

Addendum #4

DATE: October 27, 2023
SUBJECT: Truro Cottage Relocation and Upgrades Project
W&S PROJECT #: ENG22-1122

To be considered as part of the contract drawings and specifications and all other contract documents for the project referenced above; superseding previously issued Drawings, Specifications, Bidding Requirements, Contract Documents and Addenda, to the extent modified by this Addendum. Bidders are advised that this Addendum must be acknowledged in the appropriate space provided on the Form of General Bid.

The following items are listed in this Addendum:

- I. Information Bulletin
 - II. Drawing Replacement / Additions
 - III. Filed Sub-bid Results.
-

I. INFORMATION BULLETIN

1. GC TO CARRY WORK: The GC shall carry the work for the following trade(s).

26 00 01.FSB - Electrical

No bids were received for Sub-Trade Electrical. In accordance with M.G.L. c.149, §44F(4)(a)(1), Town of Truro, the Awarding Authority, issues the following directive.

The General Bidder shall include in the cost of his own work an amount to cover all the work required for the Sub-Trade 26 00 01 Electrical. The General Contractor shall cause the work covered by the Sub-Trade to be done by a qualified and responsible Sub-contractor, subject to the written approval of the Awarding Authority. If the Awarding Authority determines that the Sub-contractor chosen by the General Contractor under this Section is not qualified or responsible, the General Contractor shall obtain another Sub-contractor who is satisfactory to the Awarding Authority with no adjustment in the General Contractor's price. The selected Sub-contractor shall be DCAMM certified as noted in the Advertisement.

2. Bidders are advised that the General Bid **opening date** has been **REVISED** as follows:

- a. Revise the General Bid opening date from October 1, 2023, at 2:30 PM to **November 15, 2023, at 2:30 PM.**

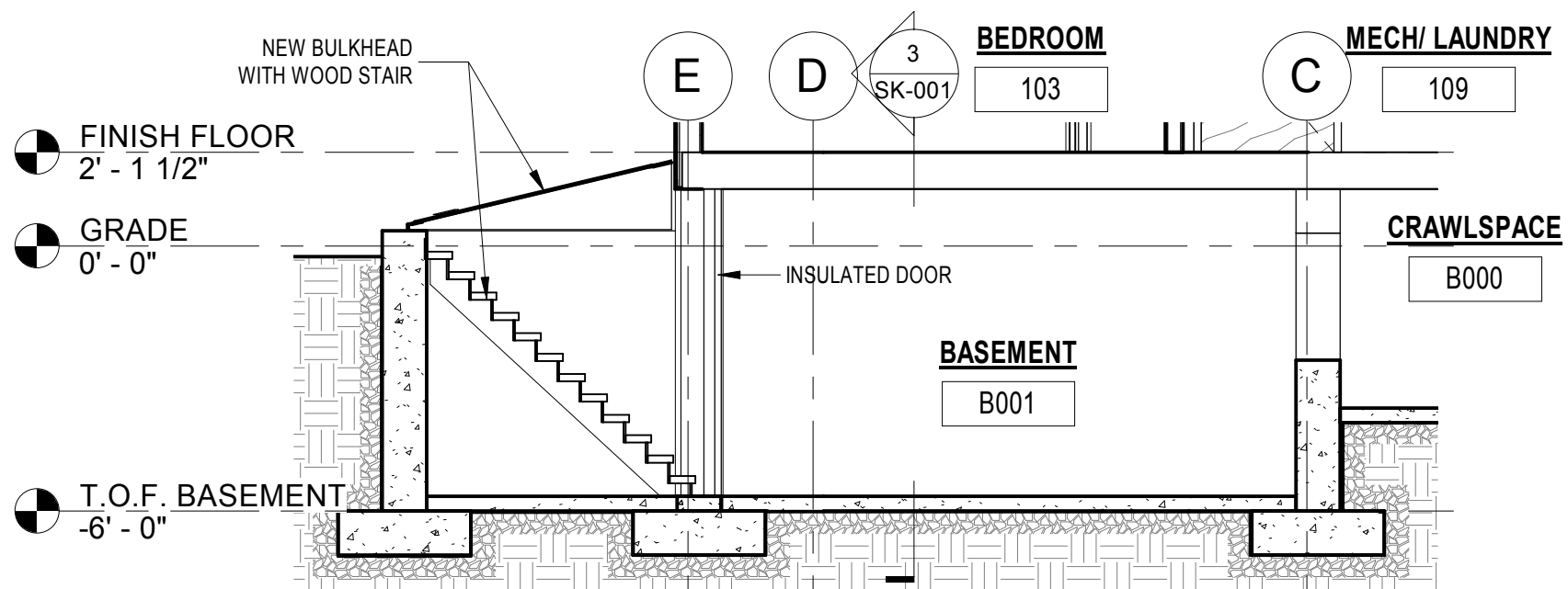
II. DRAWING REPLACEMENT / ADDITIONS:

1. Add Drawing ASK-001
2. Add Drawing S101
3. Add Drawing S103
4. Add Drawing S107
5. Add Drawing S311

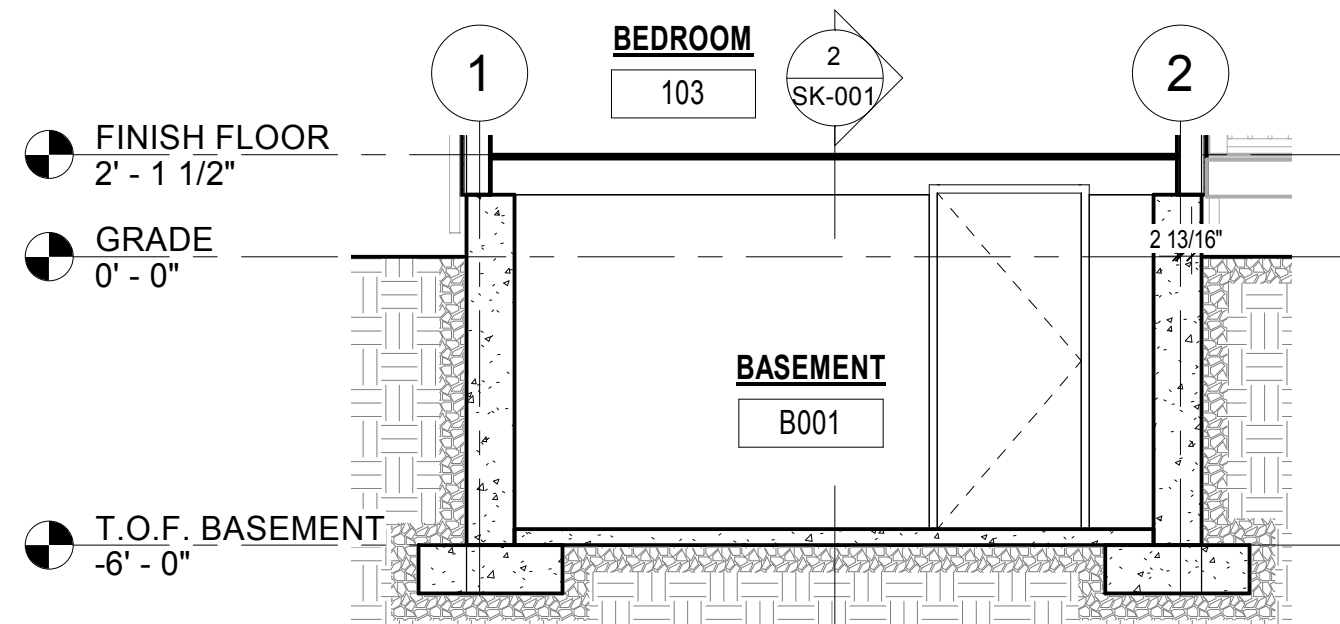
III. FILED SUB-BID RESULTS.

