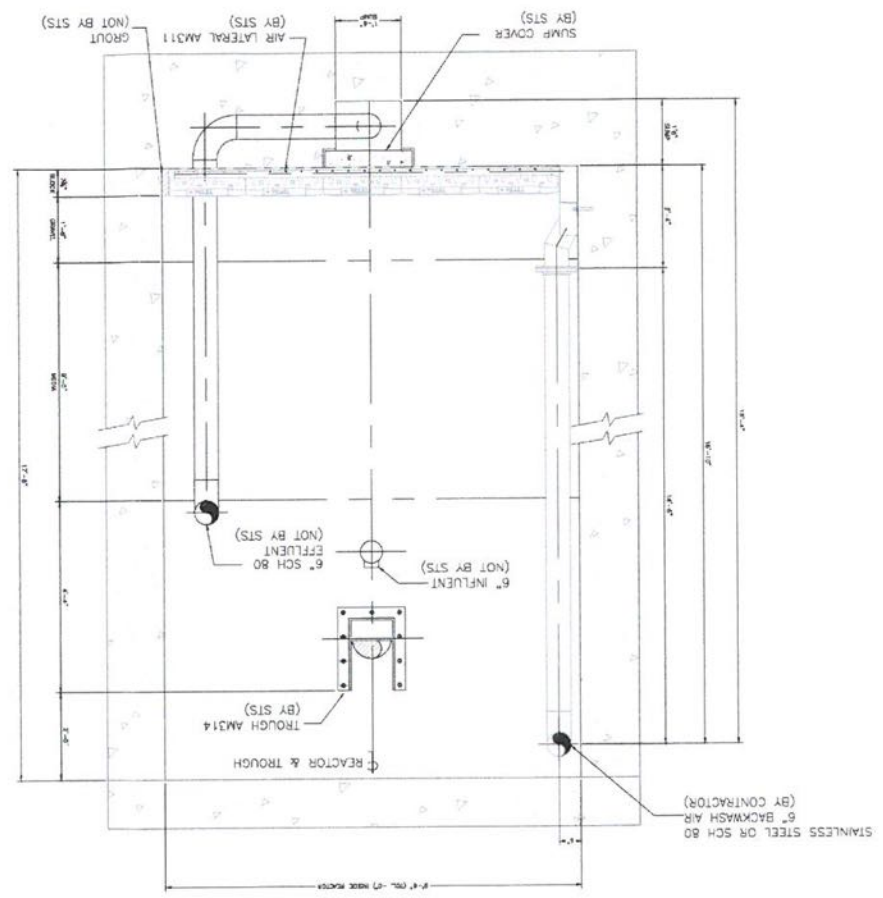
SECTION A-A  
 1" = 2'



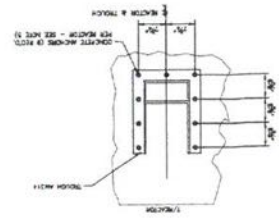
SECTION C-C  
 1" = 2'



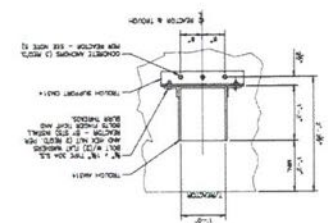
SECTION B-B  
 1" = 2'



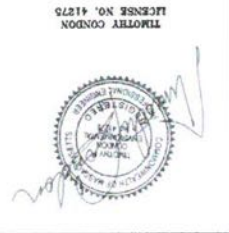
SECTION D-D  
 (NOT TO SCALE)



SECTION E-E  
 (NOT TO SCALE)







SHEET NO: 20 OF 21

883.1.1

LIGHTSHIP REF. NUMBER

SOURCE  
F.R. Mahoney & Associates, Inc.  
Lightship Engineering, LLC  
CADD FILE  
DRAWN BY: FRM  
REVIEWED BY: JJC, TC  
DATE: 10/11/2013  
DWG SCALE: AS SHOWN

DRAWING TITLE  
**FIGURE 20**  
6' Diameter  
Plus Reactor  
Amphidrome

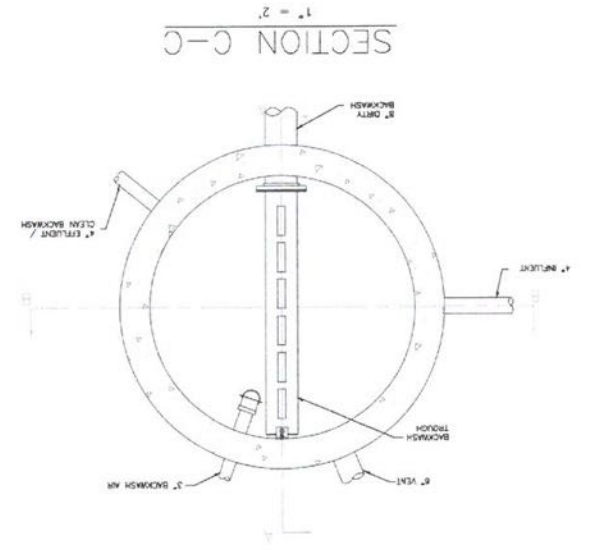
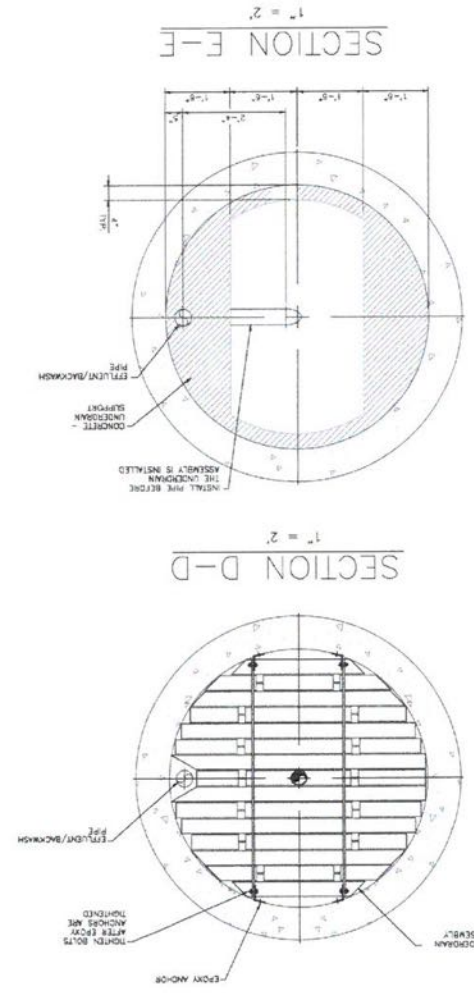
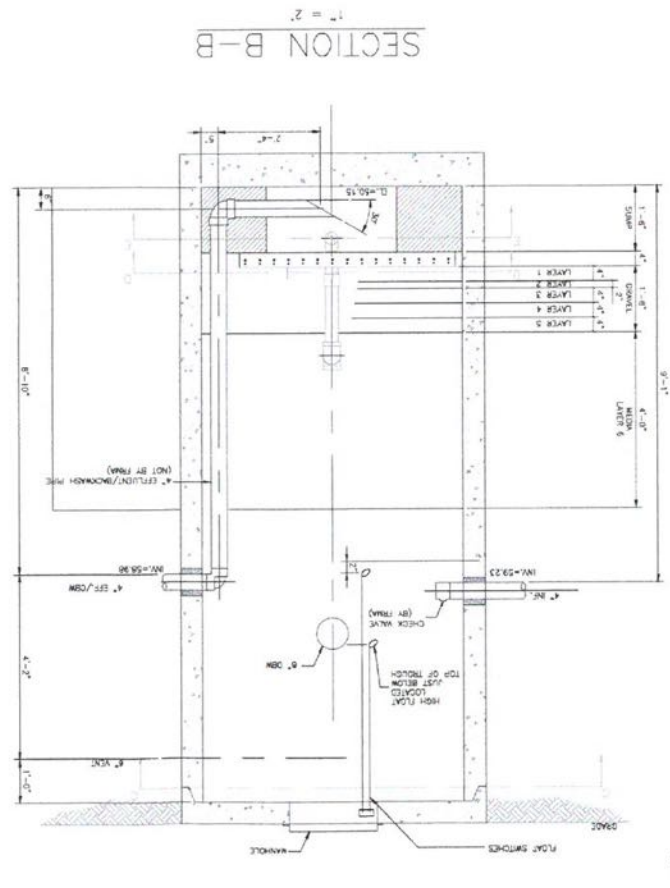
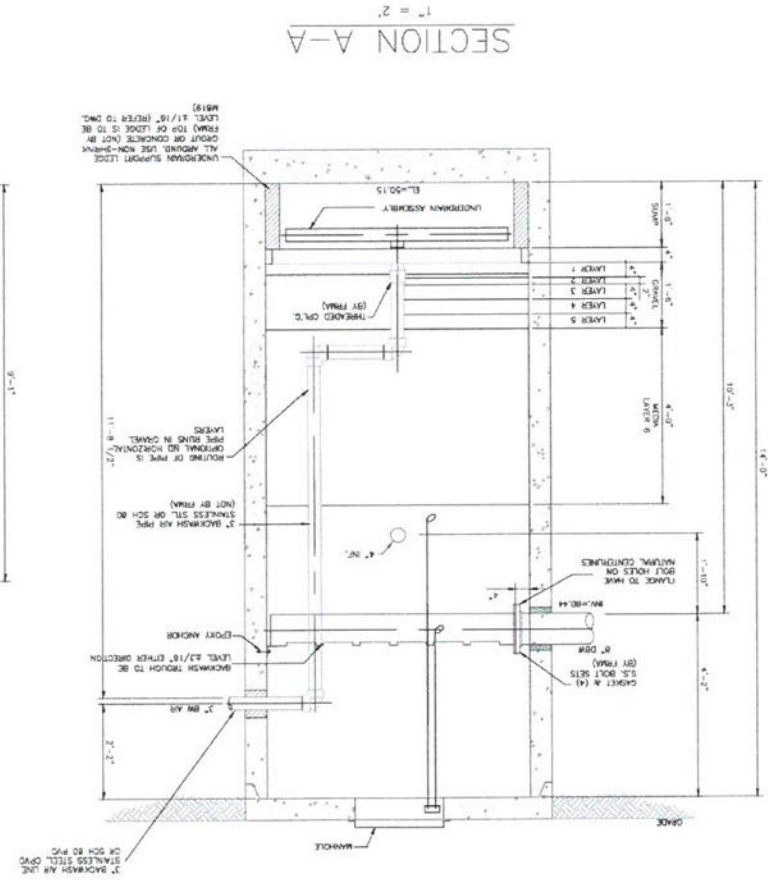
PROJECT NAME AND LOCATION  
Wastewater Collection Treatment  
and Disposal  
46 Highland Rd - 67 S. Highland Rd  
Turo, Massachusetts

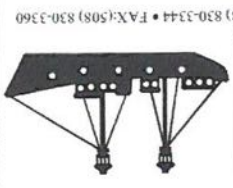
CLIENT NAME AND LOCATION  
Adventure Bound Camping Resorts  
110 43RD Avenue Southwest  
Vero Beach, Florida 32908

| NO | DATE | DESCRIPTION     |
|----|------|-----------------|
| 1  | 2/12 | ELEV./DIM., JJC |

REVISIONS

**LIGHTSHIP ENGINEERING**  
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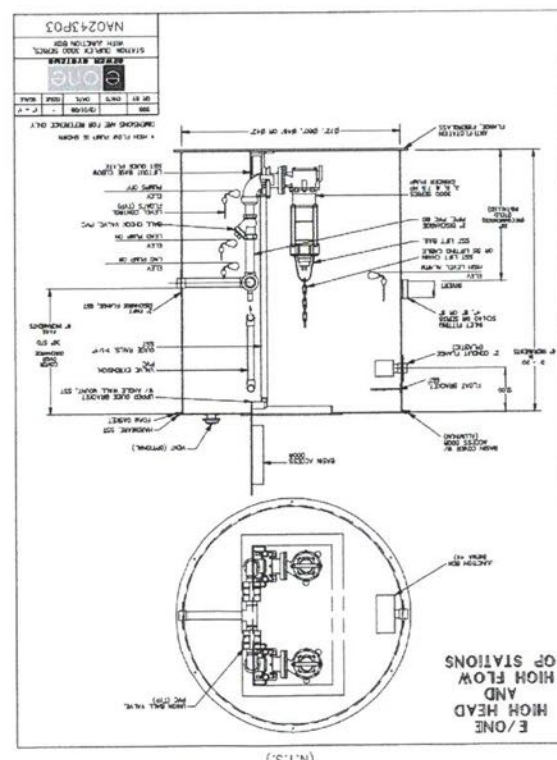
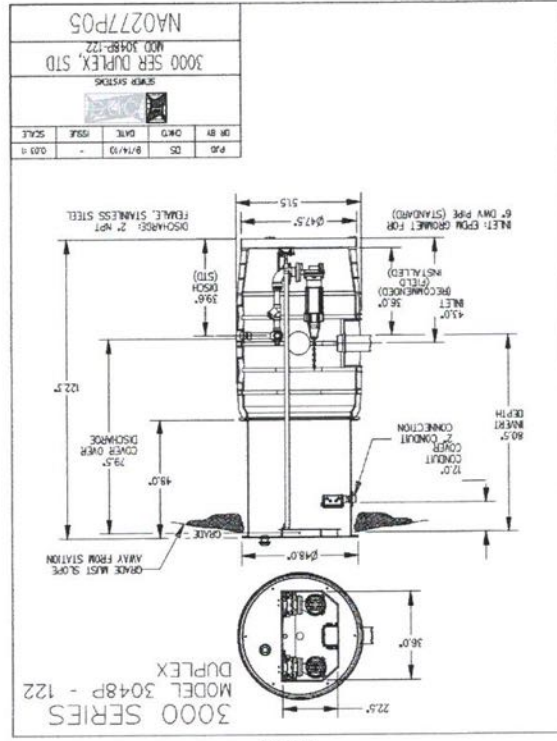
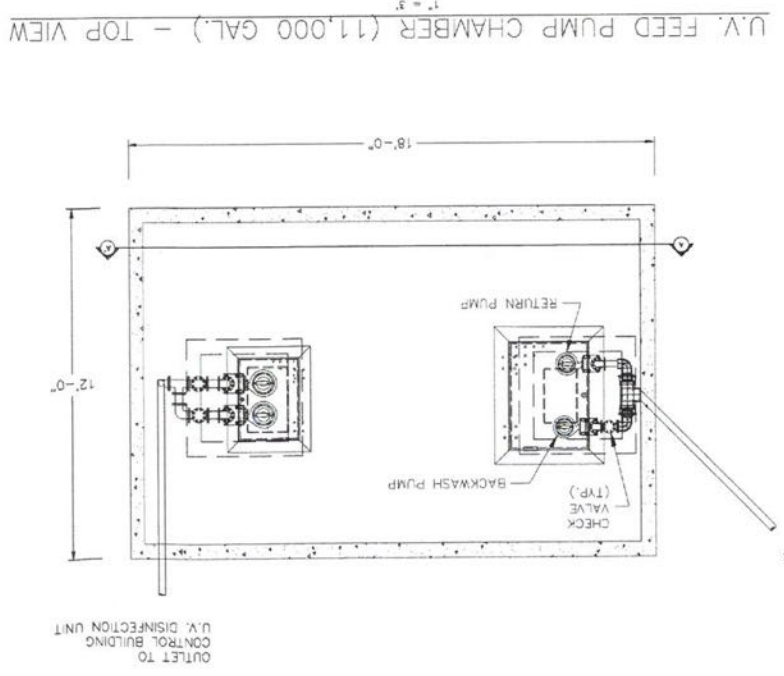
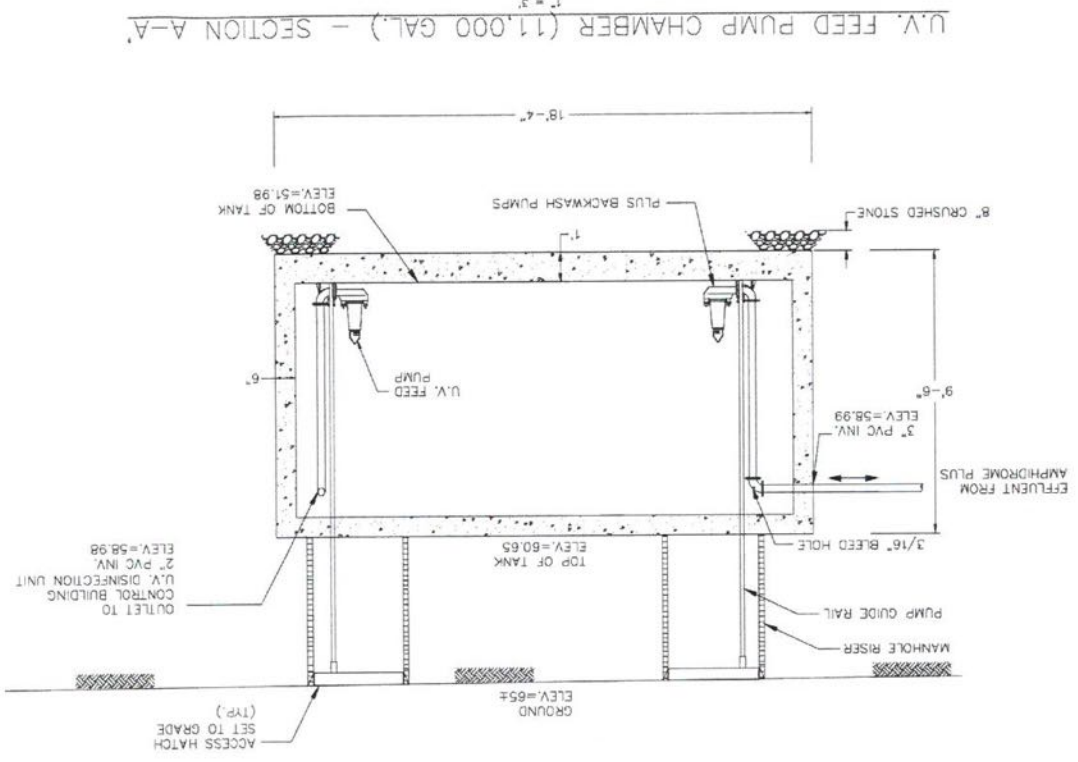
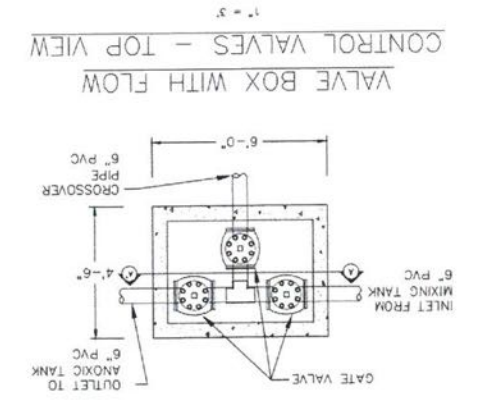
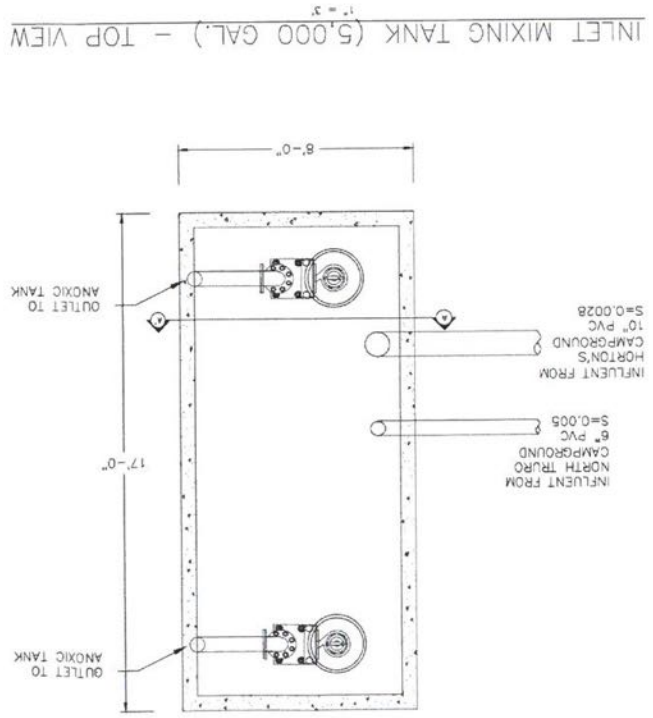
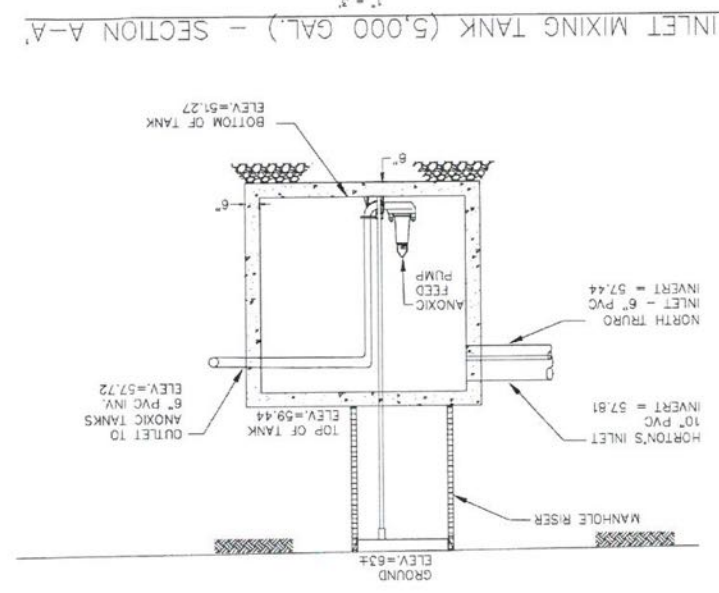
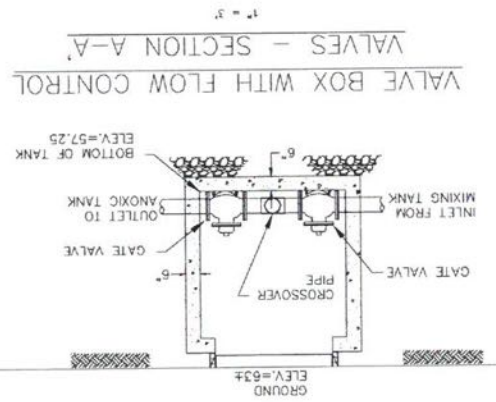
| NO. | DATE | DESCRIPTION       |
|-----|------|-------------------|
| 1   | 9/13 | ELEV./DIM., JJC   |
| 2   | 2/15 | INLET TANK DETAIL |

| PROJECT NAME AND LOCATION                                                                 |
|-------------------------------------------------------------------------------------------|
| Wastewater Collection Treatment and Disposal<br>Truro, Massachusetts                      |
| CLIENT NAME AND LOCATION                                                                  |
| Adventure Bound Camping Resorts<br>110 43RD Avenue Southwest<br>Vero Beach, Florida 32968 |

| DRAWING TITLE                                         |
|-------------------------------------------------------|
| FIGURE 21<br>Pump Station/<br>UV Feed Pump<br>Chamber |

| SOURCE                                                        |            |
|---------------------------------------------------------------|------------|
| F.R. Mahoney & Associates, Inc.<br>LIGHTSHIP ENGINEERING, LLC |            |
| CADD FILE                                                     |            |
| P:\05\Truro\0510\Wastewater\Truro-Treatment                   |            |
| DRAWN BY:                                                     | FRM        |
| REVIEWED BY:                                                  | JJC, TC    |
| DATE:                                                         | 10/11/2013 |
| DMG SCALE:                                                    | AS SHOWN   |

LIGHTSHIP REF. NUMBER  
**883.1.1**  
SHEET NO: 21 OF 21



U.V. FEED PUMP CHAMBER (11,000 GAL.) - SECTION A-A

INLET MIXING TANK (5,000 GAL.) - SECTION A-A

INLET MIXING TANK (5,000 GAL.) - TOP VIEW

U.V. FEED PUMP CHAMBER (11,000 GAL.) - TOP VIEW

E-ONE 3000 SERIES MODEL 3048P-122 DUPLEX LIFT STATION (LSMH-1)

E-ONE 3000 SERIES PUMP STATION (PSMH-1)



ENGINEERING SUCCESS TOGETHER

December 27, 2016

Ms. Carole Ridley, Consulting Planner  
Town of Truro  
24 Town Hall Road  
P.O. Box 2030  
Truro, MA 02666

Re: **Adventure Bound Camping Resorts – Cape Cod**  
Horton's Campground, 67 Highland Road, North Truro (Map 37, Parcel 15)  
2016-009SPR Commercial Development Site Plan Review

Dear Ms. Ridley:

Thank you for comments, provided on November 16, 2016, addressing the Commercial Site Plan Review Submission for Horton's Campground. Enclosed are responses, summarized in a "comment" and "response" format.

The majority of your comments will be addressed by revising and clarifying the information included in the plan set submitted with the site plan review application. As indicated in the attached summary, proposed plan revisions include renaming plans, labeling features and adding summary tables. We anticipate additional comments and possible plan changes upon review and analysis of the professional consultant hired by the Board. In addition, there may be comments and issues discussed at the first hearing that will require plan revisions. For these reasons, it seems the most efficient and least wasteful use of time and resources will be to make all necessary revisions in one submission to the Board. To this end, the comment responses attached, state the revisions that will be made to adequately address the concerns of the review letter dated November 16, 2016. In the event interim plan changes are warranted for further review by the Board or its reviewer prior to submission of a final plan set, we are prepared to address if the need arises.

Should you have any questions relative to the above or should this office be able to assist in any manner to expedite this process, please contact our office.

Very truly yours,  
BETA Group, Inc.

A handwritten signature in black ink, appearing to read "Kevin M Aguiar". The signature is written in a cursive, flowing style.

for Kevin M Aguiar, PE  
Senior Associate

cc: Donald Nagle, Esq. (via email)

**BETA GROUP, INC.**

6 Blackstone Valley Place, Suite 101, Lincoln, RI 02865

P: 401.333.2382 | F: 401.333.9225 | W: [www.BETA-Inc.com](http://www.BETA-Inc.com)



Date: December 9, 2016 BETA Project No.: 5419  
To: Carole Ridley  
cc: Donald Nagle  
From: Kevin M Aguiar, PE  
Subject: 2016-009SPR Commercial Development Site Plan Review

*Comment:* You have provided written requests for items 3.b.4 and 3.c.5, but not for 1.e.

**Response:** Please refer to section 70.3.D.C.5 of Project Narrative which explains why drainage calculations are not necessary. A sentence will be added to request a waiver from 3 copies of drainage calculations.

#### Procedures and Plan Requirements

*Comment:* 70.3.D.2 Please explain why all plan sheets provided in the application are not stamped.

**Response:** All plan sheets will be stamped by respective designers.

#### General Requirements

*Comment:* 70.3.D.3.a.2 The bylaw states that zoning information shall be placed in a table format.

**Response:** A zoning table will be added to the Topographical Plans.

*Comment:* 70.3.D.3.a.5 The Topographical Plans 1-3 lack a standard title block. All plans should include reference to Adventure Bound Camping Resorts as owner.

**Response:** A standard title block will be added to the Topographical Plans and Adventure Bound Camping Resorts will be referenced as owner on all plans.

#### Existing Conditions Plan

*Comment:* 70.3.D.3.b Existing Conditions refers to conditions prior to site clearing and not conditions as they currently exist. If intended to serve as the Existing Conditions Plans, Topographical Plans 1-3 must be so labeled and meet the requirements of 70.3.D.3b, unless waived.

**Response:** The Topographical Plans are intended to serve as the Existing Conditions Plans and will be labeled as such. These plans will meet the requirements of 70.3.D.3b, except b4 because no records of each pre-existing tree is available. The Pre-Existing Canopy Plan, Sheet W-1 is intended to show the general appearance of the tree canopy before any clearing commenced.

*Comment:* 70.3.D.3.b Topographical Plans 1-3 indicate that contours on the undeveloped or undisturbed portions of the site are based on a 2013 survey, and all other areas based on a 2016 survey. Yet it is not clear which areas on the plans are considered the undeveloped or undisturbed areas that are based on the 2013 survey.

**Response:** The plans will be labelled to clarify which areas are from the 2013 and 2016 Surveys.

*Comment:* Topographical Plans 1-3 do not comply with the requirements of 3.b.2.

**Response:** A zoning table will be added to the Topographical Plans.

*Comment:* With respect to campsites, please number them, please indicate whether plywood platforms are permanent or moveable structures, and please clarify the symbol marking between sites which appears to indicate vegetation but is not shown on the legend.

**Response:** The campsites will be numbered and plywood platforms will be labelled. The symbol will be added to the legend.

#### Proposed Conditions Plan

*Comment:* 70.3.D.3.c.1 The plan does not clearly label buildings and provide the required dimensional information.

