

**TRURO PLANNING BOARD AGENDA**  
**WEDNESDAY, November 2, 2016 – 6:00 p.m.**  
**Truro Town Hall, 24 Town Hall Road, Truro**

**Public Comment Period**

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

**Election of Planning Board Clerk**

**Definitive Plan – Public Hearing Continuance-Request for Further Continuance**

**2016-010PB Stephen Walsh, et al**, have filed an application for approval of a Definitive Plan with the Clerk of the Town of Truro pursuant to MGL c.40A, §81T and §2.5 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to their property located on Walsh Way, Walsh Way Extension and Valentine Lane, Map 43, Parcels 7, 8, 9, 10, 134 & 135. The plan would widen existing roadways with no new lots created. Continued from September 6<sup>th</sup> and September 20<sup>th</sup> 2016. Applicant requests continuance to December 6, 2016 at 6 pm.

**Commercial Site Plan Review Waiver Request**

**2016-007SPR Roberts Family Property LLC** seeks a Waiver of site Plan Review pursuant to §70.9 of the Truro Zoning bylaw, for renovations to an existing farmhouse to include first floor sales area, basement structural upgrades, new exterior ramp, and first floor entrance on property located at 11 Shore Road, Map 39, Parcel 131,137,158.

**Temporary Sign Permit**

**Payomet Performing Arts Center**, seeks approval for two Applications for Temporary Sign Permits pursuant to §11 of the Truro Sign Code. One application requests permission to place two (2) temporary 48" high by 36" wide signs (August 16 – September 15, 2016) for various events in two locations (Route 6 at Noons Heights Road and Route 6 at South Highland Road). A second application requests permission to place one (1) temporary 9" x 39" sign located 48" off the ground (November 16 – December 15, 2016) at the intersection of So. Highland and Old Dewline Roads.

**Discussion on Possible Zoning Articles**

- §40.2 Affordable Accessory Dwelling Units
- §30.3 Seashore District
- §30.4 Water Resource Protection District

**Vote to Appoint Planning Board Representative to Community Preservation Committee**

**Review and Approval of Meeting Minutes**

- October 18, 2016 Planning Board Meeting
- October 25, 2016 Sit Visit

**Reports from Board Members and Staff**

**Meeting Dates and Other Important Dates**

- November 16, 2016 (Wed.) – 5:30 pm Joint Meeting with Board of Health and Water Resources Oversight Committee
- November 16, 2016 (Wed.) – Regular Meeting
- December 6, 2016 – Regular Meeting
- December 21, 2016 (Wed.) – Regular Meeting

**Adjourn**



# TOWN OF TRURO

Planning Department  
P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004, Ext. 27 Fax: (508) 349-5505  
cr Ridley@truro-ma.gov

To: Planning Board  
From: Carole Ridley  
Date: October 27, 2016  
Re: Planning Board Clerk

At the last Planning Board meeting I was asked to investigate whether there is a description of responsibilities for the Planning Board Clerk.

MGL Ch 41 Section 81A (attached) stipulates that a Planning Board "shall elect annually a chairman and clerk from among its own number,..." The responsibilities of clerk are not enumerated or described.

The Town Charter, Ch. 6 (attached), addresses the requirements for elected town board's, but does not specifically describe the role of clerk.

At one time the Clerk may have handled documents or recording responsibilities, but those matters are now handled by staff. The clerk would presumably chair a meeting if the Chair and Vice Chair were absent.



**PART I** ADMINISTRATION OF THE GOVERNMENT**TITLE VII** CITIES, TOWNS AND DISTRICTS**CHAPTER 41** OFFICERS AND EMPLOYEES OF CITIES, TOWNS AND DISTRICTS**Section 81A** Planning board; establishment; membership; tenure; vacancies

Section 81A. Any city except Boston, and, except as hereinafter provided, any town may at any time establish a planning board hereunder. Every town not having any planning board shall, upon attaining a population of ten thousand, so establish a planning board under this section. A planning board established hereunder shall consist of not less than five nor more than nine members. Such members shall in cities be appointed by the mayor, subject to confirmation by the city council and in towns be elected at the annual town meeting or be appointed in such manner as an annual town meeting may determine; provided, that a town which has a planning board established under section seventy may, at an annual town meeting or at a special town meeting called for the purpose, vote to establish a planning board under this section and may provide that the members of the planning board then in office shall serve as members of the planning board under this section until the next annual town meeting. When a planning board is first established or when the terms of members of the planning board established under section seventy serving as members of the planning board under this section expire, as the case may be, the members of the planning board under this section shall be elected or appointed for terms of such length and so arranged that the term of at least one member will expire each year, and their successors shall be elected or appointed for terms of three or five years each as determined by the city council in the case of a city and by the town meeting in the case of a town. Any member of a board so established in a city may be removed for cause, after a public hearing, by the mayor, with the approval of the city council. A vacancy occurring otherwise than by expiration of term shall be filled for the unexpired term, in a city, in the same manner as an original appointment, and, in a town, if the members of the board are appointed, in the same manner as the original appointment. If the members of a planning board are elected, any unexpired term shall be filled by appointment by the board of selectmen and the remainder of the members of the planning board until the next annual election, at which time, such office shall be filled, by election, for the remainder of the unexpired term. All appointments pursuant to this section shall be in the manner provided in section eleven. Such a board shall elect annually a chairman and a clerk from among its own number, and may employ experts and clerical and other assistants. It may appoint a custodian of its plan and records, who may be the city engineer or town clerk. No member of a planning board shall represent before such board any party of interest in any matter pending before it.

## Chapter 6 - Multi-member Bodies; Elected and Appointed

### Section 1 - Powers

- 6-1-1 All multi-member bodies shall possess and exercise all powers given to them under the Constitution and General Law of the Commonwealth, and shall have and exercise such additional powers and duties as may be granted or delegated by the Board of Selectmen, this Charter, By-law, or vote of the Town Meeting. (119/2000)
- 6-1-2 Any appointed multi-member body whose powers or purpose are not clearly defined under the Constitution and General Laws of the Commonwealth, this Charter, By-law or vote of Town Meeting shall have a written charge by the Board of Selectmen to define such powers and purpose provided such charge is consistent with the intent for which the multi-member body was created. (119/2000)

### Section 2 - Organization and Procedures

- 6-2-1 All multi-member bodies shall organize annually, elect a chairperson and other necessary officers, adopt rules of procedure and voting, maintain minutes and all other records of proceedings, copies of which shall be a public record and shall be filed promptly with the Town Clerk, and shall annually submit a report for inclusion in the annual town report.
- 6-2-2 All multi-member bodies shall conduct their meetings in accordance with the open meeting provisions of General Law.
- 6-2-3 A quorum for all multi-member bodies shall consist of a majority of the full complement of the body.
- 6-2-4 Any person duly elected or appointed to a multi-member body shall forthwith be sworn by the Town Clerk to the faithful performance of his or her duties, shall take up the duties of the office immediately and shall carry out their responsibilities in accordance with General Law, this Charter, and By-law.
- 6-2-5 All multi-member bodies shall consist of an uneven number of members, no fewer than three. The Board of Selectmen or Town Meeting may increase or decrease the number of members to serve on multi-member bodies, unless such number is otherwise established by the General Laws or this Charter. (119/2000)
- 6-2-6 Members of multi-member bodies shall be elected or appointed for three-year overlapping terms, unless such term is otherwise established by General Law, with at least one member being elected or appointed each year.
- 6-2-7 Deleted (119/2000)



the particular purpose for which an ad hoc committee was created not be resolved at the expiration of the two-year appointment, such committee may be reappointed for an additional one-year period. *(119/2000)*

- 6-4-5 Any multi-member body created by Town Meeting shall continue to exist until dissolved by vote of the Town Meeting, unless the vote creating such body provides for a definite time of dissolution. *(119/2000)*
- 6-4-6 Any multi-member body created by the Board of Selectmen, except those ad hoc committees as may be appointed in accordance with section 6-4-4 of this Charter, shall continue to exist until dissolved by the Board of Selectmen, unless the vote creating such body provides for a definite time of dissolution. *(119/2000)*
- 6-4-7 The absence of a member or alternate member for four consecutive meetings of an appointed multi-member body shall serve to vacate the office, unless such absence is approved by a vote of the multi-member body. The Chairman of the body shall forthwith notify the appointing authority that such vacancy has occurred. The vacancy shall be filled in accordance with section 6-2-10 of this Charter and the appointee shall complete the vacant unexpired term. *(119/2000)*



# TOWN OF TRURO

Planning Department  
P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004, Ext. 27 Fax: (508) 349-5505  
cridley@truro-ma.gov

To: Planning Board  
From: Carole Ridley  
Date: October 27, 2016  
Re: Waiver from Site Plan Review

**2016-007SPR Roberts Family Property LLC** seeks a Waiver of site Plan Review pursuant to §70.9 of the Truro Zoning bylaw, for renovations to an existing farmhouse to include first floor sales area, basement structural upgrades, new exterior ramp, and first floor entrance on property located at 11 Shore Road, Map 39, Parcel 131,137,158.

## Submission

1. Commercial Development Application for Waiver of Site Plan Review received October 17, 2016.
2. Letter from Kristen Roberts, October 15, 2016, re: Request for Waiver of Site Plan Review for Renovations Project at Truro Vineyards, 11 Shore Road
3. List of abutters
4. Plan entitled Truro Vineyards Farmhouse, 11 Shore Road, Truro, MA made by S.M. Parsons Architects, Inc., Scale
  - a. L-1 Site Design Plan (Proposed), scale 1"=20'
  - b. D-1.0 first floor demolition plan
  - c. A 1.0 Basement and First Floor Structural Improvements, 1/4"=1'
  - d. A 1.1 First Floor and Site Plan
  - e. A 2.0 Exterior Elevations
  - f. S.1.1 Ramp and Deck Farming and Details

## Other Department Comments

Application materials were distributed to the Police Department, Fire Department, Health and Conservation Agent and Building Commissioner for comment. No comments/concerns were raised.

## Planning Board Jurisdiction

### §70.9 Waiver of Site Plan Review

The Planning Board may determine at its discretion without a public hearing that submission of a Commercial or Residential Site Plan review application is not required when the alteration or reconstruction of an existing building or structure or new use or change in use **will not** have a significant impact: within the site or in relation to adjacent properties and streets; on pedestrian and vehicular traffic; on public services and infrastructure, or on unique environmental and historic resources abutting properties; or community needs.

A waiver from Commercial or Residential Site Plan Review must be requested by the applicant using the appropriate Site Plan Review Application form. The form, applicable filing fee and supporting documentation to establish such review shall be filed with the Planning Board Secretary. A waiver request will be considered at a regular session of the Planning Board.

Upon the decision of the Planning Board, a copy of the decision shall be sent to the applicant, the owner, the representative, if any, and the Building Commissioner.

### **Completeness of Application**

As there are no specific requirements for the submittal of a Waiver of Site Plan Review, it is the responsibility of the Planning Board to determine whether the information submitted provides adequate information to determine whether the applicant has demonstrated that “the alteration or reconstruction of an existing building or structure or new use or change in use will not have a significant impact: within the site or in relation to adjacent properties and streets; on pedestrian and vehicular traffic; on public services and infrastructure, or on unique environmental and historic resources abutting properties; or community needs.”

### **Additional Planning Staff Comments**

A site visit on October 25<sup>th</sup> was attended by Mssrs. Sollog, Riemer, Boleyn and Herridge.

An excerpt of the 2007 site plan is enclosed along with the decision. The 2010 waiver of site plan decision is enclosed, along with the plan filed at that time.

The proposed renovations will not increase or decrease the parking capacity at the site. The Town has instituted a policy that requires a parking plan for each event to be submitted to the Police Department for approval, modification or denial. This policy applies to all public, private or non-profit events that may result in on-street parking.

The property is within a Zone 2 to the South Hollow Well Field. Board of Health memos (enclosed) contained in the 2007 and 2010 files indicate:

- The files show this property as a private water supply, but a question was raised as to whether the project qualified as a public water supply, and directed the applicant to seek a determination from MassDEP.
- In 1992 the Cape Cod Commission issued an Order of Conditions requiring annual reporting to the Board of Health pertaining to chemical inventory and water quality testing.

I will discuss the status of these issues with the Truro Health Agent and report any additional information to the Board at the meeting.

### **Board Options**

1. Approve the request of **Roberts Family Properties, LLC** for a Waiver of Site Plan Review pursuant to §70.9 of the Truro Zoning Bylaw for renovations to an existing farmhouse to include first floor sales area, basement structural upgrades, new exterior ramp, and first floor entrance on property located at 11 Shore Road, Map 39, Parcel 131,137,158. This is based on the fact that the seasonal canopy in this location **will not** have a significant impact: within the site or in relation to adjacent properties and streets; on pedestrian and vehicular traffic; on public services and infrastructure, or on unique environmental and



historic resources abutting properties; or community needs. *(NOTE: Include a condition (s) if applicable.)*

2. Deny the request of **Roberts Family Properties, LLC** for a Waiver of Site Plan Review pursuant to §70.9 of the Truro Zoning Bylaw for for renovations to an existing farmhouse to include first floor sales area, basement structural upgrades, new exterior ramp, and first floor entrance on property located at 11 Shore Road, Map 39, Parcel 131,137,158. This is based on the fact that the seasonal canopy in this location **will** have a significant impact: within the site or in relation to adjacent properties and streets; on pedestrian and vehicular traffic; on public services and infrastructure, or on unique environmental and historic resources abutting properties; or community needs. *(Need to site reasons)*
3. To continue the meeting on the application for additional information *(Need to state what additional information is required and the continuation of a meeting must be to a date and time certain.)*



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## COMMERCIAL DEVELOPMENT APPLICATION FOR SITE PLAN REVIEW

Office of Town Clerk  
Treasurer – Tax Collector  
2016-0075PR  
OCT 17 2016  
\$125.00 fee paid  
Received TOWN OF TRURO  
By *Suzanne Joseph*

Date OCT. 17, 2016

To the Town Clerk and the Planning Board of the Town of Truro, MA

The undersigned hereby files an application with the Truro Planning Board for the following:



**Site Plan Review** pursuant to §70.3 of the Truro Zoning By-law (Complete I, II & III)



**Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning By-law (Complete I & III)

### I. General Information

Description of Property and Proposed Project FARM WINERY BUSINESS ON SIX ACRE PROPERTY, RENOVATIONS TO EXISTING "FARMHOUSE" BUILDING (APPROX. 1723 S.F.) AT FIRST FLOOR SALES AREA, BASEMENT STRUCTURAL UPGRADES, ADDITION OF NEW EXTERIOR RAMP AND FIRST FLOOR ENTRANCE.

Property Address 11 SHORE ROAD Map(s) and Parcel(s) #39, PARCELS 131, 137, 158

Registry of Deeds title reference: Book 21818, Page 15, or Certificate of Title

Number — and Land Ct. Lot # — and Plan # BOOK 275, P. 94

Applicant's Name KRISTEN ROBERTS

Applicant's Legal Mailing Address P.O. BOX 834, NORTH TRURO, MA 02652

Applicant's Phone(s), Fax and Email 508.487.6200, 508.487.1688(F)

Applicant is one of the following: (please check appropriate box) Kristen@trurovineyardsofcapecod.com

Owner

Prospective Buyer\*

Other\*

\*Written Permission of the owner is required for submittal of this application.

Owner's Name and Address ROBERTS FAMILY PROPERTY LLC, P.O. BOX 834, NORTH TRURO MA 02652

Representative's Name and Address STUART PARSONS, 133 NONANTUM ST. #2, BOSTON MA 02135

Representative's Phone(s), Fax and Email 617.645.3185, STUART@SMPARSONS.COM

II. **Waiver(s) Request** – Waivers from any of the items listed in §70.3.D, must be identified below and a separate sheet shall be attached indicating in detail the reason for said waiver(s) pursuant to §70.3.D. Note that items 1(a-d), 2 and 3.a (1 – 6) of §70.3.D shall not be waived.



1.e: 3 copies of drainage calculations



3.b: Existing Conditions Plan (specific waiver requests and reason must be attached)



3.c: Proposed Conditions Plan (specific waiver requests and reason must be attached)



3.d: Proposed Landscaping Plan (specific waiver requests and reason must be attached)

### III. Signature(s)

*Stuart Parsons*  
Applicant(s)/Representative Signature

*Kristen Roberts*  
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

October 15, 2016

To: Truro Planning Board

Re: Request for Waiver of Site Plan Review for Renovations Project at Truro Vineyards, 11 Shore Road

Dear Members of the Planning Board,

Attached please find the application for Site Plan Review and supporting documents that describe the proposed project at Truro Vineyards. We respectfully request a waiver of Site Plan Review as indicated on the application, pursuant to section 70.9 of the Truro Zoning By-law.

The proposed project includes improvements to the "Farmhouse" building, the retail and sales area of our farm winery business. The improvements include interior alterations to the first floor merchandise area, improvements to the existing south entrance, a new west entrance, an exterior ramp to serve the new entrance, and structural improvements to the first floor framing and foundation. There will be no increase in square footage, no change to the building configuration and no change in use.

The goal of the project is to greatly improve accessibility, circulation, and the overall experience for visitors to the building. The scope of the project is small and limited to the building and its immediate front and side yard areas. The existing parking provisions will not be affected. The impact to the site area and within the property as a whole is negligible. There should be zero impact to abutting properties.

It is our opinion that a waiver from Site Plan Review is warranted due to the limited scope of the project, the lack of impact to the site and surroundings, and the beneficial gesture to the public interest.

In July 2007 the Planning Board endorsed a site plan for the property. In February 2010, the Planning Board endorsed revisions to the site plan for the property. We are requesting that the Planning Board endorse the proposed revisions as shown on the site plan enclosed with the application. We ask for your timely approval, so that work may proceed to bring much needed improvements to the visitors of Truro Vineyards by completing the project as planned under the limited seasonal timeframe available.

