



Truro Planning Board Agenda

Wednesday, January 22, 2020 – 5:00 pm

Truro Select Board Meeting Room

Truro Town Hall

24 Town Hall Road, Truro, MA 02666

Open Meeting

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

Temporary Sign Permit Applications

Karen Tosh for one (1) sign, 3' x 10', to be located in front of Accent on Design, Truro Center, 14A Truro Center Road. The sign will be installed on January 23rd and removed February 19th for Special Town Election on February 18th.

Public Hearing

2019-010/PB – Richard and Cynthia Perry seek approval of an application for an Accessory Dwelling Unit Permit pursuant to Section 40.2 of the Truro Zoning Bylaw. The property is located at 15 Perry Road, Truro, MA, Map 45, Parcel 132.

2019-011/SPR – Town of Provincetown seeks approval for a proposed Knowles Crossing Water Department Storage Building located at 143 Shore Road, Map 19 and Parcel 1. The proposed project involves the demolition of the existing 2,670 sq. ft. wooden Water Chemical Addition Building and the erection of a new 2,970 sq. ft. Water Department Storage Building.

Public Hearing – Continued

2019-006/PB – Abigail B. Schirmer, Audrey Schirmer, and Joseph M. Schirmer seek approval of a Preliminary Subdivision Plan of Land, pursuant to G.L. c. 41, §81S and §2.4 of the Town of Truro Rules and Regulations Governing the Subdivision of Land with respect to property at Route 6 and Amity Lane, Truro, MA, Map 46, Parcel 8.

Request to Continue to February 5, 2020

Board Action/Review

Review of the Cloverleaf Truro Rental Housing Comprehensive Permit application under MGL Ch. 40B to formulate comments for submittal to the Zoning Board of Appeals.

Approve ADU Application and Procedures.

Update on past Work Sessions.

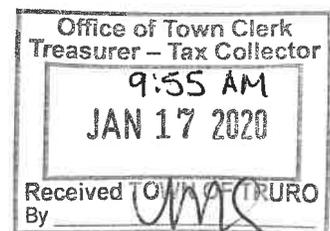
Update by Planning Board/Select Board ADU Ad Hoc Subcommittee on their Work Sessions.

Discussion for setting dates for future Board public workshops.

Next Meeting

Wednesday, February 5, 2020, at 5:00 p.m.

Adjourn



TEMPORARY SIGN PERMIT APPLICATION(S)

TOWN OF TRURO



PLANNING BOARD

Office of Town Clerk
Treasurer - Tax Collector
25.00 Fee Pd.
JAN 16 2020
Received TOWN OF TRURO
By [Signature]

Application for Temporary Sign Permit
Pursuant to Section 11 of the Truro Sign Code
Fee: \$25.00

Applicant Name: KAREN TOSH Date: Jan 16, 2020

Applicant Contact Information: PO Box 693 TRURO MA 02666
Mailing Address

617-314-3617 Phone
ktosh.law@gmail.com Email

Number of Signs Requested: 1

Temporary Sign Dimensions: Height 3' Width 10'
Please attach a "to scale" copy of the proposed sign(s)

Location(s) of Proposed Temporary Sign(s): FRONT OF ACENT ON DESIGN, TRURO CENTER 14A TRURO CIR Rd

Map(s): 50 Parcel(s): 155-2
Please use additional sheet(s) for multiple locations

Date(s) of the Event in Which the Sign is Intended: 2-18-20 Special Election

Date When Sign(s) will be Installed: Jan 23, 2020 Removed: FEBRUARY 19, 2020

Name and Address of Property Owner(s) Where Temporary Sign(s) to be located:

Ave D. Rosenthal PO Box 693 TRURO MA 02666
Name Mailing Address

508-237-4034 Phone
Email

Applicant Signature [Signature] 1/16/20
Applicant Printed Name KAREN TOSH Date

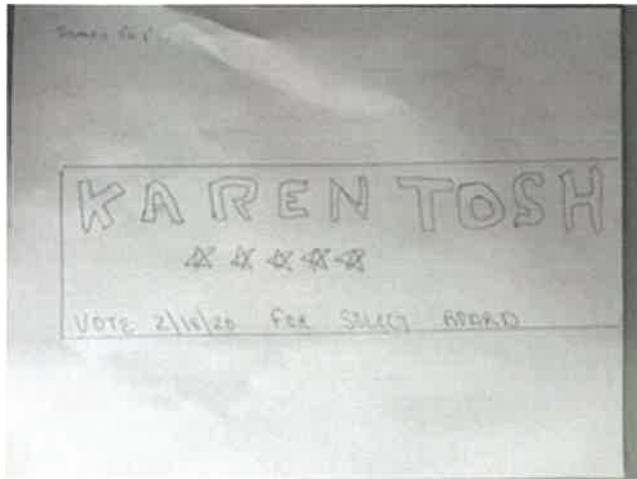
Owner Signature [Signature] 1/16/20
(which also authorizes the use of the property) Date
Owner Printed Name Ave D. Rosenthal

Planning Board Action: Approved Approved w/Conditions Denied

Conditions: _____

Board Signature: _____ Title _____ Date: _____

cc: Building Commissioner, Select Board



Scale = 1" = 1'

KAREN TOSH



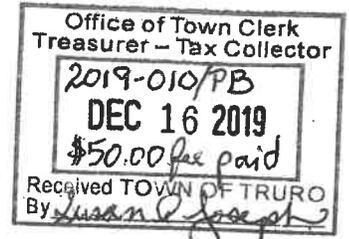
VOTE 2/18/20 FOR SELECT BOARD

PUBLIC HEARING(S)



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666



APPLICATION FOR SPECIAL PERMIT

To the Town Clerk of the Town of Truro, MA

Date December 12, 2019

The undersigned hereby files with specific grounds for this application:

Applicant seeks approval and authorization of uses under Section 40.2 of the Truro Zoning Bylaw concerning (describe) Accessory Dwelling Unit

Property Address 15 Perry Road Map(s) and Parcel(s) 045-132

Registry of Deeds title reference: Book 24169, Page 112, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name John Casale - MarJon Builders, LLC

Applicant's Legal Mailing Address 17 Hamilton Cartway, Brewster, MA 02631

Applicant's Phone(s), Fax and Email (508) 714-9033 john.marjonllc@gmail.com

Applicant is one of the following: (please check appropriate box)

- Owner
 Prospective Buyer*
 Other* *Written Permission of the owner is required for submittal of this application

Owner's Name Richard B. and Cynthia J. Perry

Owner's Address 76R Bayberry Avenue, Provincetown, MA 02657

Representative's Name and Address John Casale - MarJon Builders, LLC

Representative's Phone(s), Fax and Email (508) 714-9033

John Casale
Applicant(s)/Representative Signature

See attached Permission
Owner(s) Signature or written permission

Your signature(s) on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

Applications must be typed or printed clearly with black or blue ink

December 12, 2019

Town of Truro
P.O. Box 2030
Truro, MA 02666
Attn: Town Clerk

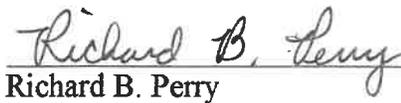
Re: Richard B. Perry
Cynthia J. Perry
15 Perry Road

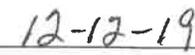
To Whom It May Concern:

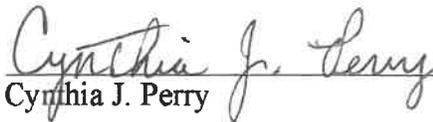
We, the undersigned, hereby give John Casale of MarJon Builders, LLC permission to file a Special Permit on our behalf seeking approval of an Accessory Dwelling Unit under Section 40.2 of the Truro Zoning Bylaw.

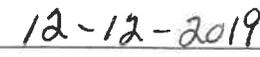
Should you have any questions please feel free to contact us. Thank you for your consideration in this matter.

Sincerely,


Richard B. Perry


Date


Cynthia J. Perry


Date

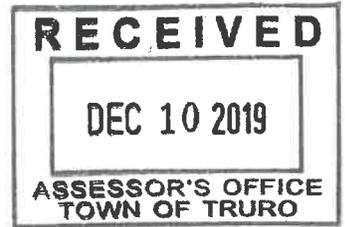


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 12-9-19

NAME OF APPLICANT: Richard and Cynthia Perry

NAME OF AGENT (if any): MarJon Builders LLC/John Casale

MAILING ADDRESS: 76 R Bayberry Avenue, Provincetown, MA 02657

CONTACT: HOME/CELL 508-714-9033 EMAIL john.marjonllc@gmail.com

PROPERTY LOCATION: 15 Perry Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 045 PARCEL 132 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item
(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|--|--|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input checked="" type="checkbox"/> Special Permit¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
- (Please Specify) (Fee: Inquire with Assessors)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 12/10/19 Date completed: 12/11/19
List completed by: Olga Farrell

¹ Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

² Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³ Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴ All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵ Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: December 10, 2019

To: MarJon Builders, LLC (for John & Cynthia Perry)

From: Assessors Department

Certified Abutters List: 15 Perry Avenue (Map 45, Parcel 132)

Accessory Dwelling Unit

Attached is a combined list of abutters for the property located at 15 Perry Avenue. The current owner is Perry Family Ltd Partnership.

The names and addresses of the abutters are as of December 6, 2019 according to the most recent documents received from the Barnstable County Registry of Deeds.

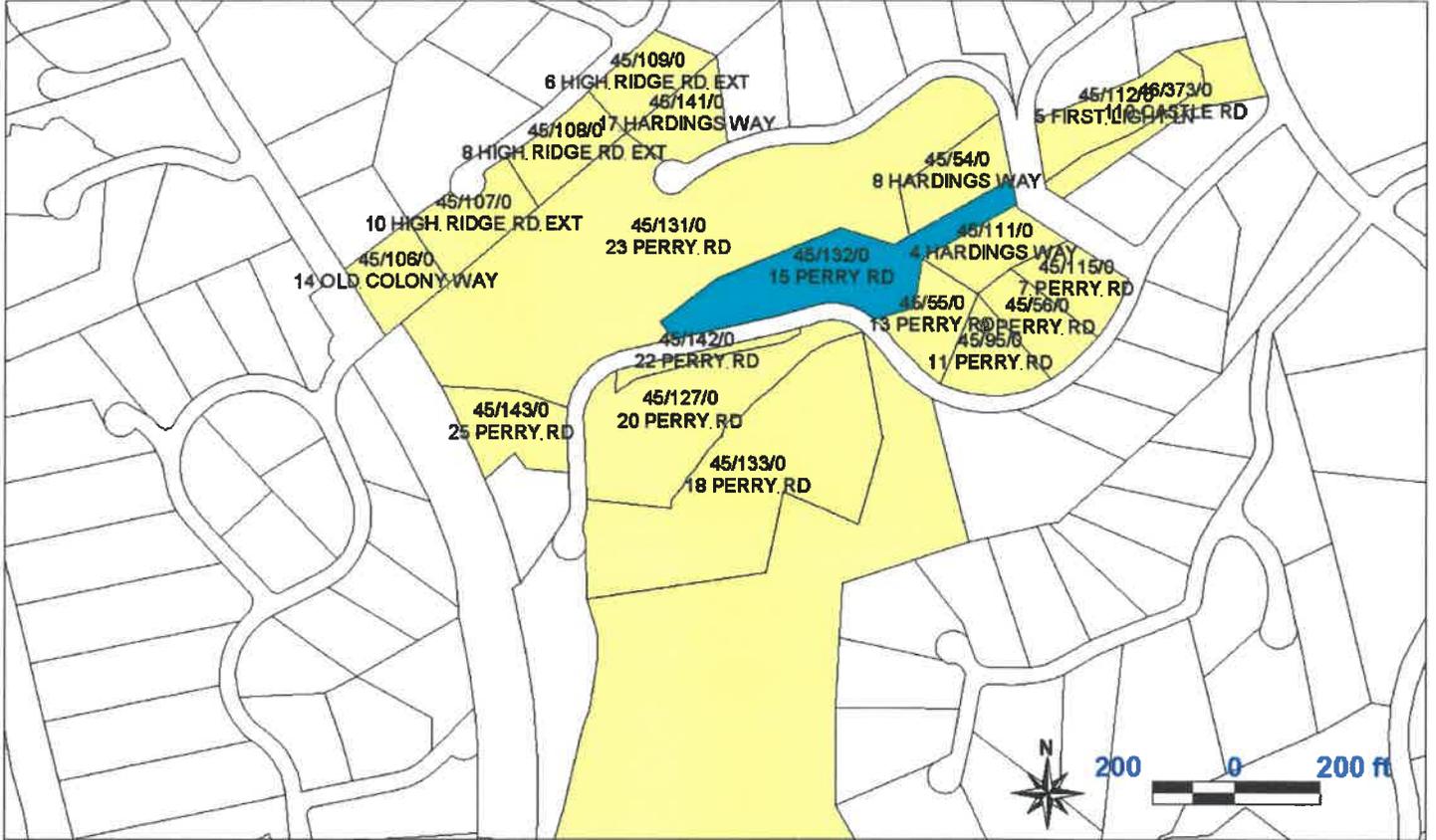
Certified by: _____

Olga Farrell
Assessing Clerk

15 Perry Road
 Map 45 Parcel 132
 ADU

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



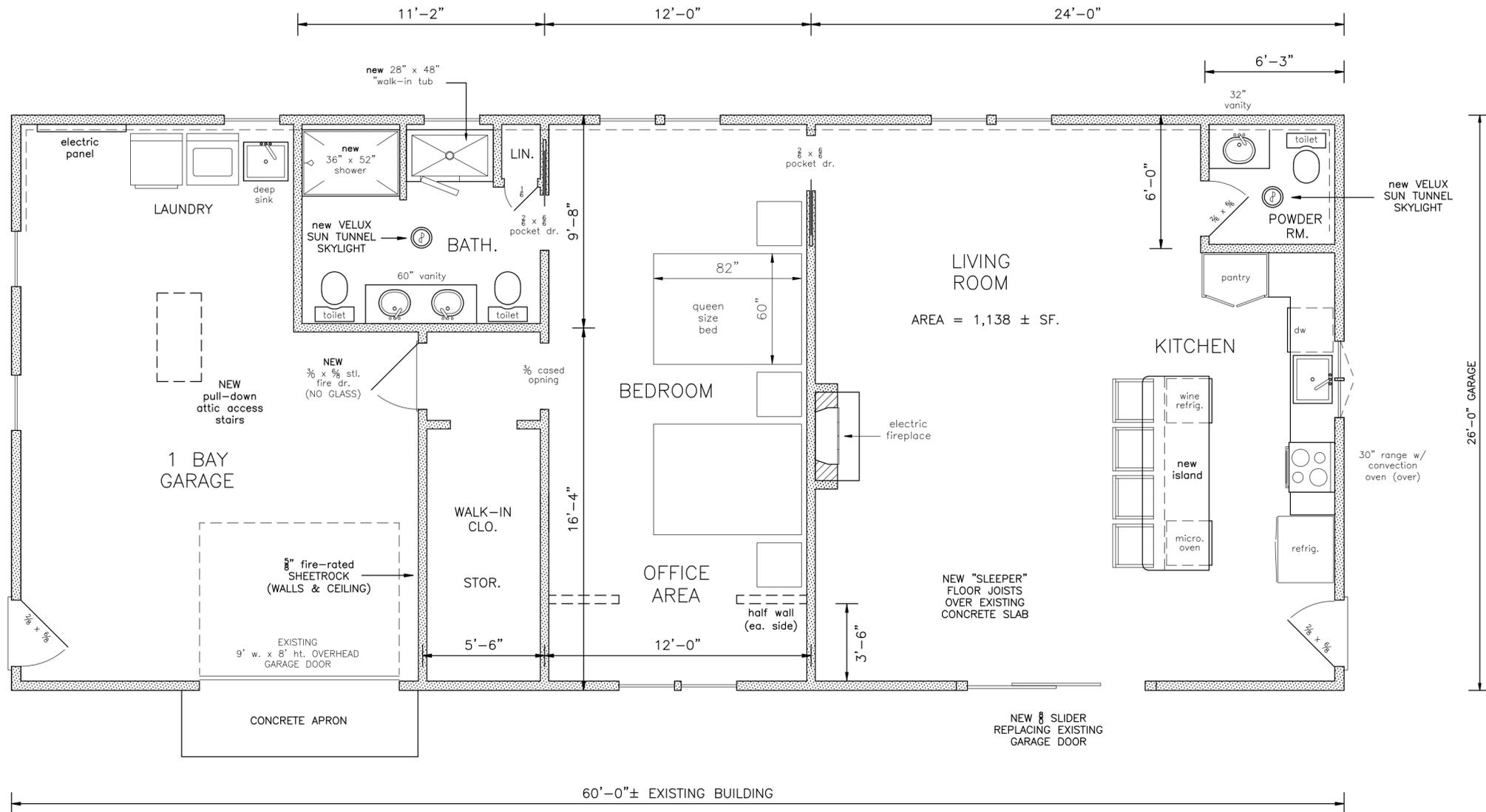
Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
2163	45-54-0-R	HENNING FAMILY TRUST TRS: HENNING MIRIAM K	8 HARDINGS WAY	PO BOX 113	TRURO	MA	02666
2164	45-55-0-R	ROKICKI AMELIA J	13 PERRY RD	PO BOX 1190	TRURO	MA	02666-1190
2165	45-56-0-R	LOCKE MICHAEL R & PERRY DEBRA LYNN	9 PERRY RD	PO BOX 134	NO TRURO	MA	02652-0134
2202	45-95-0-R	CORLESS PETER F	11 PERRY RD	5 MIDDLESEX ST	WELLESLEY	MA	02482
2209	45-106-0-R	RAJGOPAL RAJ & MEENA	14 OLD COLONY WAY	1830 SOUTH OCEAN DR, UNIT 2602	HALLANDALE BEACH	FL	33009
2210	45-107-0-R	ARMSTRONG JAMES J TR 12-23-05 TRS: ARMSTRONG JAMES & LINDA	10 HIGH RIDGE RD EXT	19 DOUGLAS DR	MANSFIELD	MA	02048-1056
2211	45-108-0-R	GREEN DOUGLAS	8 HIGH RIDGE RD EXT	12 BIRCH KNOLLS	CAPE ELIZABETH	ME	04107
2212	45-109-0-R	GOODMAN FAMILY NOMINEE TRUST TRS: GOODMAN HELEN G & ETHAN M	6 HIGH RIDGE RD EXT	18 RIVERS EDGE DRIVE, UNIT 206	TARRYTOWN	NY	10591
2214	45-111-0-R	GOLDSMITH FREDERICK B	4 HARDINGS WAY	5415 AYLESBORO AVE	PITTSBURGH	PA	15217
2215	45-112-0-R	BIKOFSKY LYNN ANNE & EVANS DAVID	5 FIRST LIGHT LN	PO BOX 889	N TRURO	MA	02652
2218	45-115-0-R	MEXICAN SHAMROCK LLC C/O HUMBERTO GONZALEZ	7 PERRY RD	10336 WILSHIRE BLVD #302	LOS ANGELES	CA	90024
5599	45-126-0-R	PERRY RICHARD B, COSTA CHERYL, LOCKE DEBRA, PERRY SCOTT ET AL	16 PERRY RD	76 BAYBERRY AVE	PROVINCETOWN	MA	02657
5600	45-127-0-R	HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP	20 PERRY RD	PO BOX 1016	TRURO	MA	02666
5949	45-131-0-R	HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP	23 PERRY RD	PO BOX 1016	TRURO	MA	02666-1016
5950	45-132-0-R	PERRY FAMILY LTD PARTNERSHIP PERRY RICHARD B ET AL GEN PART	15 PERRY RD	76R BAYBERRY AVE	PROVINCETOWN	MA	02657

JWR 12/10/2019

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
5951	45-133-0-R	HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP	18 PERRY RD	PO BOX 1016	TRURO	MA	02666-1016
6573	45-141-0-R	PERRY STEPHEN R LIVING TRUST & PERRY FAMILY LTD PARTNERSTHIP	17 HARDINGS WAY	PO BOX 1016	TRURO	MA	02666-1016
6574	45-142-0-R	HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP	22 PERRY RD	PO BOX 1016	TRURO	MA	02666-1016
6575	45-143-0-R	PERRY SCOTT W	25 PERRY RD	PO BOX 414	TRURO	MA	02666
7250	000000450000000000						
5681	46-373-0-R	WOLFSON JANE	110 CASTLE RD	10 BATES ST	CAMBRIDGE	MA	02140

OWE 12/10/2019

<p>45-54-0-R</p> <p>HENNING FAMILY TRUST TRS: HENNING MIRIAM K PO BOX 113 TRURO, MA 02666</p>	<p>45-55-0-R</p> <p>ROKICKI AMELIA J PO BOX 1190 TRURO, MA 02666-1190</p>	<p>45-56-0-R</p> <p>LOCKE MICHAEL R & PERRY DEBRA LYNN PO BOX 134 NO TRURO, MA 02652-0134</p>
<p>45-95-0-R</p> <p>CORLESS PETER F 5 MIDDLESEX ST WELLESLEY, MA 02482</p>	<p>45-106-0-R</p> <p>RAJGOPAL RAJ & MEENA 1830 SOUTH OCEAN DR, UNIT 2602 HALLANDALE BEACH, FL 33009</p>	<p>45-107-0-R</p> <p>ARMSTRONG JAMES J TR 12-23-05 TRS: ARMSTRONG JAMES & LINDA 19 DOUGLAS DR MANSFIELD, MA 02048-1056</p>
<p>45-108-0-R</p> <p>GREEN DOUGLAS 12 BIRCH KNOLLS CAPE ELIZABETH, ME 04107</p>	<p>45-109-0-R</p> <p>GOODMAN FAMILY NOMINEE TRUST TRS: GOODMAN HELEN G & ETHAN M 18 RIVERS EDGE DRIVE, UNIT 206 TARRYTOWN, NY 10591</p>	<p>45-111-0-R</p> <p>GOLDSMITH FREDERICK B 5415 AYLESBORO AVE PITTSBURGH, PA 15217</p>
<p>45-112-0-R</p> <p>BIKOFSKY LYNN ANNE & EVANS DAVID PO BOX 889 N TRURO, MA 02652</p>	<p>45-115-0-R</p> <p>MEXICAN SHAMROCK LLC C/O HUMBERTO GONZALEZ 10336 WILSHIRE BLVD #302 LOS ANGELES, CA 90024</p>	<p>45-126-0-R</p> <p>PERRY RICHARD B, COSTA CHERYL, LOCKE DEBRA, PERRY SCOTT ET AL 76 BAYBERRY AVE PROVINCETOWN, MA 02657</p>
<p>45-127-0-R</p> <p>HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP PO BOX 1016 TRURO, MA 02666</p>	<p>45-131-0-R</p> <p>HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP PO BOX 1016 TRURO, MA 02666-1016</p>	<p>45-132-0-R</p> <p>PERRY FAMILY LTD PARTNERSHIP PERRY RICHARD B ET AL GEN PART 76R BAYBERRY AVE PROVINCETOWN, MA 02657</p>
<p>45-133-0-R</p> <p>HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP PO BOX 1016 TRURO, MA 02666-1016</p>	<p>45-141-0-R</p> <p>PERRY STEPHEN R LIVING TRUST & PERRY FAMILY LTD PARTNERSTHIP PO BOX 1016 TRURO, MA 02666-1016</p>	<p>45-142-0-R</p> <p>HILLSIDE FARM LLC & PERRY FAMILY LTD PARTNERSHIP PO BOX 1016 TRURO, MA 02666-1016</p>
<p>45-143-0-R</p> <p>PERRY SCOTT W PO BOX 414 TRURO, MA 02666</p>	<p>00000045000000000014800000R</p>	<p>46-373-0-R</p> <p>WOLFSON JANE 10 BATES ST CAMBRIDGE, MA 02140</p>



FIRST FLOOR

(1/4" = 1')



PROPOSED GARAGE/APARTMENT CONVERSION

RICHARD PERRY

15 PERRY ROAD
- FIRST FLOOR PLAN

TRURO

AUGUST 27, 2019

1 OF 1

NOTE: THIS PLAN REQUIRES CONSERVATION COMMISSION APPROVAL.