**Response:** Labels will be added to the buildings.

*Comment:* c.3 Location of parking, roadways and walkways should be clearly shown and labeled.

**Response:** Labels will be added for parking, roadways and walkways.

*Comment:* c.4 The need for an electrical utility easement for connection to a utility pole is required. Please indicate the entity that must grant the easement, and the status of the easement.

**Response:** An easement from Cape Cod National Seashore is needed. Easement has not been granted at this time.

*Comment:* c.6 Please provide more information on the restoration of site topography. How much top soil will be returned to the site? Will placement of topsoil be at a different elevation than the existing road bed?

**Response:** All topsoil will be replaced. The elevation of the topsoil will be equivalent to the unpaved existing roadbed.

*Comment:* c.7,8,10,11, and 12 need to be shown on the Proposed conditions Plan, even if they are pre-existing features.

**Response:** These features will be shown and labeled if applicable.

*Comment:* c.9 All streets and drives must be shown on plans.

**Response:** A figure will be added to provide existing and proposed roadway dimensions.

#### Proposed Landscape Plan

*Comment:* Given the extent of new plantings proposed, a maintenance plan should be provided.

**Response:** A temporary irrigation system will be installed and a monitoring and maintenance plan will be implemented. The scope and cost of these services will be provided in the later stages of the design phase.

#### Project Estimate

*Comment:* 70.3.D.3f This provision requires submission of a cost estimate with breakdown for project elements. The applicant should also be prepared to address a possible condition under 70.3.1 for a performance guaranty of up to 10 percent of project cost. Please provide this information.

**Response:** The total cost for installation, operation, and maintenance of wastewater treatment plant, collection system, and leaching field is estimated at \$2.5 – 5 million dollars. Installation of water, electric, and communication services are subject to the award of multiple bids, which have not been awarded to date. Estimates will be provided when they become available.

#### Review Criteria/Design Guidelines

*Comment:* Though not required, the applicant's consideration of the Review Criteria and Design Guidelines is a useful component of the application.

**Response:** The Review Criteria and Design Guidelines have been utilized for the Site Plan Review submission.



# United States Department of the Interior

NATIONAL PARK SERVICE  
Cape Cod National Seashore  
99 Marconi Site Road  
Wellfleet, MA 02667  
508.771.2144  
508.349.9052 Fax

IN REPLY REFER TO:  
C3815

December 20, 2016

ABC at Horton's Park Inc.  
c/o Wayne Klekamp  
441 Genius Drive  
Winter Park, Florida 32789

Dear Mr. Klekamp:

The purpose of this letter is to inform you that your Commercial Certificate of Suspension of Condemnation (CSC) from Cape Cod National Seashore for Adventure Bound Camping at Hortons will expire on December 31<sup>st</sup> of this year and will not be automatically renewed. You may apply for re-consideration once Adventure Bound Camping at Hortons has satisfied town zoning, health and site plan review compliance and NPS CSC requirements for development on this property within the Seashore boundary.

Your representative, Attorney Donald Nagle, and you, have been informed by seashore staff and members of the Cape Cod National Seashore (CCNS) Advisory Commission about our collective dissatisfaction over the disturbing physical changes and changes of use to the former Horton's Campground at 71 South Highland Road, Truro, MA. We originally supported your desire to provide a combined wastewater treatment system with Adventure Bound Camping (ABC) at North Truro Camping Area at 46 Highland Road, but we are outraged by the disregard for town zoning and this sensitive environment within the boundary of Cape Cod National Seashore.

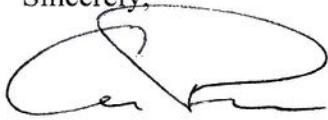
The seashore enabling legislation requires that the CCNS Advisory Commission advise the Superintendent on commercial use within the seashore. Your CSC had been conditionally extended for three years in order for you to move forward on the wastewater treatment project as presented to us. The Commission met on December 12, 2016. The Commission members voted to advise me to let your CSC expire because of all the concerns expressed. The Commission further recommended that a re-instatement of the CSC could be considered once the town,

Advisory Commission, and seashore staff was satisfied with zoning and the development of and changes to the campground.

I agree with the recommendation of the Advisory Commission. Accordingly, your CSC will expire on December 31, 2016.

Please contact Lauren McKean, CCNS Park Planner, once you or your representatives are prepared to review updates which demonstrate attempts to meet our requirements. The next scheduled meeting of the Advisory Commission will be on Monday, March 13, 2017 if you wish to update the Commission about your plans.

Sincerely,

A handwritten signature in black ink, appearing to read "George E. Price, Jr.", written over a horizontal line.

George E. Price, Jr.  
Superintendent

cc: Cape Cod National Seashore Advisory Commission  
R. Palmer, Town of Truro  
D. Nagle, Attorney





# TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666

**Town Manager**

Tel: 508-349-7004, Extension: 10 or 24 Fax: 508-349-5505

October 20, 2016

Mr. Thomas French  
Assistant Director  
Division of Fisheries & Wildlife  
Natural Heritage and Endangered Species Program  
1 Rabbit Hill Road  
Westborough, MA 01581

Re: Adventure Bound Camping Resorts, dba Horton's Campground, 67 South Highland Road, Truro, MA

Dear Mr. French:


The above referenced property is a 32+ acre parcel located in the Town of Truro and within the boundary of the Cape Cod National Seashore. Last May, the Truro Building Commissioner issued a *Notice of Zoning Bylaw Violation and Order to Cease, Desist and Correct* in connection with extensive site clearing and removal of vegetation on a portion of the property that triggered requirements for Planning Board and Zoning Board of Appeals actions.

The Planning Board and town staff met with the applicant on an informational basis to review issues of concern associated with the site clearing. Among the issues of concern noted is ensuring compliance with NHESP requirements, and the need to document pre-existing site conditions, so that any proposed restoration plan can be evaluated against the conditions it seeks to restore. We are aware that in August, Bennett Environmental submitted to your office a request for determination that the site activities were exempt from NHESP review, and understand that this request was denied.

The applicant has indicated the intent to submit an application for Site Plan Review to the Planning Board in the near term. We also anticipate that a proposed restoration plan would be included in that submission. The Board will want to consider any restoration measures that could be undertaken to restore important habitat that may have been altered or lost. Given the magnitude and nature of changes on the site, it would be helpful for the Board to have the benefit of early input from your office regarding any issues related to protection of endangered species and habitat that the Planning Board should consider in its review. To facilitate this, we also wish to extend an offer for your staff to review the restoration plan submitted to the Board for consistency with NHESP requirements, and provide comment.

Thank you for your consideration of this request. Please contact me or Carole Ridley, Planning Consultant, (508-349-7004 x 27) if you need additional information related to this request.

Sincerely,

  
Rae Ann Palmer  
Town Manager

Cc: Amy Hoenig, Endangered Species Review Biologist  
Heather McElroy, Natural Resources/Land Protection Specialist, Cape Cod Commission  
Lauren McKean, Planner, Cape Cod National Seashore  
Donald Nagle



# United States Department of the Interior

NATIONAL PARK SERVICE  
Cape Cod National Seashore  
99 Marconi Site Road  
Wellfleet, MA 02667  
508.771.2144

IN REPLY REFER TO:  
C3815

September 14, 2016

Donald P. Nagle  
Law Office of Donald P. Nagle, PC  
207 Front Street  
Scituate, Massachusetts, 02066

Dear Attorney Nagle:

I am writing to you to try to clarify a number of items related to your client Adventure Bound Camping Resorts at Horton's Campground, Truro. In a June 14, 2016 letter from Rich Delaney, Chair, Cape Cod National Seashore Advisory Commission, he outlined a number of issues related to the work at the campground that was not in compliance with local zoning and town regulations which has direct impact on the Condemnation of Commercial and Industrial Property (CSC) within the National Seashore. He stated that the Advisory Commission meeting was to be held on September 19<sup>th</sup> at 1 PM at the National Seashore Headquarters, Wellfleet, and requested that a representative attend to speak with the Commissioners on the plans, permitting status and next steps. He also suggested that the meeting could be preceded with a field trip to the site.

We understand that as recently as August 17, 2016 your client has not submitted plans for Site Plan Approval. We also understand that your client has requested a continuance from the Town of Truro until December.

Yesterday I received packages hand delivered by Tabitha Kaigle, Wilkinson Ecological, of a set of draft restoration plans with a letter to Chairman Delaney, with a reference to an on-site meeting on September 19<sup>th</sup>. I also am in receipt of e-mails from you to Lauren McKean, Park Planner, representing your sharing information with the Commission and referring to a site walk on September 22<sup>nd</sup>. Lauren also gave me a copy of an e-mail she sent to you requesting any materials you would like to share with the Commission by September 12<sup>th</sup> so we may distribute them in advance. In a September 12<sup>th</sup> e-mail you report to Lauren that I was surprised by the receipt of the draft restoration plans, and wondered if "...we are on the same page." The answer is no.

- The materials Lauren and I expected to receive were to be related to your progress with the Town ZBA and Planning Board concerning zoning and Site Plan Review Approval as it relates to the continued holding of the CSC.
- We would have been glad to set up a pre-meeting site meeting, but we have not heard from you and none is scheduled at this time. We would be happy to set up a site visit with the Commissioners with advance notice.
- I am sure there has been a lot of thought and effort put into the draft restoration plans, but this is several steps ahead of the other Town approvals. And, such a plan would have to be an outcome of your deliberations with the Town Officials, including their approval.

I will insure the Commissioners are in receipt of the draft restoration plans, as well as this letter outlining the outstanding issues. Please let me know if you or another representative is planning to attend the Commission meeting this Monday. This project is on the agenda.

Sincerely,

A handwritten signature in black ink, appearing to read "George E. Price, Jr.", written over a horizontal line.

George E. Price, Jr.  
Superintendent

cc: W. Klekamp  
Cape Cod National Seashore Advisory Commissioners  
R. Palmer, Truro

August 17, 2016

Tabitha Kaigle, Assoc. Restoration Designer  
Wilkinson Ecological Design, Inc.  
28 Lots Hollow Rd.  
Orleans, MA 02653



**Town of Truro  
Building Department**

24 Town Hall Rd.  
PO Box 2030  
Truro, MA 02666  
Tel (508) 349-7004 x31 Fax (508) 349-5508

Re: 67 South Highland Rd.

Dear Ms. Kaigle,

I am in receipt of your letter of August 8, 2016. At this time it is the position of the town not to honor the request that you presented on behalf of Adventure Bound Campground Resorts.

We have yet to receive plans for Site Plan Approval and although we appreciate the desire to protect what trees remain, any further work on the site must be done in the context of a greater plan which the town has yet to see and which ultimately must be executed under the auspices of the Planning Board. It is my opinion that, outside of that which is needed to protect public safety, I cannot authorize work in opposition to the Stop Work order that is in effect.

Sincerely,  
Town of Truro

Russell Braun  
Building Commissioner

Cc: Town Manager  
Town Planner  
Conservation Agent  
Cape Cod National Seashore



# United States Department of the Interior

NATIONAL PARK SERVICE  
Cape Cod National Seashore  
99 Marconi Site Road  
Wellfleet, MA 02667

IN REPLY REFER TO:

C3815

Tract Nos. 12-2431  
12-2324

July 14, 2016

RECEIVED  
JUL 18 2016

BY:.....

Bertram Perkel, Chair  
Truro Zoning Board of Appeals  
Truro Town Hall  
24 Town Hall Road  
P.O. Box 2030  
Truro, MA 02666

Dear Chair and Board Members:

We hope that the Zoning Board of Appeals will uphold the determination of the Building Inspector and ensure adherence to Town of Truro Zoning and General Bylaws at the Adventure Bound Camping Resorts (Adventure Bound) property known as Horton Area Campground.

Adventure Bound has submitted an appeal based on incorrect and exaggerated facts. According to Adventure Bound's appeal, a pre-existing non-conforming use is exempt from zoning provisions. This assertion is inaccurate. According to the Truro Zoning Bylaws, "Lawfully pre-existing non-conforming commercial uses and structures may continue, but in no case shall the use be altered or converted to another commercial use." Town of Truro Zoning Bylaw Sign Code, § 30.3(B)(12) (April, 2014).

Adventure Bound originally represented to the National Park Service (NPS) that it sought to build a central wastewater treatment system to treat wastewater from two campgrounds. We agreed to this proposition, as it served the NPS' purpose of maintaining a clean groundwater supply while allowing for Adventure Bound to provide more convenient waste disposal to visitors using their campgrounds. We anticipated that this set-up would be similar to that of North of Truro Camping Area, which requires RVs to use a central pumping station linked to a central treatment system, as Adventure Bound proposed a treatment system with no mention of a collection capability.

Rather than finding the work in place for a central wastewater system, we found that the majority of landscape and utility work at the Horton Campground was a dramatic departure from what

was agreed upon. As a result, we agree with the Town Manager's assessment that a Site Plan Review by the Planning Board is required based on the zoning provisions in the Building Inspector's letter of May 4, 2016.

On June 16, 2016, Adventure Bound modified its representation of the construction project, saying that the intent was to provide full electric, water, and wastewater service to all sites so that the campground could be used by Recreation Vehicles (RVs) for long-term use. These enhancements would constitute a conversion or alteration of commercial use, changing Horton Area Campground from a campground to a mobile home park in violation of Truro Zoning Bylaws. Accordingly, this alteration of use must be reviewed.

Furthermore, Adventure Bound made no mention of grading and topsoil removal at its sites in initial discussions with the NPS. A recent proposal, shared with the NPS in May 2016 after this site work was done, indicated the intent to grade roads and parking areas, harden RV sites, and add electric, cable TV, water and sewer utility hookups to each RV site. The extent of this expansion essentially changes the nature of the campground, and topsoil removal and clearing of the property is inconsistent with town zoning bylaws and federal regulations under 36 C.F.R. Part 27 (see attached).

Adventure Bound claims in its appeal that its current proposal is in keeping with Massachusetts Department of Environmental Protection (MassDEP) requirements for wastewater treatment. However, MassDEP conditioned on June 16, 2015 that "the issuance of a permit... does not relieve the permittee of its obligation to comply with any other applicable Federal, State and local laws and regulations." The steps which Adventure Bound seeks to take do not comply with these laws, rendering this basis for appeal without merit.

As a direct abutter, we have serious concerns over the extent of the expansion and alteration of use and clearing of the property due to the National Seashore's Federal Zoning Standards Regulation and Truro Zoning Bylaws. We also have environmental concerns for sensitive species protection. As it was originally presented to the NPS, the wastewater treatment facility proposal was not designed to expand or change the use of the Campground, but rather comply with pre-existing MassDEP regulations. The current project at Horton Area Campground has moved significantly beyond this initial understanding.

We hope that the ZBA and Planning Board will strongly consider the applicability of bylaws to the expansion and alteration of Horton Area Campground's pre-existing use. Trailer parks sites are routinely outfitted with decks, porches, screened porches, carports, dog pens and other semi-permanent structures allowing for long-term occupancy, standing in contrast to the current use of the campground. The proposed scale of expansion and change of use could mean long-term residential use at each campsite for at least 3 and even 4 seasons; this could result in hundreds of single-family dwellings in RVs on the property, which is inconsistent with the single-family residential zoning within the seashore and the original use of the Horton Area Campground.

The United States Congress has tasked the National Park Service to ensure, in collaboration with local governments, "[z]oning bylaws for the Seashore District shall be consistent with the objectives and purposes of the Act of August 7, 1961, so that—to the extent possible under

Massachusetts law—the scenic, scientific and cultural values of the area will be protected, undeveloped areas will be preserved in a natural condition, and the distinctive Cape Cod character of existing residential structures will be maintained.” 36 C.F.R. Part 27, § 27.3(b). In line with this directive, we find that approval of the appeal would be detrimental to the neighborhood and to the environs of the Cape Cod National Seashore.

We respectfully request that this letter be read into the record. Thank you for your consideration.

Sincerely,



George E. Price, Jr.  
Superintendent

Attachment – Federal Zoning Standards Regulation for CCNS

cc:

Town Administrator  
Town Building Inspector  
Town Planner  
Town Health Agent  
Town Planning Board  
CCNS Advisory Commission

# CAPE COD NATIONAL SEASHORE; ZONING STANDARDS

## CODE OF FEDERAL REGULATIONS, Title 36, PART 27

Sec.

27.1 General objectives.

27.2 Commercial and industrial activities.

27.3 Seashore District.

27.4 Variances and exceptions.

AUTHORITY: Secs. 1, 5, 75 Stat. 284, 290; 16.S.C. 459b, 459b-4.

SOURCE: 27 FR 6714, July 14, 1962, unless otherwise noted.

### § 27.1 General objectives.

(a) Consistent with the objectives set out in section 5 of the Act of August 7, 1961 (75 Stat. 284), development and management of the Cape Cod National Seashore will be conducted in a manner which will assure the widest possible public use, understanding and enjoyment of its natural, cultural and scientific features. The regulations in this part are designed and promulgated to establish minimum standards which local zoning bylaws must meet in furtherance of those purposes.

(b) The standards hereby established for approval of zoning bylaws or amendments of zoning bylaws—are intended: (1) To contribute to the effect of prohibiting the commercial and industrial use, other than existing commercial or industrial use not inconsistent with the purposes of the Act of August 7, 1961 (75 Stat. 284, 291), of all property within the boundaries of the Cape Cod National Seashore and situated in the towns of Provincetown, Truro, Wellfleet, Eastham, Orleans and Chatham; and (2) to promote preservation and development, in accordance with the purposes of the said Act, of the area comprising the seashore, by means of acreage, frontage and setback requirements and other provisions which may be required to be included in zoning bylaws consistent with the laws of Massachusetts. Zoning bylaws or amendments of zoning bylaws applicable to the area within Cape Cod National Seashore, in order that they may be approved, shall conform to the standards herein set forth relating to preservation and development of the seashore in accordance with the purposes of the said Act. The Secretary shall be given notice of any amendments to approved zoning bylaws that affect the Seashore District. Nothing in these standards or in the zoning bylaws adopted pursuant thereto for the area within Cape Cod National Seashore shall preclude the Secretary of the Interior from fulfilling the responsibilities vested in him by the Act of August 7, 1961, or by the Act of August 25, 1916 (39 Stat. 535), as amended and supplemented.

(c) Wherever the term “improved property” is used in this part it shall mean a detached, one-family dwelling, the land on which it is situated, and accessory structures, and as further defined in section 4(d) of the Act of August 7, 1961 (75 Stat. 284).

### § 27.2 Commercial and industrial activities.

No commercial or industrial districts may be established within the Cape Cod National Seashore.



### § 27.3 Seashore District.

(a) Description. The Seashore District shall include all those portions of the towns of Provincetown, Truro, Wellfleet, Eastham, Orleans and Chatham lying within the exterior boundaries of the Cape Cod National Seashore.

(b) Zoning bylaws for the Seashore District shall be consistent with the objectives and purposes of the Act of August 7, 1961, so that—to the extent possible under Massachusetts law—the scenic, scientific and cultural values of the area will be protected, undeveloped areas will be preserved in a natural condition, and the distinctive Cape Cod character of existing residential structures will be maintained.

(c)(1) No moving, alteration, or enlargement of existing one-family residential dwellings or structures accessory thereto situated within this District shall be permitted if such would afford less than a 50-foot setback from all streets measured at a right angle with the street line, and a 25-foot distance from the abutters' property lines (or less than such lesser setback or distance requirements already in existence for such dwellings or accessory structures).

(2) If through natural phenomena or causes a lot or lots are so diminished in size that an owner would be unable to comply with the setback or sideline requirements herein prescribed, such owner or the zoning authorities may, as provided in § 27.4(b), request the Secretary of the Interior to determine whether a proposed move, reconstruction, alteration or enlargement of an existing residential dwelling or accessory structure would subject the property to acquisition by condemnation.

(d) Zoning bylaws adopted pursuant to this regulation shall contain provisions designed to preserve the seashore character of the area by appropriate restrictions or prohibitions upon the burning of cover, cutting of timber, filling of land, removal of soil, loam, sand or gravel and dumping, storage, or piling of refuse and other unsightly objects or other uses which would detract from the natural or traditional seashore scene.

(e) Zoning bylaws for the Seashore District may permit residential uses of "improved property" and other uses of such dwellings and their accessory structures: Provided, Such other uses are traditional to these seashore communities, are customarily incidental to the principal residential use and do not alter the essential character of the dwelling and premises as a private residence. Subject to those conditions such uses may include, but are not limited to: (1) Partial use of dwellings by residents for a professional office (as for the practice of theology, law or medicine), as an artists' studio, for appropriate small scale home occupations as the making and selling of traditional Cape Cod products produced on the premises, and for the rental of rooms and serving of meals by residents of the premises to overnight guests; (2) the existence of structures, such as a garage, barn or boathouse accessory to the dwelling; (3) display of a sign which may be indirectly but not directly illuminated and not to exceed two square feet in the area, referring to the occupancy, sale, or rental of the premises; (4) traditional agricultural uses of cleared land, but not including such objectionable uses as a piggery or the raising of livestock, poultry, or fur-bearing animals for commercial purposes; and (5) the opening of shellfish, the storage and use of fishing equipment, and other traditional fishing activities. No commercial or industrial ventures (other than of the types described above), may be established within the Seashore District.

**§ 27.4 Variances and exceptions.**

(a) Zoning bylaws may provide for variances and exceptions.

(b) Bylaws adopted pursuant to these standards shall contain provisions which constitute notice to applicants for variances and exceptions that, under section 5(d) of the Act of August 7, 1961, the Secretary of Interior is authorized to withdraw the suspension of his authority to acquire, by condemnation, "improved property" that is made the subject of a variance or exception which, in his option, fails to conform or is in any manner opposed to or inconsistent with preservation and development of the seashore as contemplated in the said Act. The Secretary may be consulted at any time by zoning authorities or by the owner of "improved property" regarding the effect of a proposed variance or exception upon the status of the affected property with regard to the suspension of the Secretary's authority to condemn. The Secretary, within 60 days of the receipt of a request for such determinations, or as soon thereafter as is reasonably possible, shall advise the owner or zoning authorities whether or not the intended use will subject the property to acquisition by condemnation.

(c) The Secretary shall be promptly notified of the granting of any variance or exception.



# TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004, Ext. 27

Fax: (508) 349-5505

cridley@truro-ma.gov

Sent Via Email and USMail

June 7, 2016

Mr. Donald P. Nagle  
Law Office of Donald P. Nagle, PC  
207 Front Street  
Scituate, MA 02066

Re: Horton's Campground, 67 So. Highland Road

Dear Mr. Nagle:

The purpose of this letter is to provide you with a summary of issues and questions raised by the Planning Board during the Site Plan Pre-application Consultation on May 25, 2016. This list is intended to assist you in preparing Site Plan Review application materials, and is not intended to serve as a complete or definitive list of issues and questions that could arise as part of the Planning Board's Site Plan Review.

1. As noted in the Building Commissioner's *Notice of Zoning Bylaw Violation and Order to Cease, Desist and Correct* (Order, May 4, 2016), the project triggers the requirement for Commercial Site Plan Review under §70.3 of the Truro Zoning Bylaw. In reviewing the filing requirements (§70.3.D), you may note that §70.3.E authorizes the Board to waive requirements under §70.3.D if, in their opinion, doing so would not be detrimental to public interest, cause the Town any expense, or be inconsistent with the purposes and intent of the bylaw. Should you decide to seek any waivers, please submit these requests in writing with an explanation of how the criteria under §70.3.E are met. Please also review the Review Criteria/Design Guidelines (§70.3.F) and provide information in the application that explains how the proposed site plan meets or responds to these elements. Of great concern are the mitigation measures that would be proposed to restore vegetation.

2. Compliance with zoning is a requirement of Site Plan Review (§70.3.F.1) As noted in the Order, alteration or extension of a pre-existing non-conforming use within the Seashore Zoning District requires a Special Permit from the ZBA (§30.7 A) The Board will be interested to know whether you are seeking a Special Permit from the ZBA, or providing verifiable information to satisfactorily demonstrate that the activities do not constitute extension and/or alternation. Please also respond to the comment about compliance with the provisions of §30.3.C, concerning activities or uses that are prohibited in the Seashore District.

3. The Board will be seeking documentation regarding the Massachusetts Natural Heritage and Endangered Species Program determination of impacts to state-listed species. If MNHESP has indicated a potential take, please indicate how this will be addressed.

4. The letter read at the May 25<sup>th</sup> meeting from Cape Cod National Seashore Superintendent George Price is attached as requested. The Board would be interested in responses to all points raised in the letter, including compliance with the status of access to the subject property off Old Dewline Road. Also, please clarify the ownership of property southwest of the area of disturbance, adjacent to Old Dewline Road.

5. Please describe how the proposed site plan varies from current "pre-construction" activities undertaken at the site, including any changes in the number, location, size or use of camp sites, structures, parking, curb cuts, roadways, new uses, amenities or utilities. Please document the extent of any changes in the footprint of activities on the property.

I have enclosed the schedule of upcoming Planning Board meetings and associated submission deadlines. Please let me know if I can provide additional information.

Sincerely,



Carole Ridley  
Planning Consultant

Encl: 2

cc: Rae Ann Palmer (via email)  
Lisa Maria Tobia (via email)  
Russ Braun (via email)  
Pat Pajaron (via email)  
Emily Beebe (via email)



# United States Department of the Interior

NATIONAL PARK SERVICE  
Cape Cod National Seashore  
99 Marconi Site Road  
Wellfleet, MA 02667

IN REPLY REFER TO:

C3815

Tract Nos. 12-2431  
12-2324

May 23, 2016

Lisa Maria Tobia, Chair  
Truro Planning Board  
Truro Town Hall  
24 Town Hall Road  
P.O. Box 2030  
Truro, MA 02666

Dear Chair and Board Members:

We have a number of clarifications, concerns and questions for consideration concerning the recent alterations at the Adventure Bound property known as Horton's campground; we are interested in the adherence to Town of Truro Zoning and General Bylaws.

CCNS reviewed the central wastewater project for the two campground properties in 2010 only, not for a decade as represented.

J.M. O'Reilly and Associates consultants verbally represented to Park Planner and Town ATA/Planner on Oct. 5, 2010 that about 50 RV sites would be traded from Adventure Bound's North Truro Camping Area (NTCA) to Adventure Bound's Horton camping area while combining a central wastewater system on the Horton property. A October 25, 2010 letter from the consultants to the CCNS Advisory Commission discusses the client's desire "to balance the number of sites between the two campgrounds."

At the Cape Cod National Seashore Advisory Commission of November 15, 2010, the consultants also represented that there were 330 sites on NTCA campground and 209 sites at Horton's camping area, and "we'd like to move about 50 or 60 spots to Horton's." There were comments about the changes proposed needing town review as a pre-existing non-conforming use. As a result of the review, the Advisory Commission recommended a conditional extension of the Commercial Certificate of Suspension from Condemnation (CSC), versus the typical 5 year extension. So, a Commercial CSC was issued on Nov. 23, 2010.

Since 2010, correspondence has simply been about the road easements needed and when the MA Department of Environmental Protection's Administrative Consent Order extensions were given, since Adventure Bound wanted to continue to have a Commercial CSCs in effect. CCNS extended the CSCs again Dec. 3, 2013 through Dec. 31, 2016 to give time for central wastewater system completion.

As a direct abutter, we certainly have concerns over the extent of intensification of use and clearing of the property due to the park's NPS zoning regulation and town zoning bylaws, as well as environmental concerns for species protection. As we saw it, the wastewater proposal was not intended to allow an increase in intensity of use, but rather compliance with pre-existing DEP regulations.

Has Mass Natural Heritage & Endangered Species Program reviewed this priority habitat and defined any project parameters?

Topsoil has been removed and hauled off-site, and it appears from the roadway that a mix of hardener with pieces of construction debris is in piles to be spread. It would be helpful to get an understanding of this issue as well, particularly due to the following zoning parameters:

§ 30.3 Seashore District

C. **General regulations.** Except as provided above and in the use table, the following activities or uses are prohibited in the Seashore District:

2. Filling of land, dumping, or removal of soil, loam, sand, or gravel.
3. Cutting of timber except; a) by an owner for the purpose of reasonably controlling brush or trees; b) maintenance cutting in pastures; or c) cutting for clearance or maintenance on rights-of-way including those pertaining to public utilities or public highways.

Grading and topsoil removal of sites has not been discussed; now the current proposal by the attorney of May 13, 2016 indicates grading roads, establishing electric hookups, and hardening each site and parking area is proposed.

Further, on May 6, 2016 we emailed Mr. Klekamp and Attorney Nagle saying: "Please note that the access onto Old Dewline Road has been researched as requested by the former owner, Mr. Horton; we confirmed that there is no deeded legal entrance/exit from the campground property. Please place barricades on the edge of the privately-owned property to discontinue the access ASAP." We have had no reply.

It will be helpful for Planning Board site plan review processes to proceed to iron out some of the issues we raise, along with those of town officials.

Thank you for your consideration.