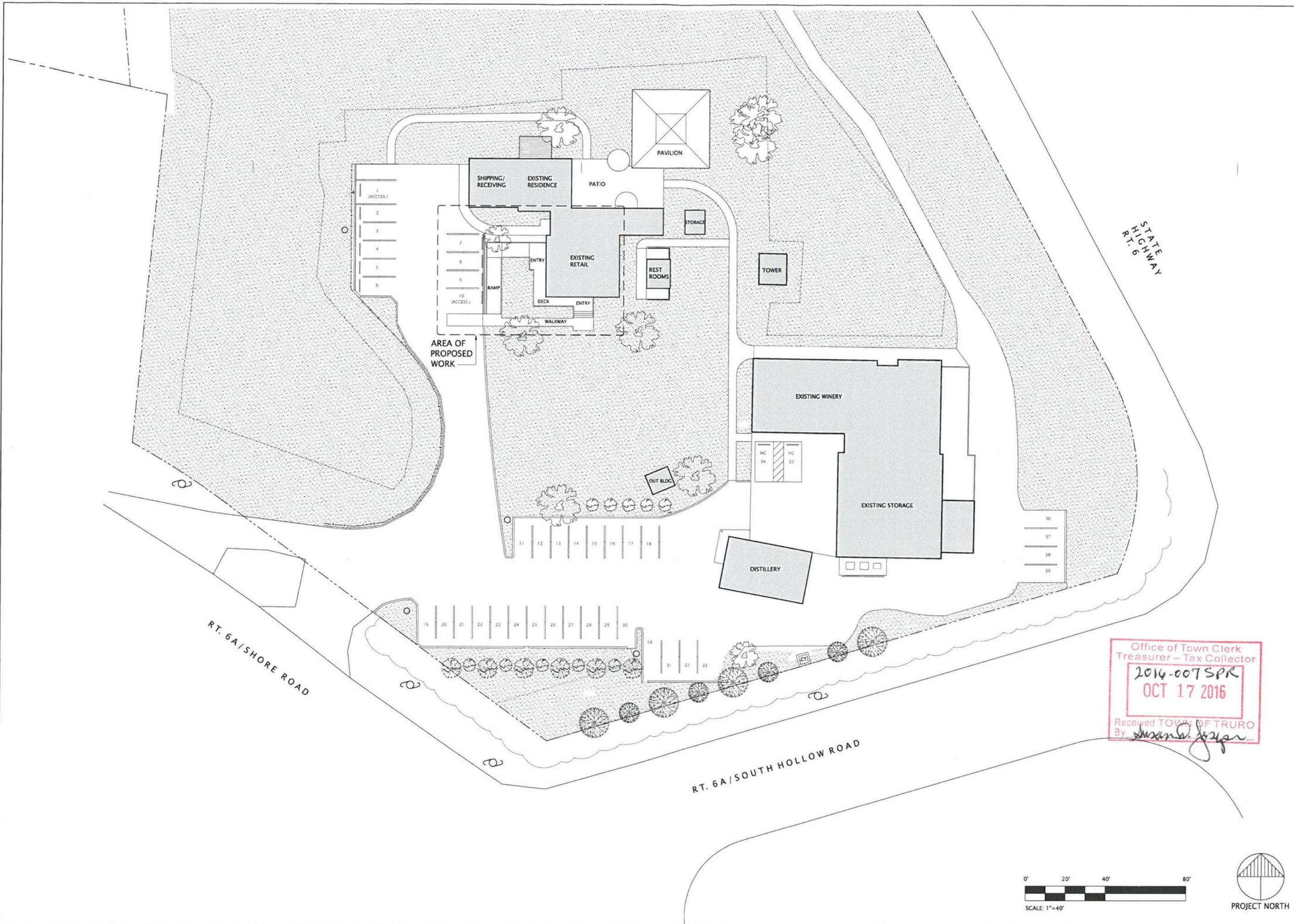
Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'KRISTEN ROBERTS', written in a cursive style.

Kristen Roberts  
Proprietor  
Truro Vineyards





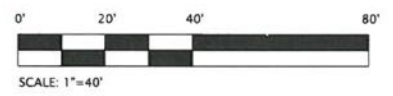
Office of Town Clerk  
Treasurer - Tax Collector  
2016-007 SPR  
OCT 17 2016  
Received TOWN OF TRURO  
By *[Signature]*

Renovations to the  
**Truro Vineyards Farmhouse**  
11 Shore Road  
Truro, MA

**SITE DESIGN PLAN (PROPOSED)**

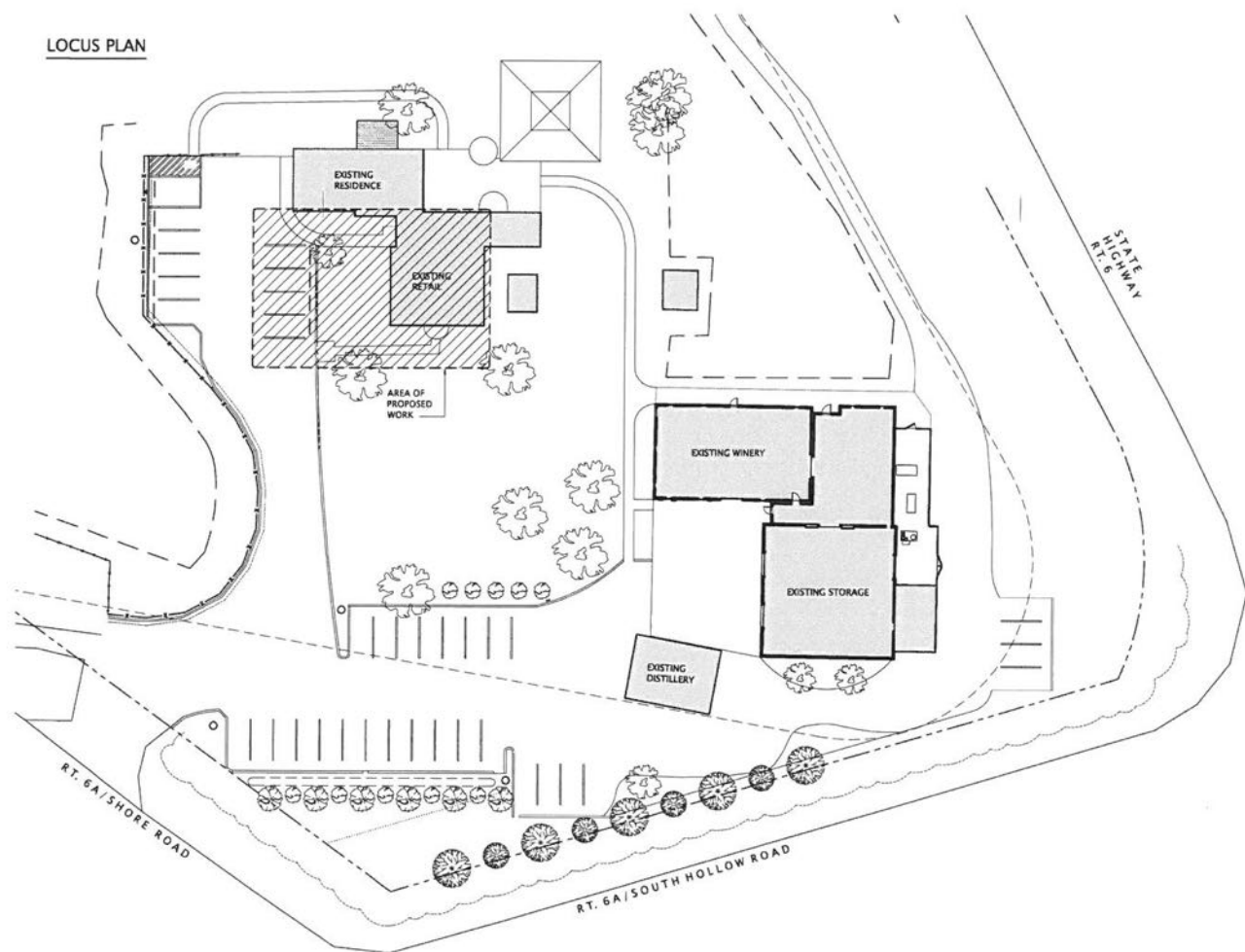
PROJECT NO. 151014  
SCALE: 1"=20'  
ISSUED: OCT 8 2016

**L-1**  
SHEET NO.





LOCUS PLAN



STATEMENT OF USE:

THE DOCUMENTED PROJECT IS THE RENOVATION OF AN EXISTING BUILDING, PRESENTLY USED FOR THE RETAIL AREA OF THE TRURO VINEYARDS, A COMMERCIAL ENTERPRISE. THE BUILDING IS A TWO STORY WOOD FRAMED STRUCTURE. THE SCOPE OF WORK IS LIMITED TO THE FIRST FLOOR SALES AND DISPLAY AREA AND STORAGE ROOM, OF APPROXIMATELY 1723 SQUARE FEET. A NEW ENTRANCE AND RAMP WILL BE ADDED AT THE WEST FACADE, AND THE SOUTH ENTRANCE UPGRADED FOR IMPROVED ACCESSIBILITY. THE BASEMENT AND FIRST FLOOR FRAMING WILL BE STRUCTURALLY UPGRADED. NO NEW AREA WILL BE ADDED. THERE IS NO CHANGE TO THE EXISTING USE.

BUILDING CODE SUMMARY:

USE GROUP: MERCANTILE GROUP M  
 HEIGHT / AREA: 1 ST. 40', 9,000 SF / FLR  
 CONSTRUCTION TYPE: VB  
 OCCUPANT LOAD: SALES AREA : 1370 SF / 30 GROSS = 46

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED WORK.
- DIMENSIONS ARE TO/FROM THE FACE OF STUD, CENTERLINE OF STUD, OR FACE OF EXISTING FINISH, UNLESS NOTED OTHERWISE.
- COORDINATE AND INSTALL ALL REQUIRED BLOCKING.
- ALL ITEMS ARE NEW UNLESS IDENTIFIED AS EXISTING.
- COMPLY WITH OWNER'S RULES AND REGULATIONS REGARDING CONSTRUCTION WITHIN THE BUILDING INCLUDING STORAGE OF MATERIALS, DISPOSAL OF DEBRIS AND DELIVERY OF MATERIALS.
- AT AREAS WHERE EXISTING CONSTRUCTION IS REMOVED, CONSTRUCTION AND FINISHES TO MATCH EXISTING ADJACENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES ARE SHOWN FOR CLARITY OF ARCHITECTURAL DRAWINGS. VERIFY COORDINATION AND LOCATION OF ALL EQUIPMENT.
- MATCH EXISTING WALL THICKNESS AT INFILL LOCATIONS.

DRAWING LIST

SHT.	TITLE
A-0.0	COVER SHEET / PROJECT INFORMATION
D-1.0	FIRST FLOOR DEMOLITION PLAN
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR AND SITE PLAN
A-2.0	EXTERIOR ELEVATIONS
S-1.1	RAMP AND DECK FRAMING PLAN

SYMBOL KEY

EXISTING CONSTRUCTION TO BE REMOVED	--- ---	INTERIOR ELEVATION SYMBOL (DWG. # / SHEET #)	W 3/A-3 E
EXISTING BUILDING/AREA	■	EXTERIOR ELEVATION SYMBOL (DWG. # / SHEET #)	X X-X
EXISTING WALL CONSTRUCTION TO REMAIN	▬	BUILDING/WALL SECTION SYMBOL (DWG. # / SHEET #)	X X-X
NEW CONSTRUCTION	▭	ROOM NAME AND NUMBER	ROOM NAME 001
DOOR SYMBOL	⊙	DETAIL SYMBOL (DWG. # / SHEET #)	X X-X
WINDOW SYMBOL	⊞		

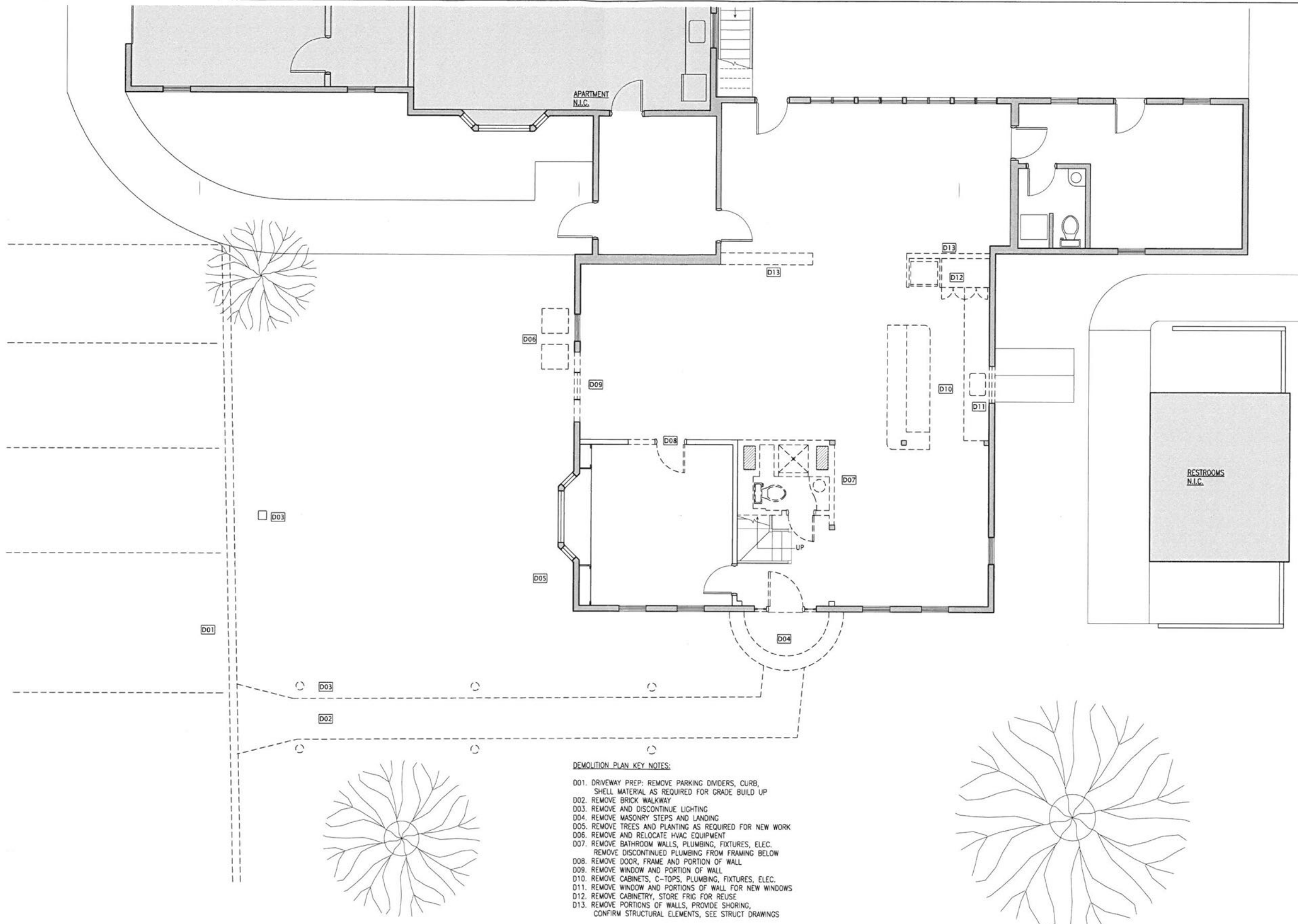
# Renovations to the Farmhouse

Truro Vineyards  
 11 Shore Road  
 Truro, Massachusetts

ISSUED FOR PERMIT  
 SEPTEMBER 16, 2016

CONSTRUCTION MANAGER  
**A. F. HULTIN & CO. INC.**  
 11 LAWRENCE WAY  
 TRURO, MA 02666

ARCHITECT  
**S. M. PARSONS ARCHITECTS, INC.**  
 133 NONANTUM STREET  
 BOSTON, MA 02135



**DEMOLITION PLAN KEY NOTES:**

- D01. DRIVEWAY PREP: REMOVE PARKING DIVIDERS, CURB, SHELL MATERIAL AS REQUIRED FOR GRADE BUILD UP
- D02. REMOVE BRICK WALKWAY
- D03. REMOVE AND DISCONTINUE LIGHTING
- D04. REMOVE MASONRY STEPS AND LANDING
- D05. REMOVE TREES AND PLANTING AS REQUIRED FOR NEW WORK
- D06. REMOVE AND RELOCATE HVAC EQUIPMENT
- D07. REMOVE BATHROOM WALLS, PLUMBING, FIXTURES, ELEC. REMOVE DISCONTINUED PLUMBING FROM FRAMING BELOW
- D08. REMOVE DOOR, FRAME AND PORTION OF WALL
- D09. REMOVE WINDOW AND PORTION OF WALL
- D10. REMOVE CABINETS, C-TOPS, PLUMBING, FIXTURES, ELEC.
- D11. REMOVE WINDOW AND PORTIONS OF WALL FOR NEW WINDOWS
- D12. REMOVE CABINETRY, STORE FRIG FOR REUSE
- D13. REMOVE PORTIONS OF WALLS, PROVIDE SHORING, CONFIRM STRUCTURAL ELEMENTS, SEE STRUCT DRAWINGS

**DEMOLITION GENERAL NOTES:**

- A. DEMOLITION IS SELECTIVE AND LIMITED TO WORK AS SHOWN ON THESE PLANS AND AS REQUIRED FOR THE WORK OF THIS CONTRACT.
- B. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM CONSTRUCTION ACTIVITY.
- C. PROVIDE AIR TIGHT DUST BARRIERS AROUND PERIMETER OF WORK AND STAGING AREAS.
- D. CLEAN AND REMOVE DEBRIS FROM WORK AREA AT THE END OF EACH DAY.
- E. STORE AND PROTECT ALL ITEMS SHOWN FOR REMOVAL AND REINSTALLATION. COORDINATE WITH OWNER FOR STORAGE LOCATIONS.
- F. REMOVE, CAP OR DISCONTINUE ALL UNUSED UTILITY LINES.
- G. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL IN AREAS OF STRUCTURAL REPAIR
- H. COORDINATE REROUTING OF SPECIFIC PLUMBING AND ELECTRICAL IN AREAS OF STRUCTURAL REPAIR