1. Attached are the Filed Sub-bid Results.

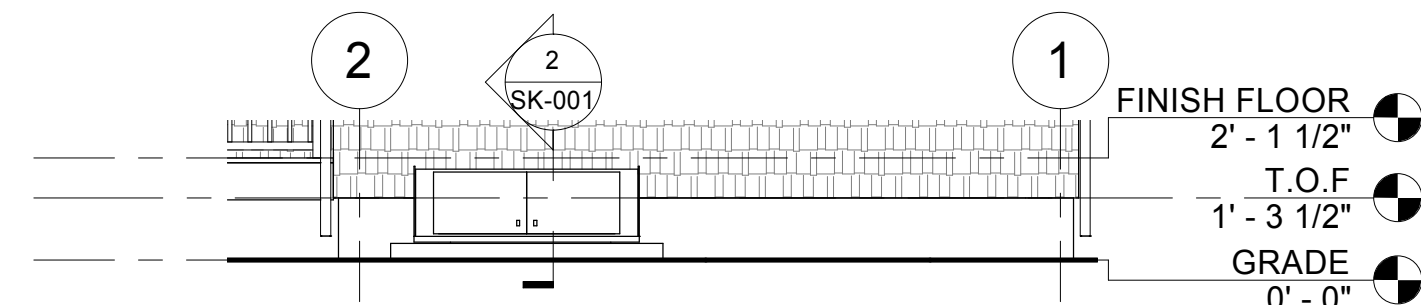
END OF ADDENDUM #4



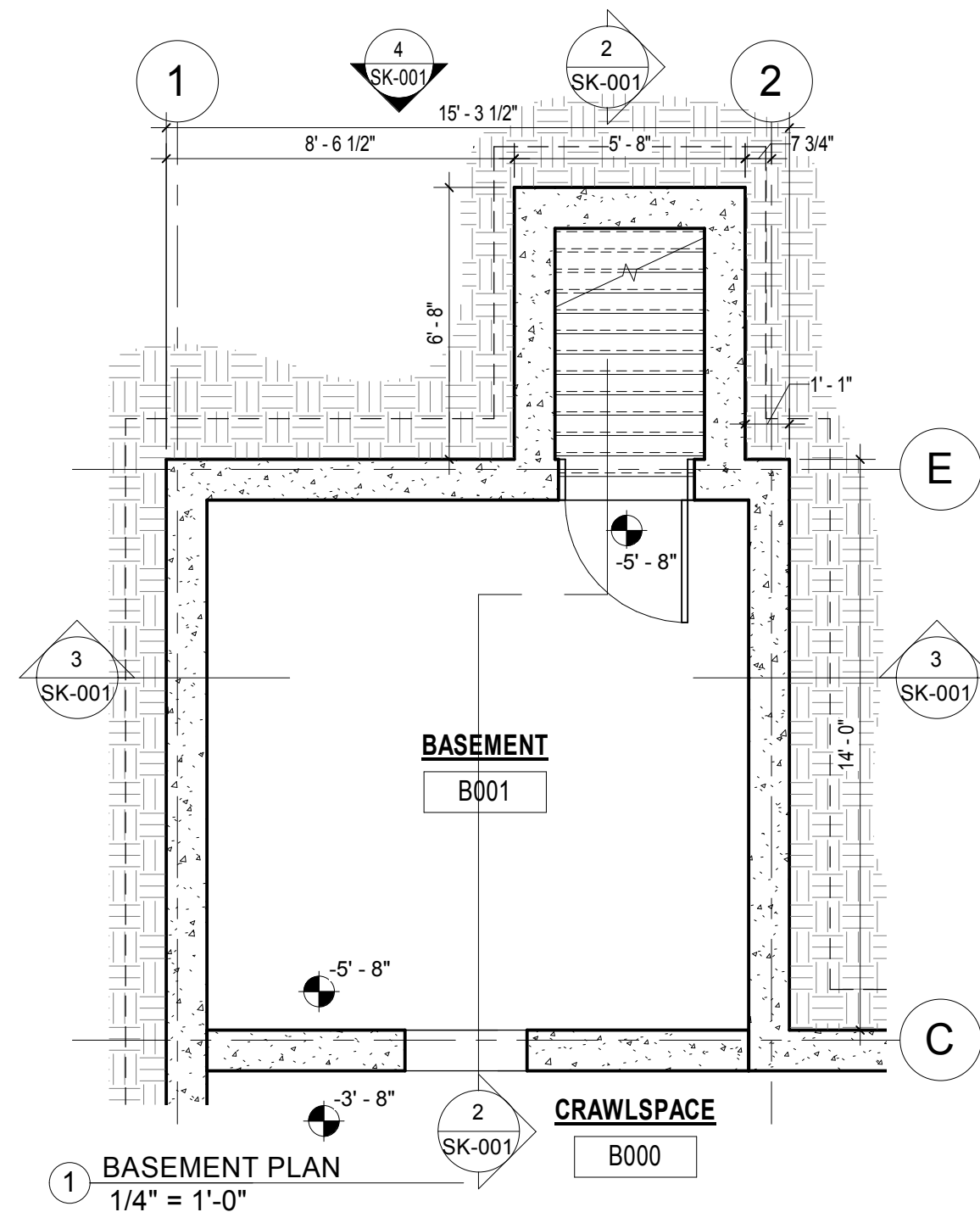
2 SECTION 1
1/4" = 1'-0"