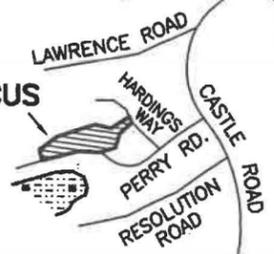
PLAN REFERENCES:
DEED BOOK 26582 PAGE 28
PLAN BOOK 632 PAGE 56

PCL. 54

LOCUS

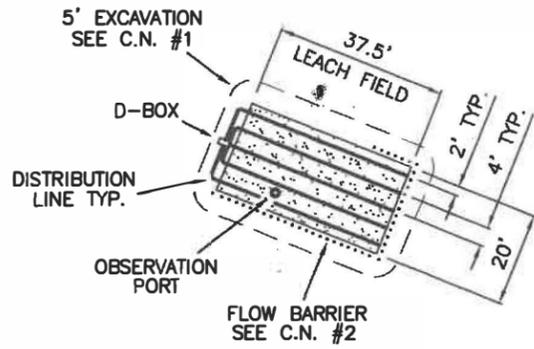
(NO SCALE)

LOCUS

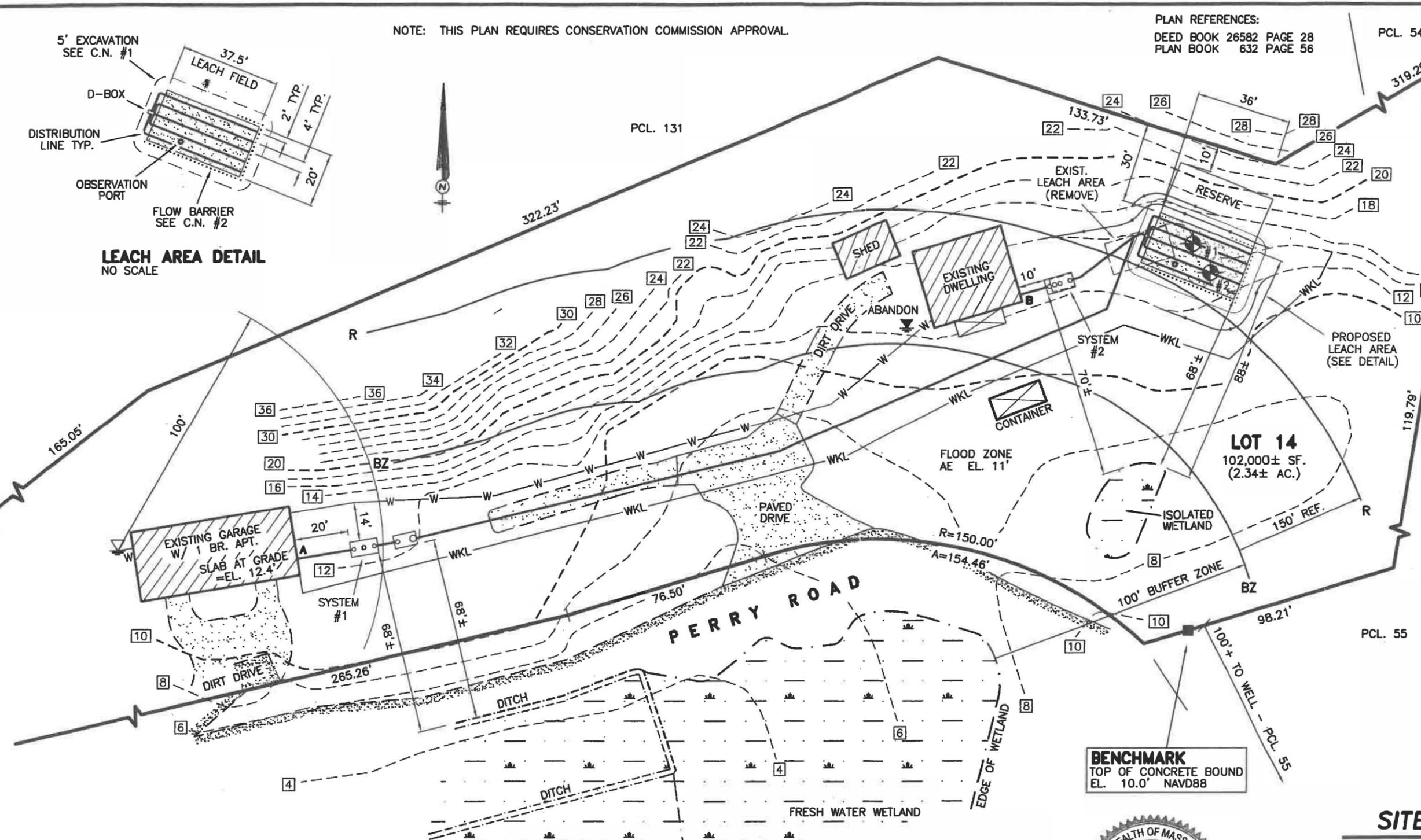


LEGEND

- EXISTING WELL
- EXISTING CONTOUR
- EXISTING WATER LINE (APPROX.)
- EXISTING SEPTIC TANK
- TEST HOLE (PENDING)
- PROPOSED SEPTIC TANK
- PROPOSED CONTOUR
- PROPOSED WELL
- PROPOSED PUMP CHAMBER
- PROPOSED WORK LIMIT



LEACH AREA DETAIL
NO SCALE



LOT 14
102,000± SF.
(2.34± AC.)

BENCHMARK
TOP OF CONCRETE BOUND
EL. 10.0' NAVD88

PCL. 55

**PRELIMINARY
SITE & SEWAGE PLAN**

LOCUS: **15 PERRY ROAD**
TRURO, MA

PREPARED FOR: **PERRY FAMILY LIMITED PARTNERSHIP**
C/O RICHARD & CYNTHIA PERRY

76 R BAYBERRY AVENUE T-17
PROVINCETOWN, MA 02657

REFERENCE: ASSR'S MAP **45** PARCEL **132**

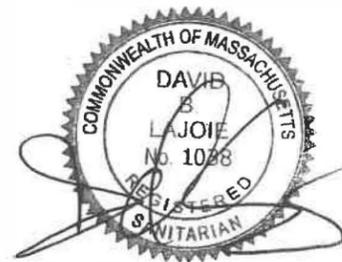
SCALE: 1" = 40' DATE: 9-6-2018
SHEET No. 1 OF 2 JOB No. 16072

NOTES:
PROPERTY LINES ESTABLISHED BY SLADE ASSOCIATES, SURVEYORS.
REFERENCE "SITE PLAN OF LAND IN TRURO" MADE FOR RICHARD B. PERRY BY SLADE ASSOCIATES, INC. DATED REVISED 6-8-2016.

THIS PLAN IS PREPARED FOR COMPLIANCE WITH 310 CMR 15.000
ALL WELLS NOT SHOWN EXCEED 200' FROM LOCUS SEWAGE.
VERIFY ZONING AND UTILITY SETBACK DIMENSIONS PRIOR TO CONSTRUCTION.

VARIANCE REQUESTS

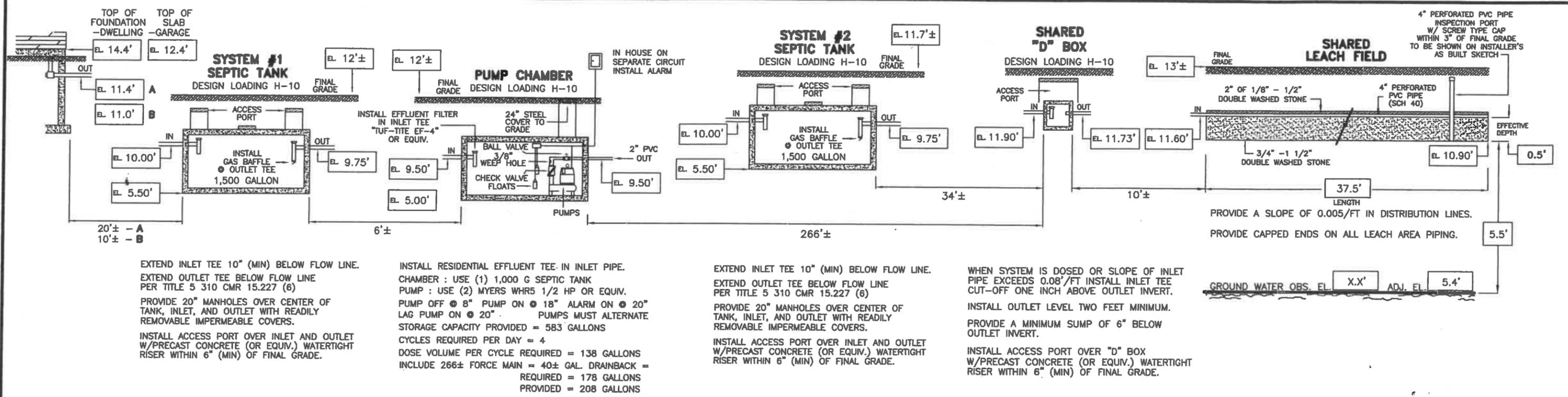
- TRURO BOARD OF HEALTH REGULATIONS
SECTION VI - ARTICLE 2 - VARIANCES
SECTION VI - ARTICLE 8 - REQUIRED SETBACKS
- 82'± FROM LEACH AREA TO ISOLATED WETLAND
 - 62'± FROM RESERVE TO ISOLATED WETLAND
 - 30'± FROM SEPTIC TANK (SYSTEM 2) TO ISOLATED WETLAND
 - 32'± FROM SEPTIC TANK (SYSTEM 1) TO FRESH WATER WETLAND
 - 32'± FROM PUMP CHAMBER TO FRESH WATER WETLAND



12-12-2019

FELCO, INC.
ENGINEERING - LAND SURVEYING
P.O. BOX 1366 ORLEANS, MA 02653
(508) 255-8141 WWW.FELCOENGINEERING.COM

12-11-2019	P.C. LOCATION
10-5-2019	VARIANCES
	REVISIONS



EXTEND INLET TEE 10" (MIN) BELOW FLOW LINE.
 EXTEND OUTLET TEE BELOW FLOW LINE
 PER TITLE 5 310 CMR 15.227 (6)
 PROVIDE 20" MANHOLES OVER CENTER OF
 TANK, INLET, AND OUTLET WITH READILY
 REMOVABLE IMPERMEABLE COVERS.
 INSTALL ACCESS PORT OVER INLET AND OUTLET
 W/PRECAST CONCRETE (OR EQUIV.) WATERTIGHT
 RISER WITHIN 6" (MIN) OF FINAL GRADE.

INSTALL RESIDENTIAL EFFLUENT TEE IN INLET PIPE.
 CHAMBER : USE (1) 1,000 G SEPTIC TANK
 PUMP : USE (2) MYERS WHR5 1/2 HP OR EQUIV.
 PUMP OFF @ 8" PUMP ON @ 18" ALARM ON @ 20"
 LAG PUMP ON @ 20" PUMPS MUST ALTERNATE
 STORAGE CAPACITY PROVIDED = 583 GALLONS
 CYCLES REQUIRED PER DAY = 4
 DOSE VOLUME PER CYCLE REQUIRED = 138 GALLONS
 INCLUDE 266± FORCE MAIN = 40± GAL. DRAINBACK =
 REQUIRED = 178 GALLONS
 PROVIDED = 208 GALLONS

EXTEND INLET TEE 10" (MIN) BELOW FLOW LINE.
 EXTEND OUTLET TEE BELOW FLOW LINE
 PER TITLE 5 310 CMR 15.227 (6)
 PROVIDE 20" MANHOLES OVER CENTER OF
 TANK, INLET, AND OUTLET WITH READILY
 REMOVABLE IMPERMEABLE COVERS.
 INSTALL ACCESS PORT OVER INLET AND OUTLET
 W/PRECAST CONCRETE (OR EQUIV.) WATERTIGHT
 RISER WITHIN 6" (MIN) OF FINAL GRADE.

WHEN SYSTEM IS DOSED OR SLOPE OF INLET
 PIPE EXCEEDS 0.08'/FT INSTALL INLET TEE
 CUT-OFF ONE INCH ABOVE OUTLET INVERT.
 INSTALL OUTLET LEVEL TWO FEET MINIMUM.
 PROVIDE A MINIMUM SUMP OF 6" BELOW
 OUTLET INVERT.
 INSTALL ACCESS PORT OVER "D" BOX
 W/PRECAST CONCRETE (OR EQUIV.) WATERTIGHT
 RISER WITHIN 6" (MIN) OF FINAL GRADE.

SECTION VIEW - SEPTIC SYSTEM COMPONENTS

DEEP OBSERVATION HOLE LOG

1. EL. [] DATE: []

DEPTH	LOWEST ELEVATION	HORIZON	TEXTURE	STRUCTURE	MOTTLING	CONSISTENCE
PENDING						

4. EL. [] DATE: []

DEPTH	LOWEST ELEVATION	HORIZON	TEXTURE	STRUCTURE	MOTTLING	CONSISTENCE
PENDING						

2. EL. [] DATE: []

DEPTH	LOWEST ELEVATION	HORIZON	TEXTURE	STRUCTURE	MOTTLING	CONSISTENCE
PENDING						

3. EL. [] DATE: []

DEPTH	LOWEST ELEVATION	HORIZON	TEXTURE	STRUCTURE	MOTTLING	CONSISTENCE
PENDING						

CONSTRUCTION NOTES

- EXCAVATE ALL UNSUITABLE SOIL 5' AROUND LEACH AREA DOWN TO MEDIUM SAND AND REPLACE WITH CLEAN MEDIUM SAND.
- INSTALL 40 MIL POLYVINYL FLASHING OR EQUIV. AS FLOW BARRIER AS SHOWN IN LEACH AREA DETAIL FROM EL. 12.1' DOWN TO EL. 9.1'.
- WORK LIMIT TO BE STAKED SILT FENCE.



12-12-2019

GENERAL NOTES

- ALL CONTRACTORS AND/OR INSTALLERS ARE RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK AREA.
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTORS AND/OR INSTALLERS: VERIFY ALL WASTE LINE LOCATIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH STATE SANITARY CODE 310 CMR 15.000 AND TOWN BOARD OF HEALTH REQUIREMENTS.
- ELEVATION DATUM IS FROM U.S.G.S. QUAD. MAP. N.A.V.D.
- MUNICIPAL WATER IS AVAILABLE YES NO
- ANY ALTERATIONS TO DESIGN MUST BE APPROVED BY FELCO, INC. AND TOWN BOARD OF HEALTH.
- ALL EXISTING SEWAGE TO BE PUMPED AND FILLED WITH CLEAN MEDIUM SAND.
- SEPTIC TANKS, DOSING CHAMBERS, GREASE TRAPS, AND DISTRIBUTION BOXES SHALL BE INSTALLED WATERTIGHT.
- WHEN SEPTIC TANK, DOSING CHAMBERS, GREASE TRAPS, AND DISTRIBUTION BOXES ARE PLACED IN FILL, PROVIDE A LEVEL STABLE BASE WHICH HAS BEEN MECHANICALLY COMPACTED. VIRGIN GROUND WITH A 6" CRUSHED STONE BASE IS OTHERWISE ADEQUATE.
- GROUND COVER OVER SEPTIC SYSTEM COMPONENTS SHALL NOT EXCEED 36".
- WHEREVER SEWER LINES MUST CROSS WATER SUPPLY LINES, BOTH PIPES SHALL BE CONSTRUCTED OF CLASS 150 PRESSURE PIPE OR EQUIV. AND SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS.
- ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE OR A COMPARABLE MEANS IN ORDER TO LOCATE THEM ONCE BURIED.
- PROVIDE (1) MIN. 4" PERFORATED PVC PIPE INSPECTION PORT PLACED VERTICALLY DOWN TO STONE/SAND INTERFACE W/ SCREW TYPE CAP WITHIN 3" OF FINAL GRADE PER 310 15.240 (13).

DESIGN

EXISTING BEDROOM DWELLING 4
 PROPOSED BEDROOM GARAGE/APARTMENT 1
 BEDROOM TOTAL 5

FLOW DETERMINATION 5

GARBAGE GRINDER NO YES

FLOW RATE = 550 GAL/DAY

SEPTIC TANK SIZING: SYSTEM 1
 110 x 2.0 = 220 GAL/DAY
 USE: 1,500 GAL

SEPTIC TANK SIZING: SYSTEM 2
 440 x 2.0 = 880 GAL/DAY
 USE: 1,500 GAL

LEACHING FACILITY CALCULATIONS:
 PERCOLATION RATE IS < 5 MIN/INCH 1 CLASS

BOTTOM (S.F.) = 750 x 0.74 = 555 GAL/DAY TOTAL

USE: 37.5' LONG x 20' WIDE LEACH FIELD
 W/ 0.5' EFFECTIVE DEPTH

JOB No : 16072	NAME : PERRY FAMILY
DATE : 9-6-2018	SHEET 2 OF 2
REVISIONS : 12-11-2019 P.C. LOCATION	

FELCO, INC.
 ENGINEERING - LAND SURVEYING



TOWN OF TRURO
HEALTH DEPARTMENT
P.O. Box 2030, Truro MA 02666
Tel: 508-241-0202 Fax: 508-349-5508

January 9, 2020

FELCO, Inc.
PO Box 1366
Orleans, MA 02653

RE: 15 Perry Rd (45-132), Perry Family Limited Partnership, V#2020-01 Variance to Truro Board of Health Regulations Section VI, Article 2 (Variances) and 8 (Setbacks), FELCO Plan #16072 dated 12/30/019

Dear Mr. Lajoie,

Please be advised that the Truro Board of Health at their regularly scheduled meeting on January 7, 2020 made a motion regarding the above-referenced variance requests.

FOR YOUR INFORMATION THE MOTION STATED:

Mr. Peters motioned to approve the variances as requested.

Truro Board of Health Regulations: Section VI, Articles 2 & 8

- 1.) 82+/- from leach area to isolated wetland
- 2.) 62+/- from reserve to isolated wetland
- 3.) 30+/- from septic tank (system 2) to isolated wetland
- 4.) 32+/- from septic tank (system 1) to fresh water wetland
- 5.) 32+/- from pump chamber to fresh water wetland

Mr. Silva seconded. Vote: 4-0-0, motion carries.

Should you have any questions, please feel free to contact me at 508-214-0202.

Sincerely,

Arozana Davis
Assistant Health & Conservation Agent

FY1 Planning Board

cc: Jeffrey Ribeiro - Planner
Richard Stevens - Building Commissioner



Town of Truro Planning Board
P.O. Box 2030, Truro, MA 02666

Office of Town Clerk
Treasurer - Tax Collector
2019-011 / SPR
DEC 11 2019
\$250.00 Fee Pd
Received TOWN OF TRURO
By Molly Stevens

APPLICATION FOR COMMERCIAL
SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 12/10/2019

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review pursuant to §70.9 of the Truro Zoning Bylaw
(Note: Site Plan Review shall not be waived in the Seashore District)

1. General Information

Description of Property and Proposed Project The project consists of the construction of a new water department storage building on a previously developed site owned by the applicant. Please refer to the cover letter and attachments for more details.

Property Address 143 Shore Road Map(s) and Parcel(s) Map 19 Parcel 1

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Cody Salisbury, Water Superintendent

Applicant's Legal Mailing Address 2 Mayflower Street, Provincetown, MA 02657

Applicant's Phone(s), Fax and Email 508-487-7060, fax: 508-487-4675

Applicant is one of the following: (please check appropriate box) *Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address Same as applicant

Representative's Name and Address Environmental Partners Group, 1900 Crown Colony Drive, Suite 400, Quincy, MA 02169

Representative's Phone(s), Fax and Email Tel: 617-657-0200, Fax: 617-657-0201, Email: pcm@envpartners.com

2. Waiver(s) Request - The Planning Board may, upon the request of the applicant, pursuant to §70.3.E, waive requirements of §70.3.D, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)

PAUL C. MULLOTT
Applicant(s)/Representative Printed Name(s)

Paul C. Mullott
Applicant(s)/Representative Signature(s)

CODY J. SALISBURY, WATER SUPERINTENDENT
Owner(s) Printed Name(s) or written permission

Cody J. Salisbury
Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.



December 10, 2019

Truro Planning Board
Town of Truro
24 Town Hall Road
Truro, MA 02666

**RE: Town of Provincetown
Proposed Knowles Crossing Department Storage Building
Site Plan Review**

Dear Sir/Madam:

On behalf of the Town of Provincetown, EP is submitting the following documents for Site Plan Review for a proposed Water Department Storage Building at 143 Shore Road in Truro:

- 1) Site Plan Review Form, Checklist, and Criteria Review
- 2) Truro Planning Board Decision (March 16, 2012)
- 3) Certified List of Abutter's
- 4) Drainage System Evaluation
- 5) MESA Project Review Letter
- 6) Cost Estimate
- 7) Proposed Plans

In 2012, EP submitted a site plan review application to the Truro Planning Board for the Knowles Crossing Water Treatment Plant. On March 16, 2012, this application was endorsed by the Truro Planning Board. As part of this endorsement, it was agreed that the Water Department would return to the Planning Board for further review and approval in regards to the demolition of the existing wooden building on site. The decision issued by the Planning Board in 2012 is attached for reference.

The proposed project involves the demolition of the existing 2,670 square-foot wooden Water Chemical Addition Building and the erection of a new 2,970 square-foot Water Department Storage Building. As requested in Article 70.3 of the Truro Zoning Bylaws, Commercial Site Plan Checklist, EP has provided the information required, or are requesting a waiver, as noted below. Items not addressed below have been addressed on the attached checklist.

[Additional Explanations](#)

- 3b.3 Two Foot Existing Contours: Using 1-foot contours within site limits for clarity.
- 3b.6 Free Standing Sign Locations: There are two small existing signs at the site: (1) a sign located at the driveway entrance showing the address, and (2) a sign located on the existing fence entering the facility that lists the owner and indicating "No Trespassing". Both signs will remain as-is with the proposed project.

- 3b.7 National Flood Insurance Program Flood Hazard Elevation: EP requests a waiver from this item because the project site is not located in a Flood Hazard Zone.
- 3b.8 Massachusetts Natural Heritage Endangered Species Act Jurisdiction: As part of the construction process, a Priority Habitat will be disturbed. As such, this project is subject to a MESA review. Refer to EP letter to NHESP dated December 4, 2019 seeking advice on this matter in Attachment 5.
- 3c.3 Location of Parking/Walkways: EP Requests a waiver from this item because the proposed building does not require parking.
- 3c.4 Easements/Legal Conditions: Entirety of site is owned by the Town of Provincetown, and prior conditions for further development were put in place by the March 16, 2012 Planning Board Decision. To meet those conditions, EP is submitting this site review for the demolition of the existing water chemical addition building.
- 3c.8 Proposed Signs: EP requests a waiver from this item because there will be no signs permanently installed within site.
- 3c.10 Outdoor Storage/Display Areas: EP requests a waiver from this item because there will be no new outdoor storage or display areas on the site as part of the proposed new project.
- 3c.11 Refuse Areas: EP requests a waiver from this item because there will be no additional dumpsters on site.
- 3c.13 Location of Wetlands/Notice of Intent: EP requests a waiver from this item because there are no wetlands on the project site, and therefore a Notice of Intent review by the Conservation Commission is not required.
- 3d. Landscaping Plan: All areas disturbed during construction will either be paved or loamed and seeded. Refer to Drawing C-3.
- 3f. Project Estimate: The estimated date of initiation is Mid-April of 2020, with an estimated date of completion of March 2021. The cost of the proposed building, including removal of the existing water chemical addition building, is approximately \$1.4 million. A cost breakdown can be found in Attachment 6.

EP looks forward to meeting with the Planning Board to present the project. Please contact me at 617-657-0276 if you have any questions or comments.

Sincerely,



Environmental Partners Group, Inc.

Paul Millett, P.E.

Principal

P: 617.657.3417

E: pcm@envpartners.com

Cc: Cody Salisbury, Town of Provincetown

Attachments:

1. An original and 14 copies of the Site Plan Review Form, Checklist, and Criteria Review
2. 15 copies of the Truro Planning Board Decision (March 16, 2012)
3. 15 copies of the Certified Abutter's List
4. 15 copies of the Drainage System Evaluation (3 stamped)
5. 15 copies of the MESA Project Review Letter
6. 15 copies of the Cost Estimate
7. 15 copies of the Proposed Plans, dated December 2019

ATTACHMENT 1

Review Form



Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR COMMERCIAL SITE PLAN REVIEW

To the Town Clerk and the Planning Board of the Town of Truro, MA Date 12/10/2019

The undersigned hereby files an application with the Truro Planning Board for the following:

- Site Plan Review** pursuant to §70 of the Truro Zoning Bylaw
- Waiver of Site Plan Review** pursuant to §70.9 of the Truro Zoning Bylaw
(Note: *Site Plan Review shall not be waived in the Seashore District*)

1. General Information

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Property Address 143 Shore Road Map(s) and Parcel(s) Map 19 Parcel 1

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Applicant's Name Cody Salisbury, Water Superintendent

Applicant's Legal Mailing Address 2 Mayflower Street, Provincetown, MA 02657

Applicant's Phone(s), Fax and Email 508-487-7060, fax: 508-487-4675

Applicant is one of the following: (please check appropriate box)

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address Same as applicant

Representative's Name and Address Environmental Partners Group, 1900 Crown Colony Drive, Suite 400, Quincy, MA 02169

Representative's Phone(s), Fax and Email Tel: 617-657-0200, Fax: 617-657-0201, Email: pcm@cnvpartners.com

2. Waiver(s) Request – The Planning Board may, upon the request of the applicant, pursuant to §70.3.E, waive requirements of §70.3.D, provided that in the opinion of the Planning Board such a waiver would not be detrimental to the public interest, cause the Town any expense, or be inconsistent with the intent and purpose of this Bylaw. A request for a waiver by the applicant shall be accompanied by a reasonable explanation as to why the waiver is being requested. If multiple waivers are requested, the applicant shall explain why each waiver is requested.

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.