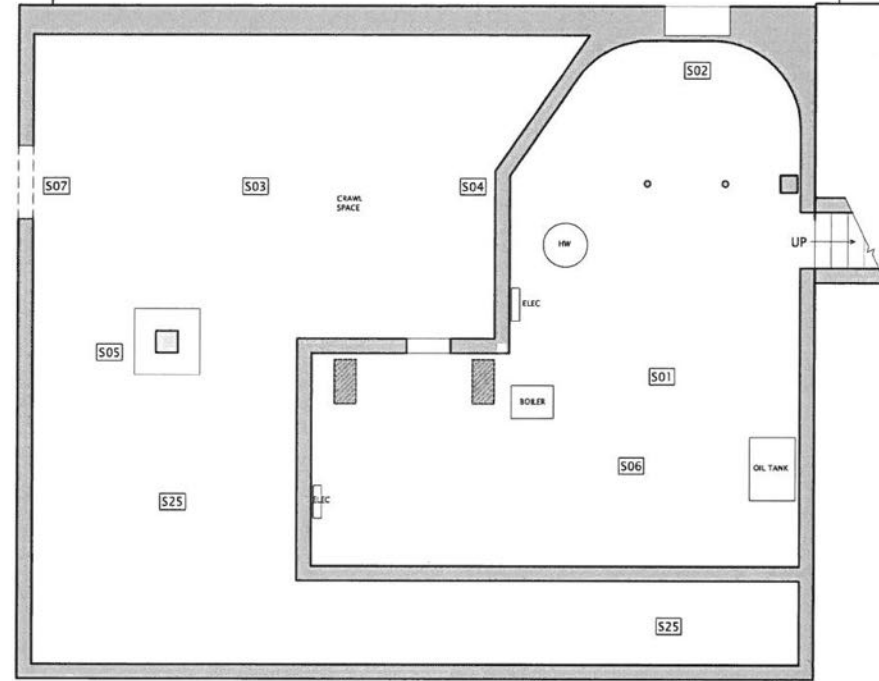
Renovations to the  
**Truro  
Vineyards  
Farmhouse**  
11 Shore Road  
Truro, MA

**FIRST FLOOR  
DEMOLITION  
PLAN**

PROJECT NO. 151014  
SCALE: AS NOTED  
ISSUED: **SEP 16 2016**

**D-1.0**  
SHEET NO.



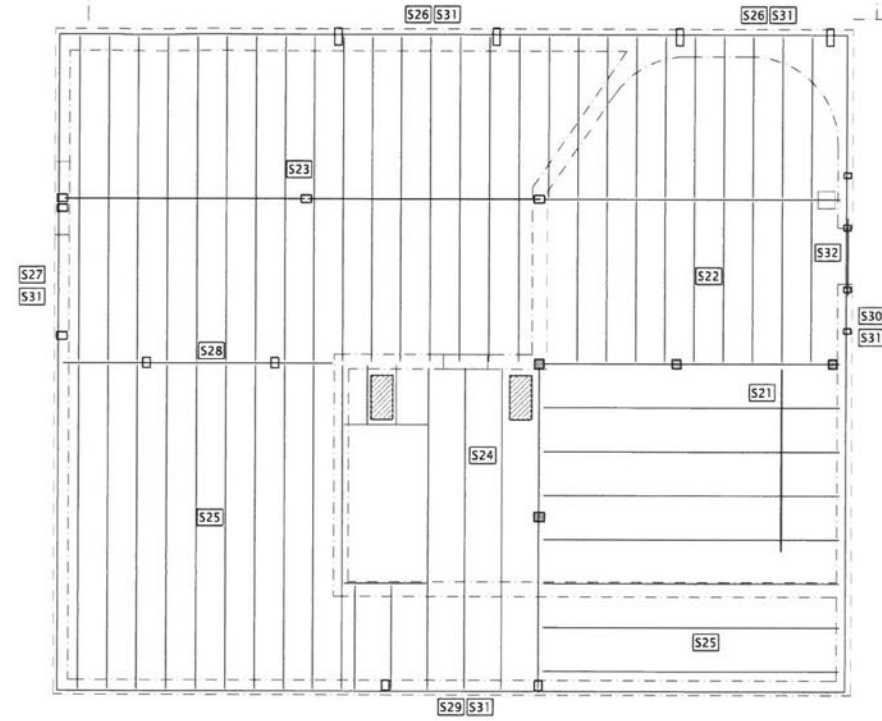


1 **BASEMENT PLAN**  
SCALE: 1/4"=1'-0"

NOTE: PLANS ARE APPROXIMATE, FOR INFORMATION ONLY,  
SEE ENGINEERED STRUCTURAL PLANS  
AND DETAILS FOR CONSTRUCTION WORK.

BASEMENT STRUCTURAL PLAN KEY NOTES:

- S01. INSTALL APPROX. 8 CONCRETE FILLED STEEL LALLY COLUMNS AT LOCATIONS TBD,  
ON 30"x30"x12" CONCRETE SPREAD FOOTINGS
- S02. INSPECT MASONRY FOUNDATION WALLS, RESTORE BY REPOINTING AND REPLACING  
CRACKED UNITS
- S03. INSTALL LALLY COLUMN ON CONCRETE PIER FOOTING UNDER NEW BEAM
- S04. INSTALL LALLY COLUMN TO BEAR ON EXISTING MASONRY WALL UNDER NEW BEAM
- S05. INSPECT AND RESTORE MASONRY COLUMN
- S06. REPAIR/ REPLACE CONCRETE SLAB ON APPROVED SUB BASE
- S07. EXCAVATE TO AND REMOVE PORTION OF FOUNDATION WALL FOR CRAWL SPACE ACCESS,  
REPAIR AND REPLACE WALL WITH MATCHING ASSEMBLY AT CONCLUSION OF BASEMENT WORK



2 **FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"

NOTE: PLANS ARE APPROXIMATE, FOR INFORMATION ONLY,  
SEE ENGINEERED STRUCTURAL PLANS  
AND DETAILS FOR CONSTRUCTION WORK.

FIRST FLOOR STRUCTURAL PLAN KEY NOTES:

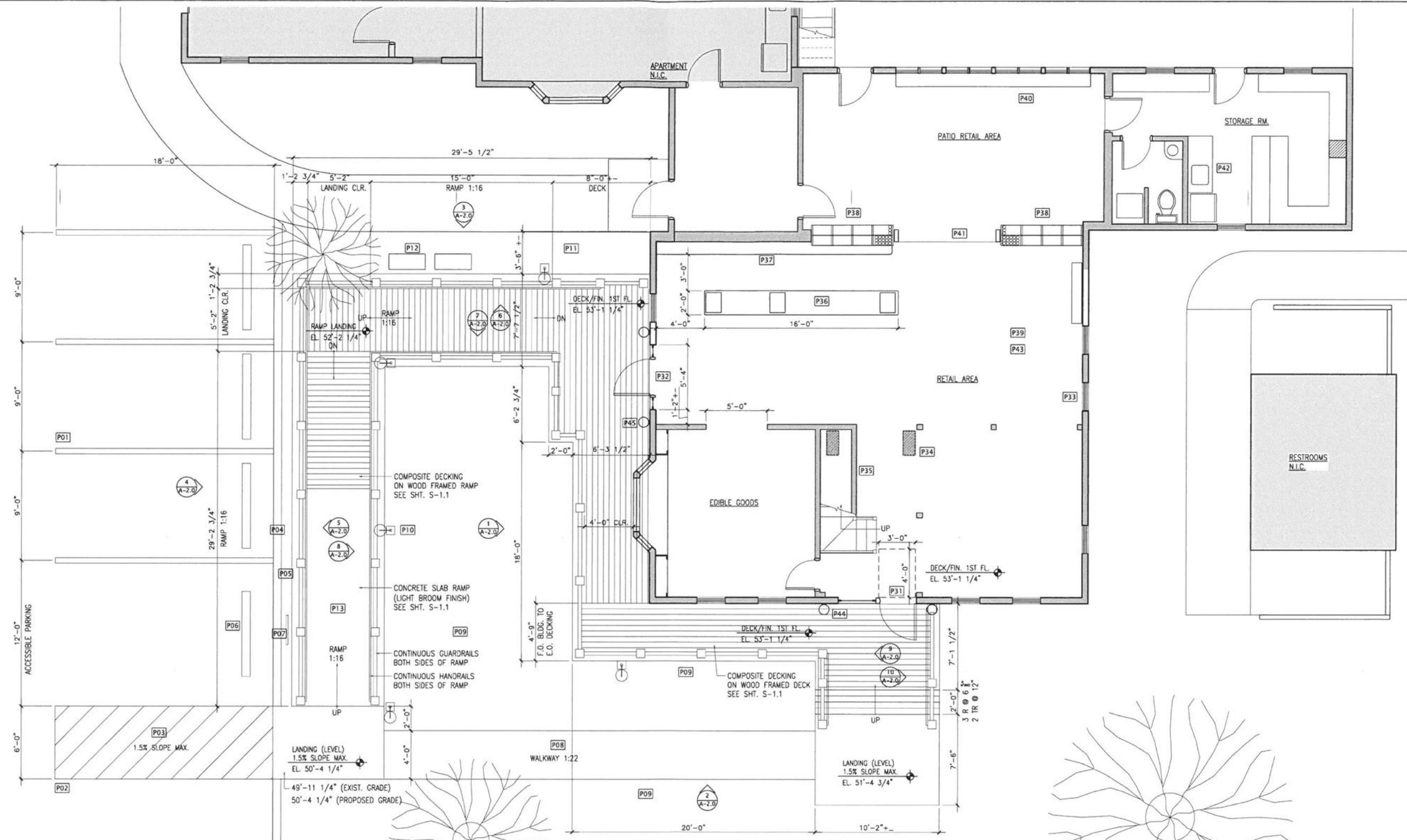
- S21. INSTALL NEW STEEL BEAM UNDER EXISTING JOISTS
- S22. INSTALL JOISTS SISTERED TO EXISTING JOISTS, TBD
- S23. INSTALL NEW STEEL BEAM UNDER EXISTING JOISTS
- S24. INSTALL JOISTS SISTERED TO EXISTING JOISTS, TBD.  
REMOVE ABANDONED PLUMBING FOR ACCESS TO FRAMING AREA
- S25. EXISTING CONDITIONS UNKNOWN AT THESE AREAS
- S26. INSTALL WALL FRAMING AT NEW OPENINGS, TBD
- S27. INSTALL WALL FRAMING AT NEW ENTRANCE DOOR OPENING, TBD
- S28. INSTALL WALL FRAMING AT NEW INTERIOR WALL OPENING, TBD
- S29. INSTALL WALL FRAMING AT NEW ENTRANCE DOOR OPENING, TBD
- S30. INSTALL WALL FRAMING AT NEW WINDOW OPENINGS
- S31. INSTALL NEW HEADERS UNDER SECOND FLOOR FRAMING, NOT SHOWN, TBD
- S32. INSTALL SUBFLOOR REPAIR

Renovations to the  
**Truro  
Vineyards  
Farmhouse**  
11 Shore Road  
Truro, MA

**BASEMENT  
AND  
FIRST FLOOR  
STRUCTURAL  
IMPROVEMENTS**

PROJECT NO. 151014  
SCALE: AS NOTED  
ISSUED: SEP 16 2016

**A-1.0**  
SHEET NO.



**1 FIRST FLOOR AND SITE PLAN**  
SCALE: 1/4"=1'-0"

- SITE PLAN KEY NOTES:**
- P01. PT WOOD PARKING SPACE DIVIDERS, FLUSH WITH DRIVE SURFACE
  - P02. BUILT UP DRIVEWAY GRADE, STONE BASE W/ SHELL MIXTURE APPROX. 5" ELEVATION INCREASE
  - P03. CONCRETE ACCESS AISLE, LIGHT BROOM FINISH
  - P04. PT DRIVEWAY CURB, CONTINUOUS
  - P05. PLANTING BED
  - P06. WHEEL STOPS EACH SPACE
  - P07. ACCESSIBLE PARKING SIGNAGE
  - P08. STAMPED CONCRETE WALKWAY
  - P09. LANDSCAPED AREA, COORD. W/ OWNER
  - P10. LIGHTING POST TYPICAL (8), COORD.
  - P11. PLANTING AREA
  - P12. RELOCATED HVAC EQUIPMENT
  - P13. RAMP - SEE A-2 FOR ELEVATIONS

- PLAN KEY NOTES:**
- P31. SOUTH ENTRANCE DOOR, SEE A-2, POSITION NEW DOOR AND OPENING PER CLEARANCES SHOWN
  - P32. WEST ENTRANCE DOOR, SEE A-2, NEW OPENING
  - P33. NEW 24x24 WINDOWS, (2)
  - P34. EXPOSE AND FINISH EXISTING CHIMNEY
  - P35. RECESSED SHELVING UNDER STAIR, TBD
  - P36. CUSTOM WOOD SALES COUNTER, 2' X 16' W/ DATA AND ELEC
  - P37. CUSTOM WOOD SHELVING
  - P38. CUSTOM WOOD WINE DISPLAY SHELVING (2), 20' X 7' X 7', WITH GLASS DIVIDER, SEE STRUCTURAL FOR OPENING DETAILS
  - P39. PATCH AND REPAIR FLOORING TO MATCH EXISTING
  - P40. CUSTOM WOOD SHELVING
  - P41. MODIFY THRESHOLD AT FLOORING CHANGE
  - P42. KITCHENETTE, DW, SINK, REFRIG
  - P43. LIGHTING PLAN, TBD
  - P44. ENTRANCE WALL FIXTURES REPOSITIONED
  - P45. NEW ENTRANCE WALL FIXTURES (2)

- PRODUCT NOTES:**
- RAILING SYSTEM:**  
AZEK PREMIER RAILING COLLECTION, COMPOSITE SQ. BALUSTERS, 5X5 POST SLEEVES W/ CAPS AND SKIRTS, WHITE  
ALTERNATE: TIMBERTECH RADIANCE RAIL, 4X4 POST SLEEVES
- HANDRAILS:**  
AZEK ADA HANDRAILS, OR APPROVED EQUAL, AT RAMP AND STAIRS.  
NOTE: HANDRAILS CONTINUOUS AT FULL LENGTH OF RAMP BOTH SIDES AT 19" AND 35" ABOVE FINISHED RAMP SURFACE
- DECKING:**  
AZEK CAPPED POLYMER, HARVEST COLLECTION, CONCEALED FASTENERS, APPROX. AREA: 700 SF  
ALTERNATE: TIMBERTECH TERRAIN
- TRIM:**  
AZEK PVC TRIM BOARDS, WHITE, WITH WOOD LATTICE PANELS, PAINTED WHITE
- NOTE: CONFIRM FINAL PRODUCT SELECTIONS WITH OWNER AND ARCHITECT

Renovations to the  
**Truro Vineyards Farmhouse**  
11 Shore Road  
Truro, MA

**FIRST FLOOR AND SITE PLAN**

PROJECT NO. 151014  
SCALE: AS NOTED  
ISSUED: **SEP 16 2016**

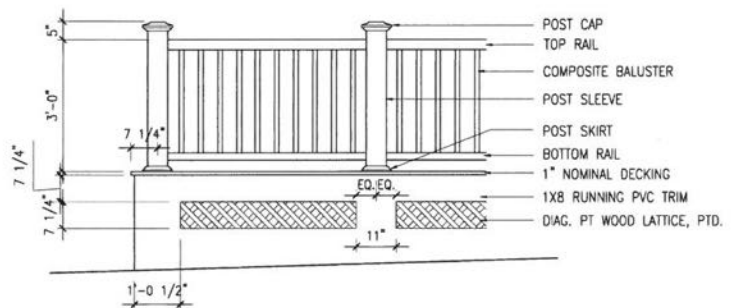
**A-1.1**  
SHEET NO.