Sincerely,



George E. Price, Jr.  
Superintendent



# TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666

**Office of the Board of Selectmen**

Tel: 508-349-7004, Extension: 10 or 24 Fax: 508-349-5505

Mr. Donald P. Nagle  
Law Office of Donald P. Nagle, PC  
207 Front Street  
Scituate, MA 02066

Re: Horton's Campground, 67 So. Highland Road

Dear Mr. Nagle:

I am in receipt of your letter (May 13, 2016) acknowledging the *Notice of Zoning Bylaw Violation and Order to Cease, Desist and Correct* (Order) issued by the Truro Building Commissioner to A/C Mobile Home Park, Inc. on May 4<sup>th</sup>.

Given the extent of violations cited, it is encouraging to learn that the owners of the property are taking this matter very seriously and intend to address the Town's concerns promptly.

As noted in the order, the nature of activities undertaken on the site trigger Commercial Site Plan Review under Section 70.3 of the Truro Zoning Bylaw. The site plan review process affords the Town the opportunity to work with a property owner to accommodate site alterations they deem necessary for their operations in a manner that protects vital community interests. I am aware that you are scheduled to appear before the Planning Board on May 25<sup>th</sup> for a pre-application conference. With the Planning Board's guidance, I urge you to initiate a site plan application as early as possible.

The activities for which you have requested permission to continue under the order, including site clearing and grading, are not related to the treatment plant installation, exceed what could be considered regular maintenance and are properly part of the site plan review process. Therefore, the Town may not allow these activities to continue unless authorized through an approved site plan. To allow these activities to continue would be in violation of the Zoning Bylaw.

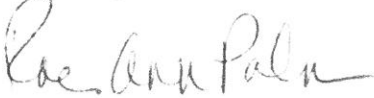
Site plan review may only be granted for properties that are in all other respects compliant with the Zoning Bylaw. As noted in the order, a pre-existing non-confirming use within the Seashore Zoning District requires a Special Permit pursuant to Section 30.7 A of the Bylaw for any alteration or expansion of the use. The presumption, unless proven otherwise, is that by adding a treatment plant without reducing the number of camping sites, the owner is expanding the footprint of operations and, thereby, expanding the use. It is also presumed that the nature of the use is altered by equipping tent camping sites for recreational vehicles. It is incumbent upon the owner to provide the Town with verifiable information to satisfactorily determine whether the activities constitute expansion and/or alternation, and therefore require a Special Permit under Section 30.7.A of the Zoning Bylaw.

In closing, I want to acknowledge the significant efforts undertaken by the owner to address wastewater discharge violations on the property. The owner has accomplished this by designing a treatment system and

obtaining a groundwater discharge permit from the Massachusetts Department of Environmental Protection, along with the requisite approval of that system from the Truro Board of Health. The protection of groundwater resources is of utmost concern, and the system will adequately address a longstanding threat to groundwater. For these reasons, the Building Commissioner has allowed activities related to the installation of the system to continue, as specified in his letter to Mr. Morris (May 5, 2016).

We look forward to your prompt attention to the regulatory requirements outlined in the order, and stand ready to assist you in this process.

Sincerely,

A handwritten signature in cursive script that reads "Rae Ann Palmer".

Rae Ann Palmer  
Town Manager



---

**LAW OFFICE OF DONALD P. NAGLE, PC**

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207 FRONT STREET  
SCITUATE, MASSACHUSETTS 02066  
TEL: 781-378-1048 FAX: 781-378-1363

---

WWW.DPNAGLELAW.COM  
EMAIL: NAGLE@DPNAGLELAW.COM

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May 13, 2016

**BY ELECTRONIC MAIL**

[rpalmer@truro-ma.gov](mailto:rpalmer@truro-ma.gov)

Rae Ann Palmer  
Town Administrator  
Town of Truro  
24 Town Hall Road  
PO Box 2030  
Truro, MA 02666

**Re: Horton's Campground**

Dear Ms. Palmer:

This letter acknowledges receipt of the May 4, 2016 Stop Work Order issued to Adventure Bound Campground Resorts ("Adventure Bound") regarding activities related to the installation of a wastewater treatment plant at Horton's Campground in Truro. I wish to assure you and the Town of Truro that Adventure Bound takes this matter very seriously and is motivated to ensure that the concerns of the Town and neighbors are addressed promptly and effectively.

Managers of Horton's, our engineer, and I met with Russ Braun and Carol Ridley this Tuesday to discuss this matter. We intend to honor the Stop Work Order, but as discussed at this meeting, certain clarifications are warranted.

First, the work performed to date is necessary to meet MassDEP requirements to install and operate a wastewater treatment plant, not only for Horton's Campground, but for the nearby campground, commonly known as the North Truro Camping Area ("NTCA"). Adventure Bound has been working with MassDEP, the Town of Truro and the Cape Cod National Seashore for over ten years to develop a plan to ensure protection of the groundwater resources. This work culminated in MassDEP's issuance of a groundwater discharge permit on June 16, 2015. Adventure Bound had previously entered into an administrative consent order with MassDEP requiring that the treatment plant be operational within three years of issuance of this permit. These plans have been discussed with all parties from the very beginning and are designed to provide sewer to all the licensed sites at Horton's and the NTCA.

Second, additional work necessary to open the seasonal campground is annual maintenance and repair to ensure that the existing campground sites meet expectations of the campers. This work includes the following:

Rae Ann Palmer  
Town Administrator  
May 13, 2016  
Page 2 of 2

1. Repair of water lines;
3. Grade roads and apply hardener;
4. Level sites and apply hardener to the parking area of each site; and,
5. Final grading and landscaping to stabilize disturbance from sewer-related activities.

This letter requests that this work be allowed to continue. Regarding electrical work, we have commitments to campers for sites 128-134. We planned to have electric hookup for these sites, and request that this work also be allowed to go forward, and to restore electric to the bath house.

In the meantime, we would agree not to complete any additional electric hookups to the remaining sites until all issues are resolved. We also would agree to cease all work on the sewer plant until all matters with the Town are resolved. Further, as discussed with Mr. Braun and Ms. Ridley, we had planned to relocate 25 camp sites lost in the lower section of the campground, due to the siting of the treatment plant and leaching field, to the upper area. We propose to delay this relocation until all issues are resolved.

This is very time-sensitive to Adventure Bound, since the camping season is upon us, and much work is required to prepare the campground for use. As such, I respectfully request a meeting at your earliest convenience to discuss this matter in detail, with the objective to arrive at a mutually agreeable plan going forward that provides an equitable balance between the concerns of the Town and the rights of Adventure Bound to operate its campground in compliance with applicable requirements.

I look forward to your response and to discussing this matter with you.

Very truly yours,



Donald P. Nagle

cc: Russell Braun, Building Commissioner  
Carole Ridley, Town Planner  
Lauren McKean, Cape Cod National Seashore

May 5, 2016

Mr. Gregory Morris  
GFM, Inc.  
2 George Holbrook Way  
Harwich, MA 02645



**Town of Truro  
Building Department**

24 Town Hall Rd.  
PO Box 2030  
Truro, MA 02666  
Tel (508) 349-7004 x31 Fax (508) 349-5508

Re: 67 South Highland Rd., Assessor's m/p 37-15, Horton's Campground

Dear Greg:

Thank you for coming in today with property manager James Bourne to discuss the violations at the above referenced property that were outlined in the Notice of Violation and Stop Work order dated May 4, 2016. As discussed, it is, ultimately, the responsibility of the property owner to obtain all necessary permits for the proposed work. The existence of a state issued permit only for the installation of a wastewater system does not imply that other state and local permits are tacitly approved and issued.

Please do not assume that this is a situation where it will be easier to ask for forgiveness than to ask for permission. The levying of daily fines for current violations continues to be an option for the Town.

You requested to be able to continue some of the work and we agreed that you could proceed with the following:

- In currently installed manholes, completion of the invert swales (this involves no excavation)
- Commence work on the main "Amphidrome" system.
- Hardening the construction road from Old Dewline Rd. to the main "Amphidrome" facility work area.

You agreed that no further work will take place in the overall disturbed area where the waste water and electrical conduits have been installed until such a time as all necessary local and state permits have been secured.

We explained to you the nature and basis of the violations and outlined a path to compliance. It is the property owner's responsibility to make proper application and see to it that all necessary engineering and documentation is submitted in a timely manner in order to ensure a smooth process. We stated the local Commercial Site Plan Review in front of the Planning Board will be necessary and, most likely, zoning relief before the Zoning Board of Appeals. We also request that you investigate the necessity for other environmental reviews, both local and state.

The Stop Work placards shall not be disturbed. If you have further questions do not hesitate to contact me.

Sincerely,  
Town of Truro

Russell Braun  
Building Commissioner

Cc: Town Administrator  
Town Planner  
Health/Conservation Agent  
Property Owner



**WILKINSON**  
ECOLOGICAL DESIGN

August 8, 2016

Town of Truro  
c/o Russell Braun  
24 Town Hall Road  
P.O. Box 2030, Truro, MA 02666

**RE: Interim Restoration Proposal for Horton's Campground  
67 South Highland Road  
Property Owner: Adventure Bound Campground Resorts**

Dear Mr. Braun:

On behalf of Adventure Bound Campground Resorts, Wilkinson Ecological Design, Inc. (WED), respectfully requests that in advance of a final site plan approval, the following interim activities be carried out as an important first step to restoring the cleared upper camping loop at Horton's Campground. WED proposes that the native top soil and overlying organic material, which was removed from the upper camping loop, be returned to the restoration site and be redistributed to strategic locations within the affected area.

During our site visits, it was observed that approximately 4 to 6 inches of combined soil and overlying organic material consisting of leaves, needles, and woody debris of varying stages of decomposition was removed throughout much of the cleared area. This material, which is currently being stockpiled at a lower camping area on the site, would be delivered to the upper camping loop and stockpiled within camping sites 160 to 163. Soil and organic material redistribution would be focused on mulching around trees and between trees to conserve moisture and maintain more consistent soil temperatures around the trees. Returning this material would also return the native seed bank and would not occur where camping activities are likely to take place, i.e., where a car would park, a tent be pitched, or near picnic tables.

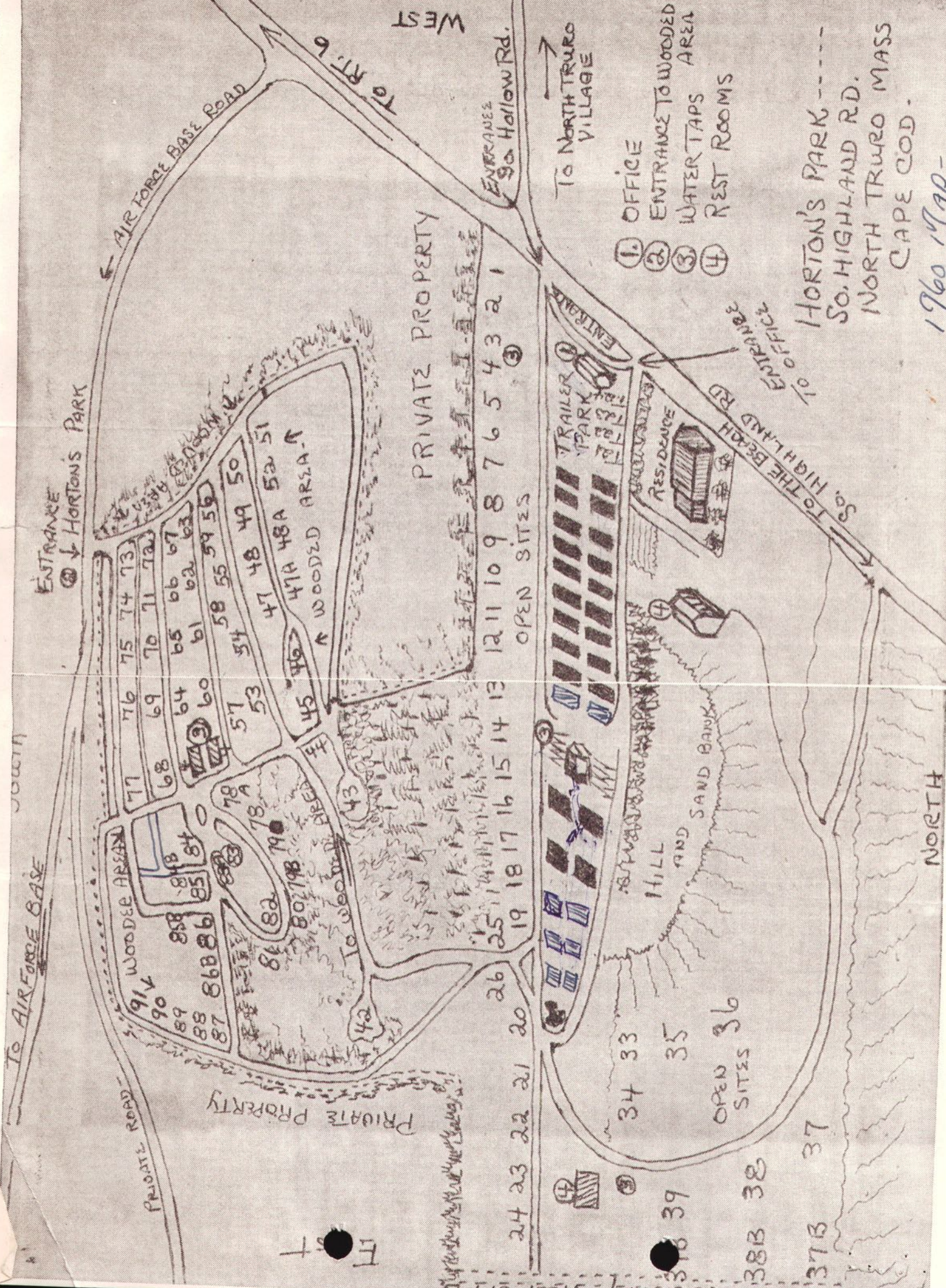
It is WED's professional opinion that returning the soil, organic material, and seed bank to the affected area will serve as an important first step in restoring the native plant community and soil biology and chemistry. In addition to protecting the exposed root systems of remaining trees, the soil and organic material will help to reduce the potential for erosion, and inhibit the introduction of invasive and weedy aggressive plant species. Along with the immediate ecological benefits to the affected area by returning the removed material, these actions are aligned with the long term restoration plan that is currently being developed for the property.

We believe that these interim activities should be performed as soon as possible in order to protect the existing trees from further stress. A full restoration plan will be included in the site plan review application submitted to the Truro Planning Board.

Sincerely,

Tabitha Kaigle  
Associate Restoration Designer  
Wilkinson Ecological Design, Inc.

**CC: Wayne Klekamp (by email)  
Donald Nagle (by email)**



- ① OFFICE
- ② ENTRANCE TO WOODED AREA
- ③ WATER TAPS
- ④ REST ROOMS

HORTON'S PARK -----  
 SO. HIGHLAND RD.  
 NORTH TRURO MASS  
 CAPE COD.

1960 MAP-

PROVINCE TOWN 1220

HORTON'S PARK  
SOUTH HIGHLAND ROAD  
NORTH TRURO, MASS.

**Rules and Regulations:**

1. All persons must register at the office upon arrival at the Park. Rents are payable in advance.
2. No loud parties will be tolerated at anytime nor will loud radios or other excess noises be permitted.
3. NO OPEN FIRES ARE ALLOWED - Only gas stoves and gas lanterns are permitted. Charcoal grills may be used in the open area if permission has been granted at the office.
4. FIRES ARE OUR MAJOR HAZARD - For your protection and for the safety of your neighbors, please use your ash tray or a container filled with water or sand.
5. There is a picnic table at each campsite. Please DO NOT HELP YOURSELF to tables from adjoining sites.
6. Campsites and Trailer spaces must be vacated by 11:00 A.M. Your site may be reserved for someone else. Check in at the office if you wish to stay over.
7. Put all garbage, neatly wrapped, in rubbish containers near your location.
8. PLEASE - NO PETS - Transients with pets must keep them on a leash at all times. A strict rule - NO EXCEPTIONS!
9. The speed limit of 5 M.P.H. in the Park must be observed at all times. Use your brakes instead of your horn.
10. Campsite and trailer space numbers are subject to change without notice. The number selected is only a guarantee that a space or site will be reserved and ready for your arrival.
11. Only one family and one car permitted at each site. Adjoining sites may be obtained if desired.
12. NO CUTTING OF TREES ALLOWED ANYWHERE IN THE PARK - - Tent poles are available at the lumber yards.
13. Drunkenness or immoral conduct will not be tolerated.
14. Your co-operation is requested to keep the Park neat and clean at all times, especially your area and the REST ROOMS.

The management reserves the right to evict anyone who does not comply with the above rules and regulations.

## HELPFUL HINTS

*Courtesy of Horton's Park*  
NORTH TRURO, MASS.

### RECREATION:

The nearest ocean beach is Highland Coast Guard Beach (1 mile) Several others nearby

Bay beach — at Corn Hill off Castle Road, North Truro. Nine public beaches in Truro Any side road off Route 6 will take you to beaches

Fresh water bathing (fine after a salt water swim) at Long Pond or Gull Pond in Wellfleet.

Plan a deep sea fishing party on boats at Provincetown or Wellfleet Harbor. Also, boat rides at the same places.

Stop at Chamber of Commerce buildings for helpful information and literature listing points of interest and things to do. Chambers are located at Provincetown, Wellfleet and North Truro.

Spend some time driving along side roads to see the real charm of Cape Cod — sand dunes, scenic views of countryside and ocean

A beach taxi ride is fun — one you will not forget. Taxi from the pier at Provincetown

Sailing and fishing parties or Speed boat rides leave the Piers at Provincetown and Wellfleet daily

Out door Drive-in Theater at South Wellfleet, on Route 6. (13 miles from Park)

Surf casting at any of the Public Beaches in Truro or North Truro

### SERVICES:

Boat ramps in Truro, Wellfleet and Provincetown.

White gas may be purchased at Gulf Station (Route 6) in North Truro (2 miles from Park)

Camping equipment (including Coleman stoves and lanterns) sold and repaired at Land's End Marine Supply Store or Goose Hummock Sporting Goods Store in Orleans

For tent poles or stakes — Higgins Lumber Company, Provincetown, or Nickerson Lumber Company in Wellfleet

Fresh fish and lobsters — Wellfleet and Provincetown Harbors at the Piers

Laundromat Service in Truro

### RESTAURANTS:

Several in North Truro,

### CHURCHES:

There are Catholic and Protestant churches in North Truro.

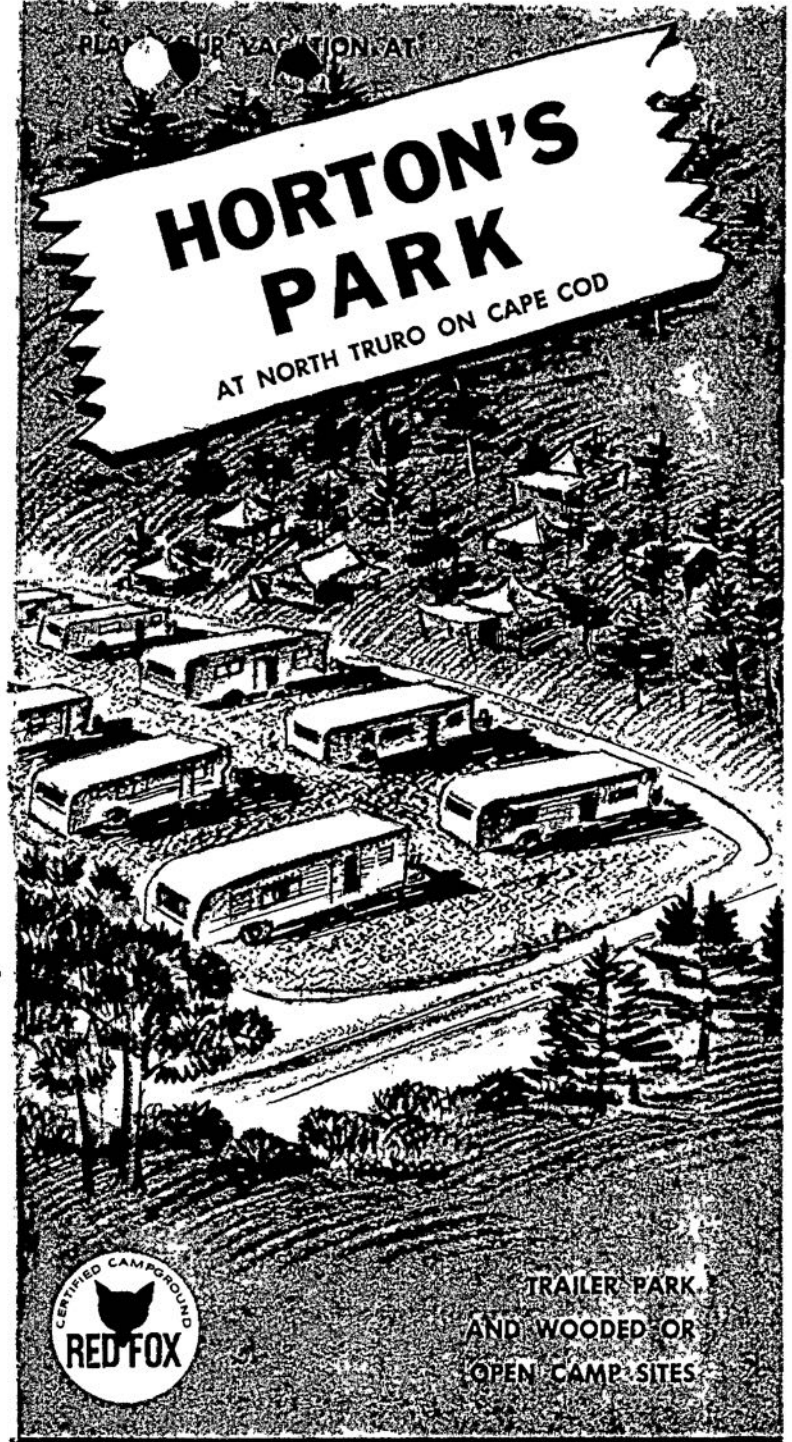
### IMPORTANT TO OWNERS OF TRAILERS!!!

PLAN TO ARRIVE WITH FULL GAS BOTTLE ON TRAILER AS NEAREST SUPPLY FOR REFUELING IS 45 MILES AWAY IN HYANNIS.

PLAN YOUR VACATION AT

# HORTON'S PARK

AT NORTH TRURO ON CAPE COD



TRAILER PARK  
AND WOODED OR  
OPEN CAMP SITES

SUMNER AND MARY HORTON

P. O. BOX 308 NORTH TRURO, MASS.

Telephone Provincetown 1220

Vacationing at Horton's Park enables you to enjoy Cape Cod at its best . . . a fascinating combination of unspoiled countryside, rolling hills and fragrant pines. It is handy to superb beaches, picturesque dunes, boating, fishing and bathing . . . it's an ideal spot for rest and relaxation. But, when your mood suggests activity, you will find yourself handy to a golf course, historic villages, interesting shops, and all of the attractions which have made Cape Cod a favorite vacationland.

## HORTON'S PARK

At the Park there are 60 acres of land providing up-to-date accommodations for trailers and invitingly arranged camp sites. It offers a haven for those who love the country and the sea. The Cape is only 2 miles wide at this point and we are midway between the ocean and the bay. At some sites in the Park one can see the famous Cape Cod Light House, also known as Highland Light.

## THE TRAILER PARK (Open year 'round)

The trailer section provides all of the facilities of a modern trailer park — each space has individual water, sewage, and electrical connections. Transient spaces provide parking areas only with rest rooms and water taps nearby. The Park is approved by the Truro Board of Health.

## THE CAMPING AREA

(Open May 15 — Sept. 15)

The campsites comprise large lots approximately 30'x50' in non-shaded, partial shade or wooded areas. There are picnic tables and ample parking space at each site. Modern rest rooms with flush toilets, showers and electric outlets for shaving are available. Several water faucets are located in the park, near the campsites. Campers should bring their own camp cook stoves as local fire laws prohibit open ground fires.

Services are provided in the Park for the delivery of ice, bakery and dairy products. A general store, Post Office and Gas Station are 1½ miles from the Park.

## GENERAL INFORMATION

### Our Rates

For each Trailer Space or Tent Site:

Rate per day (1 to 3 persons) \_\_\_\_\_ \$1.50

Rate per week (1 to 3 persons) \_\_\_\_\_ \$10.00

Additional persons:

Each child under 14 years of age 25¢ per day

Each adult \_\_\_\_\_ 50¢ " "

Reservations accepted with a \$5.00 deposit.

Metered electric service for trailers extra. If no meter outlet is available the service rate is 25¢ per day.

### Office Hours:

8:00 a.m. to 12:00 noon — 1:00 p.m. to 6:00 p.m.  
— 7:00 p.m. to 8:00 p.m.

Only one car and one family is permitted at each site. Adjoining sites may be had if requested.

Please register at the office upon arrival.

For the convenience of our guests we must establish the rule "No Pets, Please."

*Sumner and Mary Horton, Proprietors*

P. O. BOX 308, NORTH TRURO, MASS.

Telephone Provincetown 1220

MEMBER OF CAPE COD CHAMBER OF COMMERCE

MEMBER OF THE TRURO CHAMBER OF COMMERCE

PARK APPROVED BY THE TRURO BOARD OF HEALTH



Bea 1/27/70  
Jamison/Hoff

Cape Cod National Seashore  
South Wellfleet, Massachusetts 02663

C3815

February 10, 1970

Mr. and Mrs. Sumner C. Horton  
South Highland Road  
North Truro, Massachusetts 02652

Dear Mr. and Mrs. Horton:

Your letter of January 30, requesting permission to expand your utility systems to accommodate eight more mobile homes on a permanent basis and to improve your number two rest room by the addition of four showers was considered by the Cape Cod National Seashore Advisory Commission at its meeting February 6.

The Commission was opposed to the installation of additional mobile homes on a year round basis. However, in regard to the addition of showers to the existing rest room, the Commission considered this to be an improvement rather than an expansion and your proposal was approved subject of course, to compliance with all local zoning and building requirements.

Your cooperation in working with the National Seashore on such matters is appreciated.

Sincerely yours,

LESLIE P. ARNBERGER

Leslie P. Arnberger  
Superintendent

LEA:bergertlb 2, 10/70

Sincerely,  
 Thomas & Mary Henry  
 North Avenue, Mass 02652

The North Shore Air Force Station have right  
 matter home available which they would like to bring  
 to Hoston Park, North Shore, Mass. to act up for me as  
 living quarters for the three families to live in a  
 year around basis.  
 We do not have any facilities available at  
 would call for an expansion of our present activity, namely  
 water, sewage and electric meters for each site.  
 Under our present agreement with the National Shoreline  
 Park we cannot expand, as you and the Advisory Committee  
 would have to decide if this would be of such a nature  
 to warrant permission to put in eight more home sites  
 for this situation.  
 We would also like permission to install four showers  
 on the back side of our number one site, all to be  
 connected into the present sewerage system of that building.  
 These would be of design similar to the showers at Hoston  
 of the location specified by the National Shoreline  
 We would be glad to meet with you before the Advisory  
 Committee meets Friday if you feel we can be of any help  
 with plans or explanations.

Dear Sir:  
 Mr. Debie & Associates - Engrs.  
 Cape Cod National Seaside  
 20 N. Westport, Mass.

RECEIVED  
 FEB 2 1970  
 CAPE COD NATIONAL SEASIDE

|                 |        |
|-----------------|--------|
| Superintendent  |        |
| Ch. Park Adm.   |        |
| Ch. Inter       |        |
| Ch. Park Ranger | 8/2/70 |
| Engineer        |        |
| Project Superv. |        |
| File            |        |

Mr. Debie, Mass  
 January 30/1970

Cape Cod National Seashore  
South Wellfleet, Massachusetts 02663

C3815  
X W42

July 19, 1973

Ms. Barbara Jordan, Clerk  
Truro Planning Board  
Truro, Massachusetts 02666

Dear Ms. Jordan:

This will acknowledge your recent letter in regard to Horton's Campground. We are aware that Mr. Horton is gradually phasing out the mobile home section of the campground. This was a decision made by Mr. Horton following discussions with the National Seashore. The discontinuance of mobile home parking was not a requirement set by this office, although we are quite in agreement with Mr. Horton's action.

Horton's Campground is a commercial operation located in the Seashore District in which commercial ventures are not permitted. The campground, of course, predated the Seashore zoning, so it is operating as a non-conforming use.

The prohibition against trailer parks and the use of house trailers appears to apply to all districts throughout the Town of Truro. It is not a regulation limited to the Seashore District. Therefore it would appear that the action being taken by Mr. Horton is consistent with the goals of your zoning regulations as they apply to the entire town.

While trailer parks and mobile home occupancy are not among the permitted uses in Truro, we assume that such use could be authorized by variance granted by the Board of Appeals.