Signature(s)

PAUL C. MILLOTT

Applicant(s)/Representative Printed Name(s)

Paul C. Millett

Applicant(s)/Representative Signature(s)

CODY J. SALISBURY, WATER SUPERINTENDENT

Owner(s) Printed Name(s) or written permission

Cody J. Salisbury

Owner(s) Signature(s) or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

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70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: 143 Shore Road		Applicant Name: Cody Salisbury		Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed	
<u>D. Procedures and Plan Requirements</u>					
1a.	An original and 14 copies of the Application for Site Plan Review	X			
1b.	15 copies of the required plans and other required information including this Checklist	X			
1c.	Completed Criteria Review	X			
1d.	Certified copy of the abutters list obtained from the Truro Assessors Office	X			
1e.	3 copies of drainage calculations stamped by a Professional Engineer	X			
1f.	Applicable filing fee	X			
1g.	Any other information that may be applicable or required by the Planning Board	X			
	Site Plans				
2a.	Site Plans shall be prepared, signed and stamped by a Registered Land Surveyor and Professional Engineer	X			
2b.	Site Plans shall be prepared at a scale of one inch equals forty feet (1"=40') or larger	X			
3a.	General - Submitted plans shall contain the following: North Arrow/Location Map: A north arrow and a locus plan containing sufficient information to locate the subject property, such as streets bounding or providing access to the property.	X			
3a. 1					
3a. 2	Zoning Information: All applicable Zoning Bylaw information regarding the site's development, both existing and proposed. This information shall be placed in a table format which must list all parking; setbacks; percent of lot coverage, broken down by parking, walkways, building(s), etc.; number of dwelling units; total amount of square feet; size of signs, and any other applicable zoning information necessary for the proper review of the site plan.	X		See table on Sheet C-2	
	<u>Existing:</u>				
	All parking	X		See table on Sheet C-2	
	All setbacks	X			
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	X			
	Number of dwelling units	X			
	Total amount of square feet	X			

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: 143 Shore Road		Applicant Name: Cody Salisbury	Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed
	Size of signs	X	X	See Cover Letter for more information.
	Any other applicable zoning information necessary for the proper review of the site plan	X		
	<u>Proposed:</u>			
	All parking	X		See table on Sheet C-2
	All setbacks	X		
	Percent (%) of lot coverage broken down by parking, walkways, building(s), etc.	X		
	Number of dwelling units	X		
	Total amount of square feet	X		
	Size of signs	X		
	Any other applicable zoning information necessary for the proper review of the site plan	X		
3a. 3	Assessor and Deed Information: The Truro Assessors Atlas Map(s) and Parcel(s) numbers and all plan and deed references.			
3a. 4	Graphic Scale	X		
3a. 5	Title Block - Including:	X		
	Name and description of the project	X		
	Address of the property	X		
	Names of the record owner(s) and the applicant(s)	X		
	Date of the preparation of the plan(s) and subsequent revision dates	X		
3a. 6	Legend of all symbols	X		
3b.	Existing Conditions Plan - showing the following:			
3b. 1	Total area and dimensions of the lot shown on a surveyed plan conforming to the requirements of the Barnstable County Registry of Deeds.			
3b. 2	Location of existing buildings (including the number of stories, overall height in feet, and gross floor area in square feet of all existing buildings), parking, drives, walks, lighting service areas, all utilities, drainage facilities, easements, and other appurtenances, including setbacks from property lines.	X		Refer to Sheet C-1
	Location of existing buildings	X		
	Number of stories	X		

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: 143 Shore Road		Applicant Name: Cody Salisbury		Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed	
	Overall height in feet	X			
	Gross floor area in square feet	X			
	Parking	X			
	Drives	X			
	Walks	X			
	Lighting service areas	X			
	All utilities	X			
	Draining facilities	X			
	Easements	X			
	Other appurtenances	X			
	Setback from property lines	X			
3b. 3	Existing contours based on two foot (2') contour intervals.	X		See Cover Letter for more information.	
3b. 4	General location of trees having a caliper of ten (10) inches or more diameter at breast height (DBH), all resource areas as defined in M.G.L. Chapter 131, Section 40, landscaping and other significant natural features.	X		Refer to Sheet C-1. No trees are within the limit of work.	
3b. 5	Respective floor areas and/or square footage of existing uses of buildings and/or the property.	X		Refer to Sheet C-1	
3b. 6	Existing location(s) of any freestanding sign(s).	X		See Cover Letter for more information.	
3b. 7	National Flood Insurance Program flood hazard elevation.		X	See Cover Letter for more information.	
3b. 8	Massachusetts Natural Heritage Endangered Species Act jurisdiction.	X		See Cover Letter for more information.	
3c.	Proposed Conditions Plan - showing the following:	X			
3c. 1	Building Location: Identification of all building(s) to be located on the site. The number of stories, overall height in feet and gross floor area in square feet of all buildings shall be indicated.	X		Refer to Sheet C-2	
3c. 2	Building Elevation: A drawing(s) of the exterior of all building(s), as viewed from all sides, including dimensions, at a scale of no smaller than 1/8" = 1'-0". This drawing must be at least 8" x 11" in size.	X		Refer to Sheets A1.1, A2.1, and A2.2	

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: 143 Shore Road		Applicant Name: Cody Salisbury		Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed	
3c. 3	Location of Parking/Walkways: Identification of the location of all parking and walkways, including curb cuts that will be used for site access from adjacent roadways or access points. Parking shall be consistent with the requirements outlined in §30.9.	X	X	See Cover Letter for more information.	
3c. 4	Easements/Legal Conditions: Identification of legal encumbrances(s), including easements, that are related to the site's physical development, and a listing of any condition(s) placed upon the site by the Zoning Board of Appeals, Planning Board, Conservation Commission, Board of Health or any other public body or agency with the authority to place conditions on the site's development.	X		See Cover Letter for more information.	
3c. 5	Stormwater Drainage: All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.	X		Refer to Sheets C-2 and C-3 & Attachment 4: Drainage System Evaluation	
3c. 6	Grades: Topography and a grading plan of the site.	X		Refer to Sheet C-3	
3c. 7	Location of Walls: Identification of the location, height, length, and materials to be used for all retaining walls to be located on the site.	X		Refer to Sheet C-2	
3c. 8	Signs: Identification of the location, height and materials to be used for all signs to be located on the site. Signs will be reviewed using the Town of Truro Sign Code section of the zoning bylaw.		X	See Cover Letter for more information.	
3c. 9	Location of Streets/Drives: Identification of all streets and driveways including the type and dimensions of curbs and gutters. Distances to all the nearest streets and/or curb cuts shall be shown for both sides of any street which is adjacent to the site.	X		Refer to Sheet C-3	
3c. 10	Outdoor Storage/Display Areas: Identification of the location and type of outdoor storage and display areas on the site.		X	See Cover Letter for more information.	
3c. 11	Refuse Areas: Identification of the location of each outdoor refuse storage area, including the method of storage and screening. All refuse areas must be fully enclosed.		X	See Cover Letter for more information.	

70.3 - COMMERCIAL SITE PLAN REVIEW CHECKLIST - Applicant

Address: 143 Shore Road		Applicant Name: Cody Salisbury		Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed	
3c. 12	Lighting Facilities: Identification of all illumination, including numbers and locations, indicating the direction and the degree of illumination offered by the lighting facilities and including specifications of the light fixture(s) to be used. (Also see General Bylaws Ch. IV §6.)	X		Refer to Sheet A-1.1. Outdoor lights will be motion-activated.	
3c. 13	Location of Wetlands and Other Resource Areas: All resource areas as defined in M.G.L. Chapter 131, Section 40. (If applicable, the applicant shall file a Notice of Intent with the Truro Conservation Commission concurrently with the application to the Planning Board for Site Plan Review.)		X	See Cover Letter for more information.	
3c. 14	Location and Description of Utilities. Identification of all utilities, including sewer line locations and profiles and storm drainage systems.	X		Refer to Sheet C-1	
3c. 15	Parking and Driveway Cross Section: a cross section identifying the proposed construction of driveways and parking areas on the site.	X		Refer to Sheet CD-1 for cross-section of paved area.	
3c. 16	Limit of work area (area to be disturbed during construction, including parking and storage of vehicles and equipment) and work staging area(s).	X		Refer to Sheet C-2	
3d.	Proposed landscape schedule for, and identification of, the location of all perimeter and interior landscaping – showing the following:	X		See Cover Letter for more information.	
	Proposed paving materials for walkways		X		
	Fences		X		
	Stonewalls		X		
	All planting materials to be placed on the site	X			
	All existing trees over 10 inches diameter at breast height (DBH) to be saved or removed shall be shown on the site plan	X			
3e.	Building Plans – at a scale of no less than 1/8" = 1'-0" showing the following:	X		Refer to Sheets A-1.1, A-2.1, A-2.2.	
3e. 1	Elevations showing exterior materials and features including but not limited to doors, windows, trim, roof, lighting and including the height of the building(s).	X			
3e. 2	Floor plans with dimensions.	X			
3f.	Project Estimate:				
	Estimated date of initiation	X		See Cover Letter for more information	
	Estimated time required to complete the proposed project and any and all phases thereof	X		See Cover Letter for more information	
	Written cost estimate with a breakdown of the building(s) and all site improvements	X		See Attachment 6.	

ADDRESSING THE REVIEW CRITERIA

§ 70.1 PURPOSE

The purpose of Site Plan Review for Commercial Development and for Residential Development is to protect the health, safety, convenience and general welfare of the inhabitants of the Town. It provides for a review of plans for uses and structures which may have significant impacts, both within the site and in relation to adjacent properties and streets; including the potential impact on public services and infrastructure; pedestrian and vehicular traffic; significant environmental and historic resources; abutting properties; and community character and ambiance.

Instructions: Please provide the Planning Board with a short explanation of how your application meets each of the review criteria of §70.3F of the Truro Zoning Bylaw. If you require extra space for your answers, please attach the additional information to your application in no more than two pages. This is to provide the Planning Board with an overview of your rationale prior to the meeting.

§70.3F – REVIEW CRITERIA/DESIGN GUIDELINES

The Planning Board will review applications and their supporting information based on the following:

1. The proposal is in conformity with all applicable provisions of the Zoning Bylaw because:

The proposed storage building is a replacement for the existing wooden building that is past its useful life. The replacement of the existing storage building was envisioned as part of the prior approval issued by the Planning Board in March of 2012.

2. The proposal provides for the protection of abutting properties and the surrounding area from detrimental site characteristics and from adverse impact from excessive noise, dust, smoke, or vibration higher than levels previously experienced from permitted uses because:

The proposed building essentially replaces the existing storage building. There is no planned change in use.

3. The proposal provides for the protection of adjacent properties and the night sky from intrusive lighting, including parking lot and building exterior lighting. Lighting must be consistent with Chapter IV, Section 6 of the General Bylaws of the Town of Truro because:

Exterior building lighting will be motion-activated, minimizing impacts .

4. The proposal provides for the protection of significant or important natural, historic, or scenic features because:

There will be no impact to the natural, historic, or scenic features.

5. The building sites shall minimize obstruction of scenic views from publicly accessible locations; minimize tree, vegetation, and soil removal and grade changes; and maximize open space retention because:

The proposed building replaces the existing storage building with minimal site changes.

6. The proposal adequately provides for refuse disposal because:

There will be no changes to refuse disposal.

7. The proposed sewage disposal and water supply systems within and adjacent to the site shall be adequate to serve the proposed use because:

The proposed building will use the existing water and sewer systems built as part of the 2012 Water Treatment Plant Project.

8. The proposed drainage system within the site shall be adequate to handle the runoff resulting from the development. Drainage run-off from the project shall not: damage any existing wellfield(s) or public water supply; damage adjoining property; overload, silt up or contaminate any marsh, swamp, bog, pond, stream, or other body of water; or interfere with the functioning of any vernal pool because:

The drainage system on-site is adequate to handle the site drainage. Refer to the stormwater calculations in the memorandum dated November 27, 2019.

9. A soil erosion plan shall adequately protect all steep slopes within the site and control runoff to adjacent properties and streets both during and after construction because:

Site grading changes are minimal.

10. The proposal shall provide for structural and/or landscaped screening or buffers for storage areas, loading docks, dumpsters, rooftop or other exposed equipment, parking areas, utility buildings and similar features viewed from street frontages and residentially used or zoned premises because:

The proposed building is shorter in height than the existing storage building. Equipment and Water Department supplies will be stored inside the building.

11. Buildings and structures within the subject site shall relate harmoniously to each other in architectural style, site location, and building exits and entrances. Building scale, massing, materials, and detailing should be compatible with the surrounding area because:

The proposed building is a simple, pre-engineered metal storage building with a standing seam metal roof, similar to the Water Treatment Plant roof.

12. Electric, telephone, cable, and other such utility lines and equipment shall be placed underground because:

Existing electrical and telephone services to the site are overhead on existing utility poles. The new services to the building will be underground.

13. The project shall not place excessive demands on Town services because:

There will be no demand on the Town of Truro's services.

14. The location and number of curb cuts shall be minimized to reduce turning movements and hazardous exits and entrances. Where appropriate and allowable, access to adjoining properties shall be provided. Joint access driveways between adjoining properties shall be encouraged because:

There are no curb cuts.

15. Convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent and other ways serving the project shall be maximized. Traffic patterns for vehicles and pedestrians must show safe and adequate circulation within and access to and from the site because:

Traffic pattern will be the same as the current traffic pattern.

16. A bicycle rack(s) shall be provided on the site and shall be located near the entrance to the building(s) because:

This is not applicable. The building is a storage building for Water Department vehicles and water meters. Staff typically use cars and pickup trucks each day to get to and from the site.

ATTACHMENT 2

2012 Planning Board Decision



TOWN OF TRURO

Planning Board

P.O. Box 2030, Truro, MA 02666
Tel: (508) 349-7004 Fax: (508) 349-5505

March 16, 2012

Mark White
Environmental Partners Group
1900 Crown Colony Drive, Suite 402
Quincy, MA 02169

Re: Site Plan Review for 143 Shore Road
Town of Provincetown – Knowles Crossing

Dear Mr. White:

Enclosed please find the decision letter resulting from your appearance before the Truro Planning Board on March 13, 2012. Please know that there is also a copy of the endorsed plan for you here in my office. As this is not a Special Permit there is not a 20-day appeal period (MGL c.40A, §17); however just as with a building permit there is 30 day appeal under MGL c.40A, §§8 and 15.

Pursuant to §70.7.C it is the responsibility of the applicant to file a copy of the decision with the Barnstable County Registry of Deeds, or Land Court, as applicable, prior to the issuance of a building permit. Evidence of such recording shall be filed with the Building Commissioner. The Town Clerk cannot certify that no appeal has been taken regarding this matter; however a copy of the Board's decision, the application and applicable plans have been filed with that office. The Town Clerk can provide you with a true copy attest, if the Registry requires such a document for recording purposes.

If you have any questions or comments, please do not hesitate to contact me.

Very truly yours,

Charleen L. Greenhalgh
Assistant Town Administrator/Planner

Enc. (1)

cc: David Guertin, Provincetown DPW
Building Commissioner
Town Clerk



COMMONWEALTH OF MASSACHUSETTS
TOWN OF TRURO
PLANNING BOARD – NOTICE OF ACTION

SITE PLAN REVIEW

Atlas Sheet 19 Parcel 1

143 Shore Road, Truro

Applicant Town of Provincetown

Meeting Date 2/21/12, 2/24/12 & 3/13/12

Decision Date March 13, 2012

At a public hearing opened February 21, 2012, continued to February 24, 2012 and continued to and closed March 13, 2012 the Town of Truro Planning Board, acting in the matter of Site Plan Review for 143 Shore Road (Knowles Crossing), voted to endorse an application for the Town of Provincetown for the construction of a new water treatment plant the location of the Town's existing water supply well field pursuant to Section 70 of the Truro Zoning Bylaws.

Determination of Completeness of Application

On a motion from Mr. Worthington, seconded by Mr. Pendleton, the Board found that the application for Site Plan Review was complete. The Board's vote was five in favor (Worthington, Weinstein, Morris, Pendleton and Snow) and two abstentions (Childs and Brown.)

Decision

On a motion from Ms. Snow, seconded by Mr. Weinstein, the Board voted to endorse, with conditions, the Site Plan for the Town of Provincetown, pursuant to §70.2.A of the Truro Zoning By-Law for the construction of a new water treatment plant at the location of the Town's existing water supply well field at property located at 143 Shore Road, Atlas Sheet 19, Parcel 1. This is based on the fact that this plan has been submitted in accordance with the regulations and procedures as outline in this section, and substantially complies with §70.6, Review Criteria and Design Guidelines, and furthermore the site plan complies with all current bylaw requirements of the Town. Further that the following conditions were agreed to by the Applicant:

1. Prior to the removal/demolition of any part of the existing two story wood frame building, the applicant shall return to the Planning Board for further review and approval of the site, including, but not limited to access and parking.
2. The curb stops are to be relocated to allow for the 20' parking space requirement.
3. A layer of wood chips, 4" minimum, shall be placed on the ground between the earthened mound and the state highway at the point of the recent water line installation.

The Board's decision referenced the following plans and information:

1. Application dated 1/12/12
2. Cover Letter dated January 17, 2012
3. Memo dated January 16, 2012 from EPG, Subject: Proposed Knowles Crossing Water Treatment Plant, Stormwater System Design
4. Memo dated January 16, 2012 from EPG, Subject: Proposed Knowles Crossing Water Treatment Plant, Exterior Lighting

Certified Abutters List

5. March 2, 2012 letter, RE: Revised Site Plans for Proposed Knowles Crossing Water Treatment Plant, including a Figure 1, which shows the reduction in the limit of work.
6. Set of Plans – Town of Provincetown, Knowles Crossing Water Treatment Plant, dated January 2012, with Drawings Revised as of 2/28/12 for the following Sheets: C-0, C-1, C-2, C-3, C-4, C-5, C-6, C-7, C-8, C-9, C-10, C-11 and L-1. The plans are as follows:
 - a) Cover Sheet
 - b) Sheet No. C-0: Overall Site Plan
 - c) Sheet No. C-1: Civil Legend and Key Plan, Revised 2/28/12
 - d) Sheet No. C-2: Existing Conditions and Demolition Plan I, Scale 1" = 30', Revised 2/28/12
 - e) Sheet No. C-3: Existing Conditions and Demolition Plan II, Scale 1" = 30', Revised 2/28/12
 - f) Sheet No. C-4: Site Layout Plan, Revised 2/28/12
 - g) Sheet No. C-5: Grading and Drainage Plan, Revised 2/28/12
 - h) Sheet No. C-6: Site Utilities Plan, Revised 2/28/12
 - i) Sheet No. C-7: Sand Filter Plan and Section, Revised 2/28/12
 - j) Sheet No. C-8: Civil Details I
 - k) Sheet No. C-9: Civil Details II
 - l) Sheet No. C-10: Civil Details III
 - m) Sheet No. C-11: Civil Details IV
 - n) Sheet No. A-1: Floor Plan
 - o) Sheet No. A-2: Roof Plan
 - p) Sheet No. A-3: Exterior Elevations
 - q) Sheet No. A-4: Exterior Elevations
 - r) Sheet No. A-5: Building Sections
 - s) Sheet No. L-1: Landscaping Plan

Waivers

The following waivers from the provisions of Section 70.5.D of the Truro Zoning By-law were approved as presented by the applicant:

12. Location of Wetlands./Notice of Intent
13. Location of Walls/Signs
15. Outdoor Storage/Display Area
17. Refuse Area
20. Traffic Impact Study
21. Commonwealth Review
23. Fiscal Impact
24. Community Impact
25. Project Estimate: Please refer to January 17, 2012 letter from EPG.

The Board vote: In favor: Worthington, Weinstein, Pendleton, Morris and Snow
 Abstain: Brown and Childs

ATTACHMENT 3

Abutter's List

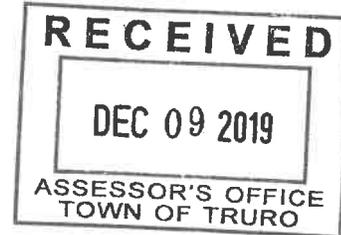


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 12/4/2019

NAME OF APPLICANT: Cody Salisbury, Provincetown Water Department Superintendent

NAME OF AGENT (if any): Environmental Partners Group, Inc.

MAILING ADDRESS: 18 Commerce Way, Suite 2000, Woburn, MA 01801

CONTACT: HOME/CELL 617-657-0291 EMAIL slc@envpartners.com

PROPERTY LOCATION: 143 Shore Road, Truro, MA (Property owned by Provincetown)
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 19 PARCEL 1 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input checked="" type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other <u>Per discussion with Laura G. on 12/4, I am aware that results will be sent by email</u> (Fee: Inquire with Assessors)
(Please Specify) | | |

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: Dec 9, 2019 Date completed: Dec 9, 2019

List completed by: Laura Geiges

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: December 9, 2019

To: Environmental Partners Group Inc. (for Provincetown Water Dept)

From: Assessors Department

Certified Abutters List: 143 Shore Road (Map 19 Parcel 1)

Site Plan

Attached is a combined list of abutters for the properties located at 143 Shore Road. The current owner is the Town of Provincetown.

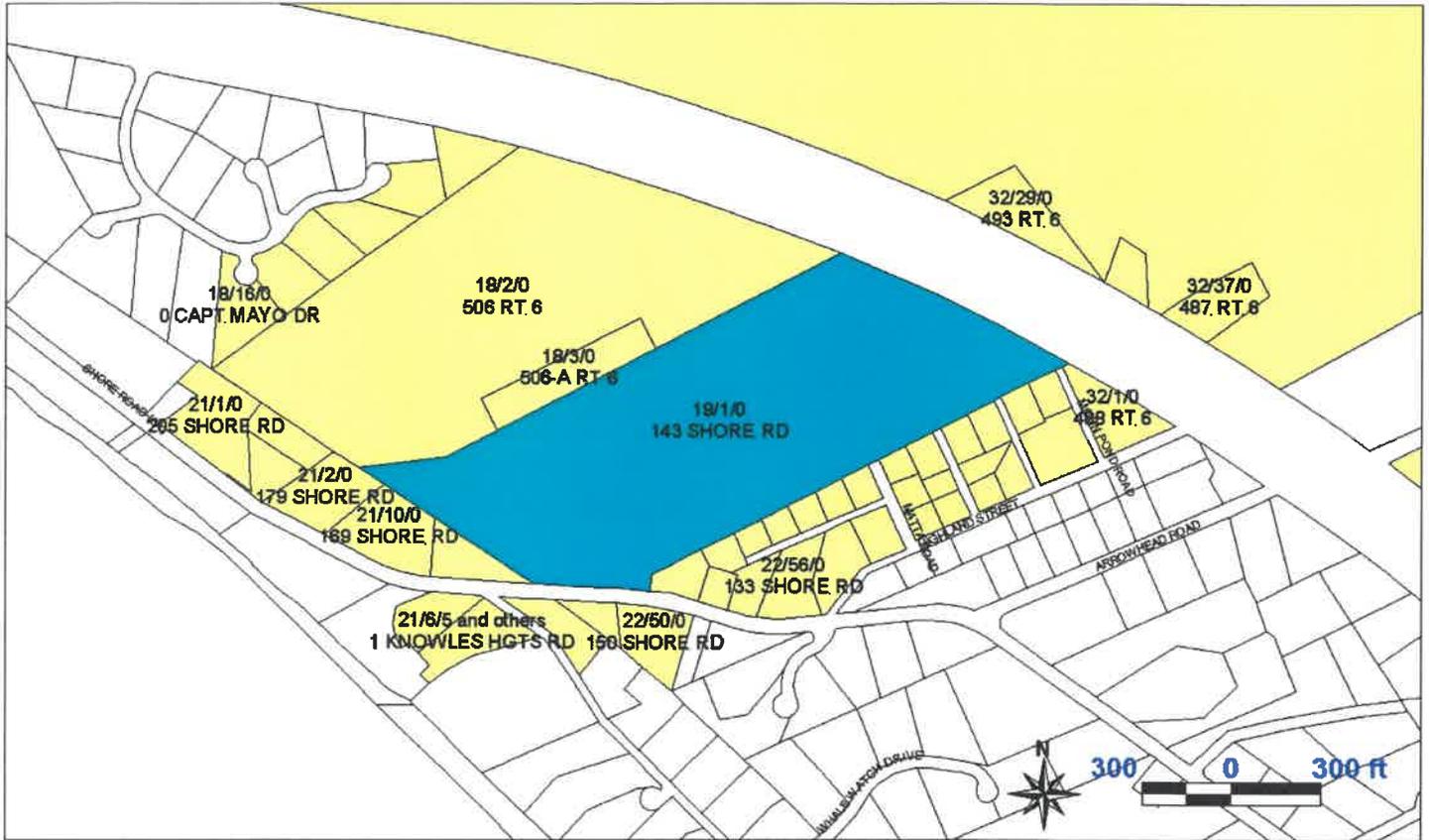
The names and addresses of the abutters are as of December 6, 2019 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: 

Laura Geiges
Assistant Assessor

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
400	18-2-0-E	TOWN OF TRURO	506 RT 6	PO BOX 2030	TRURO	MA	02666-2030
401	18-3-0-E	TOWN OF PROVINCETOWN	506-A RT 6	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
409	18-11-0-E	TOWN OF TRURO	524 RT 6	PO BOX 2030	TRURO	MA	02666-2030
410	18-12-0-E	TOWN OF TRURO	0 CAPT MAYO DR	PO BOX 2030	TRURO	MA	02666-2030
411	18-13-0-E	TOWN OF TRURO	0 CAPT MAYO DR	PO BOX 2030	TRURO	MA	02666-2030
412	18-14-0-E	TOWN OF TRURO CONSERVATION COMMISSION	0 CAPT MAYO DR	PO BOX 2030	TRURO	MA	02666-2030
413	18-15-0-E	TOWN OF TRURO CONSERVATION COMMISSION	0 CAPT MAYO DR	PO BOX 2030	TRURO	MA	02666-2030
414	18-16-0-E	COMMONWEALTH OF MASS DEPT OF ENVIRONMENTAL MGMT	0 CAPT MAYO DR	251 CAUSEWAY ST SUITE 600	BOSTON	MA	02114
416	19-1-0-E	TOWN OF PROVINCETOWN	143 SHORE RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
417	19-2-0-R	HARHUT NANCY L & LARKIN CATHERINE M	4 MOON POND RD	290 PARKER ST	NEWTON	MA	02459
421	21-1-0-E	TOWN OF TRURO	205 SHORE RD	PO BOX 2030	TRURO	MA	02666-2030
422	21-2-0-R	TERRACE DUNES REALTY TRUST TRS: RODRICKS RICHARD	179 SHORE RD	PO BOX 146	NO TRURO	MA	02652-0146
5761	21-5-1-R	HANLON MARK	168 SHORE RD	BOX 890	N EASTHAM	MA	02651
5762	21-5-2-R	LANDERS CHRISTINE & GAYLE M & SEWELL JENNIFER	168 SHORE RD	89 THE MEADOWS	ENFIELD	CT	06082
5763	21-5-3-R	MYERS JOY A	168 SHORE RD	1680 WOLF RUN DR	RICHFIELD	WI	53076