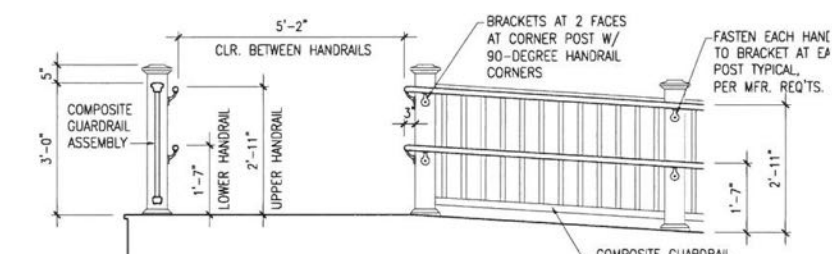
1 WEST ELEVATION  
SCALE: 1/4"=1'-0"



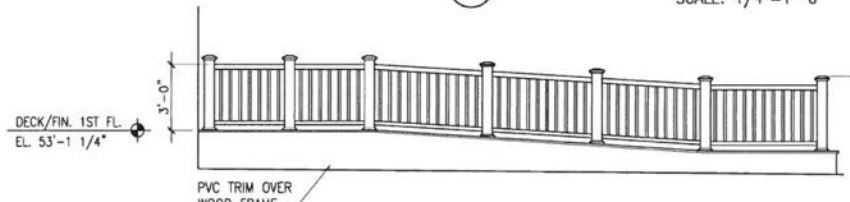
2 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



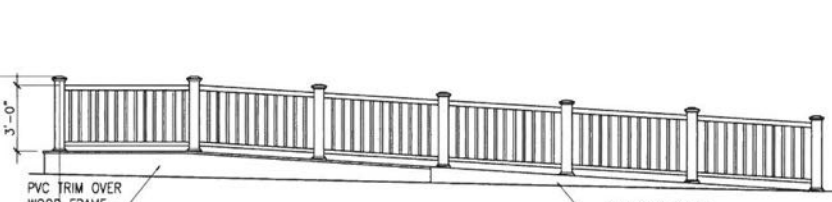
11 GUARDRAIL ELEVATION DETAIL  
SCALE: 1/2"=1'-0"



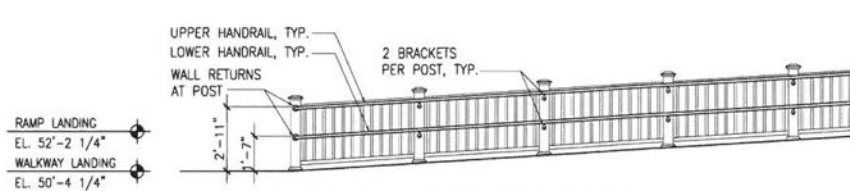
12 HANDRAIL ELEVATION DETAIL  
SCALE: 1/2"=1'-0"



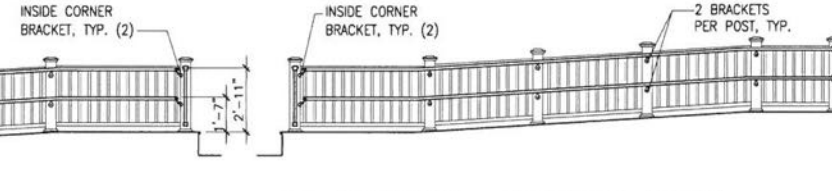
3 ELEVATION - RAMP NORTH  
SCALE: 1/4"=1'-0"



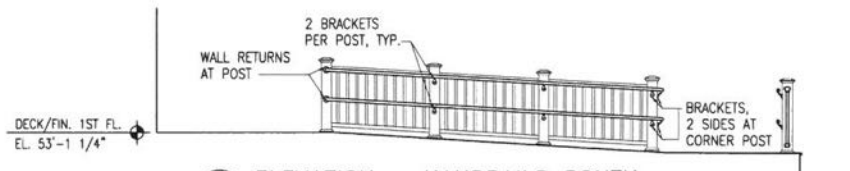
4 ELEVATION - RAMP WEST  
SCALE: 1/4"=1'-0"



5 ELEVATION - HANDRAILS WEST  
SCALE: 1/4"=1'-0"



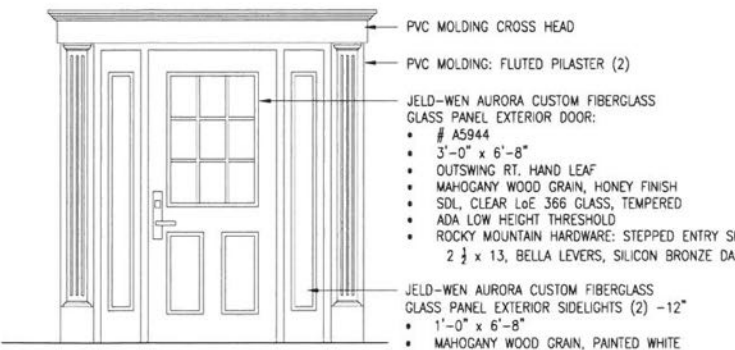
6 ELEVATION - HANDRAILS NORTH  
SCALE: 1/4"=1'-0"



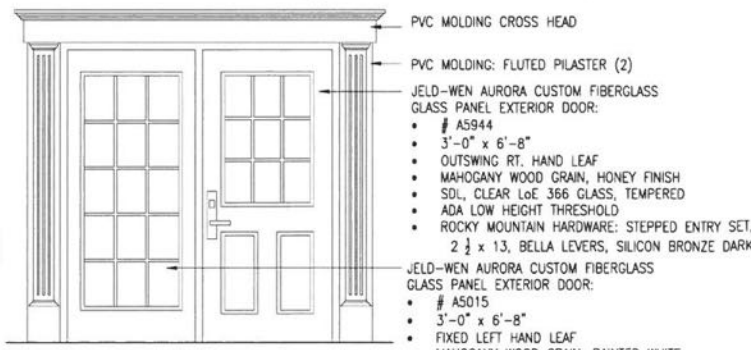
7 ELEVATION - HANDRAILS SOUTH  
SCALE: 1/4"=1'-0"



8 ELEVATION - HANDRAILS EAST  
SCALE: 1/4"=1'-0"



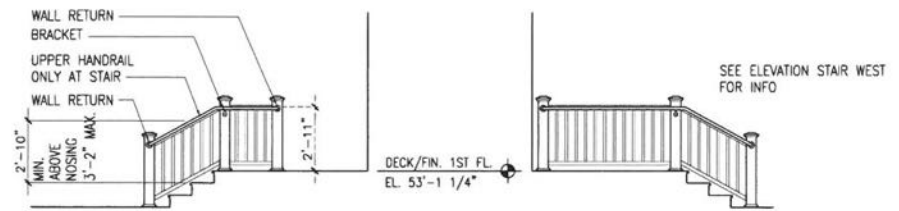
13 WEST ENTRANCE DOOR  
SCALE: 1/2"=1'-0"



14 SOUTH ENTRANCE DOOR  
SCALE: 1/2"=1'-0"

ENTRANCE NOTES:

1. SEE PLAN FOR LOCATIONS OF NEW OPENINGS IN EXISTING EXTERIOR WALLS
2. SEE STRUCTURAL DRAWINGS FOR ROUGH FRAMING REQUIREMENTS AT NEW OPENINGS
3. ALL DOORS LOW HEIGHT ADA THRESHOLDS
4. FINISHED INTERIOR FLOOR AND NEW EXTERIOR DECKS AT SAME ELEVATION



9 ELEVATION - STAIR WEST  
SCALE: 1/4"=1'-0"



10 ELEVATION - STAIR EAST  
SCALE: 1/4"=1'-0"

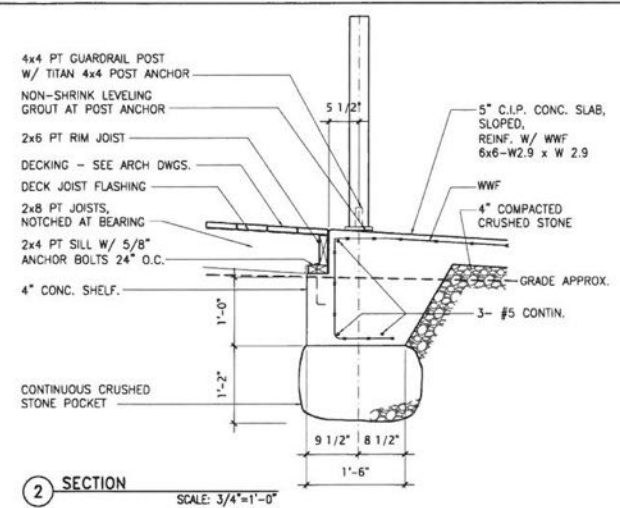
Renovations to the  
**Truro Vineyards Farmhouse**  
11 Shore Road  
Truro, MA

EXTERIOR ELEVATIONS

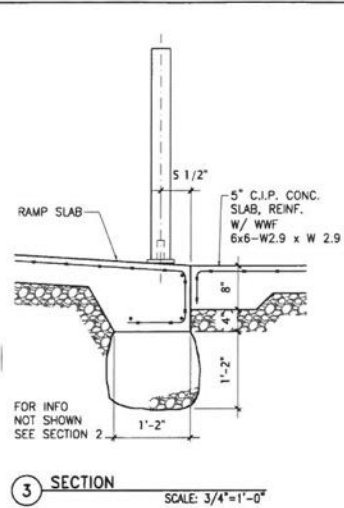
PROJECT NO. 151014  
SCALE: AS NOTED  
ISSUED: SEP 16 2018

**A-2.0**  
SHEET NO.

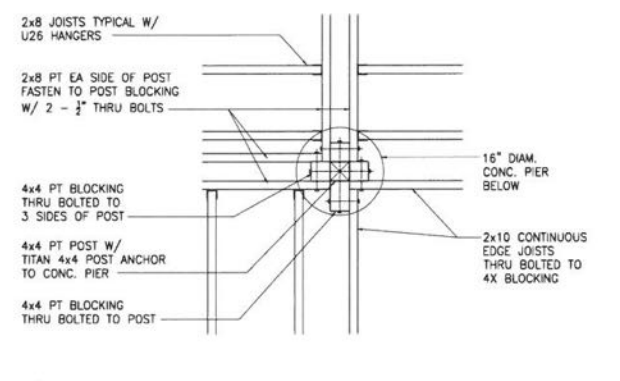




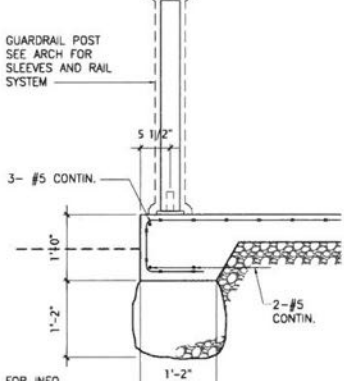
2 SECTION SCALE: 3/4"=1'-0"



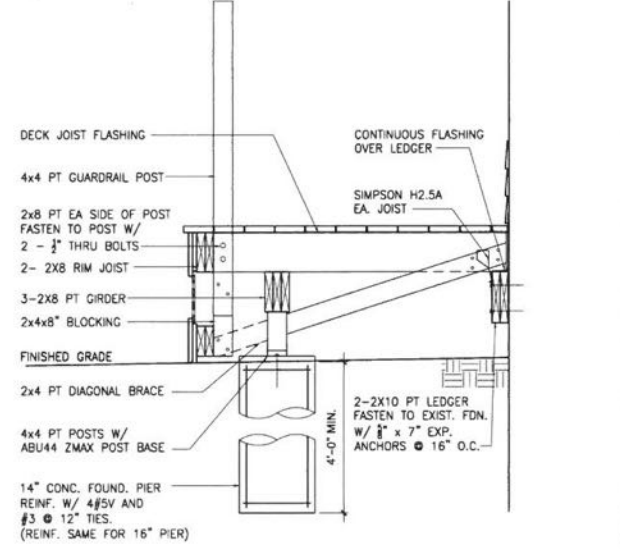
3 SECTION SCALE: 3/4"=1'-0"



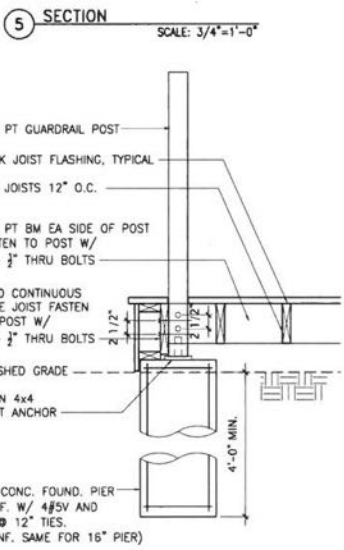
4 SECTION SCALE: 3/4"=1'-0"



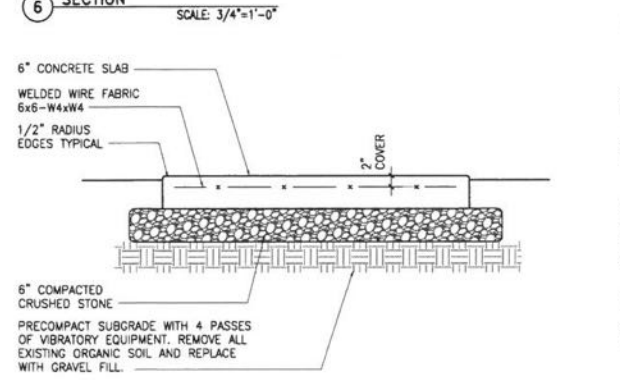
5 SECTION SCALE: 3/4"=1'-0"



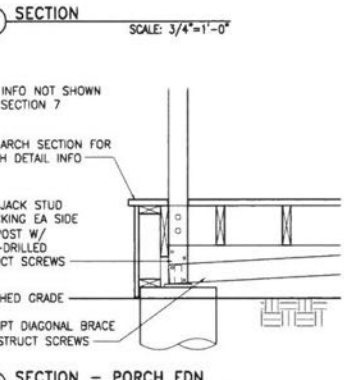
6 SECTION SCALE: 3/4"=1'-0"



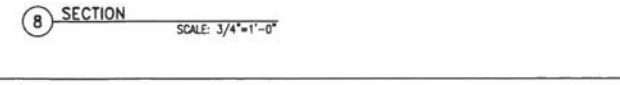
7 SECTION SCALE: 3/4"=1'-0"



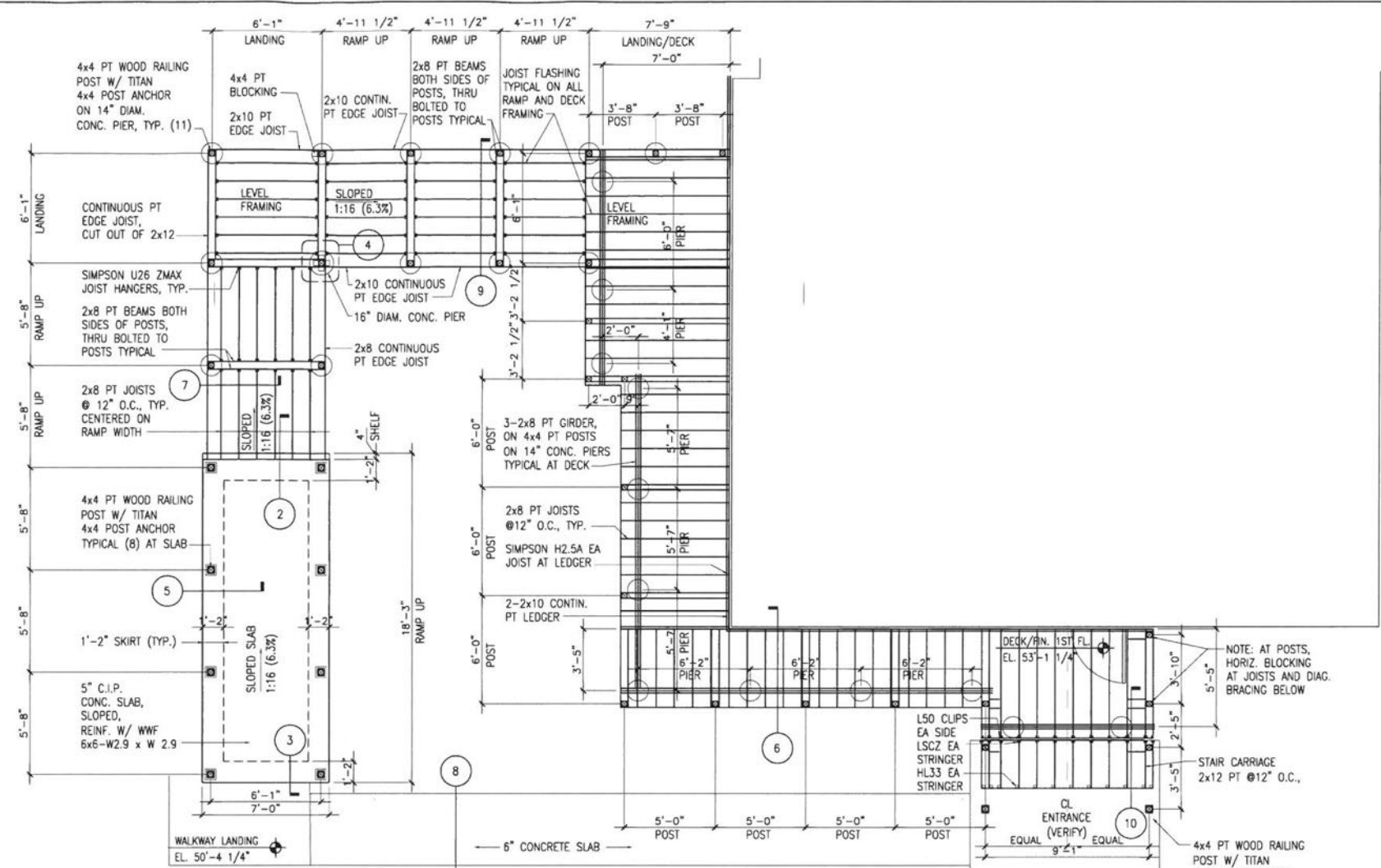
8 SECTION SCALE: 3/4"=1'-0"