Sincerely,

~~Leslie P. Arnberger~~

Leslie P. Arnberger  
Superintendent

IPArnberger:msb 7/19/73

RECEIVED

JUL 13 1973



Truro Planning Board

CAPE COD NATIONAL SEASHORE TRURO, MASSACHUSETTS

|                  | ACT. | INFO. |
|------------------|------|-------|
| SUP. RINTENDENT  |      | 7/19  |
| ADMINISTRATION   |      |       |
| INTER PLANNING   |      | 7/19  |
| VISITOR SERVICES |      |       |
| AREA SERVICES    |      |       |
| ENVIRO P. ANNING |      |       |
| LAND ACQUI 'T.   |      |       |
| FILE             |      |       |

July 12, 1973

Mr. Leslie Arnberger, Superintendent  
Cape Cod National Seashore  
South Wellfleet, Massachusetts 02663

Dear Sir:

I have been instructed to write you that the Truro Planning Board has been made aware of a move in the direction of discontinuing the trailer park as it pertains to mobile homes in Mr. Horton's trailer park and camping area, North Truro.

For your information we feel we must point out that as Mr. Horton is operating as a nonconforming business; if this nonconformancy is allowed to lapse for a period of one year, that nowhere in the Town of Truro will the Town be able to legally issue a permit to accommodate year-round, mobile home occupancy.

Very truly yours,

*Barbara Jordan*  
Barbara Jordan, Clerk



# TOWN OF TRURO

## Planning Department

P.O. Box 2030, Truro, MA 02666

Tel: (508) 349-7004 Fax: (508) 349-5505

### Memorandum

To: Planning Board  
Fr: Carole Ridley  
Date: January 11, 2017  
Re: Staff Report

**2016-010SPR Robert and Jennifer Stello**, seek Residential Site Plan approval pursuant to §70.4 of the Truro Zoning Bylaw to demolish a residential structure and construct a new two-story residence and garage on property located at 22 Cliff Road, Map 29, Parcel 10.

### Background

The applicant seeks approval of a Residential Site Plan pursuant to §70.4 of the Truro Zoning Bylaw. The .46-acre (19,827 s.f.) property is located within the Seashore District.

The applicant proposes to demolish the existing 2,274 s.f. 2-story single-family dwelling and 653 s.f. garage located on the property, and replace it with a 3,308.5 s.f. 2-story single-family dwelling and 772 s.f. garage.

The applicant has filed for a Special Permit from the Zoning Board of Appeals and is scheduled for a public hearing on January 23, 2017.

The applicant has filed for review by the Historic Review Board under the Preserving Historic Properties Bylaw and is tentatively scheduled for a public hearing in early February.

### Completeness of Application

The following materials were submitted by the applicant to the Town Clerk on November 29, 2016:

- Residential Development Application for Site Plan Review
- Information from Benjamin Zehnder dated November 18, 2016 re Planning Board Residential Site Plan Review 22 Cliff Road/Assessor's Map 29, Parcel 10
- Copy of Assessor's Card and Assessor's Map for Map 29, Parcel 10
- Quitclaim Deed for 22 Cliff Road, Recorded at the Barnstable County Registry of Deeds
- Affidavit relative to Homestead
- Plan entitled Certified Plot Plan of Land in Truro, MA Prepared for Robert and Jennifer Stello, scale 1"=20', Dated September 21, 2016, Prepared by Schofield Brothers of Cape Cod

- Plan entitled Topographic Plan Showing Raze and Replacement of Single Family Dwelling at 22 Cliff Road, Truro, MA dated November 18, 2016, scale 1"=20', Prepared by Cape Cod Engineering, Inc.
- Plans by Architect's 33 Inc., Chris Cannon AIA, for Bob and Jen Stello, 22 Cliff Road, Truro, MA entitled and dated as follows:
  - Site Plan, sheet 01.1, 10/21/16
  - Cellar Plan, sheet 01.2, 10/21/16
  - First Floor Plan, sheet 01.3, 12/21/16
  - Second Floor Plan, sheet 01.4, 12/21/16
  - Roof Plan, sheet 01.5, 10/21/16
  - Elevations, sheet 01.6, 10/21/16
  - West View, sheet 01.7, 10/21/16
  - South View, sheet 01.8, 12/21/16
  - North View, sheet 01.9, 12/21/16
  - Bird's Eye View, sheet 01.10, 10/21/16
  - Renderings, sheet 01.11, 10/21/16
  - Existing Images, sheet 01.12, 12/21/16
- Received by Planning Department November 29, 2016: Assessors List of Abutters for 22 Cliff Road
- Received by Town Clerk on December 2, 2016: Fee of \$250.00

An application review letter was mailed to the applicant's representative, Benjamin Zehnder, on December 21, 2016 identifying additional information required to complete the application.

On January 4, 2017 the following supplemental materials were submitted to the Town Clerk:

- Plan entitled Topographic Plan Showing Raze and Replacement of Single Family Dwelling at 22 Cliff Road, Truro, MA dated January 4, 2017, scale 1"=20', Prepared by Cape Cod Engineering, Inc.
- Plan entitled Topographic Plan Showing Existing Site Conditions at 22 Cliff Road, Truro, MA dated January 4, 2017, scale 1"=20', Prepared by Cape Cod Engineering, Inc.
- Spec sheets for proposed outdoor lighting fixtures
- Plans by Architect's 33 Inc., Chris Cannon AIA, for Bob and Jen Stello, 22 Cliff Road, Truro, MA entitled and dated as follows:
  - Cellar Plan, sheet 01.2, 1/4/17
  - First Floor, sheet 01.3, 1/4/17
  - Second Floor, sheet 01.4, 1/4/17
  - Roof Plan, sheet 01.5, 1/4/17
  - Elevations, sheet 01.6, 1/4/17
  - Elevations, sheet 01.16, 1/4/17
  - West View, sheet, 01.7, 1/4/17
  - South View, sheet 01.8, 1/4/17
  - North View, sheet 01.9, 1/4/17
  - Existing Images, sheet 01.12, 1/4/17
  - Building Section, sheet 01.17, 1/4/17
  - Landscape Plan, sheet 01.13, 1/4/17
  - Exterior lighting 1<sup>st</sup> Floor, sheet 01.14, 1/4/17

- Exterior Lighting 2<sup>nd</sup> Floor, sheet 01.15, 1/4/17

### **Staff Comments**

#### Conservation Commission (see enclosed memo)

- There are no mapped wetland resources on the site.
- The site is within area mapped as NHESP Priority Habitat of Rare Species, and a filing with NHESP is required.

#### Board of Health (see enclosed memo)

- The septic system serving the property is permitted for 5 bedrooms and has met inspection.
- Proposed relocation of the septic system will require a disposal works construction permit.

#### Fire Department

- Chief Collins commented: Plan not pertinent to Fire Department.

### **Requested Waivers**

No waivers have been requested. The materials listed as outstanding in the December 21 review letter have been provided.

### **Planning Board Action**

Sections 70.4 D & E of the Zoning Bylaw are provided below in blue. The Board should make findings with respect to each condition, finding the application compliant, non-compliant, suggesting conditions to ensure compliance, or designating as not relevant to the case.

Accordingly, the Board may wish to undertake the following:

1. Vote on waiver requests (if any)
2. Make findings with respect to the review criteria/design guidelines below; and
3. Vote to approve, conditionally approve or deny the application based on specific reasons.

The Board may also seek to continue the hearing to obtain additional information. A continuance should be made to a date certain and confirmed in writing by the applicant.

#### **D. Review Criteria**

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction, shall be sited and implemented in a manner that is in keeping with the scale of other buildings and structures in its immediate vicinity in order to preserve the characteristics of existing neighborhoods. Such an evaluation shall be based on the following standards and criteria:

1. Relation of Buildings and Structures to the Environment. Proposed development shall relate to the existing terrain and lot, and shall provide a solar and wind orientation which encourages energy conservation.

2. **Building Design and Landscaping.** Proposed development shall be consistent with the prevailing character and scale of the buildings and structures in the neighborhood through the use of appropriate scale, massing, building materials, screening, lighting and other architectural techniques.

Regarding criteria 1 and 2, the applicant has provided detailed elevations and floor plans, as well as photos of the existing 2-story dwelling. The building meets height, and side and rear setback requirements. Front (street) setback is improved under the proposed plan but is not compliant. Lot coverage is proposed to increase by 4.3%. A site visit is planned for Jan 12<sup>th</sup> to allow the Board to view site in the context of the surrounding area.

The Board could make any site plan approval conditional on receipt of a Special Permit from the Zoning Board of Appeals and approval by the Historic Review Board.

3. **Preservation of Landscape.** The landscape shall be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil. The applicant has submitted a landscape plan showing vegetation with native plants and hardscape. There does not appear to be substantial grading proposed.

The Board could make any site plan approval conditional on filing with NHESP and compliance with any design guidance or requirements issued by NHESP.

4. **Circulation.** Curb cuts and driveways shall be safe and convenient and shall be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro. The applicant appears to be using the exiting driveway entrance.

5. **Lighting.** Lighting shall be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There shall be protection of adjacent properties and the night sky from intrusive lighting.

The lighting information provided by the applicant appears to meet the requirements of Ch. IV, Section 6 of the General Bylaws.

#### E. Findings of the Planning Board

The concurring vote of four members of the Planning Board shall approve a Residential Site Plan in the form submitted or with reasonable conditions, unless it finds that (a) the application for site plan approval is incomplete, or (b) the imposition of reasonable conditions will not ensure that the project will conform to the standards and criteria described herein, or (c) the project does not comply with the requirements of the Zoning By-law.





# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## RESIDENTIAL DEVELOPMENT APPLICATION FOR SITE PLAN REVIEW

Date November 28, 2016

To the Town Clerk and the Planning Board of the Town of Truro, MA

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70.4 of the Truro Zoning By-law
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning By-law

### I. General Information

Description of Property and Proposed Project Property is 19,827 s.f. lot improved with a one-story wood framed single family dwelling. Applicants propose demolition of existing structure and construction of a new two-story wood framed single family dwelling.

Property Address 22 Cliff Road Map(s) and Parcel(s) Map 29, Parcel 10

Applicant's Name Robert Stello and Jennifer L. Stello

Applicant's Legal Mailing Address P.O. Box 776, South Chatham, MA 02659

Applicant's Phone(s), Fax and Email (508) 432-2218; fax (508) 432-4368; jenstello@gmail.com

Applicant is one of the following: *(please check appropriate box)*

- Owner
- Prospective Buyer\*
- Other\* \*Written Permission of the owner is required for submittal of this application.

Registry of Deeds title reference: Book 29845, Page 313, or  
Certificate of Title Number n/a and Land Ct. Lot # n/a and Plan  
# n/a

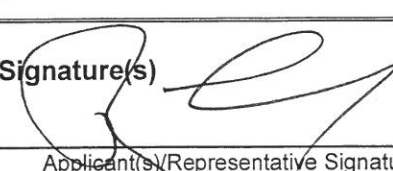
Owner's Name and Address Robert Stello and Jennifer L. Stello

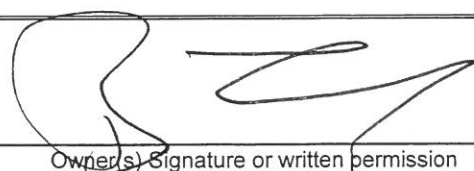
Representative's Name and Address Benjamin E. Zehnder / P.O. Box 2128, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; fax (508) 255-6649; bzezhnder@zehnderllc.com

**II. Waiver(s) Request** – Request of any waivers of the information required in §70.4.C shall be presented on separate sheet and shall provide a detailed reason for said waiver(s) pursuant to §70.4.F.

### II. Signature(s)

  
\_\_\_\_\_  
Applicant(s)/Representative Signature

  
\_\_\_\_\_  
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

# Benjamin E. Zehnder LLC

177 Route 6A  
Orleans, Massachusetts 02653

U.S. Postal Address:

P.O. Box 2128  
Orleans, MA 02653  
Tel: (508) 255-7766  
Fax: (508) 255-6649

Benjamin E. Zehnder, Esq.  
bzehnder@zehnderllc.com

November 18, 2016

**Re: Planning Board Residential Site Plan Review  
22 Cliff Road / Assessor's Map 29, Parcel 10**

**Zoning Information:**

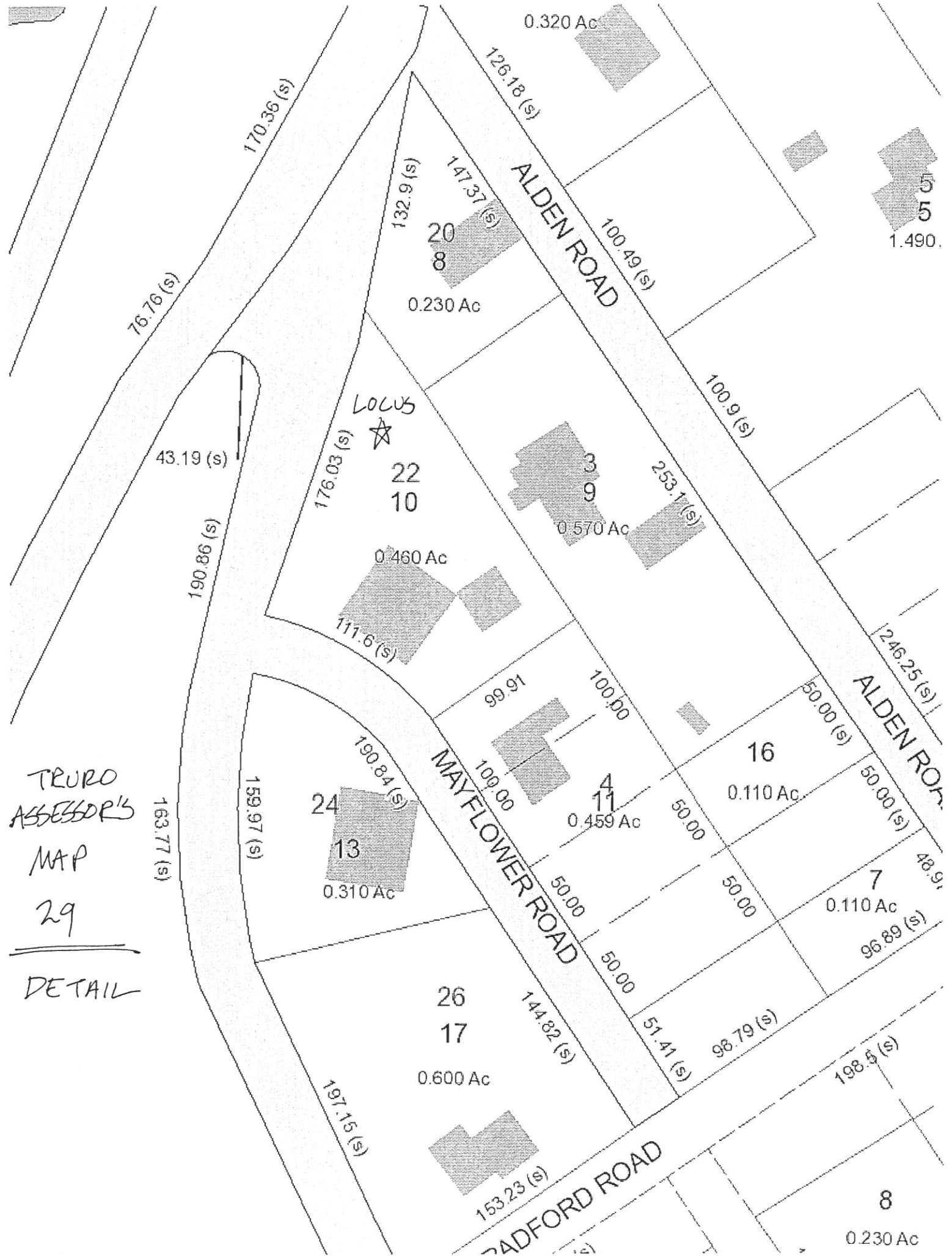
| <u>ITEM</u>         | <u>REQUIRED</u> | <u>EXISTING</u>    | <u>PROPOSED</u>    |
|---------------------|-----------------|--------------------|--------------------|
| Lot Area            | 3 acres         | 19,827 square feet | 19,827 square feet |
| Frontage            | 150 ft.         | 189.7 ft.*         | 189.7 ft.*         |
| Setback, Front (NW) | 50 ft.          | 37.7 ft.           | 35 ft.             |
| Setback, Side (SW)  | 50 ft.          | 16.4ft.            | 22.3 ft.           |
| Setback, Side (NE)  | 25ft.           | 26.2 ft.           | 26.5 ft.           |
| Setback, Rear (SE)  | 25ft.           | 25.9ft.            | 37.8ft.            |
| Lot Coverage (Bldg) | N/A             | 9.4%               | 13%                |

END

\* Cliff Road listed as "Street Road created prior to December 8, 1955" on Planning Board list of streets.



TRURO  
ASSESSOR'S  
MAP  
29  
DETAIL



Bk 29845 Pg 313 #39739  
08-05-2016 @ 02:49p

MASSACHUSETTS STATE EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 08-05-2016 @ 02:49pm  
Ct1#: 1050 Doc#: 39739  
Fee: \$5,779.80 Cons: \$1,690,000.00

QUITCLAIM DEED

We, JOAN E. PAGE, a married person, of 1080 Victoria Crossing, Watkinsville, GA 30677, CHERYL E. CURRIER, an unmarried person, of 14624 Lorida Drive, Seminole, FL 33776, BRADFORD L. CURRIER and NANCY R. CURRIER, Trustees of Bradford L. Currier Revocable Trust u/a/a dated January 12, 1999, for which a Trustee's Certificate is recorded herewith (the "Trust"), of 2005 Merrihills Drive SW, Rochester, MN 55902,

For consideration in the amount of ONE MILLION SIX HUNDRED NINETY THOUSAND AND 00/100 (\$1,690,000.00) DOLLARS paid,

Grant to ROBERT STELLO and JENNIFER L. STELLO, husband and wife as tenants by the entirety, with a mailing address of P.O. Box 776, South Chatham, MA 02659,

With QUITCLAIM COVENANTS, land and improvements in that part of Truro, Barnstable County, Massachusetts, called North Truro, together with all buildings, bounded and described as follows:

Commencing at a concrete bound;

THENCE northwesterly along Mayflower Road to a concrete bound one hundred ten (110) feet, more or less;

THENCE northeasterly along Cliff Road to a concrete bound one hundred ninety (190) feet, more or less;

THENCE south-southeasterly by land of Joseph Drutz to a concrete bound by Lot #10, two hundred and five (205) feet, more or less;

THENCE one hundred (100) feet by Lot #10 in a southwesterly direction to the first bound.

Containing 5/10<sup>th</sup> of an acre, more or less and shown on amended Plan of Land of Alexander Heath at Pilgrim Heights, North Truro, Mass., surveyed by Arthur L Sparrow, June 1914. Lots #8 and #9 recorded in Plan Book 20, Page 5.

For title see deed recorded with Barnstable County Registry of Deeds in Book 25849, Page 99, and in Book 26134, Page 244 respectively; see also Affidavit re Homestead and trustee certificate attached hereto and recorded herewith.

Subject to and together with all matters of record.

Grantors certify under the pains and penalties of perjury that no person has or is entitled to claim a homestead in the within premises.

Property Address: 22 Cliff Road, Truro, MA

BARNSTABLE COUNTY EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 08-05-2016 @ 02:49pm  
Ct1#: 1050 Doc#: 39739  
Fee: \$5,171.40 Cons: \$1,690,000.00

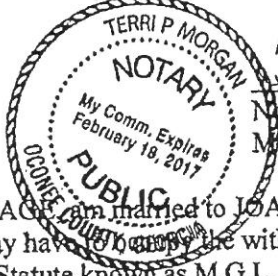
EXECUTED as a sealed instrument this 27<sup>th</sup> day of July, 2016.

Joan E. Page  
JOAN E. PAGE

STATE OF GEORGIA

County of Oconee, ss.

On this 27<sup>th</sup> day of July, 2016, before me, the undersigned notary public, personally appeared JOAN E. PAGE, proved to me through satisfactory evidence of identification, which was  photographic identification with signature issued by a federal or state governmental agency,  oath or affirmation of a credible witness,  personal knowledge of the undersigned, to be the person whose name is signed on the preceding Quitclaim Deed, and acknowledged to me that she signed it voluntarily as her free act and deed.



Terri P. Morgan  
Notary Public:  
My Commission Expires: 02/18/17

I, RUSSELL DALE PAGE, am married to JOAN E. PAGE, and I hereby join in this deed to release any rights I may have in the within-granted property or any other rights arising under the Homestead Statute known as M.G.L. c. 188.

Russell Dale Page  
RUSSELL DALE PAGE

STATE OF GEORGIA

County of Oconee, ss.

On this 27<sup>th</sup> day of July, 2016, before me, the undersigned notary public, personally appeared RUSSELL DALE PAGE, proved to me through satisfactory evidence of identification, which were Drivers License, to be the person whose name is signed on the preceding Quitclaim Deed, and acknowledged to me that he signed it as his free act and deed for its stated purpose.



Terri P. Morgan  
Notary Public  
My commission expires: 02/18/17

EXECUTED as a sealed instrument this 27 day of July, 2016.

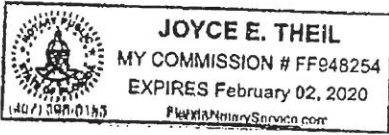
*Cheryl E Currier*  
CHERYL E. CURRIER

STATE OF FLORIDA

County of Pinellas, ss.

On this 27 day of July, 2016, before me, the undersigned notary public, personally appeared CHERYL E. CURRIER, proved to me through satisfactory evidence of identification, which was  photographic identification with signature issued by a federal or state governmental agency,  oath or affirmation of a credible witness,  personal knowledge of the undersigned, to be the person whose name is signed on the preceding Quitclaim Deed, and acknowledged to me that she signed it voluntarily as her free act and deed.

*Joyce E Theil*  
Notary Public  
My Commission Expires:



EXECUTED as a sealed instrument this 29<sup>th</sup> day of July, 2016.

BRADFORD L. CURRIER REVOCABLE TRUST

Bradford L. Currier  
By: BRADFORD L. CURRIER, Trustee

STATE OF CALIFORNIA

County of San Diego, ss.

On this 29<sup>th</sup> day of July, 2016, before me, the undersigned notary public, personally appeared BRADFORD L. CURRIER, Trustee as aforesaid, proved to me through satisfactory evidence of identification, which was  photographic identification with signature issued by a federal or state governmental agency,  oath or affirmation of a credible witness,  personal knowledge of the undersigned, to be the person whose name is signed on the preceding Quitclaim Deed, and acknowledged to me that he signed it voluntarily as the free act and deed of the Trust for its stated purpose



Nimisha J. Amin  
Notary Public  
My Commission Expires: July 21, 2020



EXECUTED as a sealed instrument this 29 day of July, 2016.

BRADFORD L. CURRIER REVOCABLE TRUST

Nancy R Currier  
By: NANCY R. CURRIER, Trustee

STATE OF CALIFORNIA

County of San Diego, ss.

On this 29<sup>th</sup> day of July, 2016, before me, the undersigned notary public, personally appeared NANCY R. CURRIER, Trustee as aforesaid, proved to me through satisfactory evidence of identification, which was  photographic identification with signature issued by a federal or state governmental agency,  oath or affirmation of a credible witness,  personal knowledge of the undersigned, to be the person whose name is signed on the preceding Quitclaim Deed, and acknowledged to me that she signed it voluntarily as the free act and deed of the Trust for its stated purpose.



Nimisha Amin  
Notary Public  
My Commission Expires: June 21, 2020

**AFFIDAVIT RELATIVE TO HOMESTEAD  
PURSUANT TO M.G.L. c. 188 § 13**

I, **CHERYL E. CURRIER**, hereby state as follows, pursuant to M.G.L. c. 188 § 13:

1. I am an owner of the premises at 22 Cliff Road, Truro (North), MA, by virtue of a deed from the Declaration of Revocable Trust of Evelyn E. Currier recorded in the Barnstable County Registry of Deeds in Book 25849, Page 99;
2. I am unmarried. Further, I have no former spouse, partner or former partner in a civil union who has the benefit of a homestead; and
3. This affidavit is made in connection with the execution of a deed executed and recorded on or about this date.

Signed under the penalties of perjury this 27 day of July, 2016

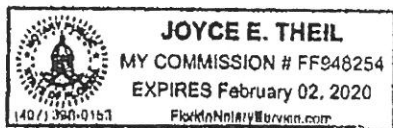
*Cheryl E Currier*  
CHERYL E. CURRIER

STATE OF FLORIDA

County of Pinellas, ss.

On this 27 day of July, 2016, before me, the undersigned notary public, personally appeared CHERYL E. CURRIER, proved to me through satisfactory evidence of identification, which was FL DL, to be the person who signed the preceding or Affidavit Relative to Homestead in my presence, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.

*Joyce E. Theil*  
Notary Public  
My commission expires: 2/2/20



TRUSTEE CERTIFICATE

We, BRADFORD L. CURRIER and NANCY R. CURRIER, as Trustees of Bradford L. Currier Revocable Trust u/t/a dated January 12, 1999, for which a Trustee's Certificate is recorded herewith in the Barnstable County Registry of Deeds (the "Trust"), hereby certify that:

1. We are the current and sole Trustees of said Trust;
2. Said Trust has not been further amended and is in full force and effect;
3. All of the beneficiaries of said Trust who are natural persons, if any, are of full age;
4. All of the beneficiaries of said Trust who are natural persons, if any, are competent; and
5. We have the power and authority as Trustees of said Trust to transfer 22 Cliff Road, Truro (North), Massachusetts to Robert K. Stello and Jennifer L. Stello, for consideration in the amount of \$1,690,000.00.

EXECUTED under the pains and penalties of perjury on August 3, 2016.

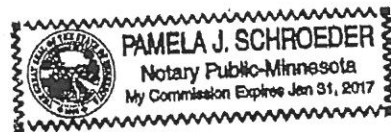
Bradford L. Currier  
BRADFORD L. CURRIER, Trustee

STATE OF MINNESOTA

County of Olmsted, ss.

On this 3 day of August, 2016, before me, the undersigned notary public, personally appeared BRADFORD L. CURRIER, Trustee as aforesaid, proved to me through satisfactory evidence of identification, which was photo ID to be the person whose name is signed on the preceding Trustee Certificate, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

Pamela J. Schroeder  
Notary Public  
My Commission Expires: Jan. 31, 2017



EXECUTED under the pains and penalties of perjury on August 3, 2016.

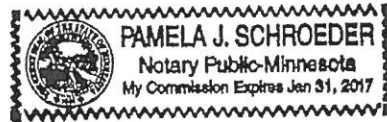
Nancy R. Currier  
NANCY R. CURRIER, Trustee

STATE OF MINNESOTA

County of Olmsted, ss.

On this 3 day of August, 2016, before me, the undersigned notary public, personally appeared NANCY R. CURRIER, Trustee as aforesaid, proved to me through satisfactory evidence of identification, which was Drivers Licence to be the person whose name is signed on the preceding Trustee Certificate, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.

Pamela J. Schroeder  
Notary Public  
My Commission Expires: Jan. 31, 2017





# TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004, Ext. 27  
Fax: (508) 349-5505  
criddle@truro-ma.gov

Sent Via Email and USMail

December 21, 2016

Mr. Benjamin E. Zehnder  
P.O. Box 2128  
Orleans, MA 0253

Re: 22 Cliff Road, Truro / 2016-010 Residential Site Plan Review

Dear Mr. Zehnder:

I have reviewed the above referenced application in view of the requirements specified under section §70.4 of the Truro Zoning Bylaw. The purpose of this letter is to itemize information requirements necessary to complete the above referenced application submitted on November 29, 2016.

The following required items are missing from the submission.

- §70.4.C.2 - The plans are not stamped and do not indicate a scale.
- §70.4.C.a.2 - The zoning table is incomplete and should address lot coverage, setbacks, square footage and height for each structure, and should address parking requirements. This should be shown on the site plan.
- §70.4.C.3a.3 - Assessors map and parcel information is cut off on the plan and is not legible
- §70.4.C.3a.4 - There is no graphic scale provided
- §70.4.C.3.a.6 - There is no legend of symbols provided
- §70.4.C.a.10 - The location of the septic system should be indicated on the site plan
- §70.4.C.a.11 - The plan should note wetland jurisdictional resources, National Flood Insurance hazard elevation, and Natural Heritage and Endangered Species jurisdiction, or indicate that any or all of these do not apply.
- §70.4.C.a.12 - Driveways are not indicated
- §70.4.C.a.13 - Existing and proposed lighting is not provided
- §70.4.C.a.14 - Vegetative and structural landscape features are not provided (and should distinguish between existing and new)
- §70.4.C.a.15 - Limit of work should be indicated
- §70.4.C.c - Lighting specification, including style and wattages
- §70.4.C.d - Photographs
- §70.4.C.e - Re-vegetation and landscaping plan including vegetative and structural features.

Written waiver requests should be provided for any required plan elements not provided or any review criteria not met. These waiver requests should meet the requirements of §70.4.F

A public hearing on this application is scheduled for January 17, 2017 at 6 pm at Truro Town Hall. Please submit the information noted above by close of business on January 4, 2017 to ensure that the application is ready for this hearing date.