3 SECTION 2
1/4" = 1'-0"



4 ELEVATION 1
1/4" = 1'-0"



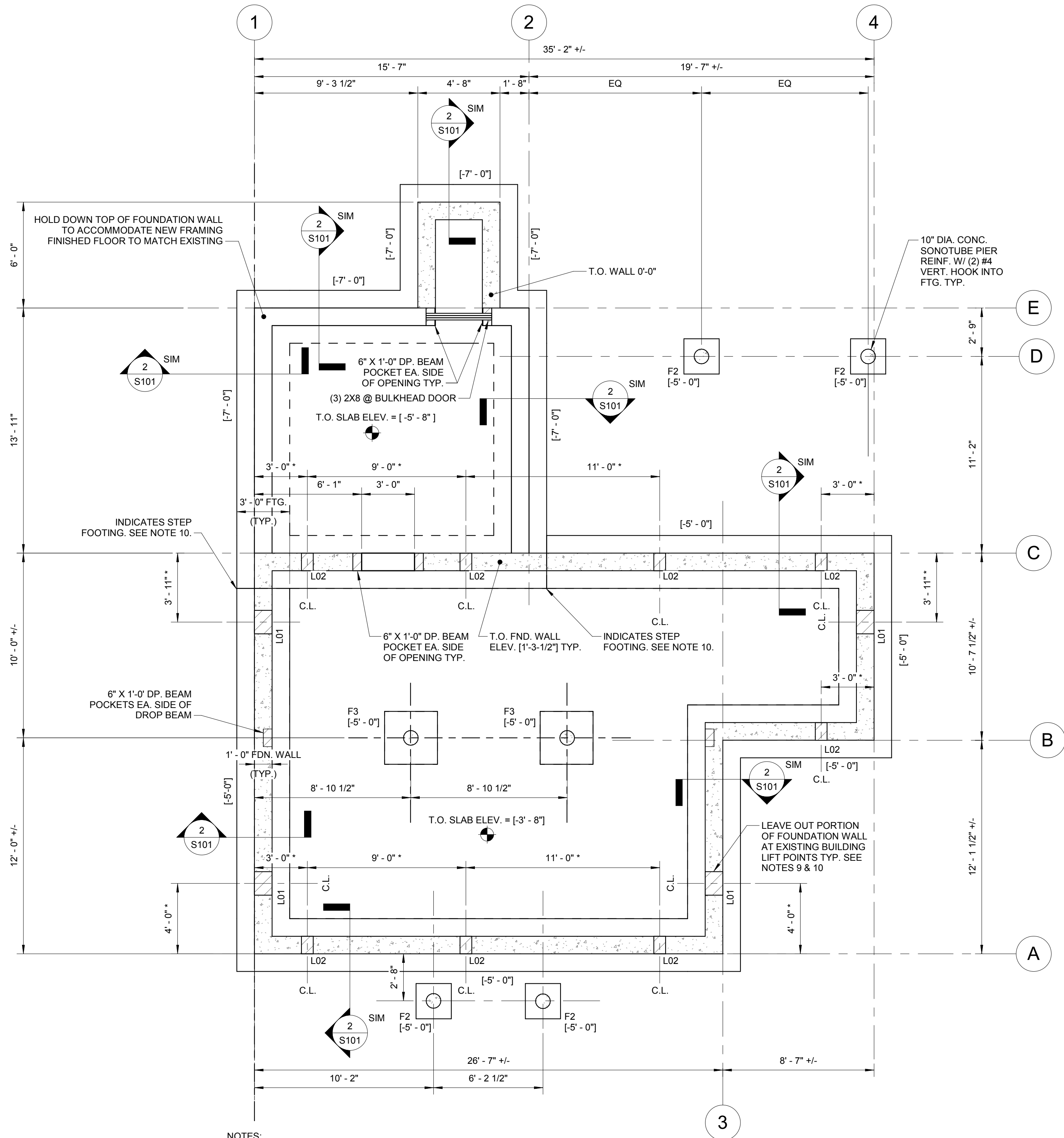
1 BASEMENT PLAN
1/4" = 1'-0"

Walsh Cottage Basement Level

TOWN OF TRURO, MA
TRURO COTTAGE HOUSING RELOCATION
AND UPGRADE PROJECT
25 SOUTH HIGHLAND RD, TRURO MA 02666

Drawn by: DG Proj. Mgr.: JC
Date: 10/27/2023
Sheet No.:
Issued In:

SK-001



NOTES:

- +/- INDICATES EXISTING BUILDING DIMENSION TO BE VERIFIED BY G.C. IN THE FIELD.
- COORDINATE ALL WORK (INCLUDING, BUT NOT LIMITED TO, FLOOR ELEVATIONS, DIMENSIONS, FINISH DETAILS, PENETRATIONS, ETC.) WITH THE ARCHITECTURAL, SITE, EQUIPMENT, PLUMBING, AND MECHANICAL DRAWINGS.
- [XX'-XX"] INDICATES BOTTOM OF FOOTING ELEVATION. EL. 0'-0" = PROJ. ELEV. 105.00', WHICH IS FINISH GRADE AT PERIMETER OF STRUCTURE. GRADE CONSIDERED LEVEL. G.C. TO VERIFY. ALL EXTERIOR FOOTINGS SHALL BE LOCATED A MINIMUM OF 4'-0" BELOW FINISHED GRADE.
- F# - INDICATES NEW CONCRETE SPREAD FOOTING TYPE. SEE FOOTING SCHEDULE ON THIS SHEET FOR DIMENSIONS AND REINFORCING DETAILS.
- * INDICATES DIMENSION TO BE COORDINATE BY G.C. WITH BUILDING MOVER.
- L01 INDICATES 16" WIDE X 24" TALL LEAVE OUT AT TOP OF FOUNDATION WALL.
- L02 INDICATES 8" WIDE X 16" TALL LEAVE OUT AT TOP OF FOUNDATION WALL.
- FOUNDATION WALL LEAVE OUT LOCATIONS SHOWN IN PLAN ARE PRELIMINARY. G.C. TO COORDINATE FINAL SIZE AND POSITION OF ALL LEAVE OUT LOCATIONS WITH BUILDING MOVER PRIOR TO CONSTRUCTION.
- WALL REINFORCEMENT IS DISCONTINUOUS AT ALL LEAVE OUT LOCATIONS. FILL FOUNDATION WALL LEAVE OUT LOCATIONS WITH NORMAL WEIGHT CONCRETE AFTER EXISTING BUILDING TEMPORARY SUPPORTS HAVE BEEN REMOVED.
- SEE STEP FOOTING DETAIL 3/S101.

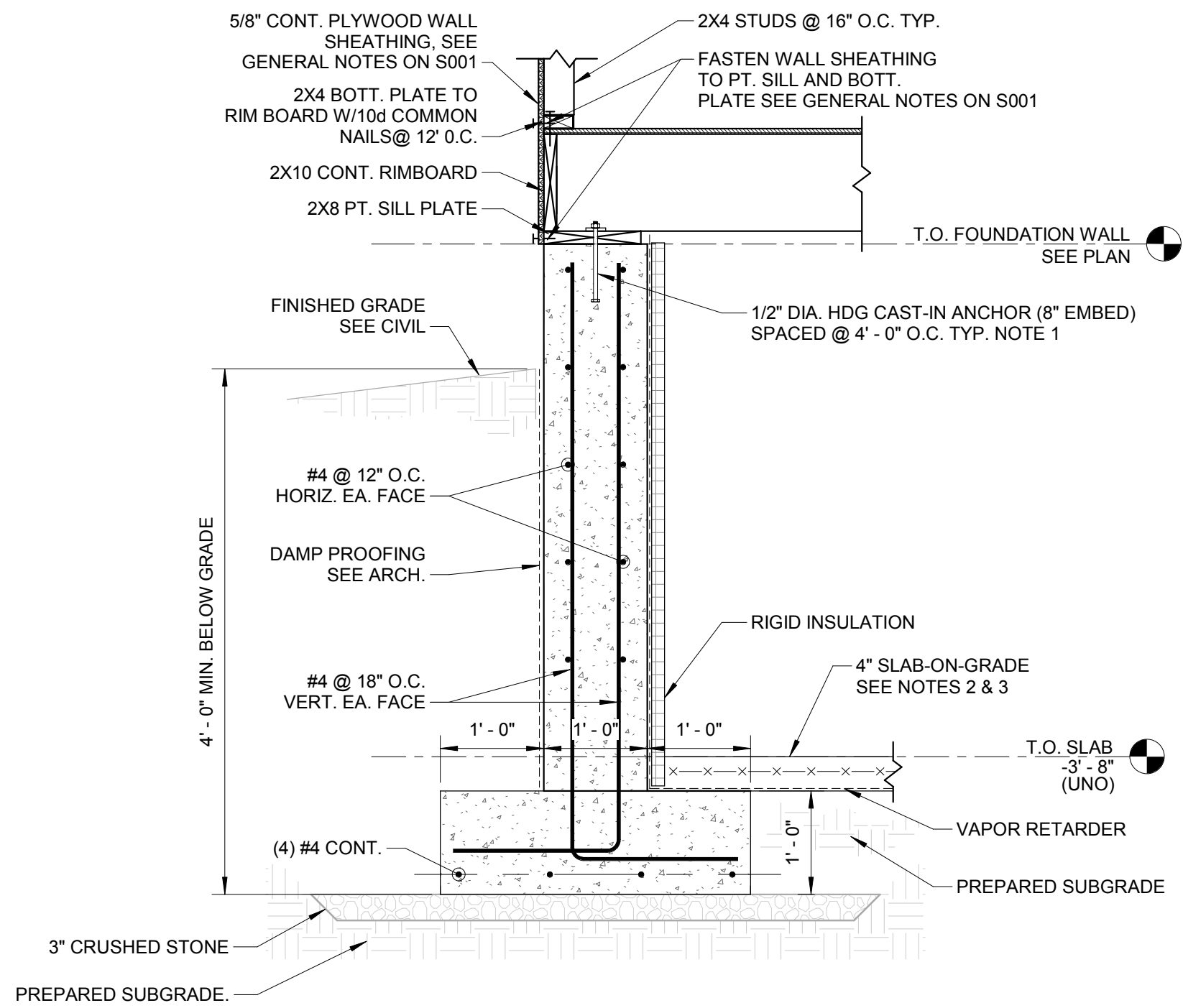
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