9 SECTION - PORCH FDN SCALE: 3/4"=1'-0"



10 SECTION SCALE: 3/4"=1'-0"



1 DECK AND RAMP FRAMING PLAN SCALE: 1/4"=1'-0"

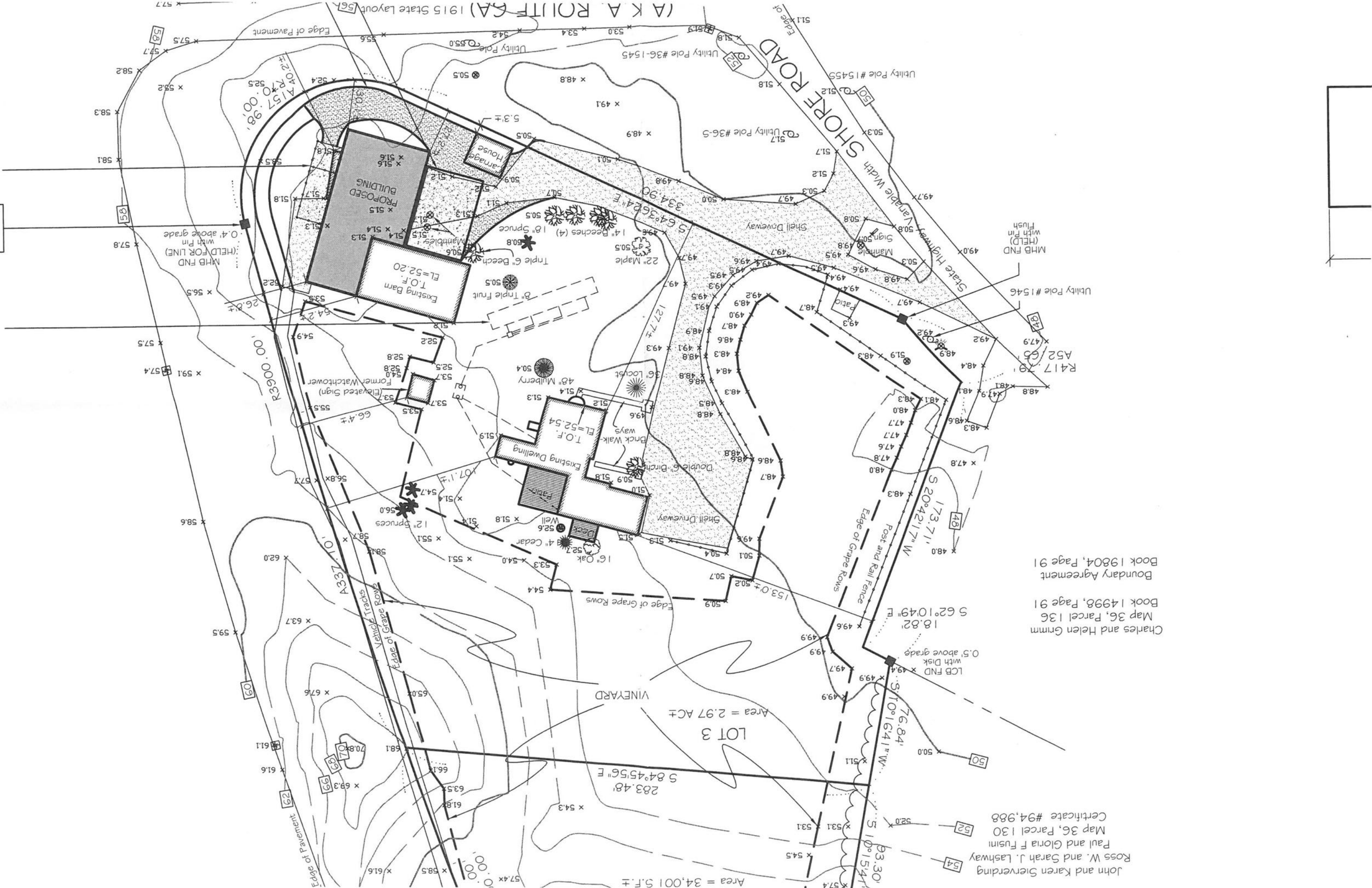
- GENERAL**
- REFER TO THE PROJECT SPECIFICATIONS FOR GENERAL CONTRACT REQUIREMENTS FOR MATERIALS, WORKMANSHIP, AND SHOP DRAWINGS.
  - REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, APPROVED SHOP DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHANGES, RESULTS, OPENINGS, SLEEVES, EXPANSIONS, AND REQUIREMENTS FOR ATTACHMENT OF FINISHES.
  - ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH THE ARCHITECTURAL, MECHANICAL, & ELECTRICAL DRAWINGS AND ANY INCONSISTENCIES REPORTED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK.
  - WORK NOT INDICATED ON A SET OF DRAWINGS, BUT REASONABLY IMPLIED TO BE NEARLY TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE INCLUDED IN THE CONTRACTOR'S WORK.
  - THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT STRUCTURES, PROPERTY, AND OWN WORKMEN, AND THE PUBLIC AS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
  - ALL CONTRACTOR SHALL EXAMINE THE DRAWINGS & SPECIFICATIONS CAREFULLY, VISIT THE SITE AND FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS & LIMITATIONS PRIOR TO ADDRESSING TO PERFORM THE WORK. FAILURE TO DO SO WILL IN NO WAY RELIEVE THE CONTRACTOR FROM FURNISHING ANY MATERIAL OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS & SPECIFICATIONS WITHOUT ADDITIONAL COST TO THE OWNER.
  - ALL CONSTRUCTION WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE EDITION.
- FOUNDATION, BRACING AND REINFORCING WORK**
- BEFORE PROCEEDING WITH ANY DEMOLITION, THE AREA MUST BE SURVEYED TO ENSURE THAT NO DAMAGE WILL BE MADE TO ANY STRUCTURE BEFORE THE ONE ADJACENT TO THE DEMOLITION. REFER TO SPECIFICATION SECTION 02160 FOR TEMPORARY EXCAVATION SUPPORT SYSTEM.
  - PROVIDE TEMPORARY BRACING AND BRACING FOR FLOOR, COLUMN, AND WALLS DURING DEMOLITION AND MAINTAIN THIS TEMPORARY CONSTRUCTION IN PLACE UNTIL THE NEW STRUCTURAL WORK IS COMPLETED AND TIED TO THE REMAINING EXISTING CONSTRUCTION. REMOVE DEMOLISHED ITEMS PROMPTLY FROM THE BUILDING. DO NOT OVERLOAD EXISTING FLOORS WITH SCAFF.
- FOUNDATION, BRACING AND REINFORCING WORK**
- ALL FOOTINGS SHALL BE CARRIED DOWN TO THE MEDIUM SIZE TO DENSE SAND BEARING LAYER. DESIGN BEARING PRESSURE IS 2.0 TONS PER SQUARE FOOT.
  - NO FOOTING SHALL BE PLACED IN WATER.
  - ALL EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF FOUR (4) FEET BELOW FINISHED EXTERIOR GRADE.
  - ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
  - ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE ARCHITECT/ENGINEER BEFORE THE FOOTINGS ARE POURED IN ORDER TO CONFIRM THAT THE FOUNDATION MATERIAL IS NECESSARY TO SUSTAIN THE DESIGN BEARING PRESSURE.
  - MATERIAL ADJACENT TO AND BELOW THE FOOTING SHALL BE KEPT FROM FREEZING AT THE TIME OF POURING. IF ANY FROZEN MATERIAL IS FOUND BELOW A SLAB OR SPACE IT SHALL BE REMOVED AND REPLACED WITH 50% COMPACTED GRANULAR MATERIAL.
  - UNLESS OTHERWISE NOTED ALL FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
  - BACKFILL AGAINST FOUNDATION WALLS INSIDE AND OUTSIDE THE BUILDING WITH LAYERS CONFORMED TO PER PROCTOR DENSITY.
- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE WORK SHALL COMPLY WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE, BUILDING AND 301, AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AC 318 LATEST EDITION.
  - CONCRETE SHALL HAVE A 3,000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH, EXCEPT 4,000 PSI AT SLABS-ON-GRADE AND CONCRETE EXPOSED TO WEATHER.
- REINFORCING**
- ALL REINFORCING BAR DETAILING SHALL BE AS SPECIFIED IN THE AMERICAN CONCRETE INSTITUTE "MATERIAL SPECIFICATION FOR DETAILING REINFORCED CONCRETE STRUCTURES" AC 315, AMENDED TO DATE.
  - REINFORCING STEEL EXCEPT AS OTHERWISE NOTED SHALL BE ASTM A615 BULLET STEEL, DEFORMED BARS GRADE 60.
  - ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. LAP SPACES SHALL BE 6" MIN. OVERLAP AT END SUPPORTS.
  - WHERE CONTINUOUS BARS ARE CALLED FOR INDICATED OR REQUIRED, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWNED INTO INTERSECTING WALLS, LAPPED AT NECESSARY SPACES. SPACES STRADDLED WHEREVER POSSIBLE, AND NEEDED AT SUBSEQUENT CORNERS. LAPS SHALL BE 36 DIAMETERS OF THE BAR UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE NOTED, AT ALL FOUR SIDES OF OPENINGS PROVIDE 2-#5 AT TOP AND BOTTOM IN SLABS AND 1-#5 AT EACH END OF WALLS ALL BARS EXTENDING 3'-0" BEYOND OPENING OR HOOKED IF NECESSARY. IN WALLS AND GRADE BEAMS WHERE OPENING IS 4'-0" OR OVER, OPENING FACES SHALL BE REINFORCED.
  - PROVIDE AND SCHEDULE WITH SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD THE REINFORCING SECURELY AND ACCURATELY IN POSITION. "HOLD CHAIRS" SHALL BE SPACED 4'-0" O.C. MAXIMUM AND WED TO BOTTOM SLAB REINFORCING. SUPPORT BARS OR HOLD CHAIRS SHALL BE #5 MINIMUM. SLAB BOLTERS SHALL BE SPACED AT 3'-0" O.C. MAXIMUM.
- WALL FRAMING**
- ALL EXTERIOR WOOD STUD BEARING WALLS SHALL BE 2x8x18" O.C. EXCEPT AS NOTED. USE 3-2x8 CORNER POSTS, TYPICAL. PROVIDE 1/2" PLYWOOD SHEATHING ATTACHED TO STUDS W/ 4x4 NAILS AT 4' O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
  - ALL INTERIOR WALLS SHOWN ARE 2x8x18" O.C. NON-BEARING, NON-INSULATED WALL FRAMING SHALL BE 2x8x18" O.C. USE 3-2x8 OR 2x4 CORNER POSTS.
  - ALL WOOD FRAMING AT 2x8 STUD BEARING WALLS, DOOR AND WINDOW OPENINGS SHALL BE AS FOLLOWS: A. FROM 1ST FLOOR TO ROOF: 3-2x8 "TRIMMER" (1-2x8 STUD). B. FROM 2ND FLOOR TO ROOF: 3-2x8 W/ 1-2x8 STUD. C. 3-2x4 AT 2x8 STUD WALLS.
  - WOOD FRAMING AT EXTERIOR DOOR AND WINDOW OPENINGS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED: A. 2x8 WOODS 3-2x8 AT 1" INSULATION AT OPENS. 3'-6" AND SMALLER. B. 3-2x8 + 1" INSULATION AT OPENS. LARGER THAN 3'-6".
- ROOF LOADS**
- THE VARIOUS PORTIONS OF THE STRUCTURE ARE DESIGNED TO CARRY THE FOLLOWING LIVE LOADS IN ADDITION TO SPECIFIC MACHINERY AND EQUIPMENT LOADS:
- A. STAIRS AND DECKS 100 PSF + 300 PSF CONCENTRATED
- LATERAL LOADS:
- WIND DESIGN LOADS: BASIC WIND SPEED OF 110 MPH PER COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, 80% EXPOSURE W/ ADJUSTMENTS

Renovations to the  
**Truro Vineyards Farmhouse**  
11 Shore Road  
Truro, MA

**RAMP AND DECK FRAMING AND DETAILS**

PROJECT NO. 151014  
SCALE: AS NOTED  
ISSUED: SEP 16 2016

**S-1.1**  
SHEET NO.



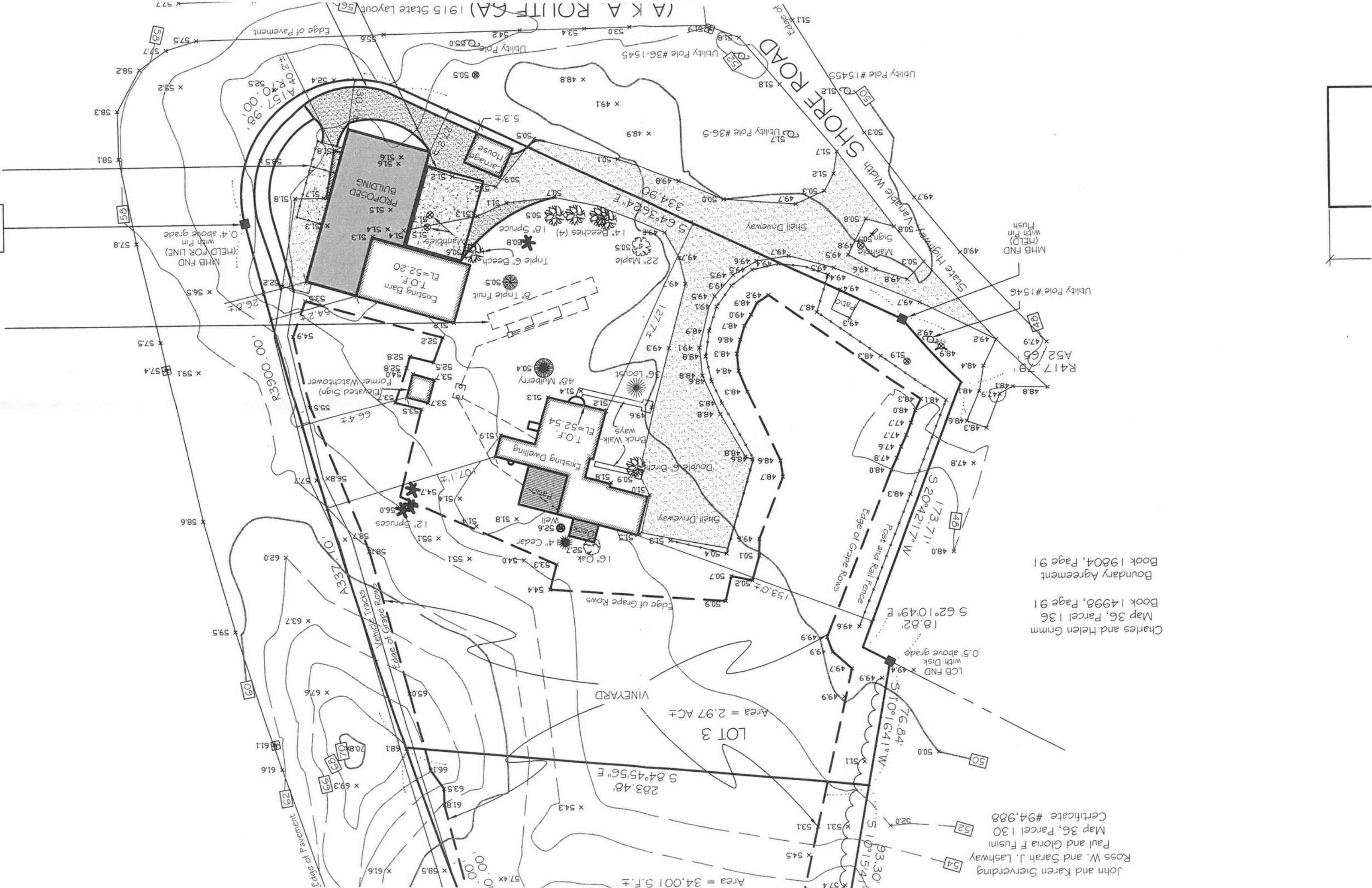
John and Karen Sierverding  
 Ross W. and Sarah J. Lashway  
 Paul and Gloria F Fusini  
 Map 36, Parcel 130  
 Certificate #94,988

Charles and Helen Grimm  
 Map 36, Parcel 136  
 Book 1499B, Page 91

Boundary Agreement  
 Book 19804, Page 91

Area = 34,001 S.F. ±

LOT 3  
 Area = 2.97 AC ±





**S M PARSONS  
ARCHITECT INC**

P. O. Box 35057  
Brighton, MA 02135  
Tel: 617.254.2969  
Fax: 617.254.4673



REFERENCE NORTH

New Carriage House  
for the

**Truro Vineyards**

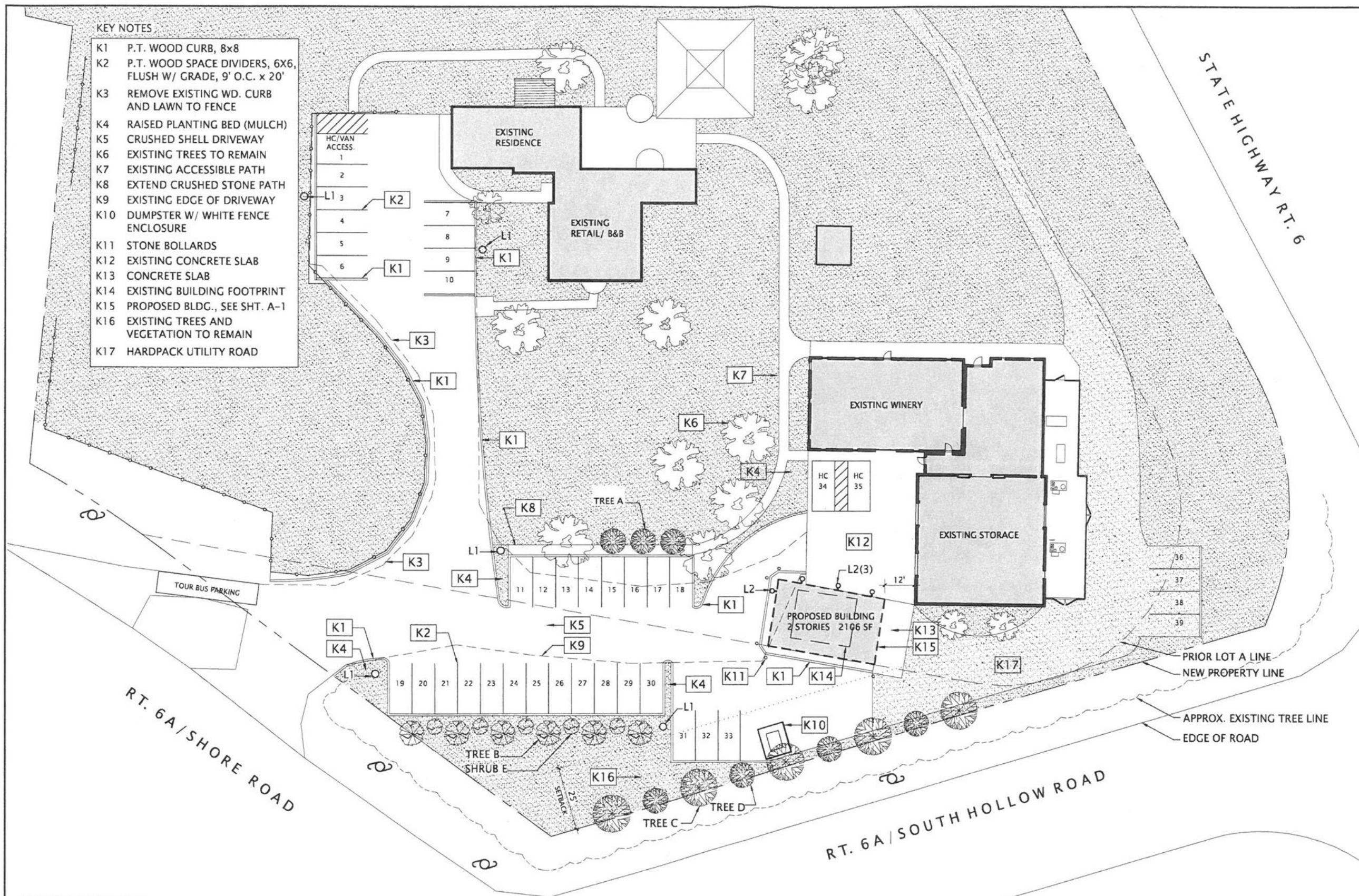
11 Shore Road  
Truro, MA

**SITE  
DESIGN PLAN**

SCALE: 1"=40'  
ISSUED: FEB 11, 2010

**L-1**

SHEET NO.