If you have any questions or comments, please do not hesitate to contact me.

Sincerely,

A handwritten signature in cursive script that reads "Carole Ridley".

Carole Ridley  
Planning Consultant to the Town

cc:

Rae Ann Palmer (via email)  
Russ Braun (via email)  
Pat Pajaron (via email)





## Health/Conservation Agent Town of Truro

Phone: (508) 214-0202 Fax: (508) 349-5850

# MEMO

**To:** Planning Board  
**From:** Patricia Pajaron  
**CC:** Carole Ridley, Town of Truro Planning Consultant  
**Date:** January 10, 2017  
**Re: Development Application Referral, 22 Cliff Rd, Map 29 Parcel 10**

---

I have reviewed the Development Application Referral for the above-referenced property and offer the following comments:

### Conservation

1. According to the OLIVER GIS maps available online at the MassDEP website, there appear to be no Wetland Resource Areas subject to protection under the Massachusetts Wetlands Protection Act (310 CMR 10.00) affecting the property; however the proposed site plan shows 100+ feet from the top of the coastal bank at the corner of the lot to the north.
2. Per the October 2008 NHESP map it appears that the entire property is within the NHESP Priority Habitat of Rare Species, mapped area PH 15, therefore a filing with NHESP is required.

### Health

1. This is a 19,885 ± square foot lot served by a well and septic system designed and installed as an upgrade for 5 bedrooms in 2003. Per the Assessor's database the house was constructed in 1914. The proposed demo and replacement of the dwelling does not constitute new construction\* per Title 5. Review of the proposed floor plan prepared by Architects 33 Inc. dated 10/21/16 meets the Truro BOH requirements for bedroom and room count\*\* for a 5 bedroom septic system.

The septic passed inspection on 5/19/16. From the plan prepared by Cape Cod Engineering it appears that the existing septic tank is to be relocated in adjacent to the existing leach area. This will require a disposal works construction permit to do this work.

*\*15.002 Definitions:*

*New Construction - The construction of a new building for which an occupancy permit is required or an increase in the actual or design flow to any system or an increase in the actual or design flow to any nonconforming system or an increase in the design flow to any system above the existing approved capacity. **New construction shall not include replacement or repair of a***

**building in existence as of March 31, 1995 that has been totally or partially destroyed or demolished, provided there is no increase in design flow, no increase in design flow above the existing approved capacity to any system, no increase in the number of dwellings or dwelling units or no increase in the number of bedrooms in any dwelling or dwelling unit.**

**\*\*Truro BOH Regulations Section VI, Article 1 (4) Definitions**

**Bedroom** shall be defined as follows for the purpose of sizing a subsurface sewage disposal system (proposed and existing):

(a) Any room that meets the definition of a bedroom under Title 5 or any room or enclosed addition with at least 70 square feet of floor area and a building code conforming egress window, that provides minimum isolation necessary for use as a sleeping area. Rooms such as a finished basement with building code conforming egress may be considered a bedroom if it meets the definition. The definition does not apply to a bathroom, kitchen, hall, unfinished cellar, unfinished basement, unfinished attic, garage, unfinished area above a garage, unheated porch and open deck.

(b) Notwithstanding the foregoing, any dwelling with six (6) rooms shall be construed to have at least three (3) bedrooms. Any dwelling with seven (7) rooms shall be construed to have at least four (4) bedrooms. Any dwelling with eight (8) or nine (9) rooms shall be construed to have at least five (5) bedrooms. Any dwelling with ten (10) or eleven (11) rooms shall be construed to have at least six (6) bedrooms. Each additional room beyond eleven (11) shall be construed as an additional bedroom and the number of bedrooms for the purpose of sizing a subsurface sewage disposal system (proposed and existing) shall be adjusted accordingly.

TOWN OF TRURO



BOARD OF APPEALS

Office of Town Clerk  
 Treasurer – Tax Collector  
 2016-020/ZBA  
 DEC 14 2016  
 \$ 50.00 fee paid  
 Received TOWN OF TRURO  
 By *Juanita Joseph*

APPLICATION FOR HEARING

Date December 14, 2016

To the Town Clerk of the Town of Truro, MA

The undersigned hereby files with specific grounds for this application: (check all that apply)

NOTICE OF APPEAL

Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on (date) \_\_\_\_\_.

Applicant is aggrieved by order or decision of the Building Commissioner on (date) \_\_\_\_\_ which he/she believes to be a violation of the Truro Zoning By-law or the Massachusetts Zoning Act.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section \_\_\_\_\_ of the Truro Zoning By-law concerning (describe) \_\_\_\_\_

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section \_\_\_\_\_ of the Truro Zoning By-law concerning (describe) \_\_\_\_\_

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 30.7(A) of the Truro Zoning By-law and M.G.L. ch.40A, §6 concerning (describe) demolition and reconstruction of pre-existing, non-conforming single family dwelling on pre-existing, non-conforming lot.

Property Address 22 Cliff Road Map(s) and Parcel(s) 29 / 10  
Registry of Deeds title reference: Book 29845, Page 313, or Certificate of Title Number n/a and Land Ct. Lot # n/a and Plan # n/a

Applicant's Name Robert Stello and Jennifer L. Stello

Applicant's Legal Mailing Address P.O. Box 776, South Chatham, MA 02659

Applicant's Phone(s), Fax and Email (508) 432-2218; fax (508) 432-4368; jenstello@gmail.com

Applicant is one of the following: (please check appropriate box)

Owner  Prospective Buyer\*  Other\* \*Written Permission of the owner is required for submittal of this application.

Owner's Name and Address Robert Stello and Jennifer L. Stello

Representative's Name and Address Benjamin E. Zehnder / P.O. Box 2128, Orleans MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; (508) 255-6649; bzehnder@zehnderllc.com

*[Handwritten Signature]*

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Board of Appeals and town staff to visit and enter upon the subject property.

Applications must be typed or printed clearly with black or blue ink.

## Re: 22 Cliff Road

Chuck Steinman <c.e.steinman@comcast.net>

Wed 1/11/2017 2:08 PM

To: Carole Ridley <cr Ridley@truro-ma.gov>;

Cc: Steve Sollog <SSollog@truro-ma.gov>;

 10 attachments

Application as filed 12-30-16.pdf; ATT00001.htm; Plans as filed 12-30-16.pdf; ATT00002.htm; 22 Cliff Road tru\_257.pdf; ATT00003.htm; IMG\_7882.JPG; ATT00004.htm; 22 Cliff Road 29-10.pdf; ATT00005.htm;

Carole and Steve,

I have circulated the demolition request and proposed reconstruction plans as submitted electronically by Ben Zehnder along with our Historic Survey documentation to the Truro Historical Review Board and Historical Commission. The proposed reconstruction falls within the criteria for review under the *Preserving Historic Properties* Bylaw.

Attached are the electronic copies of what I sent to the Historical Review Board and Historical Commission. I will ask one of our members to collect the materials at the Clerk's office being held for us.

We are in the process of notifying the Building Commissioner and scheduling our site visit and Public Hearing, tentatively scheduled for February 4th or 11th pending availability of the applicants.

In addition to our review and the requirement for Site Plan Review, we understand that the property is non-conforming with regard to lot size and setbacks, and that the application may also be reviewed by the ZBA. While the reviews will be somewhat simultaneous, how changes suggested by any one of these three Boards will be coordinated has yet to be determined.

Mr. Zehnder also mentioned he had provided additional detailed material for the Site Plan Review that would be available for our Public Hearing. Please let me know if you feel that information will be pertinent to our review.

Thanks,

Chuck Steinman  
Chair, Truro Historical Commission  
Vice Chair, Historical Review Board  
[c.e.steinman@comcast.net](mailto:c.e.steinman@comcast.net)  
cell: 617-974-1613

# EXPRESS PERMIT

permit# \_\_\_\_\_

approved by \_\_\_\_\_

date \_\_\_\_\_

inspected by \_\_\_\_\_

date \_\_\_\_\_



## Town of Truro Building Department

24 Town Hall Rd.  
PO Box 2030  
Truro, MA 02666

Tel (508) 349-7004 x31 Fax (508) 349-5508

### PROJECT TYPE

- ROOFING                                       SIDING                                       TENT (attach flame spread cert.)
- WINDOWS – attach catalogue cut showing "EnergyStar" compliance or U<sub>value</sub> ≤ .30
- Exterior Doors – attach catalogue cut showing "EnergyStar" or prescriptive "Stretch Code" U<sub>value</sub> compliance
- GARDEN SHED OR UTILITY BUILDING ≤ 200 s.f.      Provide site sketch showing required property line setbacks & either catalogue cut or scaled and dimensioned sketches showing windows, doors and overall height. Comply with all applicable Health & Zoning bylaws.
- WOOD STOVE – provide catalogue info                                       OTHER Demolition

### DESCRIPTION OF PROPOSED WORK (materials, dimensions, quantities, etc.)

Demolition of existing single family dwelling and garage at 22 Cliff Road, Map 29, Parcel 10.

Application Submission for Purposes of Truro Historical Review Committee review.

PROPERTY ADDRESS 22 Cliff Road

MAP 29

PARCEL 10

OWNER Robert and Jennifer Stello\*

PHONE 508-432-2218

EMAIL jenstello@gmail.com

ESTIMATED CONSTRUCTION COST \$20,000.00

### PROJECT AUTHORIZATION

OWNER'S SIGNATURE

DATE

12/29/16

A separate authorization letter from the owner is acceptable

CONTRACTOR/AGENT NAME Benjamin E. Zehnder

PHONE# 508-255-2133

CSL# \_\_\_\_\_

Hic# \_\_\_\_\_

EMAIL# bzehnder@zehnderllc.com

**DEBRIS DISPOSAL DECLARATION** – Debris resulting from this project shall be disposed at \_\_\_\_\_ which is a properly licensed solid waste disposal facility as required by MGL, C-111, S 150A



The Commonwealth of Massachusetts  
 Department of Industrial Accidents  
 1 Congress Street, Suite 100  
 Boston, MA 02114-2017  
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers.  
 TO BE FILED WITH THE PERMITTING AUTHORITY.

**Applicant Information**

Please Print Legibly

Name (Business/Organization/Individual): Robert and Jennifer Stello

Address: P.O. Box 776 South Chatham, MA 02659

City/State/Zip: South Chatham, MA 02653 Phone #: 508-432-2218

Are you an employer? Check the appropriate box:

- 1.  I am an employer with \_\_\_\_\_ employees (full and/or part-time).\*
- 2.  I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]
- 3.  I am a homeowner doing all work myself. [No workers' comp. insurance required.] †
- 4.  I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.
- 5.  I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡
- 6.  We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]

Type of project (required):

- 7.  New construction
- 8.  Remodeling
- 9.  Demolition
- 10.  Building addition
- 11.  Electrical repairs or additions
- 12.  Plumbing repairs or additions
- 13.  Roof repairs
- 14.  Other \_\_\_\_\_

\*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attached an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

*I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.*

Insurance Company Name: \_\_\_\_\_

Policy # or Self-ins. Lic. #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Job Site Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

*I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.*

Signature: [Signature] Date: 12/79/16

Phone #: 508-755-2133 B. Behndorff Behndorff/11.1.16

Official use only. Do not write in this area, to be completed by city or town official.

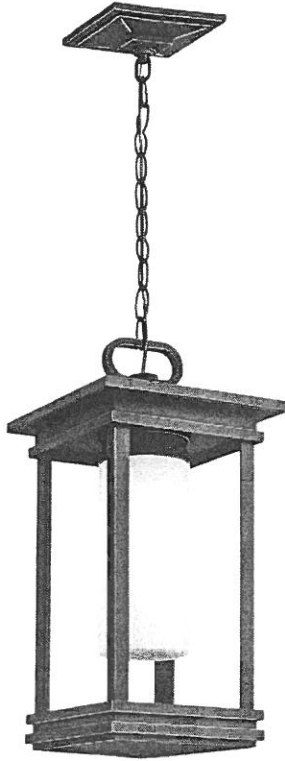
City or Town: \_\_\_\_\_ Permit/License # \_\_\_\_\_

Issuing Authority (circle one):

- 1. Board of Health
- 2. Building Department
- 3. City/Town Clerk
- 4. Electrical Inspector
- 5. Plumbing Inspector
- 6. Other \_\_\_\_\_

Contact Person: \_\_\_\_\_ Phone #: \_\_\_\_\_

South Hope Collection  
 South Hope Large Fluorescent Outdoor Pendant  
 in RZ  
 49493RZ (Rubbed Bronze)



Dimensions

|                |        |
|----------------|--------|
| Height         | 19.00" |
| Overall Height | 93.00" |
| Width          | 9.00"  |

Alternate Lamps

| Lamp Included | Bulb Listing | Light Source | Max Wattage/Range | Bulb Product ID | Dimming |
|---------------|--------------|--------------|-------------------|-----------------|---------|
| No            | Hybrid       | CFL          | 23-30W            |                 |         |

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

Ordering Information

|            |                       |
|------------|-----------------------|
| Product ID | 49493RZ               |
| Finish     | Rubbed Bronze         |
| Collection | South Hope Collection |

Dimensions

|                   |          |
|-------------------|----------|
| Base Backplate    | 5.50 SQ  |
| Chain/Stem Length | 72.00"   |
| Weight            | 8.33 LBS |

Specifications

|                   |                         |
|-------------------|-------------------------|
| Material          | Aluminum                |
| Glass Description | Satin Etched Cased Opal |

Electrical

|                  |        |
|------------------|--------|
| Voltage          | 120V   |
| Lead Wire Length | 70.00" |

Qualifications

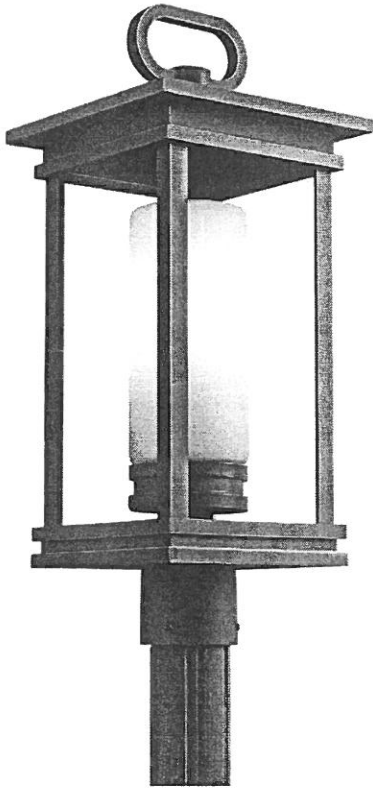
|              |                                                                        |
|--------------|------------------------------------------------------------------------|
| Safety Rated | Damp                                                                   |
| Warranty     | <a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a> |

Primary Lamping

|                       |              |
|-----------------------|--------------|
| Light Source          | Incandescent |
| Lamp Included         | Not Included |
| Number of Lights/LEDs | 1            |
| Max or Nominal Watt   | 100W         |
| Socket Wire           | 105          |
| Socket Type           | Medium       |
| Lamp Type             | A19          |

South Hope Collection  
 Outdoor Post Mt 1Lt RZ  
 49478RZ (Rubbed Bronze)

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_



Ordering Information

|            |                       |
|------------|-----------------------|
| Product ID | 49478RZ               |
| Finish     | Rubbed Bronze         |
| Collection | South Hope Collection |

Dimensions

|        |          |
|--------|----------|
| Weight | 9.00 LBS |
|--------|----------|

Specifications

|                   |                         |
|-------------------|-------------------------|
| Material          | Aluminum                |
| Glass Description | Satin Etched Cased Opal |

Electrical

|         |      |
|---------|------|
| Voltage | 120V |
|---------|------|

Qualifications

|              |                          |
|--------------|--------------------------|
| Safety Rated | Wet                      |
| Warranty     | www.kichler.com/warranty |

Primary Lamping

|                       |              |
|-----------------------|--------------|
| Light Source          | Incandescent |
| Lamp Included         | Not Included |
| Number of Lights/LEDs | 1            |
| Max or Nominal Watt   | 100W         |
| Socket Wire           | 105          |
| Socket Type           | Medium       |
| Lamp Type             | A19          |

Dimensions

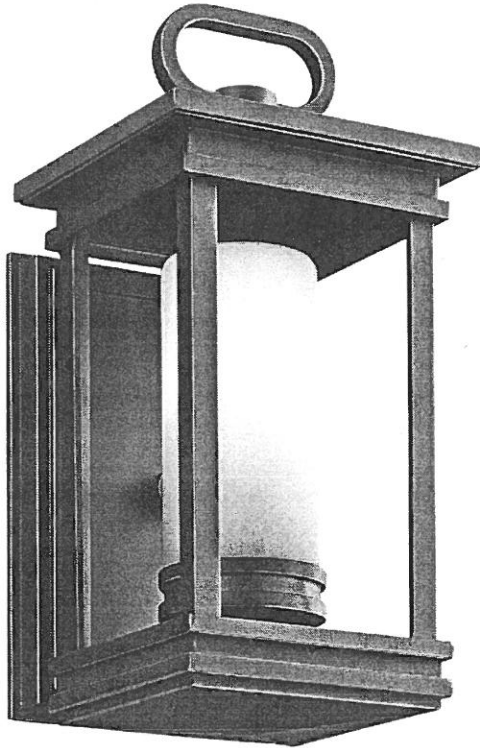
|        |        |
|--------|--------|
| Height | 21.50" |
| Width  | 9.00"  |

Alternate Lamps

| Lamp Included | Bulb Listing | Light Source | Max Wattage/Range | Bulb Product ID | Dimming |
|---------------|--------------|--------------|-------------------|-----------------|---------|
| No            | Hybrid       | CFL          | 23-30W            |                 |         |



South Hope Collection  
 Outdoor Wall 1Lt RZ  
 49474RZ (Rubbed Bronze)



Dimensions

|        |        |
|--------|--------|
| Height | 11.75" |
| Width  | 5.50"  |

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

Ordering Information

|            |                       |
|------------|-----------------------|
| Product ID | 49474RZ               |
| Finish     | Rubbed Bronze         |
| Collection | South Hope Collection |

Dimensions

|                                    |             |
|------------------------------------|-------------|
| Extension                          | 6.25"       |
| Height from center of Wall opening | 7.25"       |
| Base Backplate                     | 5.25 X 8.00 |

Specifications

|                   |                         |
|-------------------|-------------------------|
| Material          | Aluminum                |
| Glass Description | Satin Etched Cased Opal |

Electrical

|         |      |
|---------|------|
| Voltage | 120V |
|---------|------|

Qualifications

|              |                                                                        |
|--------------|------------------------------------------------------------------------|
| Safety Rated | Wet                                                                    |
| Warranty     | <a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a> |

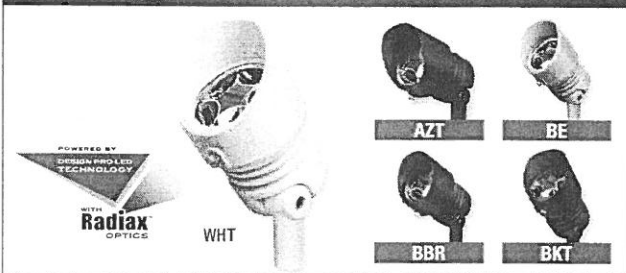
Primary Lamping

|                       |              |
|-----------------------|--------------|
| Light Source          | Incandescent |
| Lamp Included         | Not Included |
| Number of Lights/LEDs | 1            |
| Max or Nominal Watt   | 60W          |
| Socket Wire           | 105          |
| Socket Type           | Candelabra   |
| Lamp Type             | B            |
| Bulb Product ID       | 4064CLR      |

# KICHLER

ARCHITECTURAL OUTDOOR

## Design Pro LED Accent 6.5W

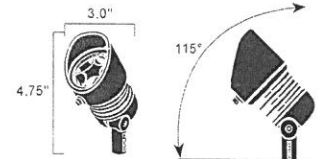


16006 (6.5W 10° Spot) 16007 (6.5W 35° Flood) 16008 (6.5W 60° Wide Flood)

|             |
|-------------|
| PROJECT:    |
| TYPE:       |
| ORDERING #: |
| COMMENTS:   |

### FEATURES

- Three beam spread options put light where you want it.
- A range of Kelvin color temperature choices from warm white 2,700K to pure white 3,000K.
- Radiax™ Optics deliver the greatest lumens per watt in the industry.
- Tight LED binning tolerances mean greater color consistency.
- Built-in adjustable cowl provides better glare control.
- 9V-15V operating range virtually eliminates voltage drop.



can be used in up or down position

### ORDERING INFORMATION

EXAMPLE: 16006 AZT27, 16060 AZT, 16064 AMB

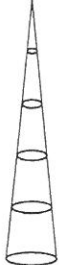
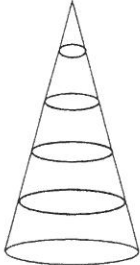
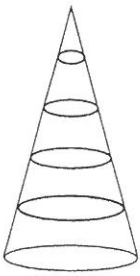
Product ordered is a 6.5W, 2700K, 10 degree spot accent light in Textured Architectural Bronze with a long cowl and an amber lens accessory.

| PRODUCT                                                                                                                                                                                                                                                        | WATTAGE/STYLE                                                                                                                                                | LIGHT SOURCE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | FINISH                                                                                                                                                                                                                                        | OPTIONS / ACCESSORIES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>2700K WARM WHITE</b><br>10 Degree<br>16006 AZT27<br>16006 BBR27<br>16006 BKT27<br>16006 BE27<br>35 Degree<br>16007 AZT27<br>16007 BBR27<br>16007 BKT27<br>16007 BE27<br>16007 WHT27<br>60 Degree<br>16008 AZT27<br>16008 BBR27<br>16008 BKT27<br>16008 BE27 | *6.5W / 10VA - 10 Degree Spot Beam Spread<br><br>*6.5W / 10VA - 35 Degree Floodlight Beam Spread<br><br>*6.5W / 10VA - 60 Degree Wide Floodlight Beam Spread | <b>LED Specs</b><br>- Integrated LEDs & Driver<br>- LEDs: High Output CREE® LEDs tightly binned for color uniformity<br>- Color Temp. (CCT): 2,700K (-50/+100) Warm White<br>3,000K (-45/+130) Pure White<br>- CRI: 80s<br>- 9V-15V AC/DC<br>- 40,000 Hours Lamp Life To L70 Specifications **<br>- Efficacy: 2,700K = 47Lm/W<br>3,000K = 54Lm/W<br><br><b>Wiring</b><br>- 24" of Usable #18-2 Wire<br>- SPT-1-W Leads<br><br><b>Included Mounting Accessories</b><br>- 8" In-Ground Stake<br>- Pro Series Wire Connector<br><br><b>Note:</b> Fixture is Not For Use w/ Electronic Transformers | <b>Marine Grade Powdercoats</b><br>Cast Aluminum<br>AZT - Textured Architectural Bronze<br><br>BKT - Textured Black<br><br>BE - Beach<br><br>WHT - White (Textured White only available in 35° beam)<br><br>Cast Brass<br>BBR - Bronzed Brass | <b>Mounting Options</b><br><b>Flange For Surface Mounting</b><br>15601AZT - Textured Bronze Finish<br>15601BKT - Textured Black Finish<br>15601BBR - Bronzed Brass Finish<br><br><b>Flange For Tree / Surface Mounting</b><br>15607AZT - Textured Bronze Finish<br>15607BKT - Textured Black Finish<br>15607BBR - Bronzed Brass Finish<br>15607WHT - Textured White Finish<br><br><b>90° Elbow</b><br>15647AZT - Textured Bronze Finish<br>15647BKT - Textured Black Finish<br>15647BBR - Bronzed Brass Finish<br><br>1.18" W<br>2.09" H<br>1.35" L<br><br><b>Junction Box Mounting Bracket</b><br>15609AZT - Textured Bronze Finish<br>15609BKT - Textured Black Finish<br><br>1/2" NPSM Std.<br><br><b>Lens Options</b><br>16065AMB - Amber Lens For a Warmer Hue<br>16065FRO - Frosted Lens For Diffusing Light Where Needed<br>16065GRN - Green Lens For Intensifying Foliage Colors<br><br><b>Cowl Options</b><br><b>Long Cowl</b><br>16060AZT - Textured Bronze Finish<br>16060BBR - Bronzed Brass Finish<br>16060BKT - Textured Black Finish<br>16060WHT - Textured White Finish<br><br><b>360° Cowl</b><br>16061AZT - Textured Bronze Finish<br>16061BBT - Bronzed Brass Finish<br>16061BKT - Textured Black Finish<br>16061WHT - Textured White Finish |

# KICHLER

|             |
|-------------|
| PROJECT:    |
| TYPE:       |
| ORDERING #: |
| COMMENTS:   |

## PHOTOMETRIC INFORMATION

| PRODUCT                            | DISTANCE | FOOTCANDLES | BEAM WIDTH |                                                                                                                                |
|------------------------------------|----------|-------------|------------|--------------------------------------------------------------------------------------------------------------------------------|
| 10 Degree Spot<br>16006            | 8 Feet   | 106.3       | 1.6 Feet   |  <p>Narrow Spot</p> <p>10 Degree Spread</p> |
|                                    | 12 Feet  | 48.4        | 2.4 Feet   |                                                                                                                                |
|                                    | 24 Feet  | 12.2        | 4.8 Feet   |                                                                                                                                |
|                                    | 36 Feet  | 5.4         | 7.2 Feet   |                                                                                                                                |
|                                    | 48 Feet  | 3.1         | 9.6 Feet   |                                                                                                                                |
|                                    | 60 Feet  | 2           | 12 Feet    |                                                                                                                                |
| 35 Degree Floodlight<br>16007      | 4 Feet   | 66.1        | 2.3 Feet   |  <p>Flood</p> <p>35 Degree Spread</p>       |
|                                    | 8 Feet   | 16.5        | 4.5 Feet   |                                                                                                                                |
|                                    | 16 Feet  | 4.1         | 9.1 Feet   |                                                                                                                                |
|                                    | 24 Feet  | 1.8         | 13.6 Feet  |                                                                                                                                |
|                                    | 32 Feet  | 1           | 18.1 Feet  |                                                                                                                                |
|                                    | 40 Feet  | 0.7         | 22.6 Feet  |                                                                                                                                |
| 60 Degree Wide Floodlight<br>16008 | 4 Feet   | 15          | 4.2 Feet   |  <p>Wide Flood</p> <p>60 Degree Spread</p> |
|                                    | 8 Feet   | 3.7         | 8.5 Feet   |                                                                                                                                |
|                                    | 16 Feet  | 0.9         | 17 Feet    |                                                                                                                                |
|                                    | 24 Feet  | 0.4         | 25.5 Feet  |                                                                                                                                |
|                                    | 32 Feet  | 0.2         | 34 Feet    |                                                                                                                                |
|                                    | 40 Feet  | 0.2         | 42.4 Feet  |                                                                                                                                |

## NOTES

FCC  
Compliant

\*\*Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.



\* 6.5W is The Halogen Equivalent of a 35W MR16 Lamp  
 - Fixtures Must be Used With a Kichler ANSI/UL Power Supply  
 IES Files & LM-79 Data is available at [www.landscapelighting.com](http://www.landscapelighting.com).  
 LM-79 data is not available on our site.

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any ANSI/UL Standards products previously manufactured, and without notice.

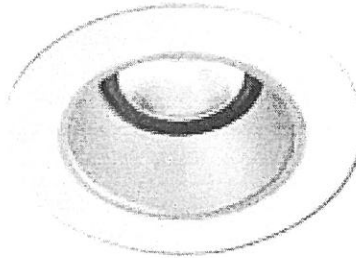
# PHILIPS LIGHTOLIER



## Downlighting

### LyteCaster

3" Accent round downlight  
800 Lumens



|          |     |
|----------|-----|
| Project  |     |
| Location |     |
| Cat No   |     |
| Type     |     |
| Lamps    | Qty |
| Notes    |     |

Philips Lightolier LyteCaster LED Accent downlights feature a 3.5" luminaire height that conserves plenum space without compromising the 60° physical and reflected cutoff. The modular and interchangeable light engine allows for an easy future upgrade. The accent downlight is damp location listed and comes in 3 standard finish options.