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Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
5764	21-5-4-R	PILARSKI CYNTHIA & VONFLATERN JAN K	168 SHORE RD	PO BOX 1182	PROVINCETOWN	MA	02657
5765	21-5-5-R	STUBBS ROBERT M & WALLEN PAUL	168 SHORE RD	43 LAKE RD	WOODBURY	CT	06798-2326
5766	21-5-6-R	FLOYD RANDALL R	168 SHORE RD	586 COMMERCIAL STREET, UNIT 8	PROVINCETOWN	MA	02657
5767	21-5-7-R	SAGERIAN JEAN M	168 SHORE RD	36 NEW BOSTON RD	STURBRIDGE	MA	01566
5768	21-5-8-R	TADDEI ANTHONY JR & BRIGHT KAREN T	168 SHORE RD	15 PRINCE PLACE	LITTLE SILVER	NJ	07739
5769	21-5-9-R	HOGAN DEBRA A & STOPA TRACY	168 SHORE RD	583 FREEDOM PLAINS RD	POUGHKEEPSIE	NY	12603
5770	21-5-10-R	ARUTE MICHAEL C & KRISTEN G	168 SHORE RD	PO BOX 106	ACCORD	MA	02018
5771	21-5-11-R	FITZGERALD CATHLEEN F	168 SHORE RD	418 N MAPLE DR UNIT D	BEVERLY HILLS	CA	90210
5772	21-5-12-R	AGUANNO ANTHONY & DUNN JESSIE	168 SHORE RD	67 QUAIL RUN	GLASTONBURY	CT	06033-2738
5773	21-5-13-R	PEAK JOHN P & FORD JOAN M	168 SHORE RD	PO BOX 136	NO TRURO	MA	02652-0136
6950	21-5-14-E	HARBOR VIEW VILLAGE CONDO TR TRS: JOHN PEAK, JOAN FORD &	168 SHORE RD	JEAN SAGERIAN PO BOX 136	NO TRURO	MA	02652
6418	21-6-1-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6419	21-6-2-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6420	21-6-3-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6421	21-6-4-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6422	21-6-5-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6423	21-6-6-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T	1 KNOWLES HGTS RD	PO BOX 174	NO TRURO	MA	02652-0174
6970	21-6-7-E	SUNSET BLUFF CONDO TRUST	1 KNOWLES HGTS RD	1 KNOWLES HGTS RD	NO TRURO	MA	02652
485	21-9-0-R	KELKIM REALTY TRUST TRS: SULLIVAN KIM M & KELLEY A	154 SHORE RD	C/O SULLIVAN KIM 88 FALMOUTH RD	HYANNIS	MA	02601
486	21-10-0-R	BEACH POINT CO-OP REC HSG ASSO	169 SHORE RD	C/O KATHY DUNN 20 DOLGE CT	CHARLTON	MA	01507
487	21-11-0-R	RODRICKS FAMILY LTD PARTNERSHP	147 SHORE RD	PO BOX 146	NO TRURO	MA	02652-0146
488	21-13-0-R	WALKER BERTA	4 KNOWLES HGTS RD	208 BRADFORD ST	PROVINCETOWN	MA	02657
5657	21-14-0-R	SILVA ALBERT & NANCY NOM TR TRS: SILVA ALBERT R & NANCY R	187 SHORE RD	PO BOX 122	NO TRURO	MA	02652
5658	21-15-0-R	SILVA ALBERT & NANCY NOM TR TRS: SILVA ALBERT R & NANCY R	187-A SHORE RD	PO BOX 122	NO TRURO	MA	02652
489	22-1-0-R	KING ZIMMERMANN LIVING TRUST TRS: ZIMMERMANN PETER H	16 HIGHLAND AVE	535 OLD ROAD TO 9 ACRE CORNER	CONCORD	MA	01742-4123
490	22-2-0-E	TOWN OF PROVINCETOWN	5 HIGHLAND TERR	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
491	22-3-0-E	TOWN OF PROVINCETOWN	4 HIGHLAND TERR	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
492	22-4-0-E	TOWN OF PROVINCETOWN	0 CHADWICK RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
493	22-5-0-E	TOWN OF PROVINCETOWN	0 CHADWICK RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
494	22-6-0-E	TOWN OF PROVINCETOWN	0 MATTA RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
495	22-7-0-E	TOWN OF PROVINCETOWN	0 MATTA RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
496	22-8-0-E	TOWN OF PROVINCETOWN	0 SUNSET RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
497	22-9-0-E	TOWN OF PROVINCETOWN	0 SUNSET RD	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
498	22-10-0-R	RODERICK PATRICIA ANN LIV TRST TRS: RODERICK PATRICIA ANN	7 SUNSET RD	PO BOX 331	TRURO	MA	02666-0331
499	22-11-0-R	SUNSET REALTY TRUST TRS: ROGERS JEFFREY & STACY	9 SUNSET RD	PO BOX 550	NO TRURO	MA	02652
500	22-12-0-R	ROGERS JOSEPH N	11 SUNSET RD	34 NASH HILL RD	WILLIAMSBURG	MA	01096
501	22-13-0-R	MAGNA VIEW REALTY TR THE TRS: LEONARD LEE B	139 SHORE RD	39 ORCHARD ST	BYFIELD	MA	01922
502	22-14-0-R	137 SHORE RD RLTY TR II TRS: PETKAUSKOS VICTOR A	137 SHORE RD	137 POND ST PO BOX 608	OSTERVILLE	MA	02655
503	22-19-0-R	HAUTANEN HENRY H JR -LE RMNDR: GROZIER CHRISTINE H	3 MATTA RD	C/O HAUTANEN HENRY H JR PO BOX 47	NO TRURO	MA	02652-0047
504	22-20-0-R	WARD JOHN T & EDGAR JUDY A	4 CHADWICK RD	PO BOX 672	PROVINCETOWN	MA	02657-0672
505	22-21-0-R	WILLARD GWENDOLEN	3 CHADWICK RD	PO BOX 533	NO TRURO	MA	02652-0533

LG 12/9/19

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
506	22-22-0-R	HAWKEY KENNETH J & BRISCOE STEPHEN M	14 HIGHLAND AVE	PO BOX 442	NO TRURO	MA	02652-0442
507	22-24-0-R	MORIARTY ERIN & SEAN ET AL	12 HIGHLAND AVE	PO BOX 265	NO TRURO	MA	02652
508	22-25-0-R	MORIARTY JOAN C	10 HIGHLAND AVE	PO BOX 265	NO TRURO	MA	02652-0265
509	22-26-0-R	FERRARI-SCACCO CARLA T	1 MATTA RD	PO BOX 118	NO TRURO	MA	02652-0118
510	22-27-0-R	OTOOLE MICHAEL & SUSAN	6 HIGHLAND AVE	194 MCCULLOCH PL	RENSSELAER	NY	12144
511	22-29-0-R	VENINGER JAMES M & LAURIE R	2 HIGHLAND AVE	PO BOX 120	NO TRURO	MA	02652-0120
586	22-50-0-R	TOPSIDE REALTY TR TRS: ROSE DIANE A	150 SHORE RD	c/o BONNIE BROWN-BONSE PO BOX 386	N TRURO	MA	02652
592	22-56-0-R	ANNESE ROBERTA V	133 SHORE RD	PO BOX 615	PROVINCETOWN	MA	02657-0615
593	22-57-0-R	ANNESE ROBERTA V	135 SHORE RD	PO BOX 615	PROVINCETOWN	MA	02657
668	32-1-0-R	FORD SHAWN P & PERZ PAUL M	488 RT 6	2B ALVIN RD	SWAMPSCOTT	MA	01907
696	32-29-0-E	TOWN OF PROVINCETOWN	493 RT 6	C/O WATER DEPT 260 COMMERCIAL ST	PROVINCETOWN	MA	02657
697	32-30-0-R	CROOKS JENNIFER P	489 RT 6	PO BOX 374	PROVINCETOWN	MA	02657
5794	32-37-0-E	U S A DEPT OF THE INTERIOR	487 RT 6	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 XXXXXXXXXXXXXXXXXXXXX	99 Marconi Site Rd	Wellfleet	MA	02667

LG 12/9/19

<p>18-2-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>	<p>18-3-0-E</p> <p>TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657</p>	<p>18-11-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>
<p>18-12-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>	<p>18-13-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>	<p>18-14-0-E</p> <p>TOWN OF TRURO CONSERVATION COMMISSION PO BOX 2030 TRURO, MA 02666-2030</p>
<p>18-15-0-E</p> <p>TOWN OF TRURO CONSERVATION COMMISSION PO BOX 2030 TRURO, MA 02666-2030</p>	<p>18-16-0-E</p> <p>COMMONWEALTH OF MASS DEPT OF ENVIRONMENTAL MGMT 251 CAUSEWAY ST SUITE 600 BOSTON, MA 02114</p>	<p>19-1-0-E</p> <p>TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657</p>
<p>19-2-0-R</p> <p>HARHUT NANCY L & LARKIN CATHERINE M 290 PARKER ST NEWTON, MA 02459</p>	<p>21-1-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>	<p>21-2-0-R</p> <p>TERRACE DUNES REALTY TRUST TRS: RODRICKS RICHARD PO BOX 146 NO TRURO, MA 02652-0146</p>
<p>21-5-1-R</p> <p>HANLON MARK BOX 890 N EASTHAM, MA 02651</p>	<p>21-5-2-R</p> <p>LANDERS CHRISTINE & GAYLE M & SEWELL JENNIFER 89 THE MEADOWS ENFIELD, CT 06082</p>	<p>21-5-3-R</p> <p>MYERS JOY A 1680 WOLF RUN DR RICHFIELD, WI 53076</p>
<p>21-5-4-R</p> <p>PILARSKI CYNTHIA & VONFLATERN JAN K PO BOX 1182 PROVINCETOWN, MA 02657</p>	<p>21-5-5-R</p> <p>STUBBS ROBERT M & WALLEN PAUL 43 LAKE RD WOODBURY, CT 06798-2326</p>	<p>21-5-6-R</p> <p>FLOYD RANDALL R 586 COMMERCIAL STREET, UNIT 8 PROVINCETOWN, MA 02657</p>
<p>21-5-7-R</p> <p>SAGERIAN JEAN M 36 NEW BOSTON RD STURBRIDGE, MA 01566</p>	<p>21-5-8-R</p> <p>TADDEI ANTHONY JR & BRIGHT KAREN T 15 PRINCE PLACE LITTLE SILVER, NJ 07739</p>	<p>21-5-9-R</p> <p>HOGAN DEBRA A & STOPA TRACY 583 FREEDOM PLAINS RD POUGHKEEPSIE, NY 12603</p>
<p>21-5-10-R</p> <p>ARUTE MICHAEL C & KRISTEN G PO BOX 106 ACCORD, MA 02018</p>	<p>21-5-11-R</p> <p>FITZGERALD CATHLEEN F 418 N MAPLE DR UNIT D BEVERLY HILLS, CA 90210</p>	<p>21-5-12-R</p> <p>AGUANNO ANTHONY & DUNN JESSIE 67 QUAIL RUN GLASTONBURY, CT 06033-2738</p>
<p>21-5-13-R</p> <p>PEAK JOHN P & FORD JOAN M PO BOX 136 NO TRURO, MA 02652-0136</p>	<p>21-5-14-E</p> <p>HARBOR VIEW VILLAGE CONDO TR TRS: JOHN PEAK, JOAN FORD & JEAN SAGERIAN PO BOX 136 NO TRURO, MA 02652</p>	<p>21-6-1-R</p> <p>SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174</p>
<p>21-6-2-R</p> <p>SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174</p>	<p>21-6-3-R</p> <p>SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174</p>	<p>21-6-4-R</p> <p>SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174</p>

21-6-5-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174	21-6-6-R	SUNSET BLUFF REALTY TRUST TRS: BURHOE RICHARD L & GLORIA T PO BOX 174 NO TRURO, MA 02652-0174	21-6-7-E	SUNSET BLUFF CONDO TRUST 1 KNOWLES HGTS RD NO TRURO, MA 02652
21-9-0-R	KELKIM REALTY TRUST TRS: SULLIVAN KIM M & KELLEY A C/O SULLIVAN KIM 88 FALMOUTH RD HYANNIS, MA 02601	21-10-0-R	BEACH POINT CO-OP REC HSG ASSO C/O KATHY DUNN 20 DOLGE CT CHARLTON, MA 01507	21-11-0-R	RODRICKS FAMILY LTD PARTNERSHP PO BOX 146 NO TRURO, MA 02652-0146
21-13-0-R	WALKER BERTA 208 BRADFORD ST PROVINCETOWN, MA 02657	21-14-0-R	SILVA ALBERT & NANCY NOM TR TRS: SILVA ALBERT R & NANCY R PO BOX 122 NO TRURO, MA 02652	21-15-0-R	SILVA ALBERT & NANCY NOM TR TRS: SILVA ALBERT R & NANCY R PO BOX 122 NO TRURO, MA 02652
22-1-0-R	KING ZIMMERMANN LIVING TRUST TRS: ZIMMERMANN PETER H 535 OLD ROAD TO 9 ACRE CORNER CONCORD, MA 01742-4123	22-2-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657	22-3-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657
22-4-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657	22-5-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657	22-6-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657
22-7-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657	22-8-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657	22-9-0-E	TOWN OF PROVINCETOWN C/O WATER DEPT 260 COMMERCIAL ST PROVINCETOWN, MA 02657
22-10-0-R	RODERICK PATRICIA ANN LIV TRST TRS: RODERICK PATRICIA ANN PO BOX 331 TRURO, MA 02666-0331	22-11-0-R	SUNSET REALTY TRUST TRS: ROGERS JEFFREY & STACY PO BOX 550 NO TRURO, MA 02652	22-12-0-R	ROGERS JOSEPH N 34 NASH HILL RD WILLIAMSBURG, MA 01096
22-13-0-R	MAGNA VIEW REALTY TR THE TRS: LEONARD LEE B 39 ORCHARD ST BYFIELD, MA 01922	22-14-0-R	137 SHORE RD RLTY TR II TRS: PETKAUSKOS VICTOR A 137 POND ST PO BOX 608 OSTERVILLE, MA 02655	22-19-0-R	HAUTANEN HENRY H JR -LE RMNDR: GROZIER CHRISTINE H C/O HAUTANEN HENRY H JR PO BOX 47 NO TRURO, MA 02652-0047
22-20-0-R	WARD JOHN T & EDGAR JUDY A PO BOX 672 PROVINCETOWN, MA 02657-0672	22-21-0-R	WILLARD GWENDOLEN PO BOX 533 NO TRURO, MA 02652-0533	22-22-0-R	HAWKEY KENNETH J & BRISCOE STEPHEN M PO BOX 442 NO TRURO, MA 02652-0442
22-24-0-R	MORIARTY ERIN & SEAN ET AL PO BOX 265 NO TRURO, MA 02652	22-25-0-R	MORIARTY JOAN C PO BOX 265 NO TRURO, MA 02652-0265	22-26-0-R	FERRARI-SCACCO CARLA T PO BOX 118 NO TRURO, MA 02652-0118

22-27-0-R

OTOOLE MICHAEL & SUSAN
194 MCCULLOCH PL
RENSSELAER, NY 12144

22-29-0-R

VENINGER JAMES M & LAURIE R
PO BOX 120
NO TRURO, MA 02652-0120

TOPSIDE REALTY TR
TRS: ROSE DIANE A
c/o BONNIE BROWN-BONSE
PO BOX 386
N TRURO, MA 02652

22-50-0-R

22-56-0-R

ANNESE ROBERTA V
PO BOX 615
PROVINCETOWN, MA 02657-0615

22-57-0-R

ANNESE ROBERTA V
PO BOX 615
PROVINCETOWN, MA 02657

FORD SHAWN P & PERZ PAUL M
2B ALVIN RD
SWAMPSCOTT, MA 01907

32-1-0-R

32-29-0-E

TOWN OF PROVINCETOWN
C/O WATER DEPT
260 COMMERCIAL ST
PROVINCETOWN, MA 02657

32-30-0-R

CROOKS JENNIFER P
PO BOX 374
PROVINCETOWN, MA 02657

U S A
DEPT OF THE INTERIOR
CAPE COD NATIONAL SEASHORE
99 MARCONI SITE RD
WELLFLEET, MA 02667

32-37-0-E

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

ATTACHMENT 4

Drainage Memo

MEMORANDUM

Date: November 27, 2019

To Town of Truro Planning Department

From Environmental Partners

CC Cody Salisbury, Water Department Superintendent
Paul Millett, P.E.

Subject Knowles Crossing Water Storage Building: Drainage System Evaluation

This memorandum is being provided as supporting documentation for the Town of Provincetown's Application for Site Plan Review for the proposed Knowles Crossing Water Department Storage Building at 143 Shore Road in Truro. Specifically, this memorandum provides information to address the following requirements of Article 70.3 of the Truro Zoning Bylaws, Commercial Site Plan Review Checklist.

- **Stormwater Drainage** - All storm water drainage facilities utilized by the site shall be shown on the site plan. Storm water drainage calculations, which support the design of the control facilities shown on the plan, shall be calculated using a 2, 10, and 50-year storm events.

Existing Site Conditions

Currently, the subject site is a 27.4 acre partially developed parcel. The existing development is primarily on the western portion of the site, and includes an existing water treatment plant, an abandoned water chemical addition building, a paved driveway, and paved areas surrounding the water treatment plant. The water treatment plant was completed in 2014. For much of the site, the existing ground cover of scrub pines, grasses, and sand areas allows for rapid percolation of stormwater. The majority of the site drains to two catch basins situated south of the existing water treatment plant and the former water chemical addition building. For the purposes of this analysis, the point at which peak flow rates and runoff volumes were calculated was the discharge point of these catch basins. Environmental Partners (EP) prepared a hydrologic model using HydroCAD software to analyze the hydrology on the site under the existing conditions. Using this model, EP predicted the peak flow rates and runoff volumes for the 2-, 10-, and 50-year storm events. These values are shown in Table 1.

Referring to Drawing C-1, the stormwater that falls on existing impervious surfaces is directed towards the existing stormwater collection, treatment, and infiltration system. Runoff from impervious areas is handled as follows:

- Stormwater that falls on the paved areas drains to two catch basins that are located along the southern edge of the proposed new pavement. These catch basins have deep sumps to trap

sediments, and are equipped with outlet hoods to trap floatables. The catch basins drain to a water quality structure (e.g. Downstream Defender unit) that removes additional quantities of sediments and floatables, as well oil and other total suspended solids. The water quality structure drains to a subsurface infiltration system that allows the stormwater to infiltrate into the ground through a network of buried perforated 36-inch diameter pipes.

- Stormwater that falls on the roof of the existing water chemical addition building drains to gutters and downspouts that are piped to the aforementioned subsurface infiltration system. Note that stormwater is considered clean, and thus is not routed through a water quality structure prior to draining into the infiltration system.

Most of the stormwater that falls on the existing impervious surfaces infiltrates into the ground via the subsurface infiltration system. In large rainfall events, an overflow pipe directs overflows to a depressed area to the east of the proposed water treatment plant.

Proposed Site Conditions

The existing wooden building will be demolished. The proposed development is shown in Drawing C-2, and it includes a 2,970 square foot water treatment plant storage building, along with other impervious areas that include bituminous concrete pavement, cape cod berm curbing, and cement concrete pads.

Referring to Drawing C-3, stormwater that falls on the proposed paved areas will be directed toward the existing stormwater collection system, which will assist in matching or minimizing the increase of peak flow rates and runoff volumes when compared with the existing condition values.

EP prepared a hydrologic model using HydroCAD software to analyze the hydrology on the site under the proposed conditions. Using this model, the predicted peak flow rates and runoff volumes for the 2-, 10-, and 50-year storm events were calculated. This information is shown in Table 1.

As shown in Table 1, the HydroCAD model predicts that peak runoff flow rates and runoff volumes will not change during the 2-year and 10-year storm, in accordance with MassDEP requirements. Under 50-year storm conditions, the runoff volume will increase by 1.3%, a nominal amount that is within the margin of error of the hydraulic model.

Table 1: Pre- and Post-Development Peak Flow Rates and Volumes

	2-Year Storm		10-Year Storm		50-Year Storm	
	Peak Flow Rate	Runoff Volume	Peak Flow Rate	Runoff Volume	Peak Flow Rate	Runoff Volume
Pre-Development	0.19 cfs	0.119 af	2.42 cfs	0.575 af	16.56 cfs	2.041 af
Post-Development	0.19 cfs	0.119 af	2.42 cfs	0.575 af	17.20 cfs	2.067 af
Change	0%	0%	0%	0%	+3.9%	+1.3%

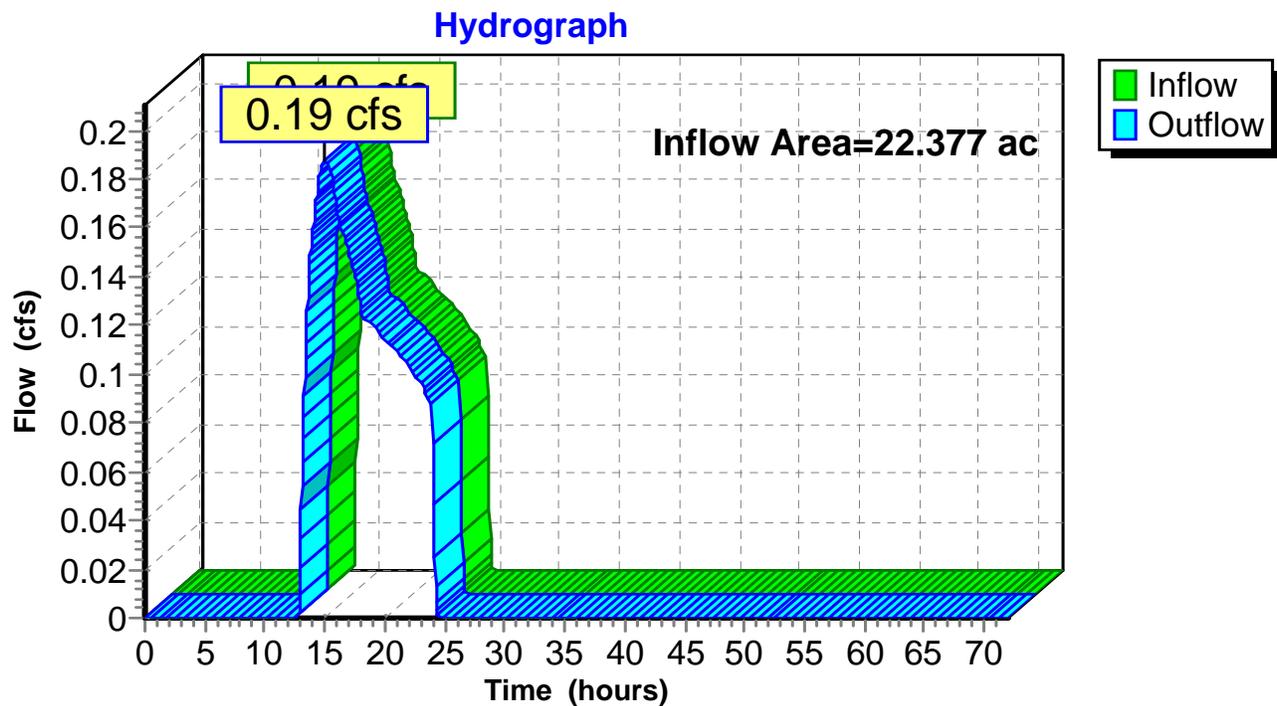
cfs = cubic feet per second; af = acre-feet

Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.10% Impervious, Inflow Depth = 0.06" for 2-YR event
Inflow = 0.19 cfs @ 15.08 hrs, Volume= 0.119 af
Outflow = 0.19 cfs @ 15.08 hrs, Volume= 0.119 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:



*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

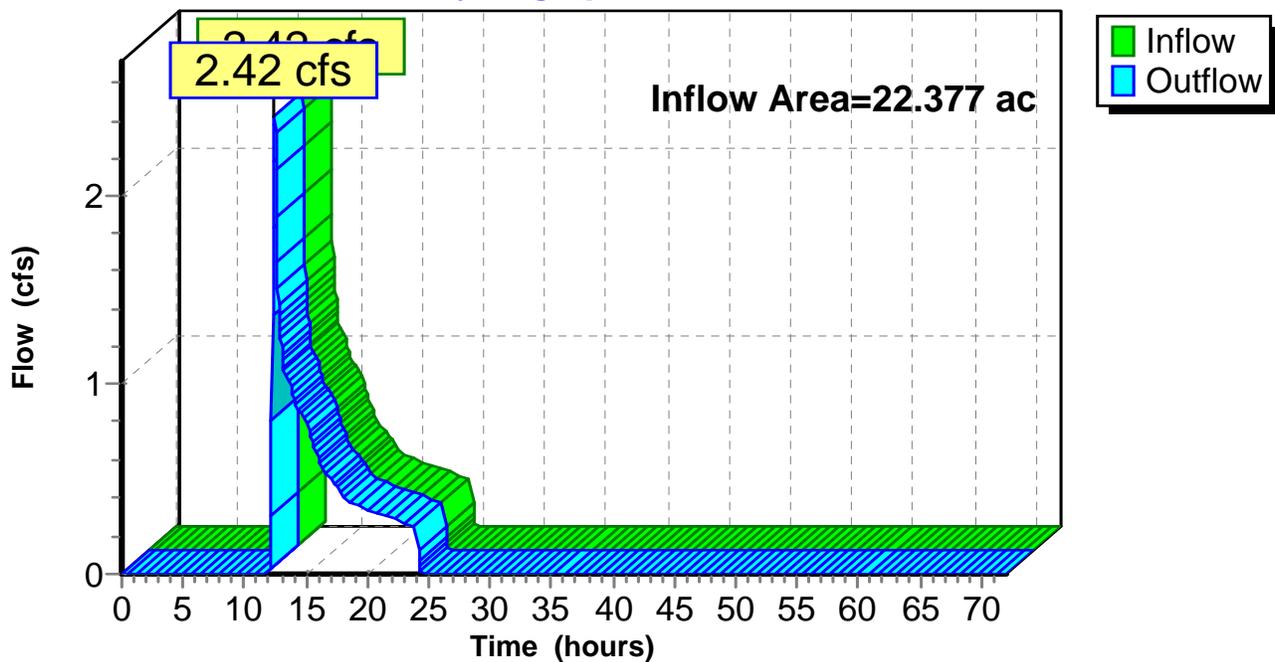
Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.10% Impervious, Inflow Depth = 0.31" for 10-YR event
Inflow = 2.42 cfs @ 12.44 hrs, Volume= 0.575 af
Outflow = 2.42 cfs @ 12.44 hrs, Volume= 0.575 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:

Hydrograph



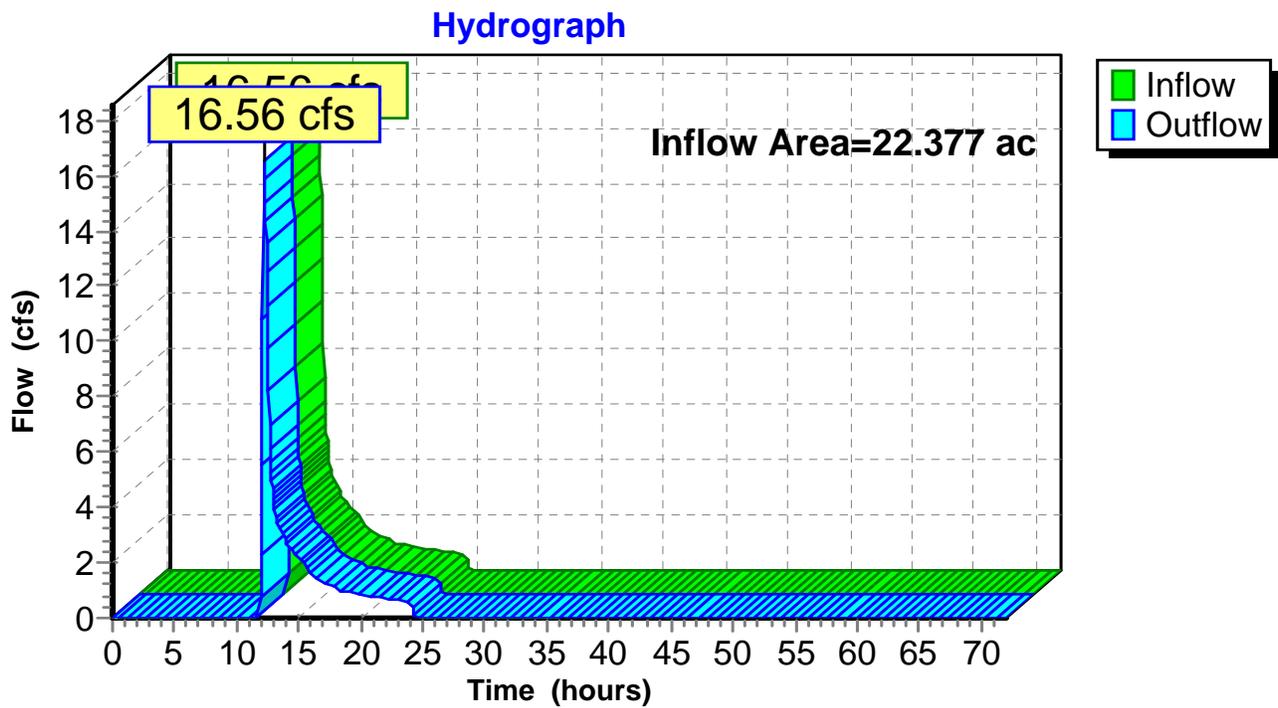
*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.10% Impervious, Inflow Depth = 1.09" for 50-YR event
Inflow = 16.56 cfs @ 12.21 hrs, Volume= 2.041 af
Outflow = 16.56 cfs @ 12.21 hrs, Volume= 2.041 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:



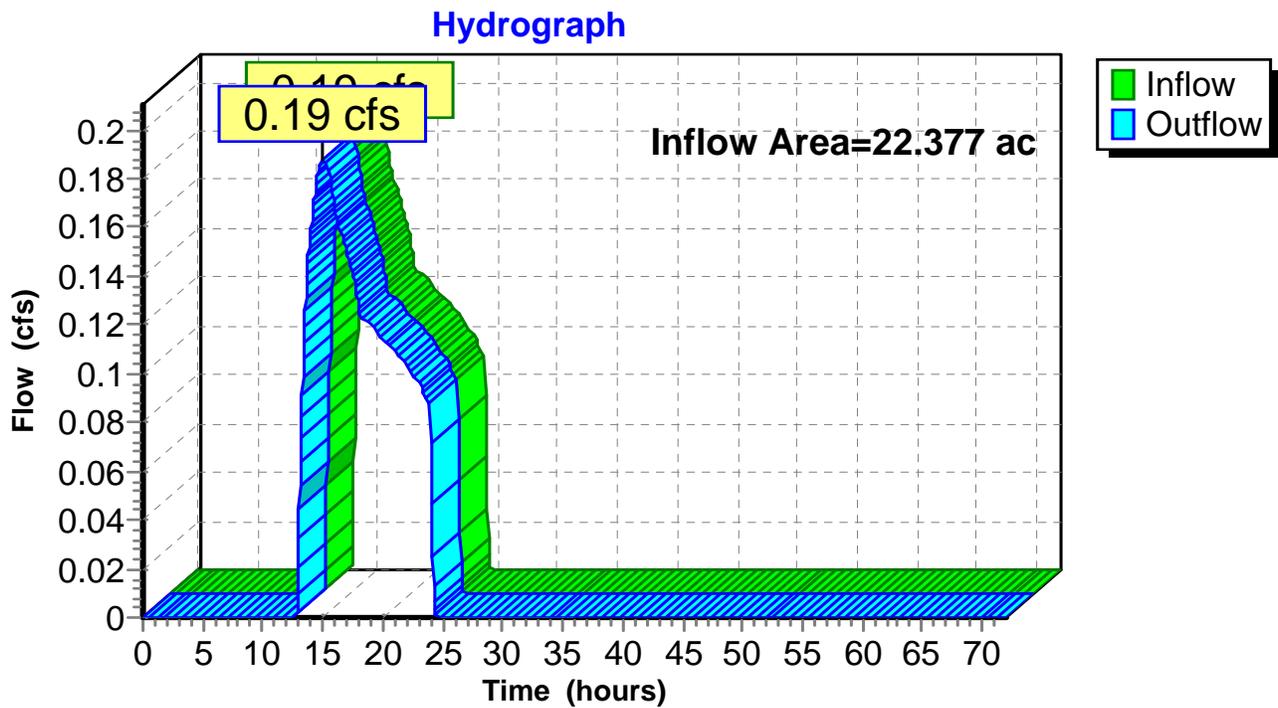
*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.55% Impervious, Inflow Depth = 0.06" for 2-YR event
Inflow = 0.19 cfs @ 15.08 hrs, Volume= 0.119 af
Outflow = 0.19 cfs @ 15.08 hrs, Volume= 0.119 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:



*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

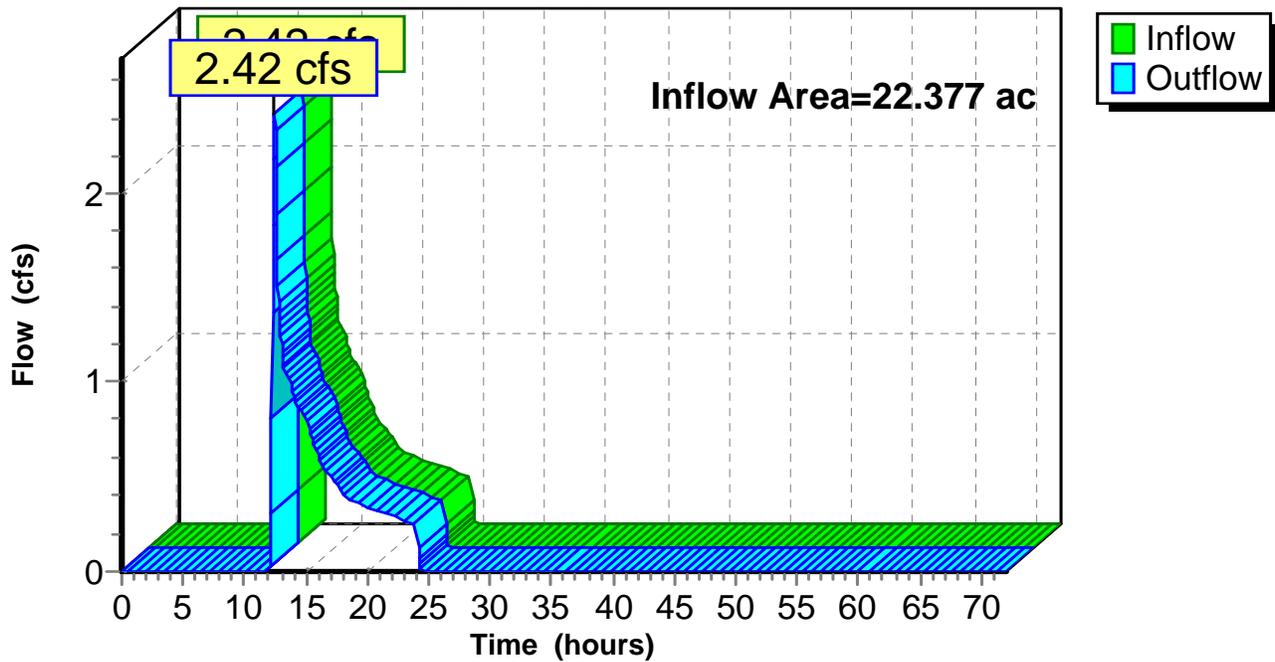
Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.55% Impervious, Inflow Depth = 0.31" for 10-YR event
Inflow = 2.42 cfs @ 12.44 hrs, Volume= 0.575 af
Outflow = 2.42 cfs @ 12.44 hrs, Volume= 0.575 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:

Hydrograph



*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

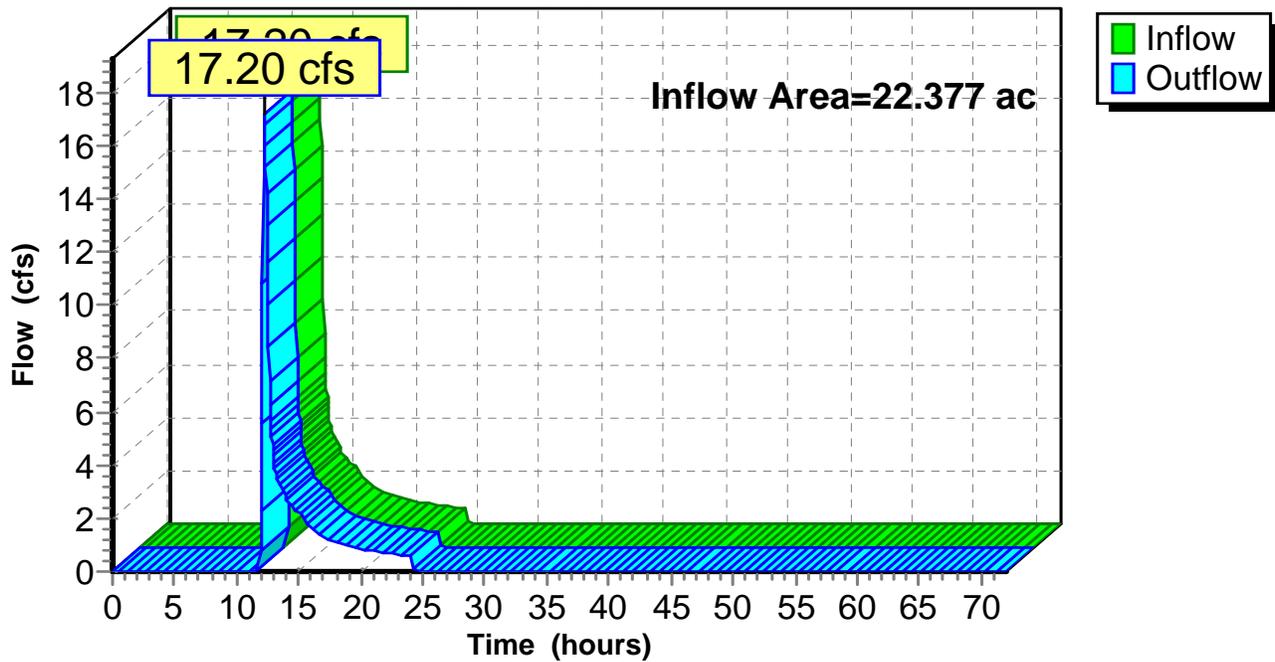
Summary for Reach DP1*:

Inflow Area = 22.377 ac, 4.55% Impervious, Inflow Depth = 1.11" for 50-YR event
Inflow = 17.20 cfs @ 12.22 hrs, Volume= 2.067 af
Outflow = 17.20 cfs @ 12.22 hrs, Volume= 2.067 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

Reach DP1:

Hydrograph



*Reach DP1 is the drainage outfall on the eastern side of the site. Refer to Drawing C-2.

ATTACHMENT 5
MESA Cover Letter



December 4, 2019

MESA File Reviewer
Division of Fisheries and Wildlife
1 Rabbit Hill Rd.
Westborough, MA 01581

**RE: MESA Project Review
Water Department Storage Building
Truro, MA**

Dear File Reviewer,

On behalf of the Town of Provincetown, Environmental Partners (EP) has prepared this cover letter and attachments for a MESA Project Review of the proposed Water Department Storage Building in Truro, MA. The following documents are attached to this letter:

- Attachment A - MESA Project Review Checklist and Fee
- Attachment B - GIS Figures
- Attachment C - Design Plans
- Attachment D - Project Photos

PROJECT DESCRIPTION

The Town of Provincetown has proposed the construction of a Water Department Storage Building to allow for increased storage space and improved vehicle storage and maintenance. The project site is located at 143 Shore Road in Truro, MA.

The proposed construction would include demolishing the existing water chemical addition building, constructing the proposed Water Department Storage Building, grading the surrounding land, and paving the area surrounding the building. The construction of the new building would also include installing approximately 200' of 8" PVC sewer and 60' of a 1-inch water service.

ESTIMATED AND PRIORITY HABITAT

A portion of the Water Department Storage Building project falls into Estimated and Priority Habitats. Approximately 260 square feet of the proposed Water Department Storage Building are located within Estimated Habitat EH 756 and Priority Habitat PH 945, according to the 14th Edition Natural Heritage Atlas, August 1, 2017. Additionally, grading work would take place within the Estimated and Priority Habitats.

The area of disturbance was calculated on the basis of where construction activities would occur within the mapped Priority and Estimated Habitat. The overall disturbed area within an Estimated and Priority Habitat would be approximately 4,500 square feet or 0.10 acres.

STATEMENT OF PROPERTY OWNERSHIP

This project is located within the Town of Truro on land owned by the Town of Provincetown. The applicant, the Town of Provincetown, is authorized to work within these areas. If further documentation is required, please let us know.

Please do not hesitate to contact me with any questions.

Sincerely,



Environmental Partners Group, Inc.

Paul Millett, P.E.

Principal

P: 617.657.3417

E: pcm@envpartners.com

ATTACHMENT 6

Cost Estimate

**KNOWLES CROSSING
WATER DEPARTMENT STORAGE BUILDING
PROVINCETOWN, MA
PRELIMINARY DESIGN- OPINION OF PROBABLE CONSTRUCTION COSTS**



Project Cost Plan (WBS Level 2)

NEW BUILDING			GFA(SF):	3,292	Date:	Sep-19	Sheet No: 1 OF 2		
Uniformat Element (Levels 2&3)			Amount	Total Cost	Rate \$/SF	%	Element	Unit	Element
			\$	\$	Floor Area		Quantities		Unit Rate
A	SUBSTRUCTURE			73,427		22.30	7.6%		
A10	FOUNDATIONS			73,427		22.30	7.6%		
	1010	Standard foundations	33,255		10.10		2,640	SF	12.60
	1020	Special foundations	0		0.00		0	CY	0.00
	1030	Slab on grade 6"	40,172		12.20		2,640	SF	15.22
A20	BASEMENT CONSTRUCTION			0		0.00	0.0%		
	2010	Basement excavation	0		0.00		0	CY	0.00
	2020	Basement walls	0		0.00		0	SF	0.00
B	SHELL			94,321		28.65	9.7%		
B10	SUPERSTRUCTURE			12,853		3.90	1.3%		
	1010	Floor construction Mezz Decks	12,853		3.90		652	SF	19.71
	1020	Roof construction see 1030	0		0.00		0	SF	0.00
B20	EXTERIOR CLOSURE			81,468		24.75	8.4%		
	2010	Exterior walls CMU backup	17,456		5.30		572	SF	30.52
	2010	Exterior walls Concrete	20,103		6.11		572	SF	35.14
	2010	Exterior walls metal siding see 1030	0		0.00		0	SF	0.00
	2020	Exterior windows & transomes	7,284		2.21		110	SF	66.22
	2030	Exterior doors Personnel	10,959		3.33		3	EA	3653.02
	2030	Exterior doors 12x12 O/H	25,666		7.80		5	EA	5133.12
B30	ROOFING			0		0.00	0.0%		
	3010	Roof coverings see 1030	0		0.00		0	SF	0.00
C	INTERIORS			127,239		38.65	13.1%		
C10	INTERIOR CONSTRUCTION			85,278		25.90	8.8%		
	1010	Partitions 8" CMU	51,269		15.57		160	LF	320.43
	1010	Partitions Mezzanine	10,838		3.29		52	LF	208.43
	1010	Partitions half height	1,913		0.58		19	LF	100.67
	1020	Interior doors	7,671		2.33		3	LEAFS	2557.11
	1030	Specialties Toilet	1,266		0.38		4	FXT	316.46
	1030	Specialties Bollards	11,279		3.43		10	EA	1127.87
	1030	Specialties Other	1,042		0.32		3,292	SF	0.32
C20	STAIRS			11,709		3.56	1.2%		
	2010	Stair construction Mezzanine	11,709		3.56		1	FLT	11708.94
C30	INTERIOR FINISHES			30,252		9.19	3.1%		
	3010	Wall finishes Ceramic Tile	5,721		1.74		359	SF	15.93
	3020	Floor finishes Sealer	2,225		0.68		3,087	SF	0.72
	3020	Floor finishes Ceramic Tile	4,251		1.29		205	SF	20.74

**KNOWLES CROSSING
WATER DEPARTMENT STORAGE BUILDING
PROVINCETOWN, MA
PRELIMINARY DESIGN- OPINION OF PROBABLE CONSTRUCTION COSTS**



Project Cost Plan (WBS Level 2)

3020	Base & Trim	Ceramic Tile	1,211		0.37		60	LF	20.18
3030	Ceiling finishes	2x2 ACT	2,015		0.61		205	SF	9.83
3040	Paint, Interior coatings and Special Finishes		14,829		4.50		3,292	SF	4.50
D	SERVICES			316,929		96.27	32.7%		
D10	CONVEYING SYSTEMS			0		0.00	0.0%		
1010	Elevators and Lifts		0		0.00		0	EA	0.00
1020	Weight handling equipment	5 ton crane	0		0.00		0	EA	66515.01
1030	Escalators and moving walks		0		0.00		0	EA	0.00
1090	Other conveying systems		0		0.00		0	EA	0.00
D20	PLUMBING			51,021		15.50	5.3%		
2010	Plumbing fixtures		13,444		4.08		4	FXT	3360.99
2020	Domestic water distribution		12,526		3.80		3,292	SF	3.80
2030	Sanitary waste		25,051		7.61		3,292	SF	7.61
2040	Rainwater drainage		0		0.00		3,292	SF	0.00
2090	Other plumbing systems		0		0.00		0	SF	0.00
D30	HVAC			97,358		29.57	10.1%		
3010	Energy supply		0		0.00		0	SF	0.00
3020	Heat generating systems		20,876		6.34		3,292	SF	6.34
3030	Cooling generating systems		0		0.00		3,292	SF	0.00
3040	Distribution systems		33,402		10.15		3,292	SF	10.15
3050	Terminal & package units		25,051		7.61		3,292	SF	7.61
3060	Controls & instrumentation		14,613		4.44		3,292	SF	4.44
3070	Systems testing & balancing		3,416		1.04		3,292	SF	1.04
3090	Other HVAC systems and equipment		0		0.00		0	SF	0.00
D40	FIRE PROTECTION			51,252		15.57	5.3%		
4010	Fire alarm and detection systems		16,183		4.92		3,292	SF	4.92
4020	Fire supression water supply and equipment		0		0.00		0	SF	0.00
4030	Standpipe systems		0		0.00		0	SF	0.00
4040	Sprinklers		33,402		10.15		3,292	SF	10.15
4050	Fire protection specialties		1,667		0.51		3,292	SF	0.51
4090	Other fire protection systems		0		0.00		0	SF	0.00
D50	ELECTRICAL			117,298		35.63	12.1%		
5010	Electrical service & distribution		39,762		12.08		3,292	SF	12.08
5020	Lighting & branch wiring	LED	71,572		21.74		3,292	SF	21.74
5030	Communications & security		5,964		1.81		3,292	SF	1.81
5090	Other electrical services		0		0.00		0	SF	0.00

**KNOWLES CROSSING
WATER DEPARTMENT STORAGE BUILDING
PROVINCETOWN, MA
PRELIMINARY DESIGN- OPINION OF PROBABLE CONSTRUCTION COSTS**



Project Cost Plan (WBS Level 2)

E	EQUIPMENT & FURNISHINGS			5,899	1.79	0.6%			
E10	EQUIPMENT			5,000	1.52	0.5%			
1010	Commercial equipment	Appliances	0	0.00			0	LS	7500.00
1020	Institutional equipment		0	0.00			0	SF	0.00
1030	Vehicular equipment		0	0.00			0	EA	116446.00
1040	Government furnished equipment		0	0.00			0	SF	0.00
1090	Storage, benches & racks	Allowance	5,000	1.52			1	LS	5000.00
E20	FURNISHINGS			899	0.27	0.1%			
2010	Fixed furnishings	Blinds	899	0.27			110	SF	8.18
2010	Fixed furnishings Casework	Base	0	0.00			0	LF	449.37
2010	Fixed furnishings Casework	C/Top	0	0.00			0	LF	184.81
2010	Fixed furnishings Casework	Wall	0	0.00			0	LF	411.40
2010	Fixed furnishings Casework	Full Height	0	0.00			0	LF	1056.97
2020	Movable furnishings		0	0.00			0	SF	0.00
F	SPECIAL CONSTRUCTION & DEMOLITION			183,799	55.83	19.0%			
F10	SPECIAL CONSTRUCTION			183,799	55.83	19.0%			
1010	Special structures		0	0.00			0	SF	0.00
1020	Integrated construction		0	0.00			0	SF	0.00
1030	Prefabricated Metal Building		183,799	55.83			2,640	SF	69.62
1040	Special facilities		0	0.00			0	SF	0.00
1050	Special controls and instrumentation		0	0.00			0	SF	0.00
F20	SELECTIVE BUILDING DEMOLITION			0	0.00	0.0%			
2010	Building elements demolition		0	0.00			0	SF	0.00
2020	Hazardous components abatement		0	0.00			0	SF	0.00
SUBTOTAL: BUILDING COST				801,614	243.50	82.8%			
G	BUILDING SITEWORK			166,884	50.69	17.2%			
G10	SITE PREPARATIONS			33,115	10.06	3.4%			
1010	Site clearing		12,152	3.69			10,000	SF	1.22
1020	Site demolition & relocations		0	0.00			0	SF	0.00
1030	Site earthwork		20,963	6.37			230	CY	91.14
1040	Hazardous waste remediation		0	0.00			0	LS	0.00
G20	SITE IMPROVEMENTS			73,421	22.30	7.6%			
2010	Roadways	allowance	37,866	11.50			8,010	SF	4.73
2020	Parking lots		0	0.00			0	SF	0.00
2030	Pedestrian paving		0	0.00			0	SF	0.00
2040	Site development	retaining wall	33,055	10.04			80	LF	413.18
2040	Site development		0	0.00			0	SF	0.00
2050	Landscaping	allowance	2,500	0.76			1	LS	2500.00
2060	Airfield paving		0	0.00			0	SF	0.00

**KNOWLES CROSSING
WATER DEPARTMENT STORAGE BUILDING
PROVINCETOWN, MA
PRELIMINARY DESIGN- OPINION OF PROBABLE CONSTRUCTION COSTS**



Project Cost Plan (WBS Level 2)