MARK	DIMENSIONS		THICKNESS [IN.]	REINFORCEMENT
	WIDTH [FT.]	LENGTH [FT.]		
F2	2.0	2.0	12	(3) #4 E.W. BOTTT. HOOKED
F3	3.0	3.0	12	(3) #5 E.W. BOTTT. HOOKED

FOOTING NOTE(S):

- SQUARE FOOTING SHALL BE CENTERED BELOW COLUMNS U.N.O.
- RECTANGULAR FOOTINGS SHALL BE ORIENTED AS SHOWN IN PLAN, U.N.O.
- WHERE FOOTINGS INTERSECT IN PLAN, FOOTING SHALL BE CAST INTEGRAL WITH THE REINFORCING AS SPECIFIED IN THE TABLE ABOVE.

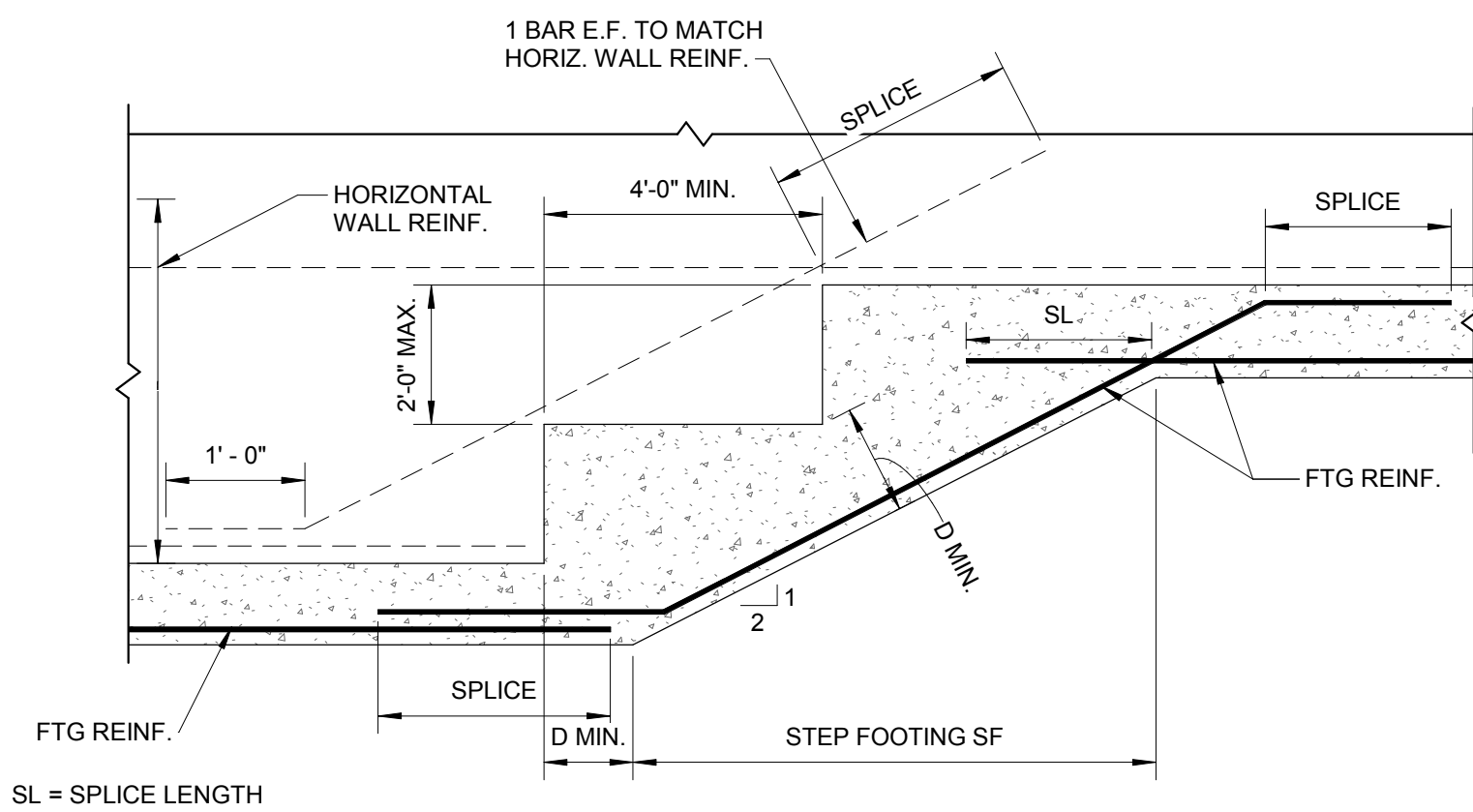


NOTES:

- PROVIDE MINIMUM 3" EDGE DISTANCE TO FACE OF CONCRETE FOR EACH ANCHOR
- REINFORCE SLAB -ON-GRADE WITH 6X6 W1.4XW1.4 WELDED WIRE FABRIC
- SLOPE SLAB TO FLOOR DRAIN MINIMUM OF 1/8" PER FOOT

2 TYPICAL FOUNDATION SECTION @ EXTERIOR WALL