Complete product = Frame-in kit + Light engine + Trim Order each separately

#### Ordering guide: Frame-In kit

Example L3AE1

| Series                  | Frame type                                                                                           | Dimming                  | Input voltage            |
|-------------------------|------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|
| <b>L3</b>               | <input type="checkbox"/>                                                                             | <input type="checkbox"/> | <input type="checkbox"/> |
| L3 LyteCaster 3" Accent | A AirSeal IC, New Construction, Screw<br>AN AirSeal IC, New Construction, Nail<br>C Remodeler Non-IC | E ELV/Triac dimming      | 1 120V                   |
|                         | N New Construction Non-IC                                                                            | Z10 0-10V                | U Universal (120-277V)   |

#### Ordering guide: Light engine

Example L308830NF

| Series                  | Lumens    | CRI                      | CCT                               | Beam                                                | Option                     |
|-------------------------|-----------|--------------------------|-----------------------------------|-----------------------------------------------------|----------------------------|
| <b>L3</b>               | <b>08</b> | <input type="checkbox"/> | <input type="checkbox"/>          | <input type="checkbox"/>                            | <input type="checkbox"/>   |
| L3 LyteCaster 3" Accent | 08 800    | 8 80                     | 27 2700K<br>30 3000K<br>35 3500K  | S Spot, 17°<br>NF Narrow flood, 22°<br>F Flood, 33° |                            |
|                         |           | 9 90                     | 27 2700K<br>30 3000K <sup>1</sup> | S Spot, 17°<br>NF Narrow flood, 22°<br>F Flood, 33° | CW CrispWhite <sup>1</sup> |

#### Ordering guide: Round trim

Example L3RDDD

| Series                  | Shape    | Luminaire type           | Finish                                          | Flange                   |
|-------------------------|----------|--------------------------|-------------------------------------------------|--------------------------|
| <b>L3</b>               | <b>R</b> | <input type="checkbox"/> | <input type="checkbox"/>                        | <input type="checkbox"/> |
| L3 LyteCaster 3" Accent | R Round  | D Downlight              | C Chrome cone<br>D Diffuse cone<br>W White cone | blank White              |
|                         |          | B Baffle downlight       | W White baffle                                  | blank White              |

<sup>1</sup> 3000K and CrispWhite must be ordered together



# L3RD LyteCaster 3" Round

General purpose accent downlight, 800 lumens

## Ordering guide: Accessories

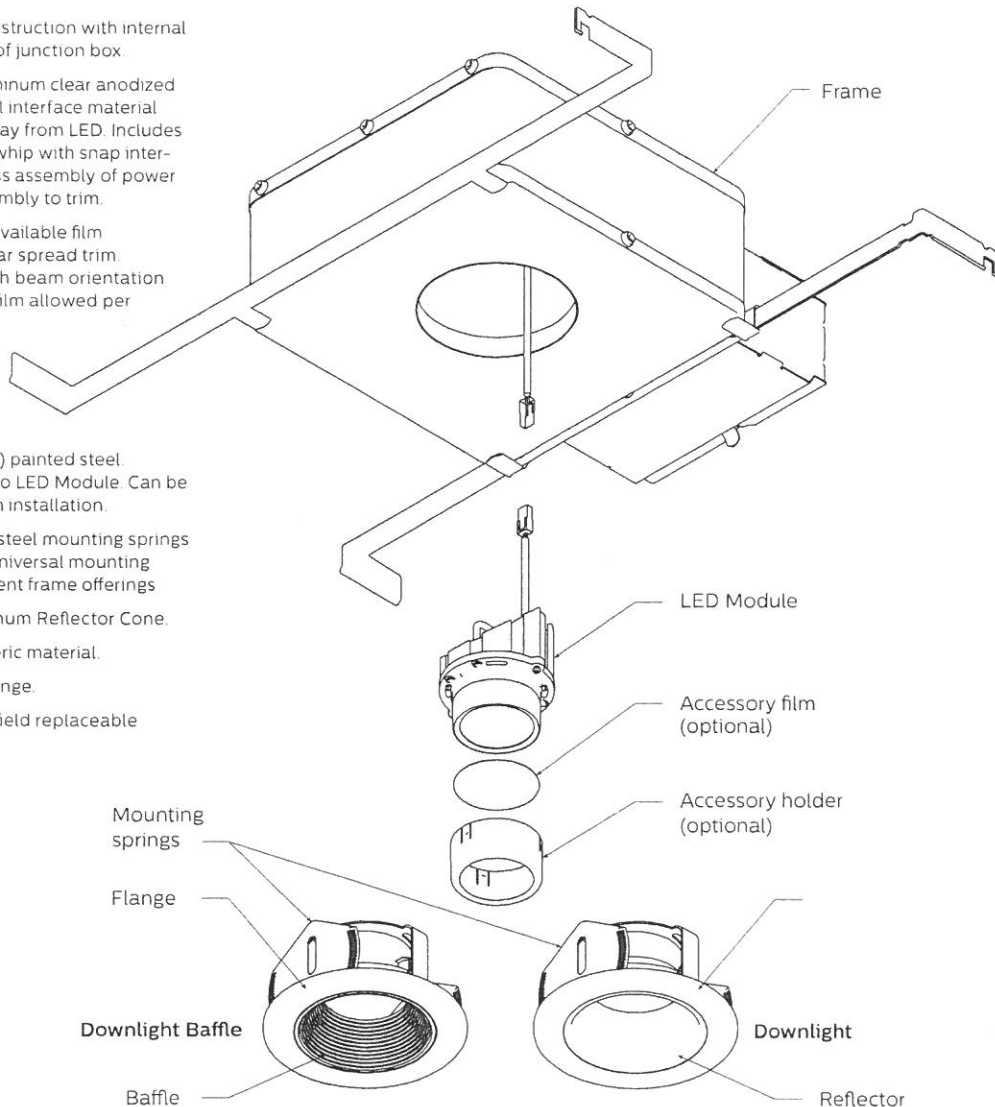
| Series                  | Type                                                                              | Beam                                 | Finish             |
|-------------------------|-----------------------------------------------------------------------------------|--------------------------------------|--------------------|
| L3                      |                                                                                   |                                      |                    |
| L3 LyteCaster 3" Accent | AH Accessory holder                                                               |                                      | W White<br>B Black |
|                         | LS Linear lens spread film <sup>2</sup><br>SD 5° soft diffusion film <sup>2</sup> |                                      |                    |
|                         | RP Replacement Optic                                                              | S Spot<br>NF Narrow flood<br>F Flood |                    |

<sup>2</sup> Accessory holder required

## Assembled configuration:

1. Frame Galvanized steel construction with internal access door for inspection of junction box.
2. LED Module Extruded Aluminum clear anodized finish heat sink with thermal interface material efficiently transfers heat away from LED. Includes strain relieved low voltage whip with snap interconnector for quick, tool less assembly of power connection. Tool-less assembly to trim.
3. Accessory Film (Optional) Available film accessories: .010 thick Linear spread trim. Film has notch to assist with beam orientation. Holder required: only one film allowed per installation.
4. Accessory Holder (Optional) painted steel. Accessory holder snaps onto LED Module. Can be installed before or after trim installation.
5. Mounting springs stainless steel mounting springs min 0.013" thick provide a universal mounting solution between the different frame offerings
6. Downlight Reflector: Aluminum Reflector Cone.
7. Step Baffle: Molded polymeric material.
8. Die Cast Aluminum Trim Flange.

Note: LED module allows for field replaceable optics. Order separately

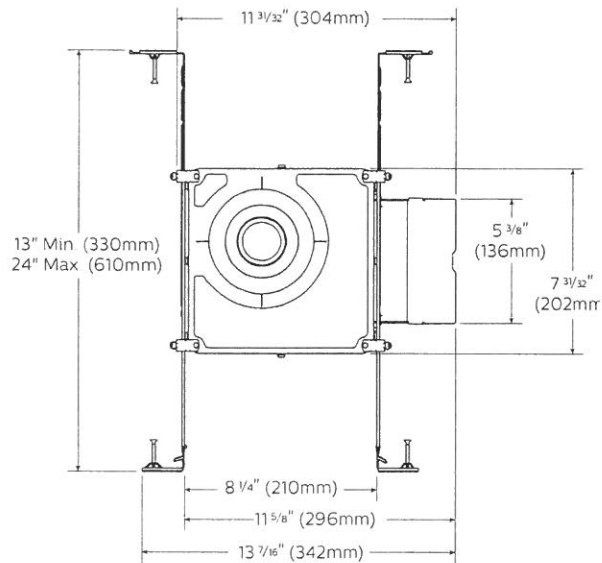


# L3RD LyteCaster 3" Round

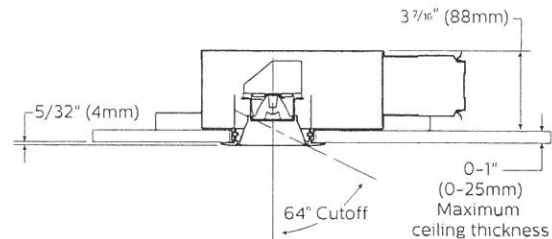
General purpose accent downlight, 800 lumens

L3AE1 & L3ANE1 new construction in IC AirSeal frame-in kits

Top view

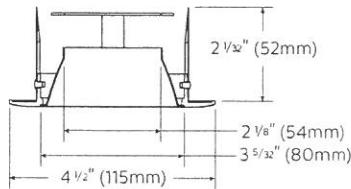


Side view

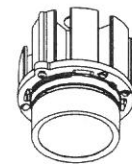


Round trim

Side view



Light engine



## Features

- Housing:** #23 ga. (.026") thick Galvanized steel. cULus listed for direct contact with thermal insulation (IC rated). AirSeal housing minimizes air leakage to less than 2 CFM at 1.57PSF (or 75PA), which complies with Title 24, the International Energy Conservation Code, and Washington State Energy Code (Section 502.4). This helps to reduce heat loss and condensation in ceiling. Internal access door for inspection of junction box.
- Lower frame and top cover:** #23 ga. (.026") thick Galvanized steel. Accommodates ceilings up to 1" (25.4 mm) thick. Bottom cover provided with a 5" (6.2mm) lip and 4 embossed indicator lines to simplify alignment during installation. Housing can be locked into position on the mounting bars with locking screws.
- Junction box:** 2 1/2" (64mm) x 5 3/8" (137mm) x 2" (51mm) #21 ga. (.032") thick galvanized steel. cULus listed 90 degrees C rated supply conductors. Rated for branch circuit wiring supplying connected luminaires (daisy chaining).
- Mounting bars:** #16 ga. (.059") thick galvanized steel. Bars pivot for easy attachment and wire in from below the ceiling line. Bars can extend to accommodate 16" (406mm) to 24" (610mm) O.C. joist spacing. Bars can accommodate 12" (305mm) O.C. joist spacing after slight field modification (see instruction sheet). Features integral self-tapping screw phillips/square drive for attachment to wood or metal construction. Also available with integral nails (N). Attaches to T-bar ceilings without accessories. Bars installed on shortest dimension of frame can be easily rotated 90° from original position.
- Electronic dimming driver:** Class 2 electronic LED Driver, with less than 1 second start up. RoHS compliant, suitable for damp locations. 120v 50/60Hz >9 power factor. Sound rating Class "A" (<24dB) Complies with FCC.CFR title 47 part 15 Class B for EMI/RFI. Dimmable with standard electronic low voltage (ELV) & Triac dimmers. Dims to less than or equal to 10% of relative high output. 5 year limited warranty.
- Ceiling cutout:** 3 3/4" diameter.

## Electrical

Input voltage 120v, Input freq: 50/60 hZ, Input current 25 amps, Input Power 12W, Power factor >.9

## Warranty

5 year limited warranty. (visit [philips.com/warranties](http://philips.com/warranties) for details)

## Labels

cULus type IC listed suitable for damp location. AirSeal.

This product complies with the requirements of the California Energy Commission regulated under Title 24, and has been listed in the Title 20 database.

## Energy Star

Product family has Energy Star certification with the following exception

- All 90 CRI options

## Title 24

Product family has Title 24 certification with the following exception

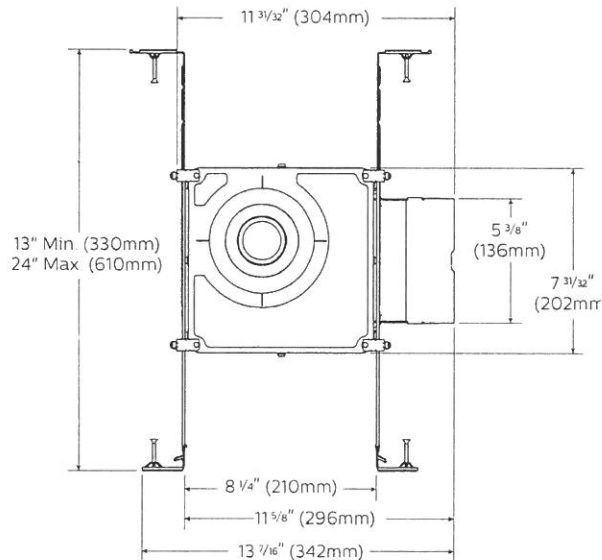
- All 80 CRI options

# L3RD LyteCaster 3" Round

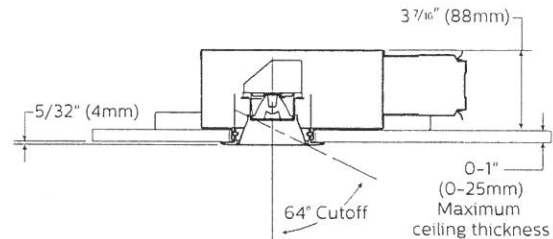
General purpose accent downlight, 800 lumens

## L3NZ10V New construction non IC 0-10V frame-in kit

Dimensions

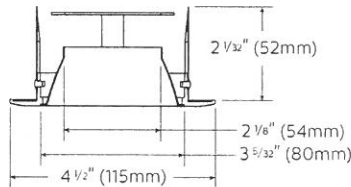


Size

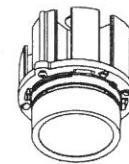


Round trim

Size



Light engine



## Features

- Non-IC housing:** #23 ga. (.026") thick Galvanized steel. cULus listed for damp locations. AirSeal housing minimizes air leakage to less than 2CFM at 157 PSF (or 75PA). complies with Title 24, International Energy Conservation Code, and Washington State Energy Code (section 502.4) Frame provided with internal access door for inspection of junction box.
- Lower frame and top cover:** #23 ga. (.026") thick Galvanized steel. Accommodates ceilings up to 1" (25.4 mm) thick. Bottom cover provided with a .5" (6.2mm) lip and 4 embossed indicator lines to simplify alignment during installation. Housing can be locked into position on the mounting bars with locking screws.
- Junction box:** 2 1/2" (64mm) x 5 3/8" (137mm) x 2" (51mm) #21 ga. (.032") thick galvanized steel, cULus listed 90 degrees C rated supply conductors. Rated for branch circuit wiring supplying connected luminaires (daisy chaining).
- Mounting bars:** #16 ga. (.059") thick galvanized steel. Bars pivot for easy attachment and wire in from below the ceiling line. Bars can extend to accommodate 16" (406mm) to 24" (610mm) O.C. joist spacing. Bars can accommodate 12" (305mm) O.C. joist spacing after slight field modification (see instruction sheet). Features integral self-tapping screw phillips/square drive screws for attachment to wood or metal construction. Attaches to T-bar ceilings without accessories. Bars installed on shortest dimension of frame can be easily rotated 90° from original position.
- Electronic dimming driver:** Class 2 electronic LED driver, RoHS compliant, suitable for damp location. 120/277v 50/06Hz > 9 power factor. MTP (module thermal protection) current cutback up to 10% to prevent overheating. Sound rating Class "A" (<24dB). Complies with FCC, CFR title 47 part 15 Class A for EMI/RFI. Dimming Protocol (0-10v). Dims to less than or equal to 10% of relative high output.
- Ceiling cutout:** 3 3/4" diameter.

## Electrical

Input voltage: 120/277, input freq: 50/60Hz. Input current 14A/06A Input Power 16.4W, Power factor > 9

## Warranty

5 year limited warranty. (visit [philips.com/warranties](http://philips.com/warranties) for details)

## Labels

cULus listed suitable for damp location. AirSeal. Inherently Protected. IP rated

This product complies with the requirements of the California Energy Commission regulated under Title 24, and has been listed in the Title 20 database. For 120V only

## Energy Star

Product family has Energy Star certification with the following exception:  
 · All 90 CRI options

## Title 24

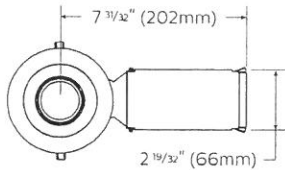
Product family has Title 24 certification with the following exception  
 · All 80 CRI options

# L3RD LyteCaster 3" Round

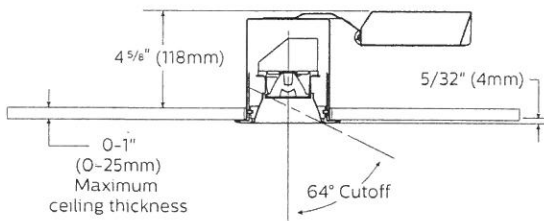
General purpose accent downlight, 800 lumens

## L3CE1 Non-IC Remodeler kit

Front view

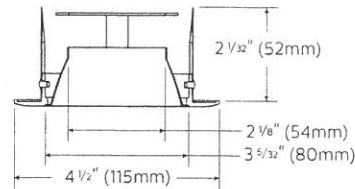


Side view

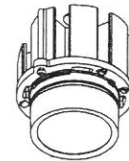


## Round trim

Side view



## Light engine



## Features

- 1. Non-IC housing:** #25 ga (0.25") thick Galvanized steel. Provided with 2 plates steel retaining springs that can accommodate ceiling thickness up to 1" (25.4mm) thick. Philips screw driver required to tighten springs that secure housing to ceiling.
- 2. Junction box:** #22 ga (0.34") thick Galvanized steel cULus suitable for damp locations. Junction box assembly swivels for tight plenum spaces. Snap off cover permits wiring access.
- 3. Electronic dimming driver:** (same as new construction); Class 2 electronic LED Driver, with less than 1 second start up, RoHS compliant, suitable for damp locations. 120v 50/60Hz > 9 power factor. Sound rating Class "A" (<24dB). Complies with FCC, CFR title 47 part 15 Class B for EMI/RFI. Dimmable with standard electronic low voltage (ELV) & Triac dimmers. Dims to less than or equal to 10% of relative high output. 5 year limited warranty.
- 4. Trim compatibility:** Not compatible with adjustable trims except for L3RG series Gimbals.
- 5. Ceiling cutout:** 3 3/4" diameter.

## Electrical

Input voltage 120v, Input freq.: 50/60 hZ, Input current: 25 amps, Input Power 12W, Power factor >.9

## Warranty

5 year limited warranty. (visit [philips.com/warranties](http://philips.com/warranties) for details)

## Labels

cULus listed suitable for damp location, inherently protected (IP rated).

This product complies with the requirements of the California Energy Commission regulated under Title 24, and has been listed in the Title 20 database.

## Energy Star

Product family has Energy Star certification with the following exception:  
- All 90 CRI options

## Title 24

Product family has Title 24 certification with the following exception:  
- All 80 CRI options



# L3RD LyteCaster 3" Round

General purpose accent downlight, 800 lumens

## Adjustment factors

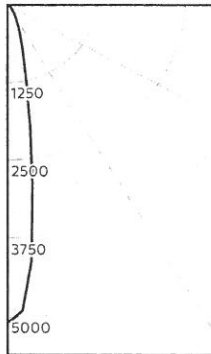
| Color temperature (CCT): |
|--------------------------|
| 2700K = 88%              |
| 3000K = 96%              |
| 3500K = 100%             |

| Color Rendering Index (CRI)  |
|------------------------------|
| 80 = 100%                    |
| 90 = 85%                     |
| 90 (CW)<br>Crisp White = 78% |

| Finish                   |
|--------------------------|
| White Baffle (BW) = 100% |
| White Cone (DW) = 100%   |
| Diffuse (DD) = 100%      |
| Chrome (DC) = 102%       |

## Beam spread: Spot

### Candela Curves



| Angle | Mean CP | Lumens |
|-------|---------|--------|
| 0     | 5073    |        |
| 5     | 4120    | 316    |
| 10    | 1943    |        |
| 15    | 935     | 276    |
| 20    | 519     |        |
| 25    | 288     | 137    |
| 30    | 158     |        |
| 35    | 80      | 54     |
| 40    | 36      |        |
| 45    | 18      | 15     |
| 50    | 8       |        |
| 55    | 5       | 5      |
| 60    | 3       |        |
| 65    | 2       | 2      |
| 70    | 1       |        |
| 75    | 1       | 1      |
| 80    | 1       |        |
| 85    | 0       | 0      |
| 90    | 0       |        |

Frame: L3NZ10U  
Light engine: L308835S  
Trim: L3RDD

Report no<sup>1</sup> 539GFR

|                            |       |                    |          |
|----------------------------|-------|--------------------|----------|
| Output lumens:             | 796lm | Efficacy:          | 67.4lm/W |
| Input Watts <sup>1</sup> : | 11.8W | CCT <sup>2</sup> : | 3500K    |
| Beam angle:                | 17°   | CRI:               | ≥80      |
| Spacing Criterion:         | 0.3   |                    |          |

### Single unit data

| Height to Lighted Plane | Initial Center Beam Foot-Candles | Beam Dia. (ft)* |
|-------------------------|----------------------------------|-----------------|
| 5'                      | 203                              | 1.5'            |
| 6'                      | 141                              | 1.8'            |
| 7'                      | 104                              | 2.1'            |
| 8'                      | 79                               | 2.4'            |
| 9'                      | 63                               | 2.7'            |

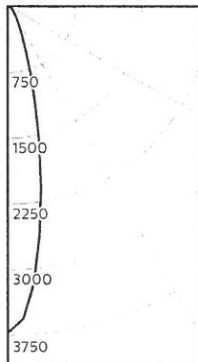
### Zonal lumens & percentages

| Zone | Lumens | %Luminaire |
|------|--------|------------|
| 0-30 | 720    | 90.5%      |
| 0-40 | 773    | 97.2%      |
| 0-60 | 793    | 99.6%      |
| 0-90 | 796    | 100.0%     |

\* Beam diameter is where foot-candles drop to 50% of maximum

## Beam spread: Narrow flood

### Candela Curves



| Angle | Mean CP | Lumens |
|-------|---------|--------|
| 0     | 3710    |        |
| 5     | 3181    | 268    |
| 10    | 2094    |        |
| 15    | 1139    | 321    |
| 20    | 557     |        |
| 25    | 286     | 140    |
| 30    | 162     |        |
| 35    | 90      | 58     |
| 40    | 48      |        |
| 45    | 28      | 23     |
| 50    | 16      |        |
| 55    | 8       | 8      |
| 60    | 5       |        |
| 65    | 2       | 3      |
| 70    | 1       |        |
| 75    | 1       | 1      |
| 80    | 0       |        |
| 85    | 0       | 0      |
| 90    | 0       |        |

Frame: L3NZ10U  
Light engine: L308835NF  
Trim: L3RDD

Report no<sup>1</sup> 529GFR

|                            |       |                    |          |
|----------------------------|-------|--------------------|----------|
| Output lumens:             | 816lm | Efficacy:          | 69.1lm/W |
| Input Watts <sup>1</sup> : | 11.8W | CCT <sup>2</sup> : | 3500K    |
| Beam angle:                | 22°   | CRI:               | ≥80      |
| Spacing Criterion:         | 0.4   |                    |          |

### Single unit data

| Height to Lighted Plane | Initial Center Beam Foot-Candles | Beam Dia. (ft)* |
|-------------------------|----------------------------------|-----------------|
| 5'                      | 148                              | 2.0'            |
| 6'                      | 103                              | 2.4'            |
| 7'                      | 76                               | 2.8'            |
| 8'                      | 58                               | 3.2'            |
| 9'                      | 46                               | 3.6'            |

### Zonal lumens & percentages

| Zone | Lumens | %Luminaire |
|------|--------|------------|
| 0-30 | 724    | 88.7%      |
| 0-40 | 782    | 95.8%      |
| 0-60 | 812    | 99.6%      |
| 0-90 | 816    | 100.0%     |

\* Beam diameter is where foot-candles drop to 50% of maximum

<sup>1</sup> Wattage controlled to within ± 10%

<sup>2</sup> Correlated Color Temperature within specs as defined in ANSI\_NEMA\_ANSI C78 377-2008 Specifications for the Chromaticity of Solid State Lighting Products

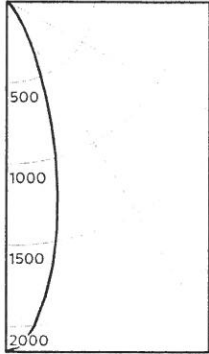
<sup>3</sup> Tested using absolute photometry as specified in LM79 IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products

# L3RD LyteCaster 3" Round

General purpose accent downlight, 800 lumens

Beam spread: **Flared**

Candela Curves



| Angle | Mean CP | Lumens |
|-------|---------|--------|
| 0     | 2166    | 180    |
| 5     | 2012    |        |
| 10    | 1652    |        |
| 15    | 1224    | 335    |
| 20    | 799     |        |
| 25    | 481     | 225    |
| 30    | 271     |        |
| 35    | 131     | 87     |
| 40    | 56      |        |
| 45    | 25      | 21     |
| 50    | 12      |        |
| 55    | 7       | 7      |
| 60    | 5       |        |
| 65    | 2       | 3      |
| 70    | 1       |        |
| 75    | 1       | 1      |
| 80    | 1       |        |
| 85    | 0       | 0      |
| 90    | 0       |        |

Frame: L3NZ10U  
Light engine: L308835F  
Trim: L3RDD

Report no<sup>2</sup> 529GFR

|                          |        |                  |           |
|--------------------------|--------|------------------|-----------|
| Output lumens            | 856 lm | Efficacy         | 72.5 lm/W |
| Input Watts <sup>1</sup> | 11.8 W | CCT <sup>2</sup> | 3500 K    |
| Beam angle               | 33°    | CRI <sup>3</sup> | ≥80       |
| Spacing Criterion        | 0.3    |                  |           |

**Single unit data**

| Height to Lighted Plane | Initial Center Beam Foot-Candles | Beam Dia (ft)* |
|-------------------------|----------------------------------|----------------|
| 5'                      | 87                               | 3.0'           |
| 6'                      | 60                               | 3.6'           |
| 7'                      | 44                               | 4.2'           |
| 8'                      | 34                               | 4.8'           |
| 9'                      | 27                               | 5.4'           |

**Zonal lumens & percentages**

| Zone | Lumens | %Luminaire |
|------|--------|------------|
| 0-30 | 738    | 86.2%      |
| 0-40 | 824    | 96.3%      |
| 0-60 | 852    | 99.6%      |
| 0-90 | 856    | 100.0%     |

\* Beam diameter is where foot-candles drop to 50% of maximum

1 Wattage controlled to within ± 10%

2 Correlated Color Temperature within specs as defined in ANSI\_NEMA\_ANSI C78 377-2008 Specifications for the Chromaticity of Solid State Lighting Products

3 Tested using absolute photometry as specified in LM79 IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products

## Electrical Specifications

| Frame-in kit | Input volts | Input freq. | Input current | LED drive current | Input power | LED power | THD factor | Power factor |
|--------------|-------------|-------------|---------------|-------------------|-------------|-----------|------------|--------------|
| L3AE1        | 120V        | 50/60Hz     | .090 A        | 260 ma            | 10.64 W     | 8.76 W    | <20%       | > 9          |
| L3ANE1       | 120V        | 50/60Hz     | .090 A        | 260 ma            | 10.64 W     | 8.76 W    | <20%       | > 9          |
| L3CE1        | 120V        | 50/60Hz     | .090 A        | 260 ma            | 10.64 W     | 8.76 W    | <20%       | > 9          |
| L3NZ10U      | 120V        | 50/60Hz     | .102 A        | 260 ma            | 11.8 W      | 9.74 W    | <10%       | > 8          |
|              | 277V        | 50/60Hz     | .047 A        | 260 ma            | 11.8 W      | 8.90 W    | <10%       | > 8          |

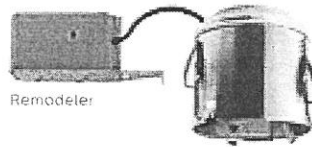
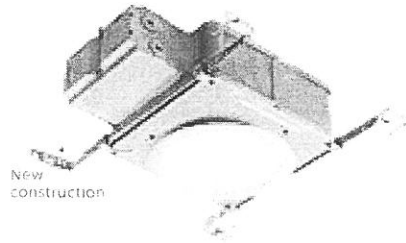


# PHILIPS LIGHTOLIER

## Downlighting

### LyteCaster

5" Round downlight



|          |     |
|----------|-----|
| Project  |     |
| Location |     |
| Cat No   |     |
| Type     |     |
| Lamps    | Qty |
| Notes    |     |

Philips Lightolier LyteCaster LED Downlights are ideal general purpose downlighting solution, providing comfortable, quality light. Available in new construction and remodeler frame with interchangeable light engine that is offered in two lumen packages. The downlight is wet location listed and comes in 3 standard option.