G30 SITE CIVIL / MECHANICAL UTILITIES			48,270		14.66	5.0%			
3010	Water supply	10,208		3.10			56	LF	182.29
3020	Sanitary sewer	19,833		6.02			192	LF	103.30
3020	Sanitary sewer	18,229		5.54			3	ea	6076.24
3030	Storm sewer	0		0.00			0	LF	0.00
3040	Heating distribution	0		0.00			0	LF	0.00
3050	Cooling distribution	0		0.00			0	LF	0.00
3060	Fuel distribution	0		0.00			0	LF	0.00
3090	Other site mechanical utilities	0		0.00			0	LF	0.00
G40 SITE CIVIL ELECTRICAL UTILITIES			12,078		3.67	1.2%			
4010	Electrical distribution	12,078		3.67			100	LF	120.78
4020	Site lighting	0		0.00			0	EA	0.00
4030	Site communication and security	0		0.00			0	LF	0.00
4090	Other site electrical utilities	0		0.00			0	LS	0.00
G90 OTHER SITE CONSTRUCTION			0		0.00	0.0%			
9010	Service & pedestrian tunnels	0		0.00			0	LF	0.00
9090	Other site construction	0		0.00			0	LS	0.00
SUBTOTAL: SITEWORK COST			166,884		50.69	17.2%			
SUBTOTAL: SITEWORK + BUILDING COST			968,498		294.20	100.0%			
Z10	GENERAL CONDITIONS, OH&P, Bonds and Insurance	20.1%	194,223		59.00				
DESIGN & PRICE RESERVE		15.0%	174,408		52.98				
SUBTOTAL: CURRENT COST OF CONSTRUCTION			1,337,129						
ESCALATION TO CONTRACT AWARD DATE		3.3%	43,590		13.24			Apr-20	
ESCALATION TO CONSTRUCTION MID-POINT DATE		1.3%	17,949		5.45			Aug-20	
MARKET CONDITION ALLOWANCE		0.0%	0		0.00				
TOTAL ECCA			\$ 1,398,668		\$ 424.87				

ATTACHMENT 7

Full Plan Set

KNOWLES CROSSING WATER DEPARTMENT STORAGE BUILDING

143 SHORE ROAD
TRURO, MA

DECEMBER 2019
FOR REVIEW

APPLICANT:

DEPARTMENT OF PUBLIC WORKS
PROVINCETOWN, MASSACHUSETTS

RICHARD J. WALDO, P.E.
DIRECTOR OF PUBLIC WORKS
CODY SALISBURY
WATER DEPARTMENT SUPERINTENDENT

INDEX

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- C-1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C-2 PROPOSED SITE AND UTILITIES PLAN
- C-3 GRADING PLAN
- CD-1 CIVIL DETAILS I
- CD-2 CIVIL DETAILS II

ARCHITECTURAL DRAWINGS

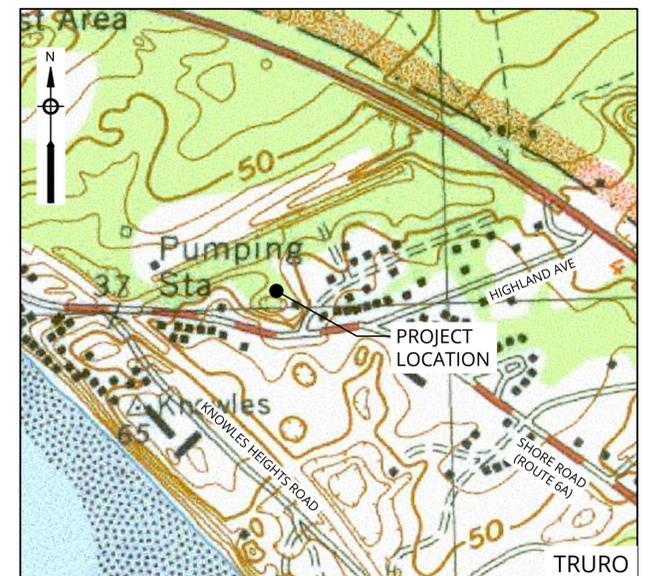
- A-1.1 OVERALL FLOOR PLAN
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- S-0.0 GENERAL NOTES
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ENVIRONMENTAL
 **PARTNERS**



VICINITY MAP
1" = 500'

GENERAL NOTES:

- BASE MAP INFORMATION TAKEN FROM THE TOWN OF TRURO GEOGRAPHIC INFO SYSTEMS (GIS), A FIELD SURVEY BY COASTAL ENGINEERING CO., INC. IN DECEMBER 2011, AND 2014 RECORD DRAWINGS. PROPERTY LINE INFORMATION IS TAKEN FROM MASSGIS AND IS APPROXIMATE ONLY.
- IN AREAS WHERE CONSTRUCTION ACTIVITIES ARE ANTICIPATED TO OCCUR WITHIN PRIVATE PROPERTY, PROPERTY LINE LOCATIONS ARE TO BE REVIEWED WITH THE PROVINCETOWN DEPARTMENT OF PUBLIC SERVICES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- SOME WATER SERVICE CONNECTIONS MAY NOT BE SHOWN ON THE DRAWINGS. THE OWNER WILL MARK THE LOCATION OF SUCH CONNECTIONS, PROVIDED THE CONTRACTOR GIVES THE OWNER AT LEAST ONE WEEK ADVANCE NOTICE.
- ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS IN ADVANCE, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL NOT STORE ANY APPARATUS, MATERIALS, SUPPLIES, OR EQUIPMENT ON DRAINAGE STRUCTURES, PRIVATE PROPERTY OR WITHIN 100 FEET OF WETLANDS.
- NEW WATER SERVICES SHALL BE INSTALLED AT THE MINIMUM DEPTH FROM FINISH GRADE TO TOP OF PIPE AS SHOWN ON THE DRAWINGS. WHERE NECESSARY, NEW WATER MAINS SHALL BE INSTALLED AT A GREATER DEPTH TO CLEAR OBSTACLES SHOWN ON THE DRAWINGS AT NO ADDITIONAL COST TO THE OWNER. MINIMUM CLEARANCES TO UTILITIES, AS SHOWN ON THE DRAWINGS SHALL BE MAINTAINED.
- WATER SERVICES SHALL BE INSULATED IN AREAS WHERE CONNECTION TO EXISTING WATER SERVICE IS LESS THAN 4 FEET DEEP.
- EXISTING WATER MAINS OR SERVICES SHALL NOT BE ABANDONED WITHOUT THE APPROVAL OF THE OWNER. WATER SERVICE SHALL NOT BE INTERRUPTED FOR MORE THAN 4 HOURS WITHOUT PRIOR APPROVAL OF THE OWNER.
- NORTH DIRECTION SHOWN IS APPROXIMATE.
- THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES OR HYDRANTS WHICH HOLD WATER IN THE SYSTEM. THE OWNER WILL, ON 24 HOURS NOTICE FROM THE CONTRACTOR, OPEN AND/OR CLOSE ANY VALVES OR HYDRANTS REQUIRED FOR DRAINING OR ADMITTING WATER TO THE VARIOUS SECTIONS OF THE WATER MAINS.
- DO NOT SCALE DRAWINGS UNLESS OTHERWISE NOTED. WRITTEN DIMENSION AND STATIONING SHALL PREVAIL. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL RESTORE ALL PUBLIC AND PRIVATE PROPERTY TO ITS PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXISTING SEWER AND STORM DRAIN LINES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE. THE CONTRACTOR AT NO ADDITIONAL COST TO THE TOWN SHALL REPAIR ANY EXISTING SEWERS, STORM DRAIN LINES OR CULVERTS DAMAGED DURING CONSTRUCTION.
- IN THOSE INSTANCES WHERE POWER OR TELEPHONE POLE SUPPORT IS REQUIRED, THE CONTRACTOR SHALL PROVIDE A MINIMUM 48-HOUR NOTIFICATION TO THE RESPECTIVE UTILITY COMPANY. NO ADDITIONAL PAYMENT SHALL BE PROVIDED FOR TEMPORARY BRACING OF UTILITIES.
- ALL STRUCTURES AND PIPELINES LOCATED ADJACENT TO THE TRENCH EXCAVATION SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL THE TRENCH IS BACKFILLED. INJURY TO ANY SUCH STRUCTURE CAUSED BY, OR RESULTING FROM, THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL UTILITIES REQUIRING REPAIR, RELOCATION OR ADJUSTMENT AS A RESULT OF THE PROJECT SHALL BE COORDINATED THROUGH THE RESPECTIVE UTILITY AND THE TOWN.
- THE CONTRACTOR IS TO TAKE SPECIAL CARE NOT TO DAMAGE TREES, BUSHES, PLANTS, FLOWERS, STONEWALLS, GRANITE CURBING, FENCES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS THEY ARE NOTED TO BE REMOVED. CONTRACTOR SHALL REPLACE AT NO COST TO OWNER, ALL DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE AND REPLACE, OR REPAIR, ALL CURBS, SIDEWALKS, PAVEMENT AND OTHER ITEMS DAMAGED BY HIS CONSTRUCTION ACTIVITIES TO AT LEAST THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE PROVINCETOWN DEPARTMENT OF PUBLIC WORKS AND ENGINEER.
- OPEN TRENCHES MUST BE BACKFILLED AT THE END OF THE WORKDAY OR COVERED WITH STEEL PLATES, AND RAMPED IF APPROVED BY THE ENGINEER AND PROVINCETOWN DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES AS NECESSARY AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE REQUIRED TO FURNISH AND MAINTAIN A TELEPHONE NUMBER WHERE THE CONTRACTOR CAN BE REACHED 24 HOURS A DAY, 7 DAYS A WEEK.
- THE CONTRACTOR IS REQUIRED TO NOTIFY AND COORDINATE ALL WATER MAIN SHUT DOWNS WITH THE RESIDENTS 24 HOURS IN ADVANCE.
- THE LOCATION AND LIMITS OF ALL ON-SITE WORK AND STORAGE AREAS SHALL BE REVIEWED/COORDINATED WITH, AND ACCEPTABLE TO, PROVINCETOWN DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL LIMIT HIS ACTIVITIES TO THESE AREAS.
- CONCRETE THRUST BLOCKS AND "MEGA-LUG" (OR APPROVED EQUAL) MECHANICAL RESTRAINTS ARE REQUIRED

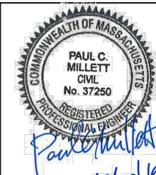
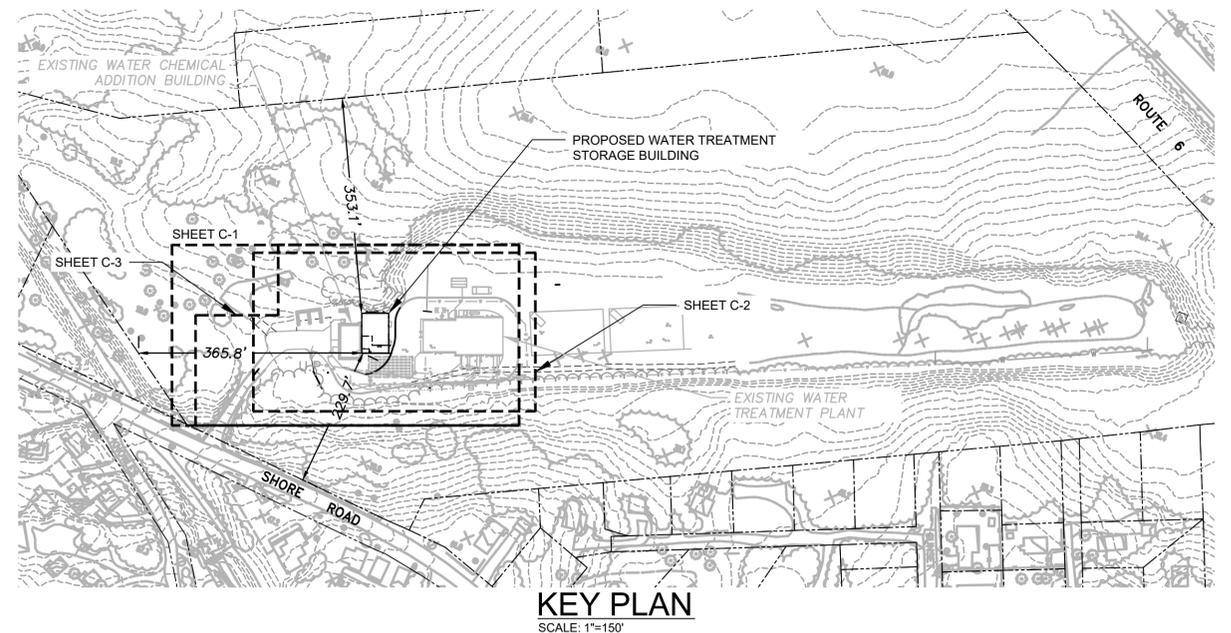
- AT ALL TEES, BENDS, PLUGS, CAPS AND HYDRANTS.
- VALVE DECOMMISSIONING - CLOSE VALVE, REMOVE AND LEGALLY DISPOSE OF GATE BOX, BACKFILL HOLE, AND PAVE ACCORDING TO TYPICAL TRENCH DETAIL.
 - SLEEVES, NIPPLES, FITTINGS AND ACCESSORIES NECESSARY FOR CONNECTIONS BETWEEN EXISTING AND NEW PIPES MAY NOT BE SHOWN IN DETAIL. FURNISH AND INSTALL ITEMS NECESSARY FOR CONNECTING TO EXISTING MAINS AND AS INDICATED ON THE CONTRACT DOCUMENTS.
 - CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL MATERIAL REMOVED FROM TRENCH DURING CUTTING AND CAPPING OF EXISTING WATER MAINS.
 - EXCEPT WHERE OTHERWISE DIRECTED, 12" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN THE NEW MAINS AND OTHER UTILITIES WHERE THEY CROSS. WHERE NEW MAIN PASSES UNDER UTILITIES, IT SHALL CROSS WITHOUT THE USE OF BENDS.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK IN ROADWAYS AND FOR BLASTING. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL PERMITS AS AN INTEGRAL PART OF HIS WORK.
 - THE CONTRACTOR SHALL HANDLE GROUNDWATER, WHERE ENCOUNTERED, IN AN APPROVED MANNER. DURING ANY DEWATERING, THE CONTRACTOR SHALL USE STONE AROUND THE SUCTION END TO MINIMIZE DISCHARGE OF TRENCH MATERIALS. THE DISCHARGED WATER SHALL PASS THROUGH FILTER FABRIC.

SEWER CONSTRUCTION NOTES:

- SEWER TRENCHES MAY BE EXCAVATED WIDER THAN THE PAY LIMIT. ANY SUCH ADDITIONAL EXCAVATION AND TRENCH PAVEMENT SHALL BE AT NO ADDITIONAL COST TO THE OWNER AND SHALL NOT BE MEASURED FOR PAYMENT.
- OPENINGS FOR SEWER PIPE IN PRECAST MANHOLE BASES SHALL BE CAST IN THE REQUIRED LOCATIONS DURING MANHOLE MANUFACTURE. FIELD CUT OPENINGS WILL NOT BE PERMITTED.
- FORM BRICK INVERTS IN MANHOLES WITH BRICK ON EDGE TO A DEPTH OF 0.8-FT INSIDE DIAMETER OF PIPE AND FORM A 1-INCH PER FOOT SLOPED BENCH WITH BRICK FLAT. INVERT SHALL BE SLOPED UNIFORMLY BETWEEN INLET AND OUTLET PIPE AND SHALL BE FORMED AND FILLED AS REQUIRED TO DIRECT THE FLOW AS INDICATED AND TO PREVENT DEPOSITION OF SOLIDS. BRICK INVERTS SHALL NOT BE BUILT ABOVE GRADE.
- CALCULATION OF PIPE SLOPES IS BASED ON ELEVATION CHANGES DIVIDED BY THE DISTANCE BETWEEN THE CENTER OF THE MANHOLES.
- SEWER SERVICES SHALL MATCH THE EXISTING DIAMETER UNLESS OTHERWISE NOTED BY THE ENGINEER AND OWNER.
- NEW SEWER SERVICE CONNECTIONS SHALL BE INSTALLED SUCH THAT THEY ARE BENEATH THE WATER MAIN AND WATER SERVICE CONNECTIONS.
- SEWER BYPASS SHALL ONLY BE ALLOWED DURING CONSTRUCTION OPERATIONS AND SUPERVISED BY CONTRACTOR PERSONNEL CONTINUOUSLY WHILE OPERATING.
- WASTE DISPOSAL ONLY WITH APPROVAL OF THE ENGINEER AND OWNER AND ACCORDING TO SPECIFICATIONS SECTION 02080.
- THE CONTRACTOR SHALL COMPLETE TEST PITS AS SHOWN ON THE PLAN AND AS REQUIRED BY THE ENGINEER TO VERIFY EXISTING UTILITY LOCATIONS. STRUCTURE SUBMITTALS WILL NOT BE APPROVED UNTIL EXISTING UTILITY LOCATIONS ARE VERIFIED.