- KEY NOTES**
- K1 P.T. WOOD CURB, 8x8
  - K2 P.T. WOOD SPACE DIVIDERS, 6X6, FLUSH W/ GRADE, 9' O.C. x 20'
  - K3 REMOVE EXISTING WD. CURB AND LAWN TO FENCE
  - K4 RAISED PLANTING BED (MULCH)
  - K5 CRUSHED SHELL DRIVEWAY
  - K6 EXISTING TREES TO REMAIN
  - K7 EXISTING ACCESSIBLE PATH
  - K8 EXTEND CRUSHED STONE PATH
  - K9 EXISTING EDGE OF DRIVEWAY
  - K10 DUMPSTER W/ WHITE FENCE ENCLOSURE
  - K11 STONE BOLLARDS
  - K12 EXISTING CONCRETE SLAB
  - K13 CONCRETE SLAB
  - K14 EXISTING BUILDING FOOTPRINT
  - K15 PROPOSED BLDG., SEE SHT. A-1
  - K16 EXISTING TREES AND VEGETATION TO REMAIN
  - K17 HARDPACK UTILITY ROAD

**PLANTING SCHEDULE**

TYPE	SPECIES	HEIGHT	CALIPER	SPACING	QTY.
A	PICEA PUNGENS 'GLAUCA'	7-8'	3-3.5"	13' O.C.	3
B	CHAMECYPARIS OBTUSA 'GRACILIS'	7-8'	2.5-3"	18' O.C.	6
C	PICEA PUNGENS	6-7'	3"	18' O.C.	5
D	PICEA PUNGENS 'GLAUCA'	6-7'	3"	18' O.C.	4
E	HAMAMELIS x ARNOLDS PROMISE	3'	-	18' O.C.	5

**LIGHTING SCHEDULE**

NO.	TYPE	MFR./COLLECTION	STOCK #	FINISH	LAMP HT.	QTY.
L1	POST LANTERN	MINKA LAVERY - VANIRA PLACE	29255	WINDSOR RUST	10'-0"	5
L2	EXT. SCONCE	KICHLER - SEASIDE	9023	BLACK	9'-0"	4





COMMONWEALTH OF MASSACHUSETTS  
TOWN OF TRURO  
PLANNING BOARD

FINAL SITE PLAN APPROVAL

**Applicant:** David J. Roberts (Roberts Family Property, LLC)

**Sheet 39 Parcel 131, 137 & Sheet 39, Parcel 158**

**11 Shore Road, North Truro**

**Hearing Dates** July 24, 2007

**Decision Date** July 24, 2007

At a public hearing held July 24, 2007, the Town of Truro Planning Board, acting in the matter of a Site Plan Review for David J. Roberts (Roberts Family Property, LLC), voted to **endorse** a Site Plan Review pursuant to Section 70.2(A)1 of the Truro Zoning By-law to allow for the construction of a 4303 s.f. addition to an existing barn on the site of the Truro Vineyards located at 11 Shore Road. The Board's vote referenced the following plans:

1. Site Plan, 11 Shore Road, Truro, MA, Mr. David Roberts, dated 6/18/07, scale at 1" = 50' by Bennett & O'Reilly, Inc., Brewster.
2. Site Plan, Proposed Storage Facility for the Truro Vineyards, 11 Shore Road, Truro, MA, dated June 16, 2007, scale 1" = 30', by Stuart M. Parsons, Architect, Sheet A-1.
3. Exterior Elevations, Proposed Storage Facility for the Truro Vineyards, 11 Shore Road, Truro, MA, dated June 16, 2007, scale 1" = 16', by Stuart M. Parsons, Architect, Sheet A-2.
4. Rendering showing, Proposed Storage Building for Truro Vineyards, dated 20 May 2007, by Stuart M. Parsons, Architect.
5. Lighting Specification sheet from BEGA showing Surface wall – partial upright, product No. 6322P, Lamp (1) 13W CF quad-2p, Lumen 860, specified.

**SITE PLAN REVIEW DECISION**

On a motion from Robert Weinstein, seconded by William Worthington, the Board voted unanimously to find the application complete and to endorse the Site Plan for David J. Roberts (Roberts Family Property LLC), applicant, as submitted, with requested waivers for property located at 11 Shore Road, North Truro to allow for construction of a 4303 s.f. addition to an existing barn on the site of the Truro Vineyards, based on the fact that the application meets the necessary criteria for the endorsement of the plan pursuant to §70 of the Truro Zoning By-law.

**WAIVERS:**

The following waivers from §70.5 are approved:

12. Location of Wetlands/Notice of Intent - There are no wetlands on the property.
13. Location of Walls/Signs - There are no changes proposed.
15. Outdoor Storage/Display Areas – There are no such areas proposed.

- 19. Drainage Basin Study – Not necessary
- 20. Traffic Impact Study – The application as presented indicates the nature of the business will not change.
- 21. Commonwealth Review – Not necessary
- 23. Fiscal Impact – Not necessary
- 24. Community Impact - The application as presented indicates the nature of the business will not change.

The vote of the Planning Board was unanimous: William Worthington, Karen Snow, Nicholas Brown, Ansel Chaplin, William Golden and Robert Weinstein.

In accordance with Section 70.7(B) this decision has been filed with the Truro Town Clerk on this date, August 1, 2007, and let it be known that there is no appeal period from the date of the filing of the decision with the Town Clerk; however this decision may be appealed as provided in MGL c.40A.

Nicholas Brown 8-1-07  
Chairman, Truro Planning Board      Date

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Received, Office of the Town Clerk:

[Signature]  
Signature

August 1, 2007  
Date

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# TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004 Fax: (508) 349-5505

## PLANNING BOARD WAIVER OF SITE PLAN REVIEW DECISION

Assessors Atlas Map 36, Parcel 158  
Map 39, Parcels 131 & 137

11 Shore Road, North Truro

**Owner/Applicants:** David Roberts, c/o Roberts Family Property, LLC

**Meeting Dates:** January 12, 2010, January 26, 2010  
February 23, 2010

**Decision Date:** February 23, 2010

At a public meeting opened January 12, 2010 and continued to January 26, 2010 and February 23, 2010 and closed on February 23, 2010, the Town of Truro Planning Board, acting in the matter of a Waiver of Site Plan Review Request from David Roberts, c/o Roberts Family Property, LLC voted to approve the Waiver for property located at 11 Shore Road, North Truro for the reconfiguration and addition of parking and for the construction of a 42' x 26' two-story building to replace an existing smaller building.

On a motion from Mr. Weinstein, seconded by Mr. Brown, the Board voted to approve the request for **David Roberts**, c/o Roberts Family Property LLC for a Waiver of Site Plan Review pursuant to Section 70.2(B) of the Truro Zoning By-law for the property located at 11 Shore Road, North Truro for the reconfiguration of and the addition to the parking and the construction of a new two-story building to replace the existing smaller storage building; the allowable uses within the site shall be based on the parking analysis, The barrel lighting shall be changed to comply with the current lighting bylaw and the barrel lights shall be turned off no later than 10 pm from April 1 – November 30 and no later than 9 pm from December 1 – March 31. This is based on the fact that the proposal does not substantially change the relationship of the structure to the site or to abutting properties and/or structures.

The Boards vote referenced the following plans and information:

1. A memo from Dave Roberts outlining the requested waiver.
2. A memo dated February 4, 2010 from SMParsons Architect, Inc. regarding the Parking Analysis.
3. Photos of various plant materials proposed.
4. Two (2) cut-sheets for lighting
5. Plans Prepared for Truro Vineyards, 11 Shore Road, Truro, MA, by SMParsons Architect Inc as follows:







## Health/Conservation Agent Town of Truro

Phone: (508) 349-7004 ext. 32

# MEMO

**To:** Charleen Greenhalgh, ATA/Town Planner  
**From:** Patricia Pajaron  
**CC:**  
**Date:** January 8, 2010  
**Re:** **Development Application Referral, Truro Vineyards, 11 Shore Rd**

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This is an existing winery, barn/ 4303± bottling and storage building and dwelling on a 129, 373 ± square foot lot served by a private well and septic system. The system was installed in 1992 under the 1978 version of Title 5. The system consists of a 1500 gallon septic tank, d-box and 8 leaching chambers. The approved capacity for the septic per the design flow on septic permit #92-58 is 990gpd or 9 bedrooms.

The applicant proposes to replace the existing 437 sq.ft. storage building with a new two level 2260 sq.ft. building consisting of storage on the first floor and a one bedroom dwelling unit on the second.

I would like to offer the following comments as it relates to public health and environmental issues:

1. Per the floor plan on file dated November 13, 1992 prepared by JP Kelly for the existing dwelling there are 8 guest rooms and 1 bedroom in the owner's quarters. There are a total of 12 rooms (9 bedrooms, office, sunroom/dining room, kitchen/living room/dining room). The septic would have to be upgraded to accommodate the additional bedroom, unless a bedroom is eliminated in the main house. Proposed floor plans will have to be submitted showing how a bedroom will be eliminated.
2. Will a new septic system be installed to serve the one bedroom dwelling unit or will it be connected to the existing system? If it is possible to connect the proposed one bedroom dwelling unit to the existing system, a inspection of the system and permit for the connection would be required.
3. There are no floor plans submitted for the proposed 2 story 2260 sq.ft. building.
4. Is the 1 bedroom dwelling unit going to be used for rental purposes?
5. Would the proposed project would change the current status from a private water system to a public water supply system? Under MassDEP Drinking water regulations, any establishment that has at least 15 water service connections or serves water to 25 different people (patrons, employees etc.) at least 60 days of the year is defined as a Transient Non Community Public Water Supply system. From the information on the licensing department, Truro Vineyards is open year round; however the unknown

question is how many people are on the property daily. On February 8, 2007 I received a letter from Richard Rondeau, Chief, DEP Drinking Water Program. In his letter, Mr. Rondeau stated that the "facility may continue to operate as a private water system" and if "current operations were to change to the extent that the facility no longer meets the policy criteria stated in Policy #94-02, it will be necessary to contact MassDEP." I would encourage the applicant to contact MassDEP to ascertain whether the proposed project would change the current status from a private water system to a public water supply system. I have included a copy of the DEP letter and Policy #94-02 for your perusal.

6. In 1992, the Cape Cod Commission issued an Order of Conditions pertaining to chemical inventory and water quality testing. Testing of inorganics and chemical inventory are required annually with reports submitted each November. I have not received the chemical inventory for 2009.

The volatile organic compound testing was required initially in 1997. As stated in condition #1, if no VOC's are detected, then the VOC analysis should be repeated every 3-5 years. The last VOC testing conducted was in 2006 and met acceptable standards. The VOC testing should be repeated sometime between 2009-2011 with t to the Town departments indicated in the Order of Conditions.

Please feel free to call me with any questions you may have.





## Health/Conservation Agent Town of Truro

Phone: (508) 349-7004 ext. 32

Fax: (508) 349-5850

# MEMO

**To:** Charleen Greenhalgh, ATA/Town Planner

**From:** Patricia Pajaron *PP*

**CC:**

**Date:** July 13, 2007

**Re:** Development Application Referral, Truro Vineyards, 11 Shore Rd

This is an existing winery, barn and 7 bedroom dwelling on a 129, 373  $\pm$  square foot lot served by a private well and septic system. The system was installed in 1992 under the 1978 version of Title 5. The system consists of a 1500 gallon septic tank, d-box and 8 leaching chambers. The capacity of the system was designed for 1054 gallons per day to accommodate 9 bedrooms. In 1999, the previous owners inquired about a floor drain connection as part of their operation. The Board of Health reviewed the request and per state regulation 310 CMR 22.21(2)(8) disposal of waste from floor drains in environmentally sensitive areas, Zone II of a PWS, require the installation of a tight tank or groundwater discharge permit from DEP.

The applicant proposes to construct a 4303 sq.ft. building attached to the existing barn which will serve as the bottling and storage space.

I would like to offer the following comments as it relates to public health and environmental issues:

1. The site plan prepared by Bennett and O'Reilly, Inc. depicts the proposed 4303 square foot building attached to the existing barn. The manhole covers for the tight tank are shown; however the required 10' setback distance from the tank and slab foundation for the proposed building is not indicated on the plan.
2. My understanding from the narrative that the wine production will continue in the existing barn. The site plan prepared by Stuart Parsons dated June 16, 2007 shows the floor layout of the proposed bottling and storage area, with some detail. The floor drain in the existing barn area is connected to a tight tank. The question I raise is does the 4303 sq.ft. addition to the existing barn effect the approved design flow of the 1500 gallon tank? Or

RECEIVED  
7-13-07

should there be a flow design for Title 5 purposes for wine production, bottling and storage? Currently Title 5 does not have a flow design for a commercial wine production facility. Instead, Title 5 states "other than those facilities listed, nonresidential facilities with unique design features that result in different design flows, may apply to DEP for a determination." I would have to request technical assistance from DEP on this matter.

3. On February 8, 2007 I received a letter from Richard Rondeau, Chief, DEP Drinking Water Program. In his letter, Mr. Rondeau stated that the "facility may continue to operate as a private water system" and if "current operations were to change to the extent that the facility no longer meets the policy criteria stated in Policy #94-02, it will be necessary to contact MassDEP." I would encourage the applicant to contact MassDEP to ascertain whether the proposed project would change the current status from a private water system to a public water supply system. I have included a copy of the DEP letter and Policy #94-02 for your perusal.
4. In 1992, the Cape Cod Commission issued an Order of Conditions (see attached) pertaining to chemical inventory and water quality testing. Per the Health records on file for this property the owner has submitted the annual testing of inorganics and chemical inventory on as required. The volatile organic compound testing was required initially in 1997. As stated in condition #1, if no VOC's are detected, then the VOC analysis should be repeated every 3-5 years. The last VOC testing conducted was in 1998 and should be repeated with the report submitted this November to the Town departments indicated in condition #4.

Please feel free to call me with any questions you may have.



COMMONWEALTH OF MASSACHUSETTS  
 EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS  
 DEPARTMENT OF ENVIRONMENTAL PROTECTION **COPY**  
 SOUTHEAST REGIONAL OFFICE  
 20 RIVERSIDE DRIVE, LAKEVILLE, MA 02347 508-946-2700

DEVAL L. PATRICK  
 Governor

IAN A. BOWLES  
 Secretary

TIMOTHY P. MURRAY  
 Lieutenant Governor

ARLEEN O'DONNELL  
 Commissioner

February 8, 2007

Ms. Kathleen Gregrow  
 Route 6A  
 P.O. Box 165  
 North Truro, Massachusetts 02652

RE: TRURO  
 Truro Vineyards  
 Public Water System Determination

Dear Ms. Gregrow:

Please find attached the following information:

A response to your inquiry regarding public water system registration for the above-referenced facility.

Please note that the signature on this cover letter indicates formal issuance of the attached document. If you have any questions regarding this letter, please contact Terry Martin at this office at (508) 946-2765.

Sincerely,

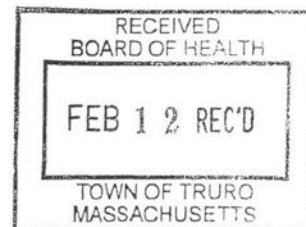
Richard J. Rondeau, Chief  
 Drinking Water Program  
 Bureau of Resource Protection

R/TM/cb

Y:\DWP Archive\SERO\Truro-General-2007-02-08  
 Tmartin\trurovineyard07

Enclosure: DWS Policy 94-02

cc: Truro Board of Health  
 P.O. Box 2030  
 Truro, MA 02666  
 ATTN: Pat Pajaron



This information is available in alternate format. Call Donald M. Gomes, ADA Coordinator at 617-556-1057, TDD Service - 1-800-298-2207.

DEP on the World Wide Web: <http://www.mass.gov/dep>

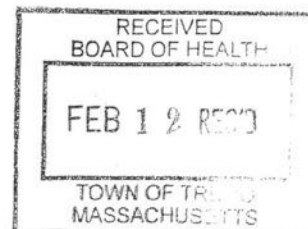
Printed on Recycled Paper



TRURO VINEYARDS  
ROUTE 6A (SHORE ROAD)  
TRURO  
PUBLIC WATER SYSTEM DETERMINATION

On February 6, 2007, a representative of the Department of Environmental Protection (MassDEP) conducted an inspection of the above-referenced facility and discussed details of the current facility operation with Ms. Kathleen Gregrow, Owner and Manager of the Truro Vineyards.

On the basis of that inspection, and with the concurrence of the Truro Board of Health, it is the MassDEP's opinion that this facility may continue to operate as a private water system, subject to the enclosed policy, Policy 94-02. This policy allows for the continued use of the system under certain conditions as described (i.e. no food preparation, beverage preparation, bathing, dishwashing, etc.). The MassDEP is aware that there is a single bathroom which may be accessed by the public, but that this bathroom is not used by an average of 25 or more persons a day for more than 60 days per year. As discussed during the inspection, if the current operations were to change to the extent that the facility no longer meets the policy criteria, it will be necessary to contact the MassDEP and pursue registration under an Administrative Consent Order.





COMMONWEALTH OF MASSACHUSETTS  
EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS  
**DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
ONE WINTER STREET, BOSTON, MA 02108 617-292-5500

ARGEO PAUL CELLUCCI  
Governor

JANE SWIFT  
Lieutenant Governor

BOB DURAND  
Secretary

LAUREN A. LISS  
Commissioner

**DWS Policy 94-02**  
**Determination Of Public Or Private Water System Type**  
**For Establishments Serving Food**  
(Year 2000 Printing)

Effective Date: 9-21-95

**Policy, SOP or Guideline # 94-02**

Supersedes Policy, SOP or Guidance #:

Approved by: David Y. Terry

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This policy is intended to provide guidance in determination of Water system type for systems serving food to the public, as either public water systems or private systems.

**Background**

Many small water systems and Boards of Health (BOH) have requested Department of Environmental Protection, Division of Water Supply's (DEP/DWS) interpretation concerning the effects of certain practices at food establishments on the status of the water system; whether these systems are classified as public or private; and therefore whether such systems are regulated by DEP or by local Boards of Health (BOH) and the Department of Public Health (DPH).