Complete product = Frame-in kit + Light engine + Trim Order each separately

#### Ordering guide: Frame-In kit

Example L5RAE1VA

| Series                     | Lumens <sup>1</sup>   | Frame type                                                                     | Dimming                    | Input voltage         | Version                   |
|----------------------------|-----------------------|--------------------------------------------------------------------------------|----------------------------|-----------------------|---------------------------|
| L5R                        |                       |                                                                                |                            |                       | VA                        |
| L5R LyteCaster<br>5" Round | blank 1000<br>15 1500 | A AirSeal IC, New Construction, Screw<br>AN AirSeal IC, New Construction, Nail | E ELV dimming<br>Z10 0-10V | 1 120V<br>U Universal | VA Version A <sup>2</sup> |
|                            | 10 1000<br>15 1500    | R AirSeal IC, Remodeler                                                        |                            |                       |                           |

#### Ordering guide: Light engine

Example L5R10827VA

| Series                     | Lumens <sup>1</sup> | CRI          | CCT                                                      | Version                   |
|----------------------------|---------------------|--------------|----------------------------------------------------------|---------------------------|
| L5R                        |                     |              |                                                          | VA                        |
| L5R LyteCaster<br>5" Round | 10 1000<br>15 1500  | 8 80<br>9 90 | 27 2700K<br>30 3000K<br>35 3500K<br>40 4000K<br>27 2700K | VA Version A <sup>2</sup> |

Note Lumen output is calculated based on 80 CRI and 3500K CCT Please consult adjustment factors table on page 5 for other lumen outputs

#### Ordering guide: Trim

Example L5RDW

| Series                     | Luminaire type                         | Finish                                                                                            |
|----------------------------|----------------------------------------|---------------------------------------------------------------------------------------------------|
| L5R                        |                                        |                                                                                                   |
| L5R LyteCaster<br>5" Round | D Open Downlight<br>B Baffle Downlight | D Clear diffuse (with white flange)<br>W White (with white flange)<br>W White (with white flange) |

- When ordering a Frame-in kit and a Light engine, the lumen package code must match
- Version A (VA) frames and light engines are not compatible with previous versions.

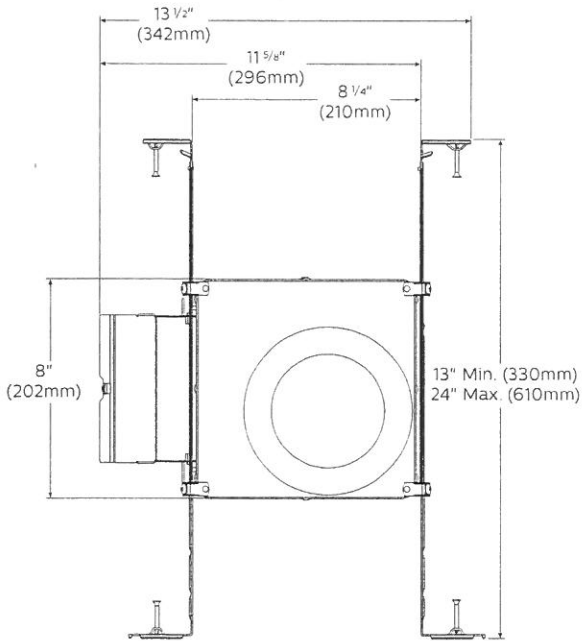


# L5R LyteCaster 5" Round

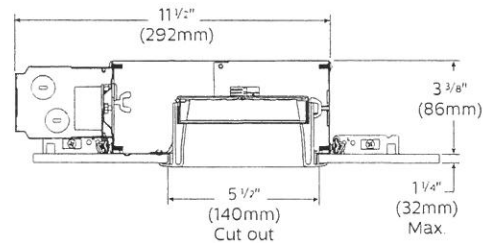
## General purpose downlight

### New construction frame-in kit

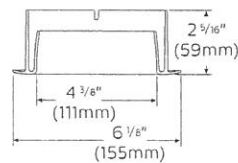
Bottom view



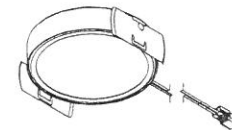
Side view



Downlight trim



Light engine



### Features

- Housing:** .026" galvanized steel. UL listed for direct contact with thermal insulation. Airseal<sup>®</sup> housing minimizes air leakage to less than 2 CFM at 1.57PSF (or 75PA), which complies with Title 24, the International Energy Conservation Code, and Washington State Energy Code (Section 502.4). This reduces heat loss and condensation in ceiling. Access door for inspection of junction box.
- Lower frame and top cover:** .026" galvanized steel. Accommodates ceilings up to 1 1/4" (32mm) thick. 3/8" (9.5mm) deep integral lip with four notches at 90° apart to simplify alignment. Locks into position along length of mounting bars with locking screws.
- Junction Box:** 2.5" X 5 3/8" X 2" (27 cu. in.) .032" galvanized steel. UL listed 90° supply conductors. Rated for branch circuit wiring supplying connected luminaires (daisy chaining).
- Retaining clips:** Permit easy and fast installation of light engine/trim.
- Mounting bars:** .059" galvanized steel. Bars pivot for easy attachment and wire-in below ceiling line. Bars extend to accommodate 16" (406mm) to 24" (610mm) O.C. joist spacing. Bars can accommodate 12" (305mm) O.C. joist spacing after a slight field modification (see Instruction sheet). Features integral self tapping phillips/square drive screws for secure attachment to wood or metal construction. Also available with integral nails. Attaches to T-bar ceilings without the need of accessories. Bars installed on shortest dimension of frame, but can be easily repositioned 90 degrees from original position.

- Driver:** ELV: 120V, 50/60Hz. RoHS compliant, Class 2 power supply. Complies with FCC rules per Title 47 Part 15 (Class B) for EMI/RFI (conducted & radiated) Class A sound rating. **0-10V:** 120/277V, 50/60Hz. RoHS compliant, Class 2 power supply. Complies with FCC rules per Title 47 Part 15 (Class A) for EMI/RFI (conducted & radiated) Class A sound rating.
- Ceiling cutout:** 5 1/2" (140mm)

### Electrical

**Lifetime:** Expected lifetime 50,000 hours and backed by a 5-year warranty. (see Philips.com/warranties for details)

### Recommended dimmers

See LED-DIM Specification Sheet.

### Labels

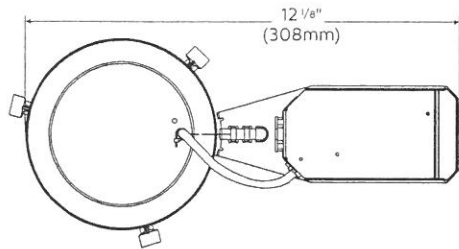
cULus Listed Type I C., frames are suitable for damp location. Trims are cULus suitable for wet location (no shower lens unit required). Complies with Air Leakage. Energy Star certified. Title 24 certified to meet high efficacy requirements.

# L5R. LyteCaster 5" Round

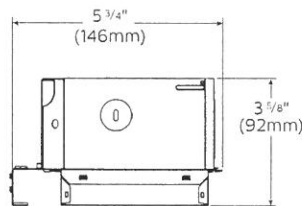
General purpose downlight

## Remodeler kit

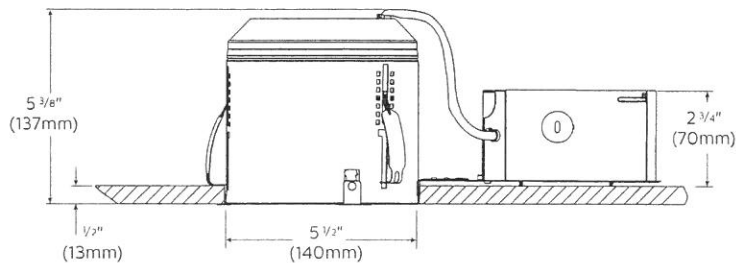
Bottom view



Side view



Side view



## Features

- Housing:** .032 Aluminum. UL listed for direct contact with thermal insulation. Integral retaining spring secures housing to ceilings up to 2" thick. Removable for access to junction box and ceiling plenum. 5 1/2" maximum for use in 2" x 6" joist construction and shallow plenum applications. Airseal® housing minimizes air leakage to less than 2 CFM at 1.57PSF (or 75PA), which complies with Title 24, the International Energy Conservation Code, and Washington State Energy Code (Section 502.4). This reduces heat loss and condensation in ceiling.
- Junction Box:** 2 1/2" x 2 1/2" x 4 7/8" (29 cu in.) .031" galvanized steel. UL listed for 90°C supply conductors. Rated for branch circuit wiring supplying connected fixtures.
- Retaining clips:** Permit easy and fast installation of light engine/trim.
- Driver:** ELV /Triac: 120V, 50/60Hz. RoHS compliant, Class 2 power supply. Complies with FCC rules per Title 47 Part 15 (Class B) for EMI/RFI (conducted & radiated). Class A sound rating.  
0-10V: 120/277V, 50/60Hz. RoHS compliant, Class 2 power supply. Complies with FCC rules per Title 47 Part 15 (Class A) for EMI/RFI (conducted & radiated). Class A sound rating.
- Ceiling cutout:** 5 1/2" (140mm).

## Electrical

**Lifetime:** Expected lifetime 50,000 hours and backed by a 5-year warranty (see Philips.com/warranties for details)

## Recommended dimmers

See LED-DIM Specification Sheet

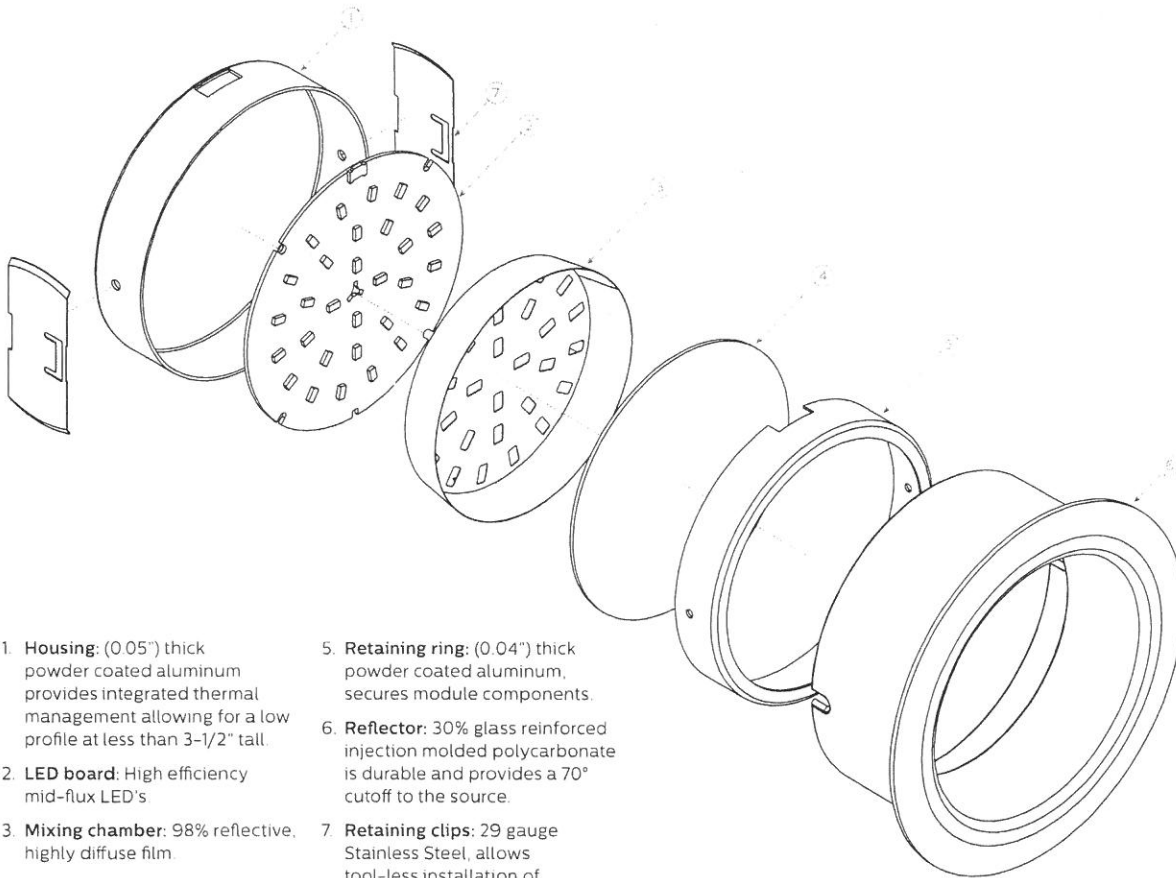
## Labels

cULus Listed Type I.C., frames are suitable for damp location. Trims are cULus suitable for wet location (no shower lens unit required). Complies with Air Leakage. Energy Star certified. Title 24 certified to meet high efficacy requirements.

# L5R LyteCaster 5" Round

General purpose downlight

Reflector: Round downlight



1. **Housing:** (0.05") thick powder coated aluminum provides integrated thermal management allowing for a low profile at less than 3-1/2" tall.
2. **LED board:** High efficiency mid-flux LED's
3. **Mixing chamber:** 98% reflective, highly diffuse film.
4. **Diffusion lens:** (0.06") thick acrylic opal lens provides an even source of illumination
5. **Retaining ring:** (0.04") thick powder coated aluminum, secures module components.
6. **Reflector:** 30% glass reinforced injection molded polycarbonate is durable and provides a 70° cutoff to the source.
7. **Retaining clips:** 29 gauge Stainless Steel, allows tool-less installation of light engine to trim.

## Electrical specifications

Frame-in kit / Remodeler

|                             | Lumens | Input volts | Input freq. | Input current | LED drive current | Input power | LED power | THD factor | Power factor |
|-----------------------------|--------|-------------|-------------|---------------|-------------------|-------------|-----------|------------|--------------|
| L5RAE1VA / L5R10RE1VA       | 1000   | 120V        | 50/60Hz     | 0.10A         | 260mA             | 12W         | 10W       | <20%       | >0.9         |
| L5RAZ10UVA / L5R10RZ10UVA   | 1000   | 120V        | 50/60Hz     | 0.11A         | 260mA             | 13W         | 11W       | <10%       | >0.9         |
|                             |        | 277V        | 50/60Hz     | 0.06A         | 260mA             | 13W         | 11W       | <15%       | >0.9         |
| L5R15AE1VA / L5R15RE1VA     | 1500   | 120V        | 50/60Hz     | 0.16A         | 375mA             | 15W         | 13W       | <20%       | >0.9         |
| L5R15AZ10UVA / L5R15RZ10UVA | 1500   | 120V        | 50/60Hz     | 0.26A         | 375mA             | 16W         | 13W       | <10%       | >0.95        |
|                             |        | 277V        | 50/60Hz     | 0.11A         | 375mA             | 16W         | 13W       | <15%       | >0.95        |

# L5R LyteCaster 5" Round

## General purpose downlight

80 CRI, 1000 lumens

| Candela Curves | Angle | Mean CP | Lumens |
|----------------|-------|---------|--------|
|                | 0     | 546     |        |
|                | 5     | 541     | 51     |
|                | 10    | 529     |        |
|                | 15    | 515     | 145    |
|                | 20    | 490     |        |
|                | 25    | 459     | 212    |
|                | 30    | 429     |        |
|                | 35    | 385     | 241    |
|                | 40    | 340     |        |
|                | 45    | 289     | 222    |
|                | 50    | 236     |        |
|                | 55    | 184     | 165    |
|                | 60    | 135     |        |
|                | 65    | 91      | 93     |
|                | 70    | 63      |        |
|                | 75    | 45      | 48     |
|                | 80    | 28      |        |
|                | 85    | 12      | 13     |
|                | 90    | 0       |        |

Frame: L5RAE1VA / L5RAZ10UVA / L5R10RE1VA / L5R10RZ10UVA  
 Light engine: L5R10835VA  
 Trim: L5RDW Report no: 685GFR

|                          |         |                  |            |
|--------------------------|---------|------------------|------------|
| Output lumens            | 1190 lm | Efficacy         | 102.6 lm/W |
| Input Watts <sup>1</sup> | 11.6 W  | CCT <sup>2</sup> | 3500 K     |
| Spacing Criterion        | 1.2     | CRI              | ≥80        |

| Single unit data        |                                  |                |
|-------------------------|----------------------------------|----------------|
| Height to Lighted Plane | Initial Center Beam Foot-Candles | Beam Dia (ft)* |
| 5'                      | 22                               | 6.0'           |
| 6'                      | 15                               | 7.2'           |
| 7'                      | 11                               | 8.4'           |
| 8'                      | 9                                | 9.6'           |
| 9'                      | 7                                | 10.8'          |

\* Beam diameter is where foot-candles drop to 50% of maximum

| Multiple unit data - RCR 2 |                                  |                  |
|----------------------------|----------------------------------|------------------|
| Spacing on center          | Initial Center Beam Foot-Candles | Watts per Sq. Ft |
| 5'                         | 49.5                             | 0.51             |
| 6'                         | 32.5                             | 0.34             |
| 7'                         | 23.2                             | 0.24             |
| 8'                         | 19.3                             | 0.20             |
| 9'                         | 15.5                             | 0.16             |

| Coefficients of utilization |                                                         |     |     |     |     |     |     |     |     |     |     |     |
|-----------------------------|---------------------------------------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| Ceiling                     | 80%                                                     |     |     |     | 70% |     | 50% |     | 30% |     | 0%  |     |
| Wall                        | 70                                                      | 50  | 30  | 10  | 50  | 10  | 50  | 10  | 50  | 10  | 0   |     |
| RCR                         | Zonal cavity method - Effective floor reflectance = 20% |     |     |     |     |     |     |     |     |     |     |     |
| Room Cavity Ratio           | 0                                                       | 119 | 119 | 119 | 119 | 116 | 116 | 111 | 111 | 106 | 106 | 100 |
|                             | 1                                                       | 110 | 106 | 102 | 99  | 104 | 97  | 99  | 94  | 96  | 91  | 87  |
|                             | 2                                                       | 101 | 94  | 88  | 83  | 92  | 82  | 89  | 80  | 85  | 78  | 74  |
|                             | 3                                                       | 93  | 84  | 76  | 70  | 82  | 70  | 79  | 69  | 77  | 67  | 64  |
|                             | 4                                                       | 86  | 75  | 67  | 61  | 74  | 60  | 71  | 60  | 69  | 59  | 56  |
|                             | 5                                                       | 80  | 68  | 59  | 53  | 67  | 53  | 65  | 52  | 63  | 52  | 49  |
|                             | 6                                                       | 74  | 61  | 53  | 47  | 60  | 47  | 59  | 47  | 57  | 46  | 44  |
|                             | 7                                                       | 69  | 56  | 48  | 42  | 55  | 42  | 54  | 42  | 52  | 41  | 39  |
|                             | 8                                                       | 64  | 51  | 43  | 38  | 51  | 38  | 49  | 38  | 48  | 37  | 35  |
|                             | 9                                                       | 60  | 47  | 40  | 34  | 47  | 34  | 46  | 34  | 45  | 34  | 32  |
|                             | 10                                                      | 56  | 44  | 36  | 31  | 43  | 31  | 42  | 31  | 41  | 31  | 29  |

| Zonal lumens & percentages |        |             | CRI and CCT adjustment factors |  |
|----------------------------|--------|-------------|--------------------------------|--|
| Zone                       | Lumens | % Luminaire |                                |  |
| 0-30                       | 408    | 34.3%       | 90CRI 2700K = 0.71             |  |
| 0-40                       | 649    | 54.5%       | 80CRI 2700K = 0.89             |  |
| 0-60                       | 1036   | 87.1%       | 80CRI 3000K = 0.97             |  |
| 0-90                       | 1190   | 100.0%      | 80CRI 3500K = 1.00             |  |

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

80 CRI, 1500 lumens

| Candela Curves | Angle | Mean CP | Lumens |
|----------------|-------|---------|--------|
|                | 0     | 703     |        |
|                | 5     | 697     | 66     |
|                | 10    | 682     |        |
|                | 15    | 656     | 185    |
|                | 20    | 619     |        |
|                | 25    | 576     | 265    |
|                | 30    | 527     |        |
|                | 35    | 474     | 296    |
|                | 40    | 417     |        |
|                | 45    | 357     | 275    |
|                | 50    | 295     |        |
|                | 55    | 234     | 209    |
|                | 60    | 175     |        |
|                | 65    | 120     | 121    |
|                | 70    | 81      |        |
|                | 75    | 57      | 60     |
|                | 80    | 35      |        |
|                | 85    | 15      | 17     |
|                | 90    | 0       |        |

Frame: L5R15AZ10UVA / L5R15AE1VA / L5R15RZ10UVA / L5R15RE1VA  
 Light engine: L5R15835VA  
 Trim: L5RDW Report no: 879GFR

|                          |         |                  |           |
|--------------------------|---------|------------------|-----------|
| Output lumens            | 1494 lm | Efficacy         | 95.1 lm/W |
| Input Watts <sup>1</sup> | 15.7 W  | CCT <sup>2</sup> | 3500 K    |
| Spacing Criterion        | 1.1     | CRI              | ≥80       |

| Single unit data        |                                  |                |
|-------------------------|----------------------------------|----------------|
| Height to Lighted Plane | Initial Center Beam Foot-Candles | Beam Dia (ft)* |
| 5'                      | 28                               | 5.5'           |
| 6'                      | 20                               | 6.6'           |
| 7'                      | 14                               | 7.7'           |
| 8'                      | 11                               | 8.8'           |
| 9'                      | 9                                | 9.9'           |

\* Beam diameter is where foot-candles drop to 50% of maximum

| Multiple unit data - RCR 2 |                                  |                  |
|----------------------------|----------------------------------|------------------|
| Spacing on center          | Initial Center Beam Foot-Candles | Watts per Sq. Ft |
| 5'                         | 62.1                             | 0.70             |
| 6'                         | 40.8                             | 0.46             |
| 7'                         | 29.1                             | 0.33             |
| 8'                         | 24.3                             | 0.27             |
| 9'                         | 19.4                             | 0.22             |

| Coefficients of utilization |                                                         |     |     |     |     |     |     |     |     |     |     |     |
|-----------------------------|---------------------------------------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| Ceiling                     | 80%                                                     |     |     |     | 70% |     | 50% |     | 30% |     | 0%  |     |
| Wall                        | 70                                                      | 50  | 30  | 10  | 50  | 10  | 50  | 10  | 50  | 10  | 0   |     |
| RCR                         | Zonal cavity method - Effective floor reflectance = 20% |     |     |     |     |     |     |     |     |     |     |     |
| Room Cavity Ratio           | 0                                                       | 119 | 119 | 119 | 119 | 116 | 116 | 111 | 111 | 106 | 106 | 100 |
|                             | 1                                                       | 110 | 106 | 102 | 99  | 104 | 97  | 99  | 94  | 96  | 91  | 87  |
|                             | 2                                                       | 101 | 94  | 88  | 83  | 92  | 82  | 89  | 80  | 85  | 78  | 74  |
|                             | 3                                                       | 93  | 84  | 76  | 70  | 82  | 70  | 79  | 69  | 77  | 67  | 64  |
|                             | 4                                                       | 86  | 75  | 67  | 61  | 74  | 60  | 71  | 60  | 69  | 59  | 56  |
|                             | 5                                                       | 80  | 68  | 59  | 53  | 67  | 53  | 64  | 52  | 63  | 52  | 49  |
|                             | 6                                                       | 74  | 61  | 53  | 47  | 60  | 47  | 59  | 46  | 57  | 46  | 44  |
|                             | 7                                                       | 69  | 56  | 48  | 42  | 55  | 42  | 54  | 42  | 52  | 41  | 39  |
|                             | 8                                                       | 64  | 51  | 43  | 38  | 51  | 38  | 49  | 38  | 48  | 37  | 35  |
|                             | 9                                                       | 60  | 47  | 40  | 34  | 47  | 34  | 46  | 34  | 45  | 34  | 32  |
|                             | 10                                                      | 56  | 44  | 36  | 31  | 43  | 31  | 42  | 31  | 42  | 31  | 29  |

| Zonal lumens & percentages |        |             | CRI and CCT adjustment factors |  |
|----------------------------|--------|-------------|--------------------------------|--|
| Zone                       | Lumens | % Luminaire |                                |  |
| 0-30                       | 516    | 34.5%       | 90CRI 2700K = 0.71             |  |
| 0-40                       | 811    | 54.3%       | 80CRI 2700K = 0.89             |  |
| 0-60                       | 1295   | 86.7%       | 80CRI 3000K = 0.97             |  |
| 0-90                       | 1494   | 100.0%      | 80CRI 3500K = 1.00             |  |

38"x38"x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

1. Wattage: controlled to within ± 5%  
 2. Correlated Color Temperature: within specs as defined in ANSI\_NEMA\_ANSI C78.377-2008 Specifications for the Chromaticity of Solid State Lighting Products  
 3. Tested using absolute photometry as specified in LM79 IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products

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[philips.com/luminaires](http://philips.com/luminaires)



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# TOWN OF TRURO

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## Memorandum

To: Planning Board  
Fr: Carole Ridley  
Date: January 12, 2016  
Re: Proposed Zoning Bylaws

Two zoning bylaws are scheduled for discussion on January 17th.

### §30.3 Seashore District

A public information session will be held on Wednesday, January 25<sup>th</sup> at 2:30 pm at the Truro Public Library.

The Board has discussed holding a public hearing on February 21, 2017, and this should be confirmed.

### §40.2 Affordable Accessory Dwelling Units (ADUs)

The draft bylaw was further amended to include a provision on amnesty.

The bylaw is not restricted to using gross floor area as a measurement to control size of an accessory dwelling unit. MGL Ch. 40A Sec 3 prohibits restriction of the interior of a single family residential building. An ADU is separately categorized under zoning and is not a single family residential building, and therefore is not subject to the same rule.

A decision on dates of public hearings for one or both of these amendments should be made as soon as possible in order to satisfy notice requirements under MGL Ch 40A §5.

Following the closing of the public hearing, the Board will forward its report and recommendation to the Selectmen for Town Meeting.

The Annual Town Meeting Warrant closes on March 14, 2017.



**PROPOSED TRURO SEASHORE DISTRICT ZONING BYLAW  
AMENDMENTS  
DRAFT – Revised – December 10, 2016**

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Section 10.4 Definitions

*(Add the following definition.)*

**Seashore District Total Gross Floor Area.** The aggregate gross floor area of the dwelling and accessory structures on a lot within the Seashore District, shall consist of the sum of the horizontal areas of the floor(s) of a building measured from the exterior faces of the exterior walls of the building, without deduction for hallways, stairs, closets, and thickness of walls, columns or other features used or intended to be used for living, sleeping, sanitation, cooking or eating purposes, excluding cellar and basement floor area, garage, porches, decks, attics, barns, greenhouses and agricultural buildings.

For the purposes of computing floor area, any portion of the floor area measuring less than five feet from the finished floor to the finished ceiling shall not be included in the computation of floor area.

**Article 30.3. Seashore District**

*(Insert the following new section 30.3.1. following Section 30.3.E.)*

**30.3.1. Residential Building Scale Regulations**

**Purpose:** The Seashore District is a unique Zoning District in Truro that encompasses a major portion of the Cape Cod National Seashore. Truro has adopted the special zoning provisions required for this District as set forth in the Code of Federal Regulations (Title 36, Part 27). The purpose of this Section is to recognize the town's stewardship role to ensure that any residential alteration, construction and reconstruction is in accordance with the purposes and intent of the Cape Cod National Seashore, namely to preserve the special cultural and natural features, distinctive patterns of human activity, and rural ambience that characterize the Outer Cape, along with the associated scenic, cultural, historic, scientific, and recreational values; and maintains the prevailing scale and massing of buildings.

**A. Applicability and Exceptions**

1. **Seashore District Total Gross Floor Area Allowed by Right:** Subject to the exceptions provided for in subsections 30.3.1.A.2 and below, building permits for new construction or for projects that seek to increase the Seashore District Total Gross Floor Area of a lot with buildings that exist as of April 25, 2017, shall only be issued where, on completion of the project, the Seashore District Total Gross Floor Area of the lot does not exceed 3,600 sq. ft. for 3 acres:
  - a. plus 200 sq. ft. for each additional contiguous acre; or
  - b. minus 200 sq. ft. for each contiguous acre less than 3 acres, as the case may be, where the square footage per acre specified above is pro-rated for a portion of an acre. (See table that follows, which is provided for illustrative purposes.)

**Illustrative Limits on Total Gross Floor Area Proportional to Lot Size Allowed by Right**

| Lot Size Acres | Lot Size Sq. Ft. | Limit SD GFA Sq. Ft. |
|----------------|------------------|----------------------|
| .5             | 21,780           | 3,100                |
| .75            | 32,670           | 3,150                |
| 1              | 43,560           | 3,200                |
| 3              | 130,680          | 3,600                |
| 6              | 261,300          | 4,200                |
| 10             | 435,600          | 5,000                |

2. **Special Permit to exceed the Seashore District Total Gross Floor Area limit:** The Seashore District Total Gross Floor Area limit for a lot established in subsection A.1 may be exceeded, up to the cap established by this subsection, by special permit, as provided in the remaining provisions of this Bylaw. No special permit may be issued for any project if the project would result in the Seashore District Total Gross Floor Area of the lot exceeding 4,600 sq. ft. for 3 acres:
- a. plus 200 sq. ft. for each additional contiguous acre; or
  - b. minus 200 sq. ft. for each contiguous acre less than 3 acres, as the case may be, where the square footage per acre specified above is pro-rated for a portion of an acre. (See table that follows, which is provided for illustrative purposes.)