LEGEND

EXISTING		PROPOSED	
— — — — —	EDGE OF PAVEMENT	— s — s — s —	SEWER MAIN
— — — — —	PROPERTY LINE	— x — x — x —	CHAIN LINK FENCE
— W — W — W —	WATER MAIN	[]	CONTOUR
— D — D — D —	DRAIN LINE	⊕	WATER SHUTOFF
— G — G — G —	GAS LINE	⊗	WATER VALVE
— OH — OH — OH —	OVERHEAD WIRES	⊙	SEWER MANHOLE
— T/C — T/C — T/C —	TELECOMMUNICATIONS LINE		
— D-R — D-R — D-R —	ROOF DRAIN LINE		
~~~~~	TREELINE		
— x — x — x —	CHAIN LINK FENCE		
⊙	SEWER MANHOLE		
⊕	DRAIN MANHOLE		
⊗	PRODUCTION WELL		
⊙	CATCH BASIN		
⊕	HYDRANT		
⊗	WATER VALVE		
⊕	WATER SHUTOFF		
⊙	DI CAP		
⊕	BORING		
⊙	PVC WELL		
⊕	BENCHMARK		
⊙	UTILITY POLE		
⊕	DECIDUOUS TREE		
⊙	DUCTILE IRON		
RCP	REINFORCED CONCRETE		
PVC	POLYVINYL CHLORIDE		
EOP	EDGE OF PAVEMENT		



MARK	DATE	DESCRIPTION

Scale	AS NOTED
Date	DECEMBER 2019
Job No.	115-1906
Designed by	PCM/SLC
Drawn by	SLC
Checked by	PCM
Approved by	PCM

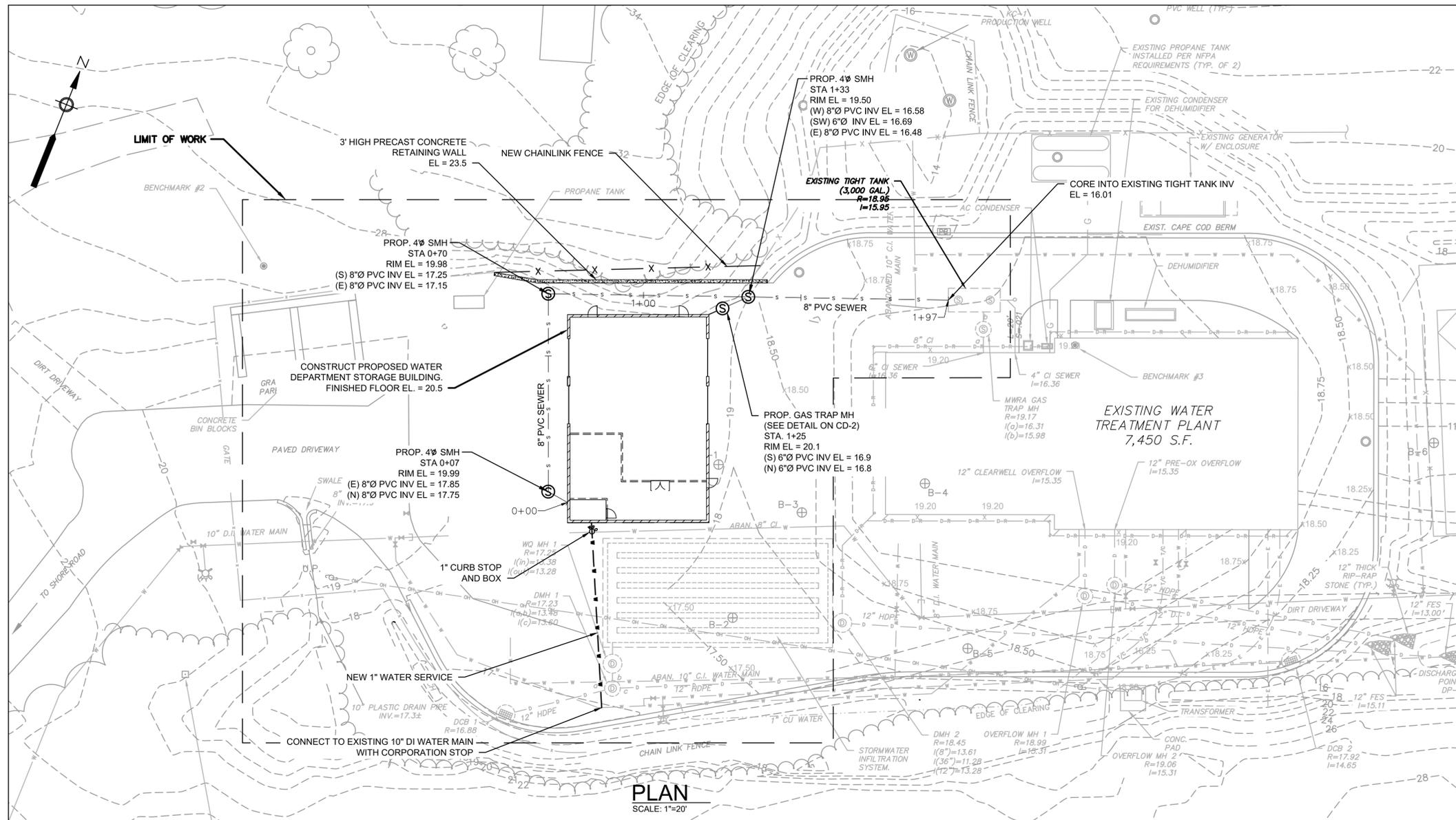
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**KNOWLES CROSSING - 143 SHORE ROAD  
WATER DEPARTMENT STORAGE BUILDING  
TRURO, MASSACHUSETTS**

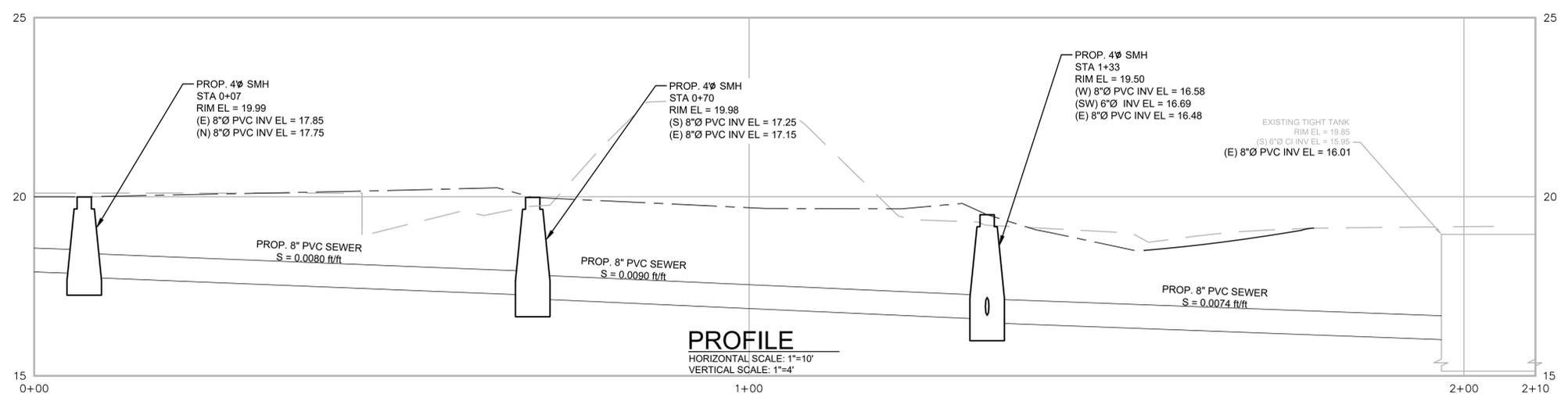
GENERAL NOTES AND LEGEND

NOT FOR CONSTRUCTION  
Sheet No.  
**G-1**



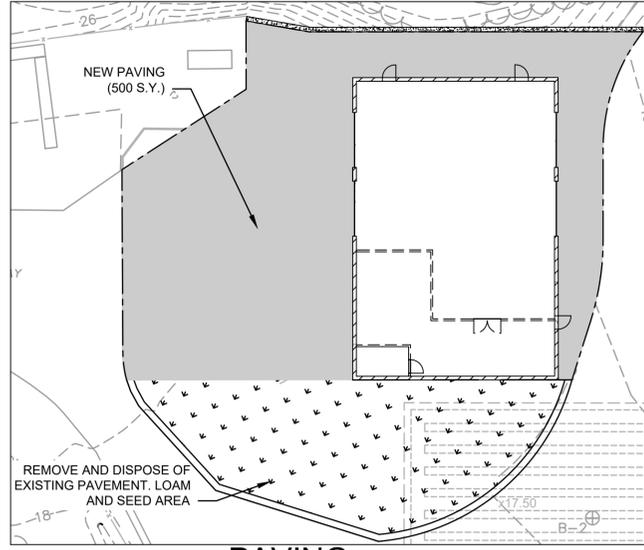


ZONING SUMMARY TABLE			
ZONING DISTRICT: R - RESIDENTIAL AND NT6A - NORTH TRURO ROUTE 6A LIMITED BUSINESS			
OVERLAY DISTRICT: WATER RESOURCE PROTECTION DISTRICT			
DIMENSIONAL REQUIREMENTS			
	REQUIRED (ALL DISTRICTS)	EXISTING	PROPOSED
MINIMUM LOT SIZE	33,750 SF	1,195,272.03 SF	1,195,272.03 SF
MINIMUM LOT FRONTAGE	150 FT	403.98 FT	403.98 FT
MINIMUM FRONTYARD SETBACK	25 FT	274.5 FT	229.7 FT
MINIMUM SIDYARD SETBACK	25 FT	223.7 FT	365.8 FT
MAXIMUM BUILDING HEIGHT	2 STORIES; 30 FT	1 STORY; 28 FT	1 STORY; 25± FT
MINIMUM BACKYARD SETBACK	10 FT	374.8 FT	353.10 FT
PERCENT OF LOT COVERAGE	N/A	3.32%	3.72%
PARKING	-	-	-
BUILDING(S)	-	0.85%	0.87%
WALKWAYS	-	N/A	N/A
PAVING	-	1.76%	2.14%
OTHER	-	0.71%	0.71%
LOT SHAPE	N/A	N/A	N/A
PARKING REQUIREMENTS			
PRINCIPAL USE	AREA	SPACES REQUIRED	SPACES PROVIDED
STORAGE BUILDING	N/A	N/A	N/A
VEHICLE GARAGE & STORAGE	-	2,670 SF	2,970 SF

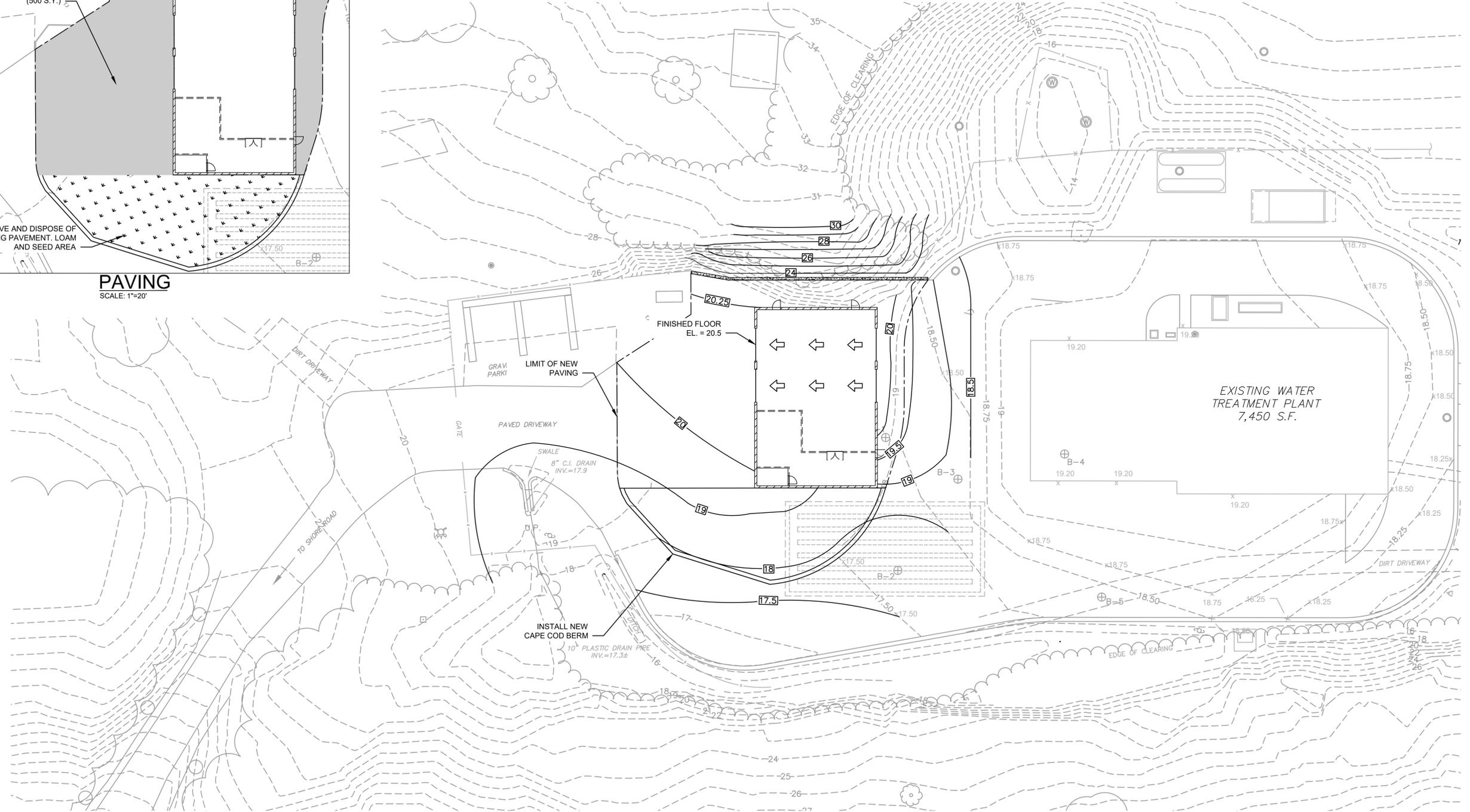


			MARK	DATE	DESCRIPTION	Scale	1" = 20'		<b>KNOWLES CROSSING - 143 SHORE ROAD WATER DEPARTMENT STORAGE BUILDING TRURO, MASSACHUSETTS</b>	NOT FOR CONSTRUCTION
						Scale	1" = 20'			THIS LINE IS ONE INCH LONG WHEN PLOTTED AT FULL SCALE ON A 22" X 34" DRAWING

Drawing file: C:\Users\ahy\appdata\local\temp\AcPublish_20086802\Knowles_Crossing_Site_Plan - Stand Alone_Decompile.dwg Plot Date: Dec 10, 2019 12:20pm



**PAVING**  
SCALE: 1"=20'



**PLAN**  
SCALE: 1"=20'



**ENVIRONMENTAL PARTNERS**



*Paul C. Millett*  
12/10/19

MARK	DATE	DESCRIPTION

Scale	1" = 20'
Date	DECEMBER 2019
Job No.	115-1906
Designed by	PCM/SLC
Drawn by	SLC
Checked by	PCM
Approved by	PCM

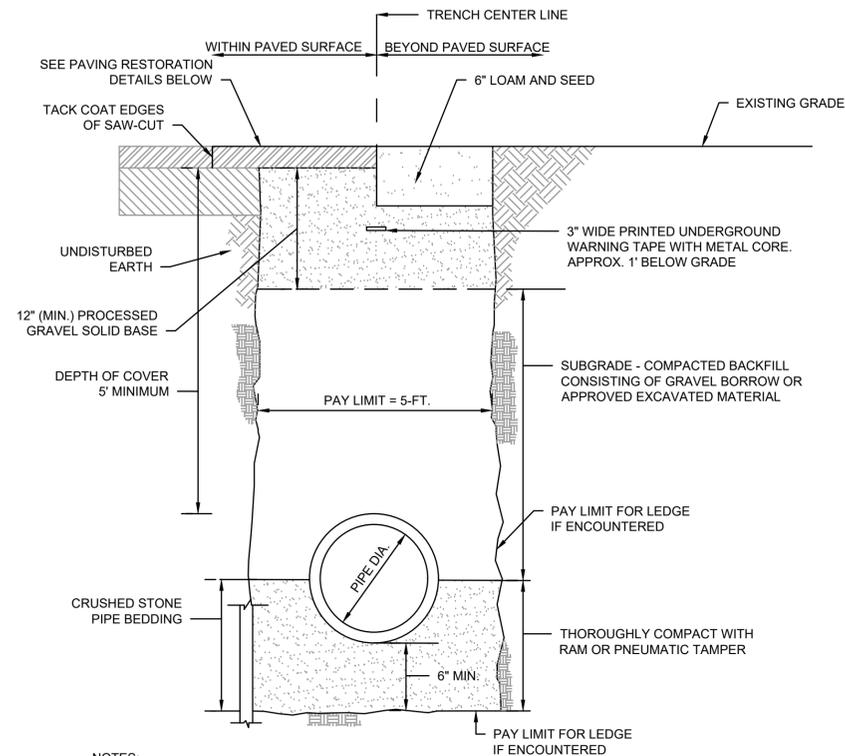
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**KNOWLES CROSSING - 143 SHORE ROAD  
WATER DEPARTMENT STORAGE BUILDING  
TRURO, MASSACHUSETTS**

GRADING PLAN

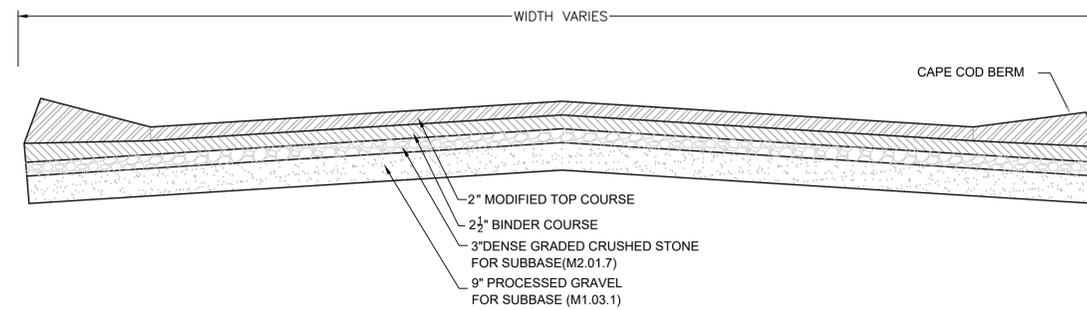
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**C-3**

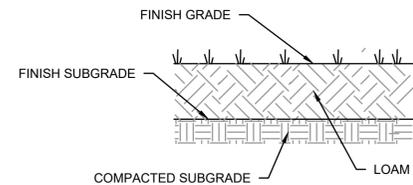


- NOTES:**
1. SHEETING, WHEN REQUIRED, IS TO BE CUT OFF AT LEAST 5 FEET BELOW ROADWAY GRADE AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE, ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
  2. WHEN APPROVED BY THE ENGINEER FOR PIPES OTHER THAN PVC, SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE. NO STONES LARGER THAN 2" IN ANY DIMENSION WILL BE PERMITTED IN THIS AREA - MASSDOT DPW MATERIAL STANDARD M1.03.0.
  3. TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS OFF-ROAD EXCEPT FOR PAVING.
  4. BEDDING MATERIAL FOR PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D2321 CLASS I OR CLASS II EMBEDMENT MATERIALS.
  5. COMPACTION TESTING SHALL BE COMPLETED IN ACCORDANCE WITH THE ASTM D1557 METHOD C, UNLESS OTHERWISE WRITTEN IN THE SPECIFICATIONS OR DIRECTED BY THE ENGINEER

**TYPICAL GRAVITY SEWER AND FORCE MAIN TRENCH DETAIL**  
SCALE: N.T.S.

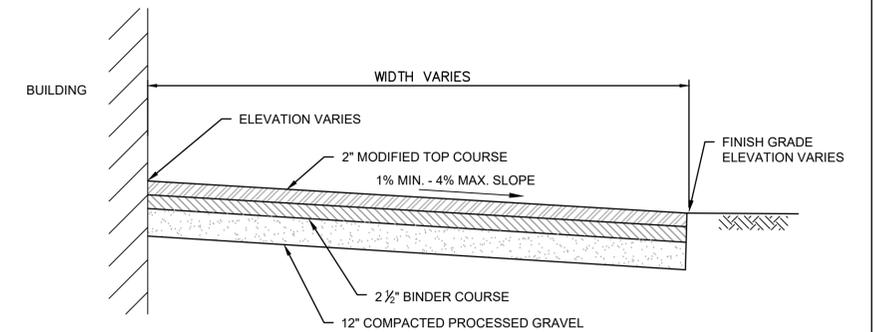


**ACCESS/SITE DRIVES DETAIL**  
SCALE: N.T.S.

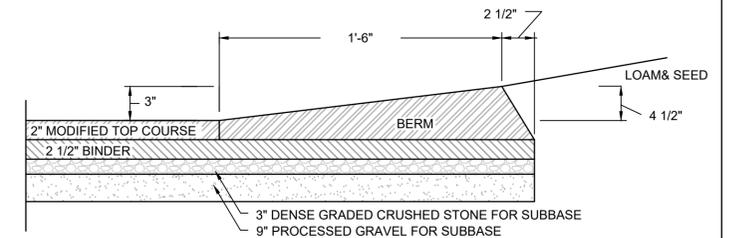


**NOTE:**  
INSTALL CURLEX CL EROSION CONTROL BLANKET AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY (OR APPROVED EQUAL) ON ALL LOAM AND SEEDED SLOPES 3:1 OR STEEPER.

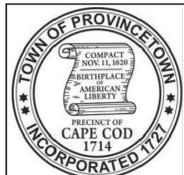
**LOAM AND SEED (DISTURBED AREAS)**  
SCALE: N.T.S.



**PAVEMENT AROUND BUILDING DETAIL**  
SCALE: N.T.S.



**CAPE COD BERM DETAIL**  
SCALE: N.T.S.



MARK	DATE	DESCRIPTION

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Drawn by	SLC
Checked by	PCM
Approved by	PCM

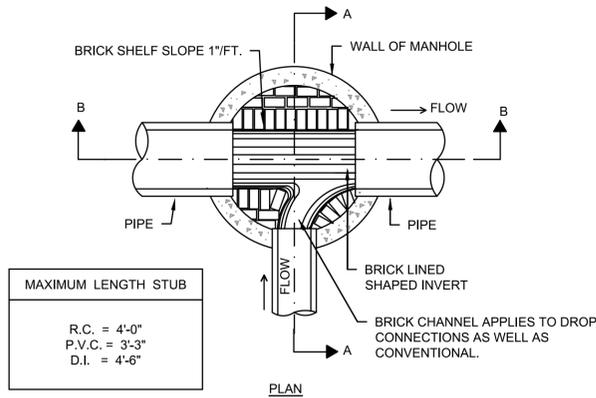
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KNOWLES CROSSING - 143 SHORE ROAD  
WATER DEPARTMENT STORAGE BUILDING  
TRURO, MASSACHUSETTS

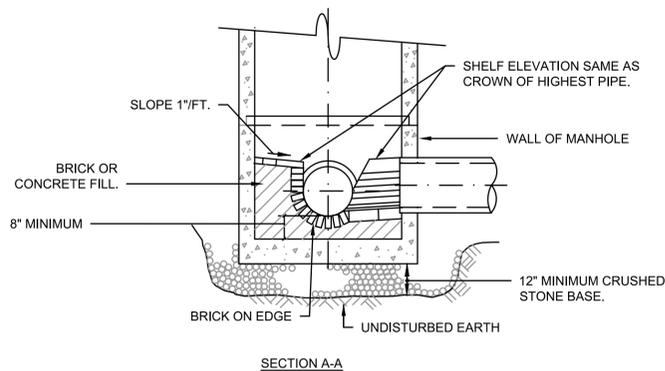
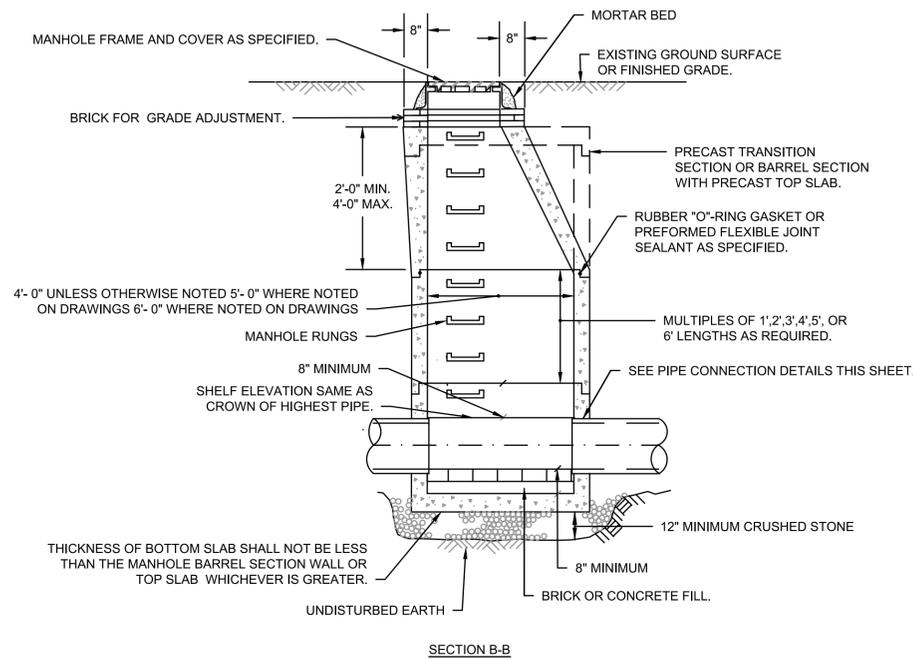
CIVIL DETAILS I

NOT FOR CONSTRUCTION  
Sheet No.

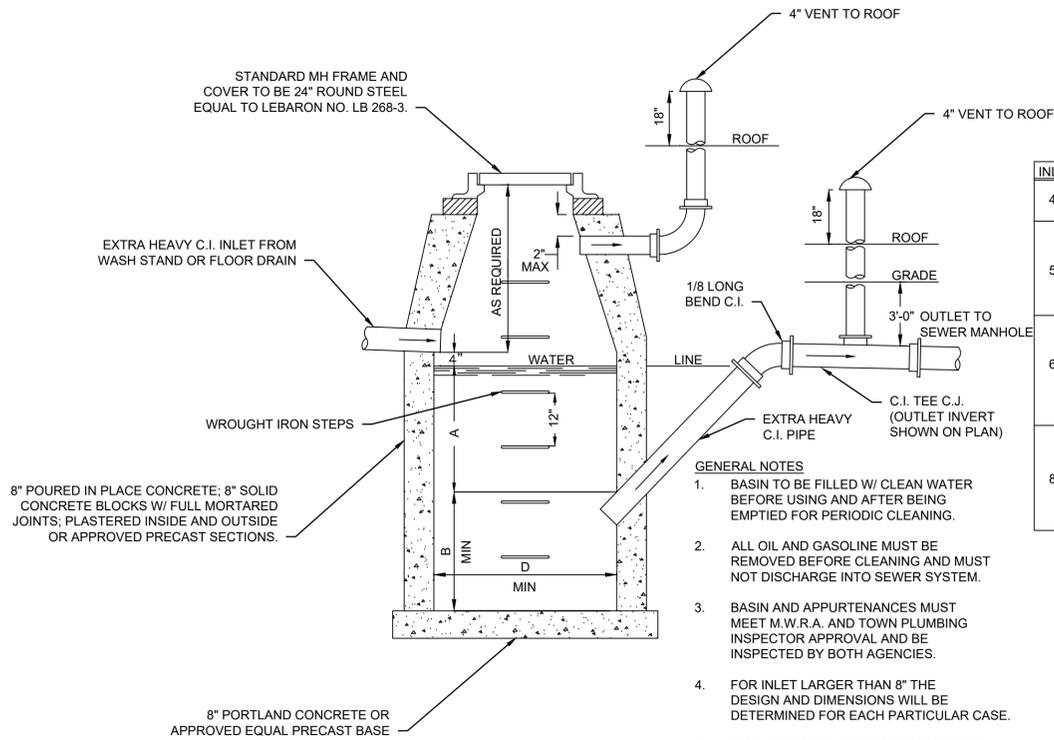
CD-1



MAXIMUM LENGTH STUB	
R.C. =	4'-0"
P.V.C. =	3'-3"
D.I. =	4'-6"

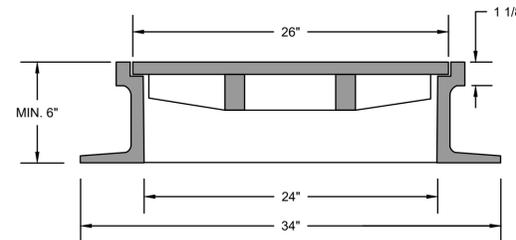


**TYPICAL PRECAST SEWER MANHOLE**  
SCALE: N.T.S.



INLET	D	A	B
4"	4'-0" 3'-6"	2'-3" 3'-0"	1'-11" 2'-6"
5"	3'-6" 3'-6"x3'-6" 4'-0" 4'-0"x4'-0" 4'-6"	5'-0" 4'-0" 3'-6" 3'-0" 3'-0"	4'-0" 3'-0" 2'-6" 2'-6"
6"	4'-0" 4'-0"x4'-0" 4'-6" 4'-6"x4'-6" 5'-0" 5'-0"x5'-0"	5'-0" 4'-0" 4'-0" 3'-6" 3'-6" 3'-0"	4'-6" 3'-6" 3'-6" 3'-0" 3'-0" 2'-6"
8"	5'-0" 5'-6"x5'-6" 6'-0" 6'-0"x6'-0" 6'-6" 6'-6"x6'-6"	6'-0" 4'-6" 4'-0" 3'-0" 3'-6" 3'-0"	5'-0" 4'-0" 3'-6" 2'-6" 3'-0" 2'-6"

**STANDARD MWRA GAS TRAP**  
SCALE: N.T.S.

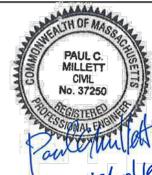


- NOTES:
1. FRAME AND COVER SHALL BE HEAVY DUTY, 24 INCH DIAMETER, MARBLEHEAD PATTERN AS MANUFACTURED BY EJ OR APPROVED EQUAL.
  2. EACH COVER SHALL READ **SEWER** IN 3" LETTERING.
  3. FRAME AND COVER SHALL BE SET IN FULL BED OF MORTAR.
  4. FRAME HEIGHT TO BE DETERMINED BY CONTRACTOR.
  5. EACH FRAME AND COVER SHALL HAVE A MINIMUM WEIGHT OF 450 POUNDS.

**STANDARD SEWER MANHOLE FRAME AND COVER**  
SCALE: N.T.S.



**ENVIRONMENTAL PARTNERS**



MARK	DATE	DESCRIPTION

Scale AS NOTED  
Date DECEMBER 2019  
Job No. 115-1906  
Designed by PCM/SLC  
Drawn by SLC  
Checked by PCM  
Approved by PCM

KNOWLES CROSSING - 143 SHORE ROAD  
WATER DEPARTMENT STORAGE BUILDING  
TRURO, MASSACHUSETTS

CIVIL DETAILS II

NOT FOR CONSTRUCTION  
Sheet No. **CD-2**

REVISIONS

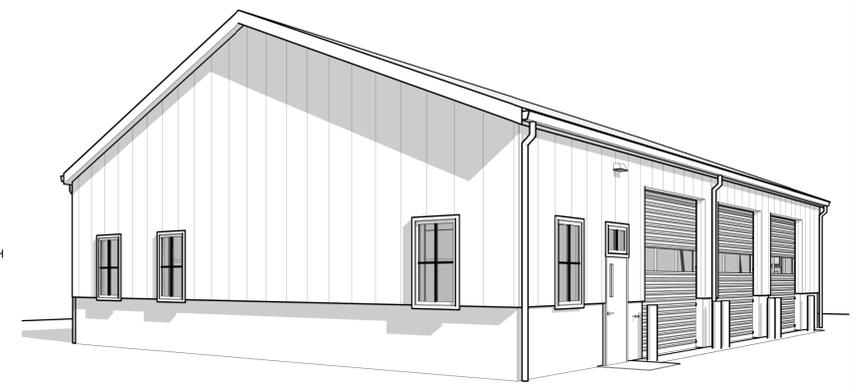
**KEENAN + KENNY ARCHITECTS, LTD.**  
 188 Main Street  
 Falmouth, Massachusetts 02540  
 508-546-0975 TEL office@kandkarchitects.com  
 www.kandkarchitects.com

NEW BUILDING FOR:  
**PROVINCETOWN WATER DEPARTMENT**  
 143 SHORE ROAD TRURO, MA

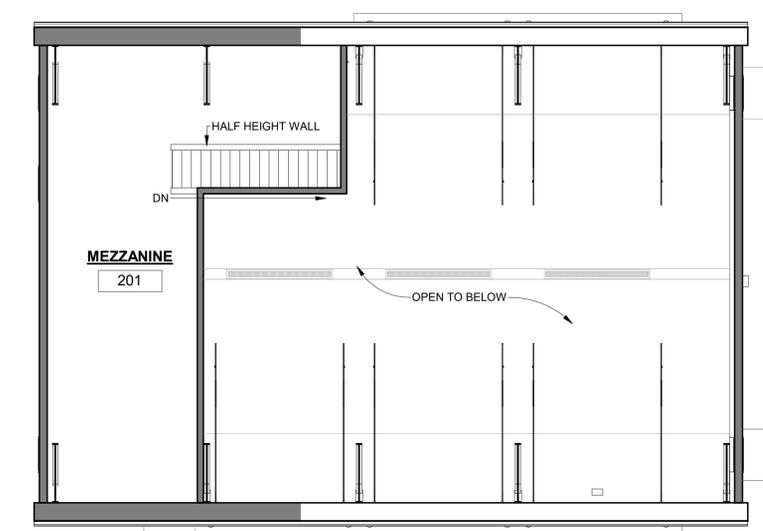
SHEET TITLE:  
**OVERALL FLOOR PLAN**

PROJECT NO.  
PTOWN W.D.  
 SCALE:  
As indicated

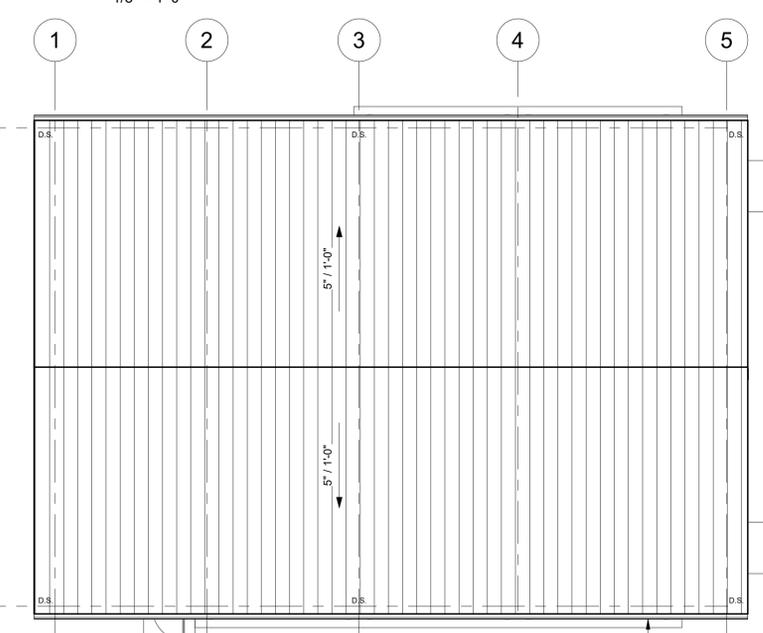
**A1.1**



1 SOUTHEAST VIEW



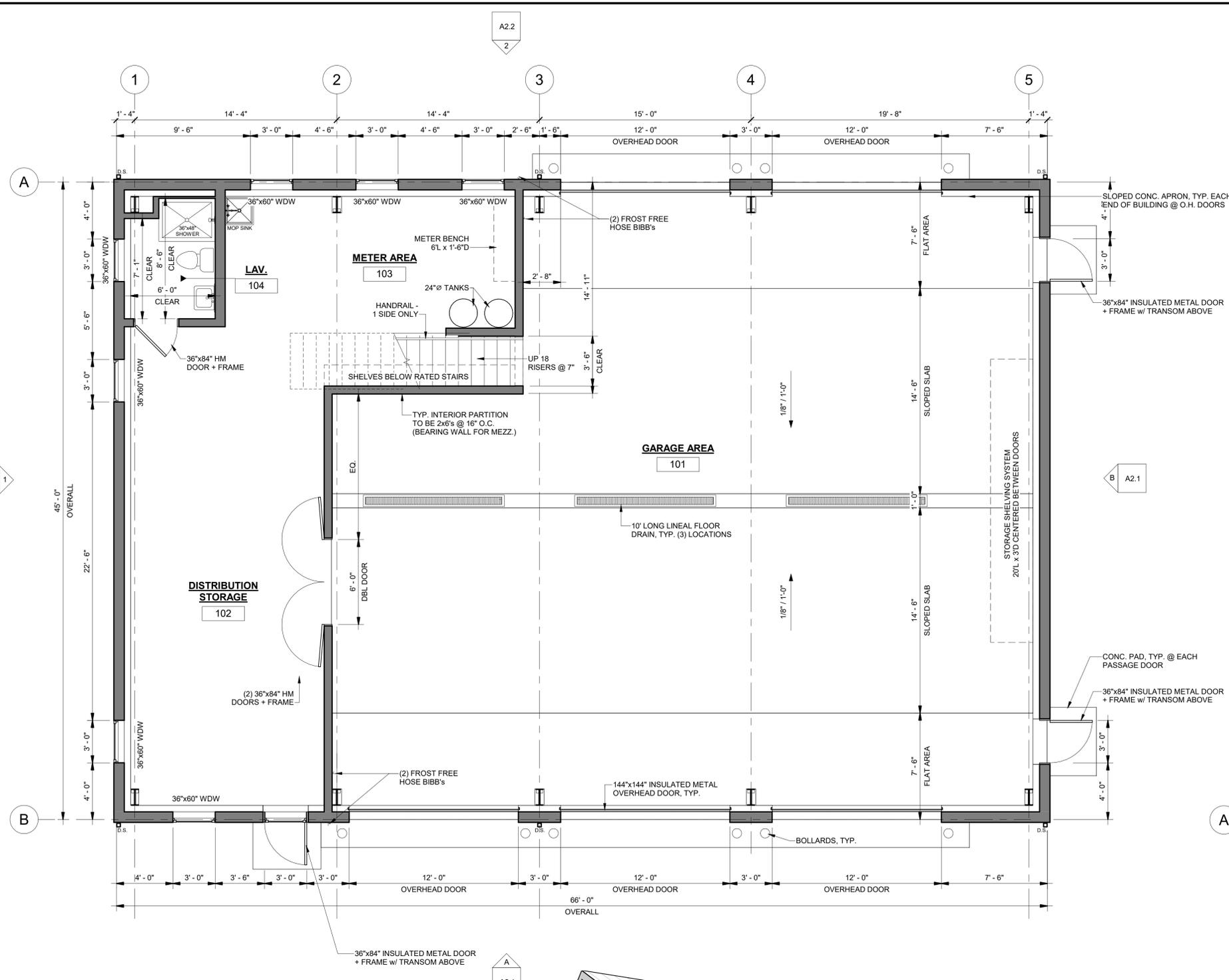
B MEZZANINE  
1/8" = 1'-0"



C ROOF PLAN  
1/8" = 1'-0"



2 NORTHWEST VIEW



A OVERALL FLOOR PLAN  
1/4" = 1'-0"

10/30/2019 3:44:31 PM

REVISIONS

**KEENAN + KENNY ARCHITECTS, LTD.**  
 100 Main Street  
 Falmouth, Massachusetts 02540  
 508-546-0075 TEL office@kandkarchitects.com  
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NEW BUILDING FOR:  
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 143 SHORE ROAD TRURO, MA

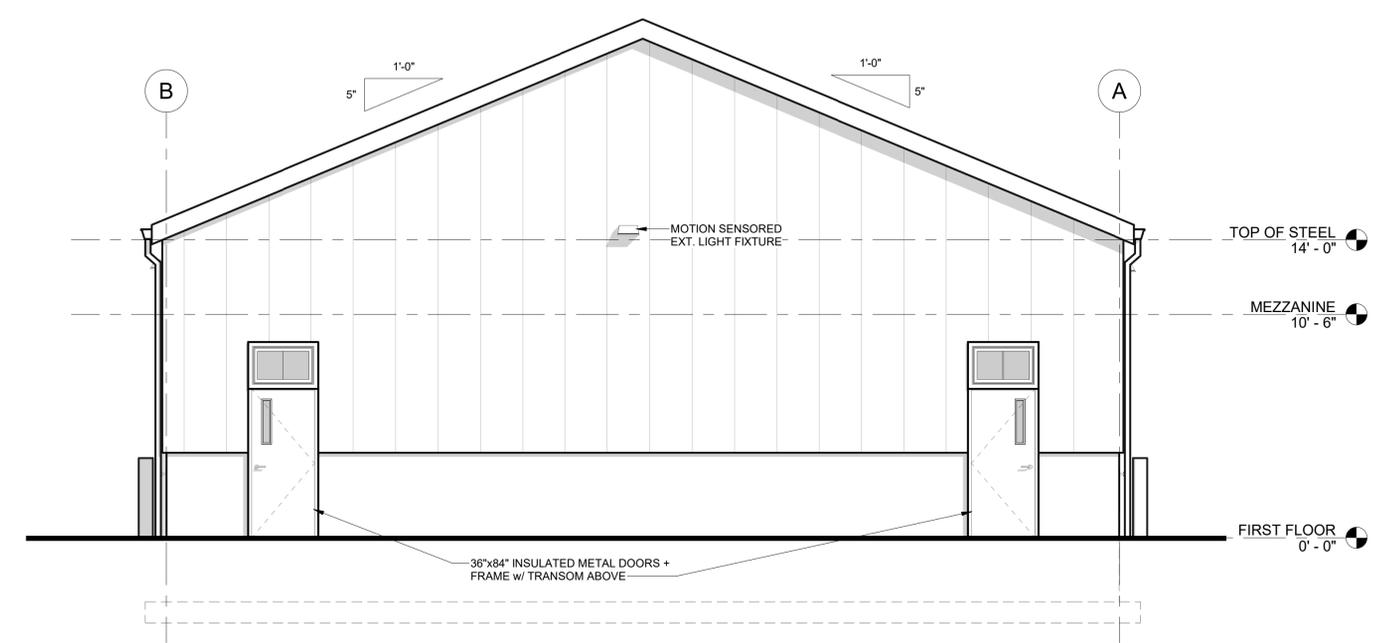
SHEET TITLE:  
**BUILDING ELEVATIONS**

PROJECT NO.  
PTOWN W.D.  
 SCALE:  
1/4" = 1'-0"

**A2.1**



**A EAST ELEVATION**  
1/4" = 1'-0"



**B NORTH ELEVATION**  
1/4" = 1'-0"

REVISIONS

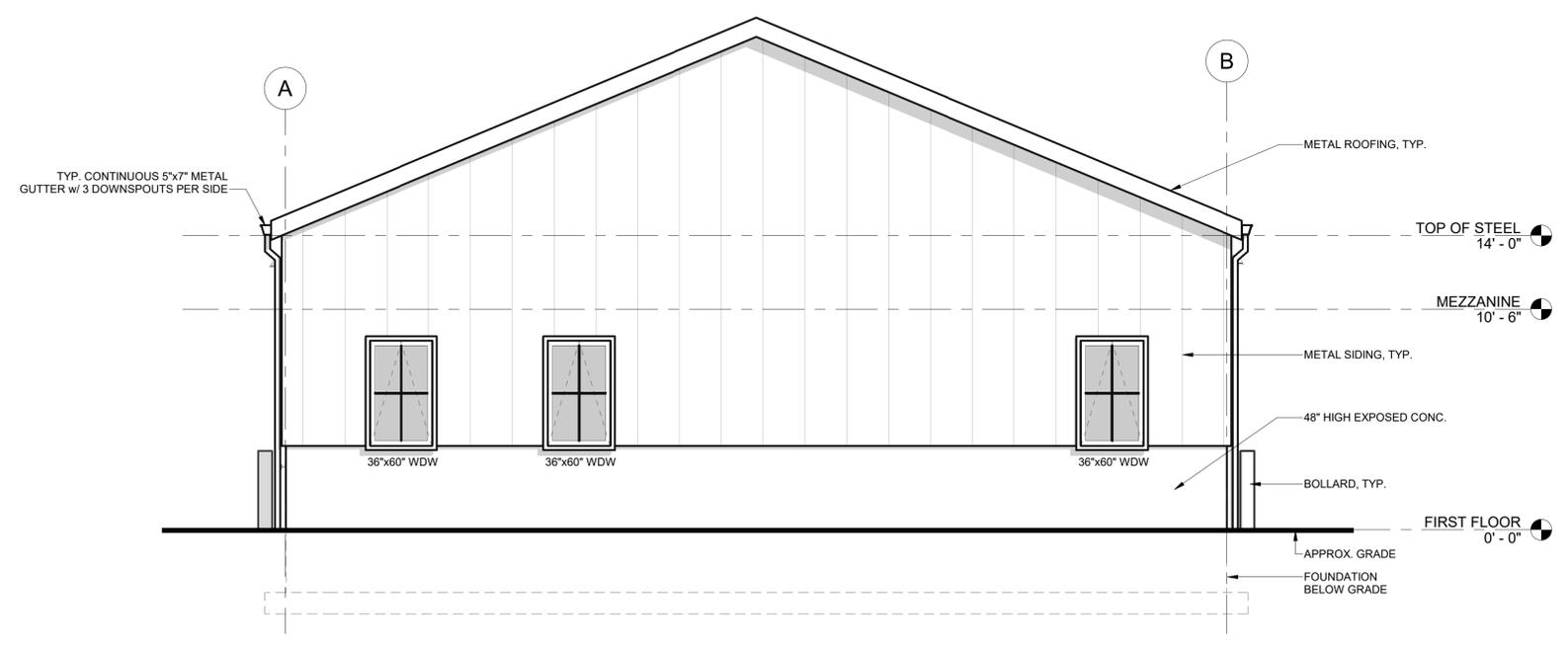
**KEENAN + KENNY ARCHITECTS, LTD.**  
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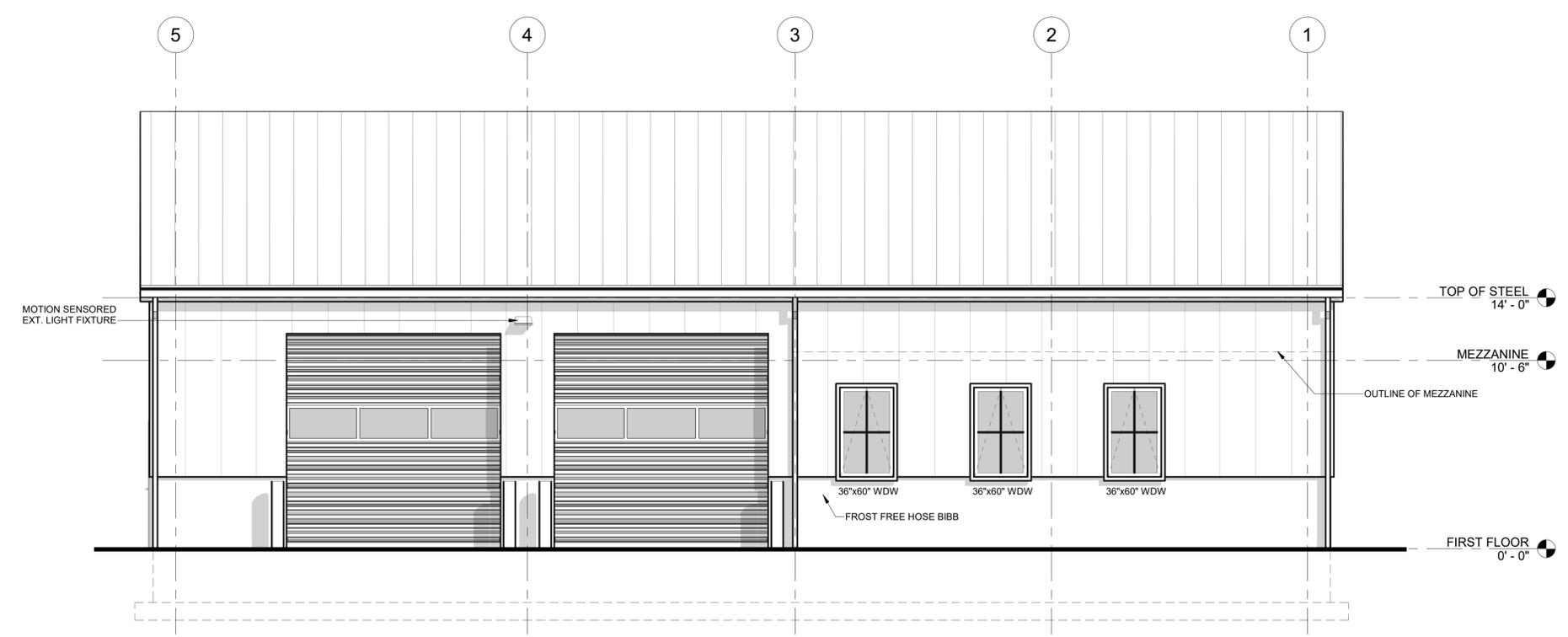
SHEET TITLE:  
**BUILDING ELEVATIONS**

PROJECT NO.  
PTOWN W.D.  
 SCALE:  
1/4" = 1'-0"

**A2.2**



① SOUTH ELEVATION  
1/4" = 1'-0"



② WEST ELEVATION  
1/4" = 1'-0"











# **BOARD ACTION/REVIEW**



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## PROCEDURE FOR SUBMITTING APPLICATION FOR ACCESSORY DWELLING UNIT (ADU) PERMIT

A completed application consisting of each of the requirements of §40.2 will be filed as follows:

- **fifteen (15) packets to be filed with the Town Clerk; AND**
- **a complete copy, including all plans and attachments, submitted electronically to the Town Planner at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov).**

The following information and requirements must be filed with all applications for an Accessory Dwelling Unit (ADU) Permit consistent with the Rules, Regulations and Fee Schedule of the Truro Planning Board.

**1 – Official Application Form – Original and Fourteen (14) Copies**

Every application for action by the Board shall be made on an official form. Any communications purporting to be an application shall be treated as mere notice of intention until such time as it is made on an official application form accompanied by all requisite supporting data.

**2 – Required Plan(s) and Other Information including Checklist (Fifteen (15) Copies)**

Every application and petition to the Board shall be accompanied by all the plans and other information required in the Zoning Bylaw. The application shall include each of the requirements of §40.2 as listed in the attached Checklist which is to be submitted as part of the official application.

**3 – Certified Abutters List – Original and Fourteen (14) Copies**

A Certified Abutters List shall be obtained by the Applicant from the Truro Assessors Office and filed as part of the complete application. A copy of the “Certified Abutters List Request Form” is included in this packet.

**4 – Filing Fee**

All applications shall be filed with the Town Clerk and shall be accompanied by a check payable to the Town of Truro in the amount of **\$50.00**. The filing fee is non-refundable.

## ONCE A COMPLETED APPLICATION HAS BEEN RECEIVED

- Town Planner will determine if an Application is complete. Upon determination an Application is complete, the Planning Board will then proceed to post notice of a public hearing in accordance with Section 11 of Chapter 40A of the General Laws of Massachusetts.