**Policy**

It is the policy of DEP/DWS to not regulate a water system (facility) as a public water supply when and if it is documented to DEP's satisfaction with the concurrence of the local BOH that the facility (1) employs fewer than 25 persons and (2) does not use piped water on its premises for human consumption, including but not limited to, drinking, food preparation, beverage preparation, ice making, soda making, bathing, dishwashing, etc., and that (3) the general public does not have access to water from the water system, including the bathrooms (with associated faucets). The local BOH in cooperation with DEP/DWS will ensure that the facility does not change its practices in the future and become a public water system without DEP's review and approval.

**Rationale and Discussion**

A public water system is defined by the federal Safe Drinking Water Act (42 U.S.C. 300f et seq.) and the Massachusetts drinking water regulations at 310 CMR 22.02 as "a system for provision to the public of piped water for human consumption if such a system has at least 15 service connections....or regularly serves an average of at least twenty five (25) individuals daily for at least sixty (60) days per year." DEP/DSW regulates public water systems. Private water systems are those which do not meet the definition of a Public Water System and are regulated by municipal Boards of Health and the State Department of Public Health.

This policy is limited to the specific situation described. If a system with its own source of ground or surface water does not serve its piped water to the public, does not provide access to bathroom facilities or other access to its water to the public, does not use the water for preparation of food served to the public or for any other use for human consumption, and does not employ more than 25 people, DEP/DWS considered the system to be a private water system under the jurisdiction of the local Board of Health and DPH. This policy may apply to gas stations, convenience stores, etc.

This is the policy of the Department of Environmental Protection's Division of Water Supply. Other State and/or municipal bodies (e.g. the State Plumbing Board and the Department of Public Health) may have other related requirements for food establishments which are not addressed by this policy.

Attachments to this Policy:

1) DPH/DEP document entitled "Regulations relative to well water supplies in food establishments." Dated November 93.

2) DEP/DWS Policy on recommended private well monitoring.

Approved: 9-21-95  
Effective: 9-21-95

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David Y. Terry, Director  
Division of Water Supply



# CAPE COD COMMISSION



3225 MAIN STREET  
P.O. BOX 226  
BARNSTABLE, MA 02630  
(508) 362-3828  
FAX (508) 362-3136  
E-mail: 74260.3152@compuserve.com

Ms. Judy L. Weimer  
Ms. Kathleen L. Gregrow  
South Hollow Vineyard  
P.O. Box 165  
N. Truro, MA 02652

December 11, 1997

Dear Ms. Weimer and Ms. Gregrow:

Thank you for the copy of your letter dated November 4, 1997 regarding the chemical inventory of South Hollow Vineyard and water quality testing. The Order of Conditions issued in 1992 required baseline monitoring for the Phase II monitoring requirements of the Nation Primary Drinking Water Regulations. While you have complied with the inorganic analysis, no VOC or SOC analysis was completed according to the test results that you sent to us.

After a discussion with Mr. James Cook, Provincetown Water Superintendent, it was agreed that SOC analysis would be unnecessary based on your agricultural practices, and given that the town has received a waiver from the State Department of Environmental Protection for SOC analysis. VOC analysis however is required on a yearly basis.

In order to make a best faith effort to comply with the Order of Conditions we are requesting the following:

- 1) Complete one round of VOC analysis within the next four months. Based on the results of the analysis, a sampling schedule shall be determined in conjunction with a review by the Cape Cod Commission and the Provincetown Water Department. If no VOC's are detected, VOC analysis shall be repeated every three to five years.
- 2) Continue annual inorganic analysis. Samples should be taken each spring prior to the start of the growing season.
- 3) Continue to keep records of fertilizer and other chemicals used for agricultural purposes. In the event that herbicides or pesticides are to be used on a routine basis, SOC analysis may be required to test for these specific compounds.

4) Compile and distribute water quality results and chemical inventory to Provincetown Water Department, Truro Board of Health and the Cape Cod Commission. In order to establish a consistent tracking record, please submit the report each November.

For your information, VOC analysis can be completed by the Barnstable County Laboratory for a cost of \$75.00. If you choose to use the County lab you may contact them at 508-362-2511 to arrange sample pick-up.

Thank you in advance for your continued cooperation in assuring the protection of the Provincetown South Hollow Wellfield. If you have any questions regarding this request, please give me a call at 508-362-3828.

Sincerely,



Gabrielle C. Belfit  
Hydrologist

cc: Mr. James Cook, Provincetown Water Superintendent  
Mr. Steve Williams, Truro Board of Health  
Alix Ritchie, Provincetown Cape Cod Commissioner  
Kenneth Brock, Truro Cape Cod Commissioner

TOWN OF TRURO  
Collector - Tax Collector  
PAID \$25.00  
OCT 27 2016  
PAYOMET  
Received TOWN OF TRURO  
By *M. Steiner*



PLANNING BOARD

RECEIVED  
SELECTMEN'S OFFICE  
OCT 26 2016  
TOWN OF TRURO  
MASSACHUSETTS

**Application for Temporary Sign Permit**  
Pursuant to Section 11 of the Truro Sign Code  
Fee: \$25.00

**Applicant Name:** PAYOMET PERFORMING ARTS CENTER, TRURO **Date:** 10-23-16  
**Applicant Contact Information:** (KEVIN RICE) P.O. 1202, Truro, MA 02666  
Mailing Address  
508-349-2929 kevin@payomet.org  
Phone Email

**Number of Signs Requested:** 1  
(48" ABOVE GRADE)

**Temporary Sign Dimensions:** Height 9" Width 39" Please attach a "to scale" copy of the proposed sign(s).

**Location(s) of Proposed Temporary Sign(s):** Intersection of So. Highland and Old Dewline Rds

**Map(s):** 37 **Parcel(s):** 18 Please use additional sheet(s) for multiple locations

**Date(s) of the Event in Which the Sign is Intended:** (Season)

**Date When Sign(s) will be:** Installed: Nov 16, 2016 Removed: Dec 15, 2016

**Name and Address of Property Owner(s) Where Temporary Sign(s) to be located:**  
National Park Service 99 Marconi Station  
Name Mailing Address Wellfleet, MA 02667

Phone \_\_\_\_\_ Email \_\_\_\_\_

Applicant Signature *Kevin* Date \_\_\_\_\_

Owner Signature (which also authorizes the use of the property) \_\_\_\_\_ Date \_\_\_\_\_

Planning Board Action: **Approved** \_\_\_\_\_ **Approved w/Conditions** \_\_\_\_\_ **Denied** \_\_\_\_\_

Conditions: \_\_\_\_\_

Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Title \_\_\_\_\_

CC: Building Commissioner, Board of Selectmen



**Application for Temporary Sign Permit**

Pursuant to Section 11 of the Truro Sign Code

Fee: \$25.00

Applicant Name: Paycomet Performing Arts Center Date: 10-23-16

Applicant Contact Information: (Kevin Rice) PO Box 1202, Truro, MA 02666  
Mailing Address

508: 349 2929 Phone info@paycomet.org Email

Number of Signs Requested: 2

Temporary Sign Dimensions: Height 48" Width 36" Please attach a "to scale" copy of the proposed sign(s).

Location(s) of Proposed Temporary Sign(s): Rte 6, North of Neans Rd  
and Rte 6, South of So. Highland Rd

Map(s): 39 Parcel(s): 166 Please use additional sheet(s) for multiple locations

Date(s) of the Event in Which the Sign is Intended: Season

Date When Sign(s) will be Installed: Nov 16, 2016 Removed: Dec. 15, 2016

**Name and Address of Property Owner(s) Where Temporary Sign(s) to be located:**

Mike Winder, PO Box 1110 Truro, MA 02666  
Name Mailing Address

MASS State ROW  
Phone Email

[Signature]  
Applicant Signature Date

\_\_\_\_\_  
Owner Signature (which also authorizes the use of the property) Date

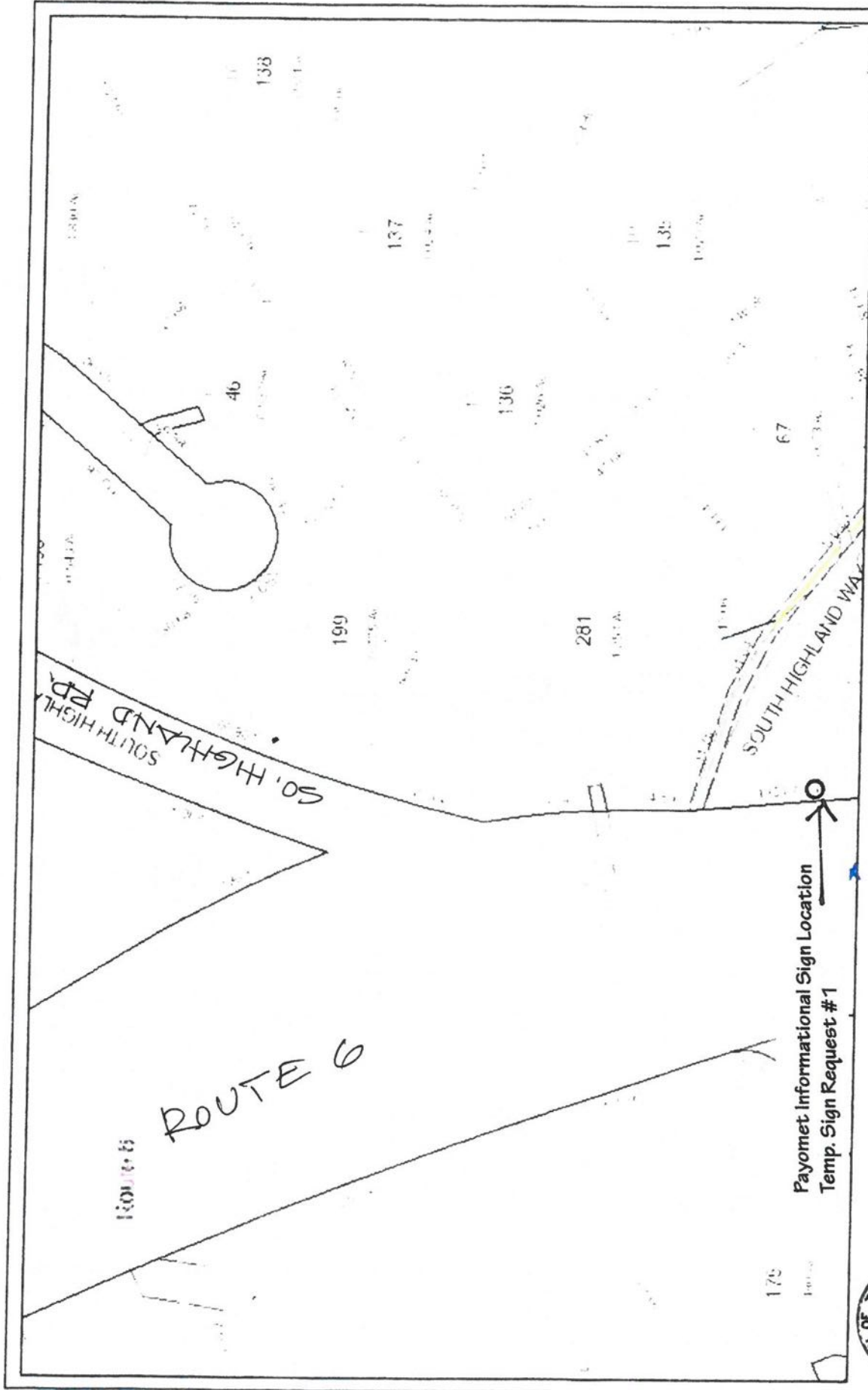
Planning Board Action: **Approved** \_\_\_\_\_ **Approved w/Conditions** \_\_\_\_\_ **Denied** \_\_\_\_\_

Conditions: \_\_\_\_\_

Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Title

CC: Building Commissioner, Board of Selectmen





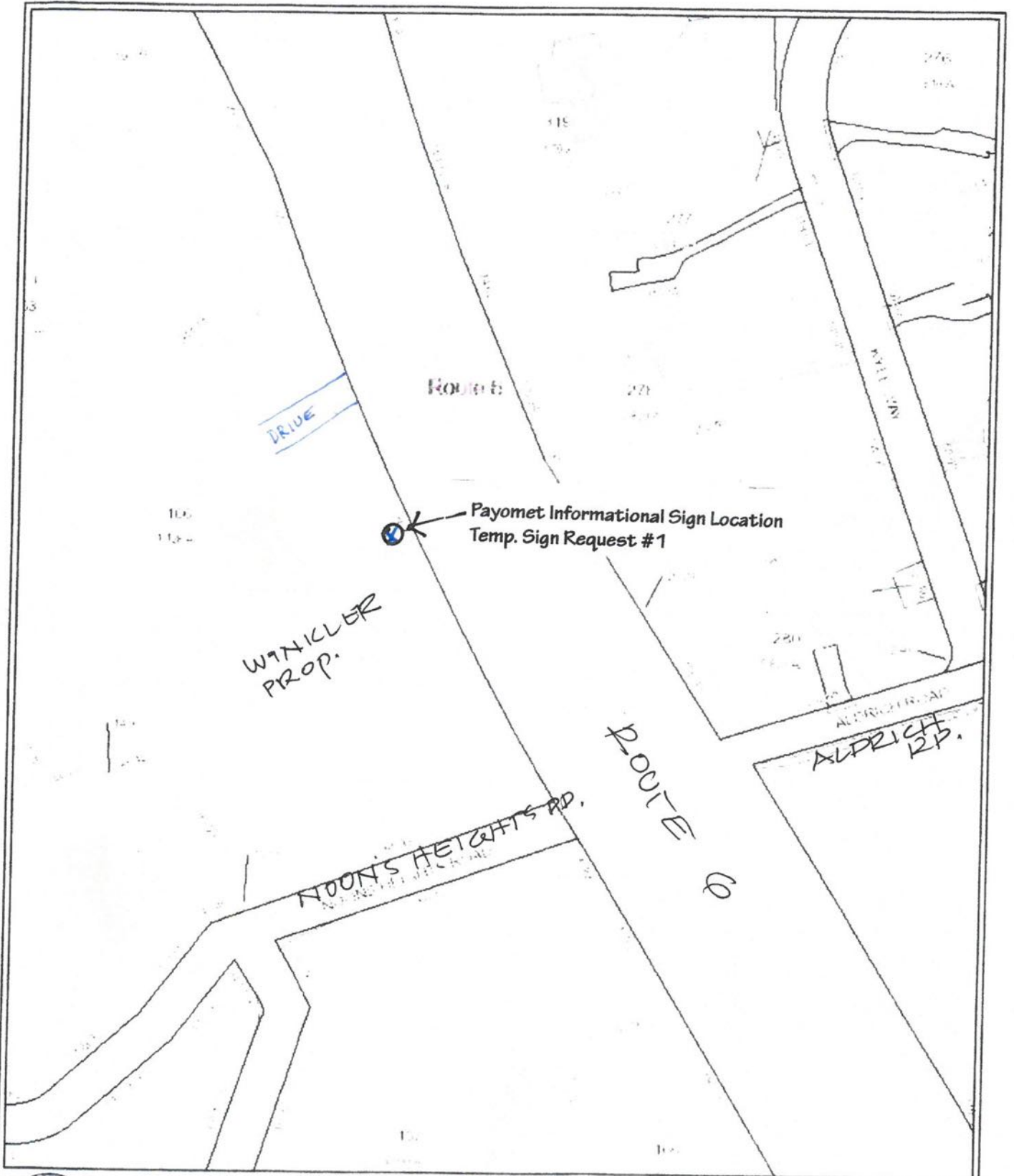
Route 6 & South Highland Road  
Truro, MA

1 Inch = 104 Feet  
April 27, 2015

www.cai-tech.com

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





Route 6 & Noons Heights Road  
 Truro, MA  
 1 Inch = 123 Feet  
 April 27, 2015



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

www.cai-tech.com



36

40

6

# **PAYOMET**

**Coming Events:**

**Text**

**Text**

Two-sided signs  
Two locations  
Scale: 1" = 1' - 0"

Payomet Performing Arts Center, Truro



# TOWN OF TRURO

Planning Department  
P.O. Box 2030, Truro, MA 02666  
Tel: (508) 349-7004, Ext. 27 Fax: (508) 349-5505  
criddle@truro-ma.gov

To: Planning Board  
From: Carole Ridley  
Date: October 27, 2016  
Re: Zoning Update

1. §30.3 Seashore District – The Board voted on October 11<sup>th</sup> to forward the Seashore District zoning amendment to Town Counsel. Subsequently, the Subcommittee provided another version of the bylaw which they requested be sent to Town Counsel. The revised version, attached, has been sent to Town Counsel to review and is enclosed for the Board's information.
2. §40.2 Affordable Accessory Dwelling Units- Draft provisions for an amendment to the bylaw are enclosed. These draft provisions are intended to codify the policy discussions the Board has had. They do not represent proposed zoning language, though some of the provisions have been taken from different bylaws. The Board is asked to review and discuss the provisions and provide further policy guidance. Once the Board has agreed on the policy provisions, they will be sent to Town Counsel for drafting.
3. §30.4 Water Resource Protection District - A joint meeting with the Board of Health and Water Resource Oversight Committee is scheduled for Wed., November 16<sup>th</sup> at 5:15 pm in the Selectmen's meeting room. I am working with Pat Pajaron to develop an agenda for that meeting.



**PROPOSED TRURO SEASHORE DISTRICT ZONING BYLAW  
AMENDMENTS  
DRAFT – Revised – October 17, 2016**

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Section 10.4 Definitions

*(Add the following definition.)*

**Seashore District Total Gross Floor Area.** The aggregate gross floor area of the dwelling and accessory structures on a lot within the Seashore District, shall consist of the sum of the horizontal areas of the floor(s) of a building measured from the exterior faces of the exterior walls of the building, without deduction for hallways, stairs, closets, and thickness of walls, columns or other features used or intended to be used for living, sleeping, sanitation, cooking or eating purposes, excluding cellar and basement floor area, garage, porches, decks, attics, barns, greenhouses and agricultural buildings.