**Illustrative Limits on Total Gross Floor Area Proportional to Lot Size that may be Possible with Special Permit**

| Lot Size Acres | Lot Size Sq. Ft. | Limit SD GFA Sq. Ft. |
|----------------|------------------|----------------------|
| .5             | 21,780           | 4,100                |
| .75            | 32,670           | 4,150                |
| 1              | 43,560           | 4,200                |
| 3              | 130,680          | 4,600                |
| 6              | 261,300          | 5,200                |
| 10             | 435,600          | 6,000                |

- B. Procedures for Special Permit Review and Approval:** Upon receipt of an application for a building permit the Building Commissioner shall make an initial determination as to whether any alteration, construction or reconstruction of a building or structure would result in the Seashore District Total Gross Floor Area exceeding the limitation set out in Section 30.3.1.A.1. If the Building Commissioner determines that the applicant cannot proceed without a Special Permit, the applicant shall first make an application to the Planning Board for Site Plan Review, and upon approval by the Planning Board of Site Plan review, as defined in Section 70.4, shall then apply to the Zoning Board of Appeals for a Special Permit. No building permit shall be issued hereunder unless the Zoning Board of Appeals has granted a Special Permit according to procedures as defined elsewhere in this Bylaw.

**§70.9 Waiver of Site Plan Review**

*(Insert)* Site Plan Review shall not be waived in the Seashore District.

Make the following changes to § 10.4. Definitions, where strikethrough indicates deletion and underline means addition.

§ 10.4. Definitions

Dwelling Unit, Affordable Accessory. A rental year-round dwelling unit either detached from or located within or attached to a principal single family dwelling, principal structure, garage or an accessory structure to the principal single family dwelling on the same lot, such as a garage. The Accessory Dwelling Unit (ADU) shall ~~;~~ containing at least four hundred (400) square feet but not more than one thousand four hundred (1,400) square feet of Gross Floor Area. An Accessory Dwelling Unit shall be a complete, separate housekeeping unit containing both kitchen and sanitary facilities in conformance with §40.2 of this bylaw. ~~(04/017) restricted to remain affordable by conditions attached to the Special Permit issued by the Planning Board and be occupied by income-eligible households determined in accordance with HUD Income and Fair Market Rental Guidelines.~~

To read as follows:

Dwelling Unit, Accessory. A dwelling unit either detached from or located within or attached to a principal single family dwelling, or an accessory structure to the principal single family dwelling on the same lot, such as a garage. The Accessory Dwelling Unit (ADU) shall contain at least four hundred (400) square feet but not more than one thousand four hundred (1,400) square feet of Gross Floor Area. An Accessory Dwelling Unit shall be a complete, separate housekeeping unit containing both kitchen and sanitary facilities in conformance with §40.2 of this bylaw. (04/17)

\*\*\*\*\*

Make the following **highlighted** changes to § 30.2. Use Table:

§ 30.2. Use Table

The following uses are permitted by district as indicated below, and consistent with the purposes for which the district was established. Uses not expressly permitted are deemed prohibited.

KEY

|                                                                               |                               |
|-------------------------------------------------------------------------------|-------------------------------|
| P                                                                             | Permitted                     |
| SP                                                                            | May be allowed by special     |
| permit granted by the Board of Appeals, or the<br>Planning Board, where noted |                               |
| N                                                                             | Not Permitted                 |
| R                                                                             | Residential                   |
| BP                                                                            | Beach Point Limited Business  |
| NT6A                                                                          | Route 6A, North Truro Limited |
| Business                                                                      |                               |
| TC                                                                            | Truro Center Limited Business |
| NTC                                                                           | North Truro Center General    |
| Business                                                                      |                               |
| Rt6                                                                           | Route 6 General Business      |
| S                                                                             | Seashore                      |

| <b>PRINCIPAL USES</b>                                                |    |    |      |    |     |        |    |
|----------------------------------------------------------------------|----|----|------|----|-----|--------|----|
|                                                                      | R  | BP | NT6A | TC | NTC | Rt6    | S  |
| <b>AGRICULTURAL</b>                                                  |    |    |      |    |     |        |    |
| Agricultural (except Animal Husbandry); horticultural, floricultural | P  | P  | P    | P  | P   | P      | P  |
| Animal husbandry, parcels of more than 5 acres                       | P  | P  | P    | P  | P   | P      | P  |
| Animal husbandry, parcels of 5 acres or less                         | SP | SP | SP   | N  | SP  | SP     | SP |
| <b>COMMERCIAL</b>                                                    |    |    |      |    |     |        |    |
| Automobile service, repair, storage, or salesrooms                   | N  | N  | N    | N  | P   | P      | N  |
| Commercial fishing activity (1, 11)                                  | P  | P  | P    | P  | P   | P      | P  |
| Professional office (2)                                              | N  | P  | P    | P  | P   | P      | N  |
| Restaurant                                                           | N  | N  | N    | P  | P   | P      | N  |
| Retail business service (4/14)                                       | N  | N  | P    | P  | P   | P      | N  |
| Retail sales (4/14)                                                  | N  | N  | N    | P  | P   | P      | N  |
| Wholesale Trade (4/14)                                               | N  | N  | SP   | SP | P   | P      | N  |
| <b>INDUSTRIAL</b>                                                    |    |    |      |    |     |        |    |
| Communication structure                                              | N  | N  | N    | N  | N   | SP (4) | N  |
| Industrial or manufacturing use (5)                                  | N  | N  | N    | N  | SP  | SP     | N  |
| Marine installation                                                  | SP | SP | SP   | N  | SP  | SP     | N  |
| Public utility                                                       | N  | N  | N    | N  | P   | P      | P  |
| Research or experimental lab (6)                                     | SP | SP | SP   | N  | SP  | SP     | N  |
| Small engine repair                                                  | SP | SP | SP   | N  | SP  | SP     | N  |
| Trade, repair shop, etc. (7) (4/14)                                  | N  | N  | P    | P  | P   | P      | N  |
| <b>INSTITUTIONAL</b>                                                 |    |    |      |    |     |        |    |
| Educational institution                                              | P  | P  | P    | P  | P   | P      | P  |

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| <b>PRINCIPAL USES</b>                                                 |         |    |      |    |     |     |        |
|-----------------------------------------------------------------------|---------|----|------|----|-----|-----|--------|
|                                                                       | R       | BP | NT6A | TC | NTC | Rt6 | S      |
| Hospital, nursing and/or convalescent home                            | P       | P  | P    | P  | P   | P   | P      |
| Municipal use (4/13)                                                  | P       | P  | P    | P  | P   | P   | P      |
| Private club not conducted for profit                                 | SP      | SP | SP   | N  | SP  | SP  | N      |
| National Seashore administration facilities, public facilities        | N       | N  | N    | N  | N   | N   | P (11) |
| Religious institution                                                 | P       | P  | P    | P  | P   | P   | P      |
| Large-Scale Gound-Mounted Photovoltaic Array (4/11)                   | SP (12) | N  | N    | N  | N   | P   | P      |
| <b>RECREATIONAL</b>                                                   |         |    |      |    |     |     |        |
| Children’s camp                                                       | SP      | SP | SP   | N  | SP  | SP  | N      |
| Park, playground, non-commercial recreation                           | P       | P  | P    | N  | P   | P   | N      |
| <b>RESIDENTIAL</b>                                                    |         |    |      |    |     |     |        |
| Cottage or cabin colony, motor court                                  | N       | P  | N    | N  | P   | P   | N      |
| Duplex new (8)                                                        | N       | SP | SP   | SP | SP  | SP  | N      |
| Duplex, conversion of existing single family dwelling (8)             | SP      | SP | SP   | SP | SP  | SP  | N      |
| Hotel                                                                 | N       | N  | N    | N  | P   | P   | N      |
| Motel                                                                 | N       | P  | N    | N  | P   | P   | N      |
| Single family dwelling (10)                                           | P       | P  | P    | P  | P   | P   | P (11) |
| <b>ACCESSORY USES</b>                                                 |         |    |      |    |     |     |        |
| Dwelling Unit, Affordable Accessory (10) (04/0717)                    | SP      | SP | SP   | SP | SP  | SP  | N-P    |
| Bed and breakfast, home; as defined; Boarding House, Home, as defined | P       | P  | P    | N  | P   | P   | P (11) |
| Habitable Studio                                                      | P       | P  | P    | N  | N   | P   | P      |
| Home occupation, as defined                                           | P       | P  | P    | P  | P   | P   | P      |

| PRINCIPAL USES            |    |    |      |    |     |     |      |
|---------------------------|----|----|------|----|-----|-----|------|
|                           | R  | BP | NT6A | TC | NTC | Rt6 | S    |
|                           |    |    |      |    |     |     | (11) |
| Other home occupation (5) | SP | SP | SP   | N  | SP  | SP  | N    |
| Working Studio            | P  | P  | P    | N  | N   | P   | P    |
|                           |    |    |      |    |     |     |      |

(4/06)

NOTES

1. To include traditional fishing activities, opening of shellfish, storage and use of fishing equipment.
2. No more than four (4) offices per lot; 20% lot coverage permitted, exclusive of parking; storage of equipment or materials where they are visible from neighboring properties or public or private ways is prohibited; the Board of Appeals shall find that the proposed use does not produce any injurious or offensive dirt, odor, fumes, gas, noise, or danger from explosion or fire.
3. Reserved (4/14)
4. Includes buildings and appurtenances; Special Permit Granting Authority is the Planning Board.
5. The Board of Appeals shall find that a proposed use is not injurious or offensive or tends to reduce values in the same district by reason of dirt, odor, fumes, gas, sewage, noise, or danger from explosion or fire.
6. The Board of Appeals may approve activities which are necessary in connection with scientific research or scientific development or related production, and which are accessory to a permitted use, if the Board finds the proposed accessory use does not substantially derogate from the public good; the proposed accessory use need not be located on the same parcel as the primary use.
7. Includes shops of carpenters, plumbers, electricians, dressmakers and similar tradespeople, repairs to radio-TV-computers and related electronic services, bicycle repairs, furniture repairs and upholstery. (4/14)
8. Uses in this category are further subject to the special regulations set forth in § 40.1, Duplex Houses and Apartments.
9. Except trailers, mobile homes, Quonset huts or portable buildings. One tent for non-commercial use is allowed per lot, for a specified period of time and with the written consent of the owner and the Board of Health. The Board of Health may limit the period of time the tent is erected and used.
10. Uses in this category are further subject to the special regulations set forth in §40.2, Affordable Accessory Dwelling Unit, and the Planning Board shall serve as the Special Permit granting authority. (04/0717)
11. Uses in this category are further subject to the special regulations set forth in § 30.3, Seashore District.

Except in the Solar Farm Overlay District, where the use is permitted.

\*\*\*\*\*

**Amend §40.2 as follows. Please note, for ease of reading and discussion purposes, this is draft is depicted as proposed and does not reflect deletions and insertions. A version of the bylaw depicting proposed deletions and insertions in tracked changes is available for review at the Town Clerk's office.**

**Comment [A1]:** I recommend having a track change version of the bylaw available at the Town Clerk's office and at Town Meeting, in case questions are asked about what language specifically is changing.

### §40.2 Accessory Dwelling Unit

#### A. The purposes of this bylaw are to:

1. Increase the number of moderately priced, year-round rental dwelling units available to Truro residents;
2. Encourage a more economical and energy-efficient use of the Town's housing supply; and
3. Provide homeowners with a means of obtaining rental income to defray housing costs.

#### B. Requirements

1. One Accessory Dwelling Unit (ADU) per buildable lot may be allowed in any zoning district by obtaining an ADU Permit from the Planning Board.
2. An ADU may be established within or attached to a principal dwelling, principal structure, or a ~~garage~~accessory structure, or constructed as a detached unit, and must be located on the same lot as the primary dwelling.
3. The ADU must be in conformity with the State Building Code, Title V of the State Sanitary Code and all applicable town health, building, zoning and other local laws and regulations. □
4. An ADU within or attached to a principal dwelling, principal structure or ~~garage~~accessory structure that is a pre-existing nonconforming use or structure shall not increase any existing nonconformity or create a new nonconformity without first obtaining a Special Permit or Variance, respectively, from the Zoning Board of Appeals.

**Comment [A2]:** The definition indicates an ADU may be attached to any accessory structure, not just a garage.

#### C. ADU Permit Criteria

1. The ADU shall be a complete, separate housekeeping unit containing both kitchen and sanitary facilities. □
2. The ADU shall not contain more than one thousand four hundred (1,400) square feet nor less than four hundred (400) square feet of Gross Floor Area as that term is defined in Section II of this Zoning By-law. Once an ADU has been added to a dwelling, structure or lot, the ADU shall not be enlarged beyond the square footage specified in the permit granted pursuant to this section without first obtaining a subsequent permit from the Planning Board, and in no case shall an ADU be permitted to exceed the square footage allowed by this section □

3. At least one (1) off street parking space in addition to parking otherwise required for the property is required for an ADU. □
4. An ADU and principal dwelling or structure shall share common septic/wastewater and water service facilities. The principal dwelling or structure and ADU shall meet all wastewater requirements of Title 5 and local Board of Health regulations. □
5. An ADU shall be clearly subordinate in use, size and design to the principal dwelling or structure, considering the following: building architectural details, roof design, building spacing and orientation, building screening, door and window size and location, and building materials. When accessory to a principal dwelling, the intent is to retain the appearance of a single-family dwelling and the privacy of abutters. □
6. The principal dwelling and ADU and lot on which they are located shall remain in common ownership, and shall not be severed in ownership, including that the lot, buildings or units thereon shall not be placed in a condominium form of ownership.
7. An ADU and the principal dwelling to which it is accessory may be rented for periods no shorter than 12 months. Rental (including sub-leasing by a tenant) of an ADU or principal dwelling on a lot with an ADU for periods less than 12 months (including, but not limited to, seasonal rental and rental through vacation rental services and websites) is prohibited.
8. The owner of the property shall live in either the principal dwelling or the ADU.
9. ADUs permitted under this section shall be inspected annually by the Health and Building Departments for compliance with the ADU Permit, as well as public safety and public health codes. The owner of the property shall be responsible for scheduling such inspection and shall pay any applicable inspection fees.

#### D. Amnesty

The owners of a lot containing a second dwelling unit (i) for which there does not exist a validly-issued variance, special permit, building permit or occupancy permit, and (ii) that is not a legally pre-existing, nonconforming use and structure may apply for a special permit under this section. If the Planning Board grants such a special permit, it shall ensure that the secondary dwelling unit complies with applicable building, safety and other regulatory codes and may impose conditions, without limitation, to eliminate or minimize zoning nonconformities.

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#### D.E. Application Procedure

1. Each application for an ADU pPermit shall be filed by the Applicant with the Town Clerk consisting of:
  - a. An original and 14 copies of the Application for ADU Permit;
  - b. 15 copies of the required plans and other required information under §40.2.D.1(e)-(j);
  - c. Applicable filing fee;



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- d. List of abutters obtained from the Truro Assessing Department
- e. Site Plan or Site and Sewage Plan prepared by a licensed engineer showing all property lines, existing and proposed structures on the parcel, and setbacks from roads and property lines for each structure. Building dimensions (height, stories, square footage) shall be shown on the plan.
- f. Documentation of approval of the septic/wastewater treatment system from the Board of Health.
- g. Building plans at a scale of no less than 1/8" = 1'-0", including floor plans and front, side and rear elevations of the ADU and principal dwelling or structure.
- h. Affidavit declaring that the ADU and/or principal dwelling to which it is accessory will be rented on a twelve month basis.
- i. Documentation of approval, if applicable, from the Conservation Commission.
- j. Documentation of Special Permit or Variance, if applicable, from the Zoning Board of Appeals.
- j.k. The Planning Board may require the applicant to fund outside consultants, pursuant to G.L. c.44, §53G.

E.F. Public Hearing

1. Upon receipt of the application by the Truro Town Clerk, the Planning Board shall hold a duly noticed public hearing within 65 days of said filing. The Board shall:
  - a. Give notice by advertisement in a newspaper of general circulation in the Town of Truro, no less than ten (10) days before the day of such hearing; and,
  - b. Give notice by posting such notice in a conspicuous place in the Town Hall for a period of not less than ten (10) days before the day of such hearing; and,
  - c. Give notice by mailing a copy of such advertisement to abutters to the subject property, abutters to abutters within 300 feet of the subject property, and owners of properties across the street from the subject property.

F.G. Findings of the Planning Board

1. The Planning Board shall grant an ADU Permit if it finds that the proposal complies with the provisions of this bylaw, §40.2, as amended. The concurring vote of four members of the Planning Board shall approve an ADU pPermit as submitted or with reasonable conditions. The Board shall deny the permit only if:
  - a. The application is incomplete, and the applicant fails to complete the application within 21 days after written notice of the application's deficiencies, or
  - b. The imposition of reasonable conditions will not ensure that the ADU will conform to the standards and criteria described herein, or
  - c. The ADU does not comply with the requirements of the Zoning By-law.
2. The permit decision is not appealable.

G.H. Penalty

Failure of the applicant to comply with any provision of this section or the ADU Permit is punishable by a fine established in Section 60.1 of the Truro Zoning By-laws and shall entitle the Planning Board, after notice and public hearing, to revoke, modify or suspend the ADU Permit~~may result in the revocation of the ADU Permit~~. The Town shall be entitled to recover its litigation fees, including counsel fees, incurred in enforcement of this Bylaw.

**H.I. Requirements for Tax Exemption**

Qualifying ADUs permitted under this section are eligible to seek tax abatement pursuant to **Chapter I, Section 10** of the Truro General Bylaws, Tax Exemption for Affordable Accessory Dwelling Units.

\*\*\*\*\*

**A new General Bylaw inserted as Chapter I, Section 10 is proposed for adoption to encompass the tax exemption for affordability.**

**Chapter I, Section 10. Tax Exemption for Affordable Accessory Dwelling Units**

**A. Applicability**

Pursuant to Chapter 306 of the Acts of 2014, Affordable Accessory Dwelling Units permitted in accordance with §40.2 of the Truro Zoning Bylaw occupied by income eligible households and rented for an amount not to exceed the fair market rents established by the United States Department of Housing and Urban Development shall be exempt from taxation under Chapter 59 of the General Laws provided they meet the following qualifying factors.

**B. Exemption Calculation**

The exemption shall be equal to the tax otherwise owed on the property based on the assessed value of the property, including ADUs, multiplied by the square footage of the living space of all dwelling units on the property that are restricted to occupancy by low or moderate income households, divided by the total square feet of structures on the property. For a property with a single dwelling unit, the exemption allowed shall not exceed 50% of the tax otherwise owed. For purposes of determining the assessed value of the property, if by income approach to value, the assessment shall assume that all housing units are rented at fair market rent as determined by the US Department of Housing and Urban Development. To be eligible for exemption, the housing unit shall be leased to a low or moderate income household at such rents for the entire fiscal year for which the exemption is sought.

**C. Affordability Requirements**

1. Households leasing and occupying the affordable dwelling unit shall upon initial application and annually thereafter on the first of September in each calendar year, submit to the Town or its agent the documentation necessary to confirm their eligibility to occupy the dwelling unit. Specifically, all dwelling units must be rented to those meeting the following guidelines for a low or moderate-income family: (1) low income families having an income not exceeding eighty (80) percent of the Barnstable County median family income, and (2) moderate income families having an income between eighty (80) and one hundred twenty (120) percent of the Barnstable County median family income and, as determined by the United States Department of Housing and Urban Development (HUD) Published Income Guidelines, as they may from time to time be amended.
2. Maximum rents shall be established in accordance with Fair Market Rental Guidelines published from time to time by the United States Department of Housing and Urban Development (HUD). Property owners are required to submit to the Town or its agent information on the rents to be charged. Each year thereafter on the first of September,

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they shall submit to the Town or its agent information on annual rents to be charged. Forms for this purpose shall be provided by the Town. Rents may be adjusted upward and shall be adjusted downward annually in accordance with adjustments to the Fair Market Rental Guidelines.

## **TRURO PLANNING BOARD**

# **DRAFT**

### **Meeting Minutes**

**January 3, 2017, 6:00 pm**

**Truro Town Hall**

**Planning Board Members present:** Bruce Boleyn, Peter Herridge, Paul Kiernan, Jack Riemer, Mike Roderick, Steve Sollog

Other participants: Kristen Roberts, Stuart Parson, Maureen Burgess, Doug Cox, Jim Summers, Carole Ridley, Planning Consultant.

Steve Sollog opened the meeting at 6:00 pm.

### **Public Comment Period**

No public comment.

### **Pre-application Consultation**

Roberts Family Property LLC seeks a consultation concerning an application for modification of an existing site plan to increase on-site parking for property located at 11 Shore Road, Truro Vineyards, Map 39 Parcels 131, 137 and 158.

Kristen Roberts, owner, and Stuart Parson, architect, spoke about their parking expansion plan, which will require Commercial Site Plan Review. They distributed a drawing of the parking proposal. There are thirty new spaces added which will bring the new total to 69. Mr. Boleyn asked about handicapped parking. Two spaces are marked for handicapped parking which meets the requirement. Mr. Riemer asked about bus parking. Ms. Roberts said buses are only allowed during the shoulder season. If there are more than two buses at a time, they are required to park elsewhere off the property. Mr. Riemer also asked about the food truck. Ms. Roberts pointed out on the drawing where the buses and the food truck park. Mr. Riemer asked is any of the spaces are within 10 feet of the property line. None of the new spaces are within 10 feet. Then he asked if circulation of traffic has been considered. Ms. Roberts said it is not any different than before. She also explained that they rent two units at Tradesman Park, which come with two parking spaces each, for their company vehicles. Mr. Riemer asked about the wheel chair access. Ms. Roberts asked about the procedure from here. Ms. Ridley explained that they will need to fill out an application for the Site Plan Review. There is a list of requirements stated in the bylaw. Any waivers of requirements, if any, would need to be requested in writing.

Gerard Kinnehan, an abutter, spoke about parking around the Truro Vineyard's property. Parking on the street during the summer has become unbearable and very disruptive. He thinks that all the parking should be contained on the property. It has become unsafe. Mr. Kinnehan and his neighbors have gotten together to try to see what they can do about it. He asked if parking on the roadside is legal. Ms. Ridley said that it is not legal, but many organizations sponsor events that generate onstreet parking. There is a Town policy that if a special event expects a lot of people, a parking plan must be submitted to the Police Department for approval.

Ms. Roberts responded with what they have been doing to respond to the neighbors' concerns. She offered to put up a sign "Lot Full" when there is no more parking. She supports enforcement of the onstreet parking ban.

There was discussion about how to find out what is on the agenda of a Planning Board meeting. Maureen Burgess stated that anyone can receive the agenda sent to them by email if they sign-up online on the town website.

Doug Cox stated that adding 20 to 30 spaces is probably not enough. He asked the Planning Board to please approve the site plan when it is presented. If they can add more spaces, please encourage them to do so.

### **Possible discussion on Zoning Bylaws**

#### **Section 30.3 Seashore District**

Mr. Herridge spoke about scheduling a question and answer period at the library as well as a public hearing.

Maureen Burgess spoke about the proposed amendment, thanking the Board and the committee. The Superintendent of the National Seashore is retiring this year. She thinks a new Truro bylaw would be a nice retirement present.

Mr. Herridge asked how we would set up question and answer sessions. Ms. Ridley suggested some dates. The Warrant closes on March 14, so a proposal would have to be ready prior to that. January 19 and January 31 are possibilities for a question and answer period. For the public hearing, possibly February 7, 21 or March 7. It was decided that the informational meeting will be on January 19th at 6 pm and the public hearing on February 21. Mr. Riemer brought up the issue of showing the movie, "This Large House." Mr. Sollog said he didn't think there was time to set this up. The DVD could be loaned for individual viewing.

Mr. Kiernan suggested that if we might leave the numbers open and ask people to make suggestions. Jim Summers said he thinks there should be a starting point. Otherwise there would be a lot of confusion. The intent of the Seashore should be included.

Ms. Ridley reported on the notice requirements for the bylaw amendment. She asked if the current (Dec 10, 2016) draft is the one the Board would like posted on the website. The answer was yes, but without the yellow highlighting.

Mr. Summers said that citizens study the Warrant and pay attention to whether the Board and the Selectmen have voted on it, so it will be important for these boards to make their votes known.

#### **Section 40.2 Affordable Accessory Dwelling Unit**

Ms. Ridley passed out a new draft of the AADU Bylaw. The revision is intended to simplify the process and reassure the public about design standards and adherence to year round rental. This would be a non-discretionary permit; it is currently a special permit governed by Massachusetts general law. If the applicant meets the standards and conditions, they would be granted the

permit from the Planning Board by right. If any of those conditions are not adhered to in the use of the permit, the permit could be revoked.

Ms. Ridley then discussed the changes that the revision makes to the bylaw. There would be a change to the definition. The Board agreed to take out the affordability requirement. The draft underscores that an ADU is a year-round dwelling unit, and it has certain components to it and it is limited in size.

The next change is to the use table. Currently, AADU's are allowed by special permit in all districts but the Seashore District. However, in the body of the bylaw it states that the AADU is permitted in all districts, which is a contradiction. So this revision says that it is allowed in all districts, subject to special regulations in 40.2. It is permitted but you have to get the permit, and the Planning Board shall serve as the permitting authority.

In 40.2 itself, the main change is that it is a discretionary permit, requirements for design, a clearer application procedure, more language to underscore (#7) that an ADU may be rented for no shorter than 12 months. There is much stronger language prohibiting seasonal rentals. There is a requirement of annual monitoring by the Health Agent and the Building Commissioner. The best defense in terms of monitoring is probably going to be neighbors complaining.

Mr. Herridge asked what the consequences would be if the permit is revoked. Mr. Kiernan asked if there is an accessory dwelling unit bylaw in another town on Cape Cod that removed the affordability requirement or would this be the first.

The Cape Cod Commission recently reviewed bylaws in all towns and recommended removing the deed restrictions as onerous to the home owner. The limit on the size of the dwelling will market-limit the rental rates.

Ms. Ridley stated that one piece she hasn't addressed yet is the tax exemption and the deed restriction. It will be treated separately.

Mr. Sollog spoke of his approval of the current version. He would like this bylaw revision to be treated with the importance that the Seashore bylaw has been treated.

Mr. Herridge asked if we could hold a workshop on this. Mr. Sollog said that we will keep this on the agenda for future meetings.

Ms. Ridley asked if you want to have an information session for this bylaw revision. She also mentioned that there is verbiage that addresses preventing this bylaw from allowing duplexes. Mr. Sollog asked that this new version be available on the website.

Mr. Riemer asked how these units affect our growth management bylaw and how do they affect subsidized housing inventory requirement. Ms. Ridley said that they would count as part of the 40 dwelling unit growth management limit, but they would not count as subsidized housing because of the lack of deed restriction.

Mr. Riemer asked if gross floor area is defined in the bylaw measured by exterior walls. Ms. Ridley will check on this.

Mr. Riemer asked about an amnesty provision. Ms. Ridley said that if they had already built the space, they could come in for a permit. Mr. Sollog said he would like to capture some of the existing accessory units. Mr. Riemer brought up non-conforming lots. Ms. Ridley replied that the applicant would need to apply for zoning relief. Mr. Riemer asked for a definition of condominium. "Ownership could not be conveyed as a condominium."

Mr. Sollog asked if the Board would like to discuss this further, or is it ready to be aired to the public. Mr. Boleyn thinks it is too soon. The consensus of the Board is that it is not ready for the public. Mr. Sollog says he thinks this subject needs its own special meeting. He would like other boards to weigh in on this. He would like BOS and ZBA to look at this, as well as the building commissioner.

Ms. Burgess brought up the septic issue, and that the Board of the Health should be included as well. Mr. Herridge agrees that it would be too much to combine the two subjects (the Seashore District and the AADU) into one information meeting. Ms. Ridley said she would send the draft to the other Town boards, as well as the building commissioner for their feedback, in time for the February 7 meeting.

#### **Review and Approval of Meeting Minutes**

December 21, 2016 Planning Board Meeting

Mr. Kiernan made the motion to approve the minutes as amended (Add a space between information and requested in the Adventure Bound Camping Resort section.) Mr. Boleyn seconded, so voted, 6-0.

#### **Reports from Board Members and Staff**

December building permits report was distributed.

Meeting Dates and Other Important Dates

January 17, 2017 (Tues.) - Regular Meeting

February 7, 2016 (Tues.) - Regular Meeting

Mr. Riemer asked about what will be on the agenda for January 17. Ms. Ridley said there are three public hearings: White Sands, Horton's Campgrounds, and a Seashore residential site plan application. It was agreed that we have site visits for all three. Possibly Tuesday the 10<sup>th</sup> or Thursday the 12<sup>th</sup>. She will let everyone know.

Mr. Sollog made a motion to adjourn, Mr. Boleyn seconded. So voted, 6-0.  
Meeting adjourned at 7:40 pm.

Respectfully submitted,

Katherine Black