- Either you or your agent/representative shall appear before the Board at the scheduled hearing. If you need to reschedule, you must submit a request in writing for a continuance, using Town of Truro Continuance Request Form.
- Additional information may be submitted prior to the scheduled public hearing provided it is received no less than **ten (10) days** prior to the hearing so that it can be included in the packet for Board Members to read and review. Submit fifteen (15) paper copies **AND** an electronic copy to the Town Planner (at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov)). Plans must be submitted to the Town Clerk for filing. Information received less than **ten (10) days** before the scheduled hearing may result in a continuance of the hearing. New material brought to the meeting, that has not previously been filed/submitted, will not be reviewed at that meeting.

**Please do not include a copy of these instructions with the application**



# Town of Truro Planning Board

P.O. Box 2030, Truro, MA 02666

## APPLICATION FOR ACCESSORY DWELLING UNIT (ADU) PERMIT

To the Town Clerk and the Planning Board of the Town of Truro, MA Date _____

The undersigned hereby files an application with the Truro Planning Board for the following:

*Accessory Dwelling Unit* pursuant to §40.2 of the Truro Zoning Bylaw

### 1. General Information

Description of Property and Proposed Project _____

Property Address _____ Map(s) and Parcel(s) _____

Applicant's Name _____

Applicant's Legal Mailing Address _____

Applicant's Phone(s), Fax and Email _____

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

Owner       Prospective Buyer*       Other*

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Owner's Name and Address _____

Representative's Name and Address _____

Representative's Phone(s), Fax and Email _____

2. The completed application **shall also** be submitted **electronically** to the Town Planner at [planner1@truro-ma.gov](mailto:planner1@truro-ma.gov) in its entirety (including all plans and attachments).

- Application **shall** include each of the requirements noted in §40.2C ADU Permit Criteria and §40.2D Procedure. Those applications not fulfilling the criteria of this section shall be deemed incomplete and will **not** be accepted, or acted upon, by the Planning Board.
- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, and/or Health Department prior to submitting this application.
- Additionally, Site Plan Review is **required** for construction, alteration, or modification of any Seashore District property (i) which results in the addition of more than one thousand (1,000) square feet of gross floor area (the aggregate gross floor area of all structures on the project lot) to an existing structure or structures, (ii) which adds an additional story to an existing structure, or (iii) which constitutes the construction or reconstruction of a single-family dwelling or a two-family dwelling. (See §70.4)

### Signature(s)

Applicant(s)/Representative *Printed* Name(s)

Owner(s) *Printed* Name(s) or written permission

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Planning Board and town staff to visit and enter upon the subject property.

*This page intentionally left blank*

## 40.2 - ACCESSORY DWELLING UNIT REVIEW CHECKLIST - Applicant

Address: _____		Applicant Name: _____		Date: _____	
No.	Requirement	Met	Not Met	Explanation, if needed	
<b>C. ADU Permit Criteria</b>					
1	The ADU shall be a complete, separate housekeeping unit containing both kitchen and sanitary facilities				
2	The ADU shall not contain more than one thousand (1,000) square feet nor less than four hundred (400) square feet of Gross Floor Area as that term is defined in Section II of this Zoning Bylaw. Once an ADU has been added to a dwelling, structure or lot, the ADU shall not be enlarged beyond the square footage specified in the permit granted pursuant to this section without first obtaining a subsequent permit from the Planning Board, and in no case shall an ADU be permitted to exceed the square footage allowed by this section.				
3	At least two (2) off street parking spaces in addition to parking otherwise required for the property is required for an ADU. An ADU shall be clearly subordinate in use, size and design to the principal dwelling or structure, considering the following: Building architectural details Roof design Building spacing and orientation Building screening Door and window size and location Building materials Building materials				
4	When accessory to a principal dwelling, the intent is to retain the appearance of a single-family dwelling and the privacy of abutters.				
5	The principal dwelling and ADU and lot on which they are located shall remain in common ownership, and shall not be severed in ownership, including that the lot, buildings or units thereon shall not be placed in a condominium form of ownership.				

## 40.2 - ACCESSORY DWELLING UNIT REVIEW CHECKLIST - Applicant

<b>Address:</b> _____		<b>Applicant Name:</b> _____		<b>Date:</b> _____	
No.	Requirement	Met	Not Met	Explanation, if needed	
<b>C. ADU Permit Criteria</b>					
6	<p>Either the ADU or the principal dwelling on a lot with an ADU must be leased for a term of at least twelve (12) months. Rental of said unit for a period of less than twelve (12) months (including, but not limited to, seasonal rental and rental through vacation rental services and websites) is prohibited.</p> <p><i>Proof of year-round rental shall be provided annually to the Building Commissioner by the owner in the form of a lease and a signed affidavit from both the owner and renter stating the unit is being rented accordingly and is used as a primary residence.</i></p>				
7	<p><i>ADUs permitted under this section shall be inspected annually or as frequently as deemed necessary by the Health and Building Departments for compliance with public safety and public health codes. The owner of the property shall be responsible for scheduling such inspection and shall pay any applicable inspection fees.</i></p>	Enforcement	Enforcement		

## 40.2 - ACCESSORY DWELLING UNIT REVIEW CHECKLIST - Applicant

Address: _____		Applicant Name: _____	Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed
<b><u>D. Procedure</u></b>				
1	Each Application consists of:			
1a.	An original and 14 copies of the Application for Accessory Dwelling Unit			
1b.	15 copies of the required plans and other required information including this Checklist			
1c.	Applicable filing fee			
1d.	List of abutters obtained from the Truro Assessing Department			
	Site Plan or Site and Sewage Plan			
	Prepared by a registered professional engineer or registered sanitarian showing:			
	All property lines			
	Existing and proposed structures on the parcel			
1e.	Setbacks from roads and property lines for each structure			
	Building dimensions shall be shown on the plan:			
	Height   _____			
	Stories   _____			
	Square Footage   _____			
1f.	Documentation of approval of the septic/wastewater treatment system from the Board of Health			
	Building plans of ADU and Principal Dwelling or Structure:			
	ADU:			
	At a scale of no less than 1/8" = 1'-0"			
1g.	Floor Plan			
	Front Elevation			
	Side Elevation			
	Rear Elevation			

## 40.2 - ACCESSORY DWELLING UNIT REVIEW CHECKLIST - Applicant

Address: _____		Applicant Name: _____		Date: _____	
No.	Requirement	Included	Not Included	Explanation, if needed	
<b><u>D. Procedure</u></b>					
	Principal Dwelling/Structure:				
	At a scale of no less than 1/8" = 1'-0"				
1g. (Cont'd.)	Floor Plan				
	Front Elevation				
	Side Elevation				
	Rear Elevation				
1h.	Affidavit declaring that the ADU and/or principal dwelling to which it is accessory will be rented on a twelve-month basis				
1i.	Documentation of approval, if applicable, from the Conservation Commission				
1j.	Documentation of Special Permit or Variance, if applicable, from the Zoning Board of Appeals				



# TOWN OF TRURO

## Assessors Office Certified Abutters List Request Form

DATE: _____

NAME OF APPLICANT: _____

NAME OF AGENT (if any): _____

MAILING ADDRESS: _____

CONTACT: HOME/CELL _____ EMAIL _____

PROPERTY LOCATION: _____

(street address)

PROPERTY IDENTIFICATION NUMBER: MAP _____ PARCEL _____ EXT. _____

(if condominium)

### ABUTTERS LIST NEEDED FOR:

(please check all applicable)

**FEE: \$15.00 per checked item**

(Fee must accompany the application unless other arrangements are made)

- |                                                               |                                                                     |                                                      |
|---------------------------------------------------------------|---------------------------------------------------------------------|------------------------------------------------------|
| <input type="checkbox"/> Board of Health ⁵         | Planning Board (PB)                                                 | Zoning Board of Appeals (ZBA)                        |
| <input type="checkbox"/> Cape Cod Commission                  | <input type="checkbox"/> Special Permit ¹                | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ²                     | <input type="checkbox"/> Variance ¹       |
| <input type="checkbox"/> Licensing                            | <input type="checkbox"/> Preliminary Subdivision ³       |                                                      |
| Type: _____                                                   | <input type="checkbox"/> Definitive Subdivision ³        |                                                      |
|                                                               | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² |                                                      |
| <input type="checkbox"/> Other _____                          |                                                                     | (Fee: Inquire with Assessors)                        |

(Please Specify)

**Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.**

### THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: _____ Date completed: _____

List completed by: _____ Date paid: _____ Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.