For the purposes of computing floor area, any portion of the floor area measuring less than five feet from the finished floor to the finished ceiling shall not be included in the computation of floor area.

**Article 30.3. Seashore District**

*(Insert the following new section 30.3.1. following Section 30.3.E.)*

**30.3.1. Residential Building Scale Regulations**

**Purpose:** The Seashore District is a unique Zoning District in Truro that encompasses a major portion of the Cape Cod National Seashore. Further, Truro has adopted the special zoning provisions required for this District as set forth in the Code of Federal Regulations (Title 36, Part 27). The purpose of this Section is to recognize the town's stewardship role to ensure that any residential alteration, construction and reconstruction is in accordance with the purposes and intent of the Cape Cod National Seashore, namely to preserve the special cultural and natural features, distinctive patterns of human activity, and rural ambience that characterize the Outer Cape, along with the associated scenic, cultural, historic, scientific, and recreational values; maintains the prevailing scale and massing of buildings; and protects the Seashore District as set forth in the Truro Local Comprehensive Plan.

**A. Applicability and Exceptions**

1. **Seashore District Total Gross Floor Area:** Subject to the exceptions provided for in subsections 30.3.1.A.2 and below, building permits for new construction or for projects that seek to increase the Seashore District Total Gross Floor Area of a lot with buildings that exist as of April 25, 2017, shall only be issued where, on completion of the project, the Seashore District Total Gross Floor Area of the lot does not exceed 3,600 sq. ft. for 3 acres:
  - a. plus 200 sq. ft. for each additional contiguous acre; or
  - b. minus 200 sq. ft. for each contiguous acre less than 3 acres, as the case may be, where the square footage per acre specified above is pro-rated for a portion of an acre. (See table that follows.)

**Limits on Building Bulk by Lot Size Allowed by Right**

Lot Size Acres	Lot Size Sq. Ft.	Limit SD GFA Sq. Ft.	Floor Area Ratio (FAR)
.5	21,780	3,100	.1423
.75	32,670	3,150	.0964
1	43,560	3,200	.0735
3	130,680	3,600	.0275
6	261,300	4,200	.0161
10	435,600	5,000	.0115

2. **Special Permit to exceed the Seashore District Total Gross Floor Area limit:** The Seashore District Total Gross Floor Area limit for a lot established in subsection A.1 may be exceeded, up to the cap established by this subsection, by special permit, as provided in the remaining provisions of this Bylaw. Subject to the exception provided for in subsection 30.3.1.A.3, no special permit may be issued for any project if the project would result in the Seashore District Total Gross Floor Area of the lot exceeding 4,600 sq. ft. for 3 acres:
- a. plus 200 sq. ft. for each additional contiguous acre; or
  - b. minus 200 sq. ft. for each contiguous acre less than 3 acres, as the case may be, where the square footage per acre specified above is pro-rated for a portion of an acre. (See table that follows.)

**Limits on Building Bulk by Lot Size Possible with Special Permit**

Lot Size Acres	Lot Size Sq. Ft.	Limit SD GFA Sq. Ft.	Floor Area Ratio (FAR)
.5	21,780	4,100	.1882
.75	32,670	4,150	.1270
1	43,560	4,200	.0964
3	130,680	4,600	.0352
6	261,300	5,200	.0199
10	435,600	6,000	.0138

- B. Procedures for Special Permit Review and Approval:** The Building Commissioner shall make a determination if any application for a permit for the alteration, construction or reconstruction of a building or structure would result in the Seashore District Total Gross Floor Area exceeding the limitation set out in Section 30.3.1.A.1. If the Building Commissioner determines that the applicant cannot proceed without a Special Permit, the Building Commissioner shall make a further determination if Site Plan Review is required, and if so advise the applicant to make an application first to the Planning Board for Site Plan Review, and upon approval by the Planning Board of that review, as defined in Section 70.4, secondly to the Zoning Board of Appeals for a Special Permit. No building permit shall be issued hereunder unless the Zoning Board of Appeals has granted a Special Permit according to procedures as defined elsewhere in this Bylaw.



*Editorial Note: Only those sections of §70 Site Plan Review that are intended to be amended are provided below. New text is shown in red bold.*

#### §70.4 Residential Development

A. Site Plan Review is required for: Construction, alteration, or modification of any Seashore District property *(Insert the following)*

**(iv) which exceeds of the building bulk limits as defined in Section 30.3.1.A.1, or  
(v) which results in a material permanent change to the natural landscape and topography due to site clearing, filling or grading beyond what is directly required for the construction, alteration or modification of an existing or proposed dwelling or accessory building.**

B. Applicability *(Insert the following)*

**3. Nothing in Section 70.4 shall be construed as authorizing the issuance of Site Plan Approval that exceeds the building bulk limitation set forth in Seashore District Section 30.3.1.**

3. The following information must be submitted together with the application form: *(Insert or amend the following)*

a. Site Plan shall include:

**7. Property boundaries, dimensions and lot area, including any easements and rights-of-way.**

**16. Existing and proposed utilities (electric, cable, telephone, and other utility lines).**

c. **Exterior and Site** Lighting specification, including style and wattage(s).

D. Review Criteria

The Planning Board shall review Residential Site Plans and their supporting information. It is the intent of Residential Site Plan Review that all new construction, shall be sited and implemented in a manner that **minimizes the impact on the natural topography and landscape and** is in keeping with the scale of other buildings and structures **in its immediate vicinity and throughout the Seashore District** in order to preserve the **characteristics of scenic vistas, rural character and prevailing scale and massing of building within existing neighborhoods and throughout the Seashore District**. Such an evaluation shall be based on the following standards and criteria:

*(Insert or amend the following)*

- 1. Building Height and Scale.** To be harmonious with the neighboring structures and structures predominant in the Seashore District, and as appropriate, the project shall be less than 2 full stories in height, such as a dormered second floor that does not exceed 1.75 stories in height. The project should reflect the prevailing architectural massing in which buildings are composed of a primary mass expanded by later additions of various smaller masses. Large buildings of a single mass are uncommon.
- 2. Relation of Buildings and Structures to the Environment.** Proposed development shall relate to the existing terrain and lot, and shall provide a solar and wind orientation, which encourages energy conservation.

3. **Building Design and Landscaping.** Proposed development shall be **sensitive to the scenic vistas and** consistent with the prevailing character, **scale, and massing** of the buildings and structures **throughout the Seashore District through** the use of appropriate scale, massing, building **and landscape** materials, screening, lighting and other architectural techniques. **The project shall retain natural buffer areas or, where that is impracticable, provide sufficient landscape screening. The project shall minimize the size of lawns and recreational facilities, shall use native species for landscaping, and where possible retain natural vegetation on slopes to avoid the use of retaining walls exceeding three feet in height.**
4. **Preservation of Landscape.** The landscape **and topography** shall be preserved in its natural state insofar as practicable by minimizing any grade changes and removal of vegetation and soil, **minimizing the use of retaining walls, and by locating new construction so as to minimize the impact on views and vistas if visible from publicly accessible locations. Any grading or earth-moving shall be planned and executed in such a manner so as to retain to the extent practicable final contours consistent with existing terrain both on and adjacent to the site.**
5. **Visual Integrity of Ridgelines.** The project shall maintain the visual integrity of ridgelines by keeping construction below the ridgeline and below the average height of the existing trees on wooded ridges and hilltops on the lot.
6. **Circulation.** Curb cuts and driveways shall be safe and convenient and shall be consistent with Chapter I, Section 9 of the General Bylaws of the Town of Truro. **Roads and other ways shall be designed to curve to fit the landscape and permit shared driveway entrances where possible.**
7. **Lighting.** Lighting shall be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro. There shall be protection of adjacent properties and the night sky from intrusive lighting.

#### §70.9 Waiver of Site Plan Review

*(Insert)* Site Plan Review shall not be waived in the Seashore District.



Proposed Policy Provisions for Accessory Dwelling Unit Bylaw Revision – 110216

**Purposes**

- Add moderately priced rental units to the housing stock to meet the needs of smaller households
- Increase the range of choice in housing options for households who might otherwise have difficulty finding affordable housing; ☐
- Encourage a more economic and energy-efficient use of the Town's housing supply while maintaining the appearance and character of the Town's single-family neighborhoods;
- Provide homeowners with a means of obtaining rental income to defray housing costs. ☐

**Requirements**

- One Affordable Accessory Dwelling Unit (ADU) per buildable lot may be allowed in any district by Special Permit from the Planning Board.
- ADUs shall not be eligible for zoning use variances, or for zoning dimensional variance relief proposing to increase the allowable number of ADUs on a lot.
- An ADU may be established within or attached to a principal dwelling, principal structure, or a garage or constructed as a detached unit, and which must be located on the same lot as the other structure(s).
- The construction of any ADU must be in conformity with the State Building Code, Title V of the State Sanitary Code and lawful under all other provisions of applicable town health, building, zoning and other local laws and regulations. ☐
- An ADU within or attached to a principal dwelling, principal structure or garage that is a pre-existing nonconforming use or structure shall not increase any existing nonconformity.
- A newly constructed detached ADU shall comply with all applicable provisions of this by-law unless specifically waived by the Planning Board.

**Amnesty**

- Owners of lots containing a dwelling unit (i) for which there does not exist a validly-issued variance, special permit, building permit or occupancy permit, (ii) that is/are not legally pre-existing, non-conforming use(s) or structure(s), or (iii) is/are not otherwise in compliance with the Zoning By-law may apply for a special permit under this section.

**Special Permit Criteria**

- The ADU shall be a complete, separate housekeeping unit containing both kitchen and sanitary facilities. ☐
- An ADU shall not contain more than one thousand four hundred (1,400) square feet nor less than four hundred (400) square feet of Gross Floor Area as that term is defined in Section II of this Zoning By-law. ☐

Or this language

**Comment [CR1]:** What's the lowest we can go without bumping into health or building code issues?

- The ADU shall contain no more two bedrooms and no greater than a maximum habitable floor area of 50% of the habitable floor area of the principal single family dwelling unit, but in no event greater than 1,400 square feet. Garages, unfinished attics and basements, common entries, porches and decks shall not be included in the floor area calculations. Once an ADU has been added to a single-family dwelling or lot, the accessory dwelling unit shall not be enlarged beyond the square footage allowed by this section. ☒
- At least one (1) off street parking space in addition to that required for the principal single family dwelling is required for an ADU. ☒
- An ADU and principal dwelling shall share common septic/ wastewater and water service facilities. The Board of Health must have documented to the Building Commissioner that sewage disposal will be satisfactorily provided for in accordance with the provisions of Title 5 and local Board of Health regulations, including provisions for an appropriate reserve area on the site. The principal dwelling unit and accessory apartment shall meet all wastewater requirements for the combined number of bedrooms/ wastewater flow on the lot. ☒
- If the primary entrance of an ADU is not proposed to be shared with that of the principal dwelling, such entrance shall be less visible from the street view of the principal dwelling than the main entrance of the principal dwelling. ☒
- An ADU shall be clearly subordinate in use, size and design to the principal single-family dwelling. An ADU shall be designed so that, to the maximum extent practical, the appearance of the property on which it is to be located remains that of a single-family residential property and the privacy of abutting properties is maintained, considering the following: building architectural details, roof design, building spacing and orientation, building screening, door and window location, and building materials. ☒
- An ADU is not intended for sale. The principal dwelling and ADU and lot on which they are located shall remain in common or single ownership, and shall not be severed in ownership, including that the lot or buildings thereon shall not be placed in a condominium form of ownership. ☒
- An ADU shall not be used for boarding and lodging, or other commercial use. An ADU and principal dwelling to which it is accessory may be rented for periods not shorter than annually (12 months), and are prohibited from any use as rental units on a monthly, weekly or daily basis. [Need reference to rental registration or other requirement]

**Comment [CR2]:** 15.223 sets forth the requirement for a separate tank or tank in series.

## Procedure

- The property owner shall complete an Application for a Special Permit to the Planning Board and submit it to the Town Clerk with the following information:
  - Site Plan or Site and Sewage Plan prepared by a licensed engineer showing all structures on the parcel, and setbacks from roads and property lines
  - Building elevations showing the ADU in relation to the principal dwelling unit,
  - Floor plan of the ADU
  - List of abutters certified by the Town Assessor's Office.
- The Planning Board shall hold a public hearing in accordance with the procedures and requirements set forth in Section 9 of MGL, Chapter 40A and the Truro Zoning By-law, Section 30.8
- The Planning Board may grant a Special Permits only if it finds that the proposal complies with the provisions of this bylaw, §40.2, and that it complies with the applicable criteria for granting Special Permit, as detailed in §30.8.
- If the Planning Board grants the Special Permit and following expiration of any applicable appeal period, the property owner shall complete and submit to the Building Commissioner an application for a Building Permit to allow a change in use.
- The property owner shall obtain a Certificate of Occupancy from the Building Commissioner prior to any occupancy of the Affordable Accessory Dwelling Unit.
- An appeal of a determination of the Planning Board under this section may be taken in accordance with Section 17 of MGL, Chapter 40A.

**Penalty**

- Failure of the applicant to comply with any provision of this section is punishable by a fine established in Section 60.1 of the Truro Zoning By-laws and/or may result in the revocation of the Special Permit.

**Requirements for Tax Exemption**



## TRURO PLANNING BOARD **DRAFT**

### Meeting Minutes

October 18, 2016 6:00 pm

Truro Town Hall

**Planning Board Members present:** Bruce Boleyn, Peter Herridge, Jack Riemer, Mike Roderick, Steve Sollog. **Absent** (excused), John Hopkins. **Resigned**, Lisa Maria Tobia.  
**Other Participants:** Ben Zehnder, Attorney; Carole Ridley, Planning Consultant.

Meeting was called to order by Steve Sollog at 6:00 pm.

### Board Re-Organization

Mr. Sollog spoke about the resignation of Chairperson Lisa Maria Tobia from the Planning Board. He asked that the records show that the Board wishes to thank her very much for her service on the Planning Board and that she will be greatly missed.

Mr. Herridge made a motion for Steve Sollog to be the new chair. Mr. Boleyn seconded. Mr. Sollog accepted the nomination and clarified that if elected, he would serve as chair until the Town election in May 2017. Mr. Riemer called for a vote. So voted, 5-0. Mr. Riemer nominated Mr. Herridge for vice chair. Mr. Boleyn seconded. So voted, 5-0. Mr. Boleyn nominated Mr. Riemer for clerk. Mr. Sollog seconded. Mr. Riemer asked for a job description for the clerk. Ms. Ridley will bring this information for the next meeting. Vote was not taken.

Mr. Riemer asked about the process for filling the vacancy. Ms. Ridley spoke about the rule in the general law. The Board of the Selectmen and the Planning Board will appoint a replacement. This person will serve until the next Town election in May. There will be a meeting set between the two boards to review applicants and make a selection. The notice of the vacancy will be published in the Banner on October 27. It is currently posted on the Town website. Once there are applicants identified, a meeting will be scheduled with the Board of Selectman.

### Public Comment

There was no public comment.

### Commercial Site Plan Review — Public Hearing Continuance

**2016-001SPR Winkler Route 6 Trust, Michael F. Winkler, Trustee, seeks approval of an application for Commercial Site Plan Review pursuant to §70.3 of the Truro Zoning Bylaw for the current condition and use of the property as a commercial staging area for a crane company, for storage of equipment and supplies, and for commercial use. The property is located at 1 Noons Heights Road, Atlas Map 39, Parcel 166. continued from May 3rd, July 19th, September 6th, and October 4, 2016.**

Mr. Ben Zehnder spoke on behalf of the applicant to explain why a continuance is needed, presenting in person what has been requested in writing. The applicant is making revisions to the site plan in response to the Horsley Witten report, particularly regarding fuel storage.



Mr. Riemer asked about the status of the Winkler court case with the Town. Mr. Zehnder replied that he has been working with Town Counsel, Jamie Veara, to delay the court case until a new site plan can be considered by the Planning Board.

Ms. Ridley mentioned that another site visit will be scheduled. Mr. Herridge made a motion to continue the application to a December 6, 2016 public hearing. Mr. Roderick seconded. So voted, 5-0.

**Review and Approval of Meeting Minutes**

Mr. Boleyn moved to approve the minutes of the September 22nd Planning Board workshop, Mr. Herridge seconded. So voted, 5-0. (Ms. Ridley advised that members are permitted to vote on minutes of meetings for which they were not present.)

Mr. Boleyn moved to approve the minutes of the October 4th Planning Board meeting, Mr. Herridge seconded. So voted, 5-0.

**Reports from Board Members and Staff**

Ms. Ridley talked about the joint meeting with the Water Resources Committee and the Board of Health which is scheduled for Wednesday, November 16, 5:15 pm. This meeting will be to discuss the Water Resources Overlay District.

Ms. Ridley has received a waiver of site plan request, which will be on the agenda for the November 2nd Planning Board meeting. The site visit at Truro Vineyards will be scheduled for Tuesday, October 25th, 2:30 pm. Ms. Ridley will confirm via email.

Mr. Sollog asked if Ms. Ridley has anything to report on the Affordable Accessory Dwelling Unit by-law revision. Ms. Ridley said she does not, but will have by the next meeting.

**Meeting Dates**

November 2, 2016 (Wed.) Regular Meeting  
November 16, 2016 (Wed.) Regular Meeting  
December 6, 2016 Regular Meeting  
December 21, 2016 (Wed.) Regular Meeting

Mr. Riemer made a motion to adjourn, Mr. Herridge seconded. So voted, 5-0.  
Meeting adjourned, 6:35 pm.

Respectfully submitted,

Katherine Black

**TRURO PLANNING BOARD**

**DRAFT**

**Meeting Minutes**

**October 25, 2016 – 2:30 pm**

**11 Shore Road, Truro**

**Planning Board Members and Staff Present:** Jack Riemer, Bruce Boleyn, Peter Herridge, Steve Sollog, Carole Ridley

**For the applicant:** Stuart Parsons, Kristen Roberts, Art Hultin

**Members Absent:** John Hopkins, Michael Roderick

The brief site visit took place at 11 Shore Road, Map 39, Parcel 137, to view the property seeking site plan review, and in particular the location of structures and activities on the site. The site visit concluded at approximately 3:00 pm.