SCALE: 3/4" = 1'-0"



SL = SPLICE LENGTH

3 STEP FOOTING DETAIL

SCALE: 3/4" = 1'-0"

Revisions:

No.	Date	Description

COA:

Seal:



Issued For:

BIDDING

Scale: ~~N/S~~ Indicated

Key Plan:



Date:

10/26/2023

Drawn By:

TSM/FM

Reviewed By:

EJP

Approved By:

NMS

W&S Project No.:

ENG22-1122

W&S File No.:

XXX

Drawing Title:

13 WALSH WAY -
FOUNDATION PLAN
AND TYPICAL
SECTIONS

Sheet Number:

S101

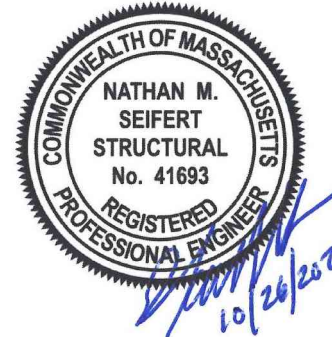
Consultants:

Revisions:

No.	Date	Description

COA:

Seal:



Issued For:

BIDDING

Scale: As indicated

Key Plan:



Date:

10/26/2023

Drawn By:

TSM/FM

Reviewed By:

EJP

Approved By:

NMS

W&S Project No.:

ENG22-1122

W&S File No.:

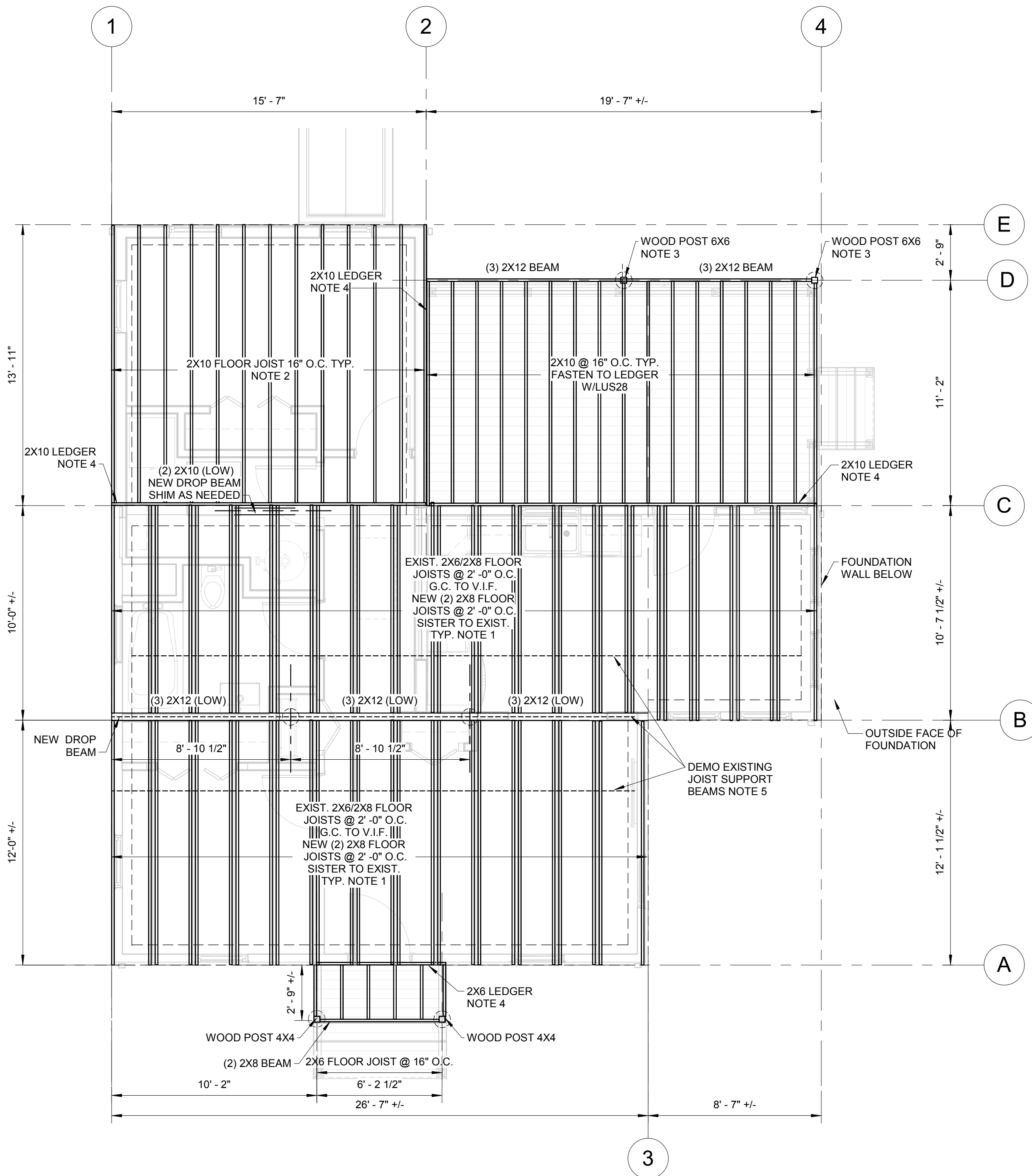
XXX

Drawing Title:

13 WALSH WAY -
FLOOR FRAMING
PLAN

Sheet Number:

S103



NOTES:

1. NOTCH 2X8 @ SILL PLATE AS NEEDED TO FIT. ATTACH TO EXISTING JOIST ON EACH SIDE WITH (3) ROWS 12d COMMON NAILS @ 12" O.C. STAGGERED. FASTEN TO PT. SILL PLATE W/ SIMPSON H2.5A OR APPROVED EQUAL.
2. FINISHED FLOOR ELEVATION TO MATCH EXISTING. FASTEN EACH JOIST TO LEDGER WITH SIMPSON LUS 28 OR APPROVED EQUAL.
3. FASTEN PORCH BEAM TO POST W/ SIMPSON MSTA24 STRAP AND POST TO SLAB W/ ABU POST BASE ANCHOR OR APPROVED EQUAL.
4. FASTEN LEDGER TO EXISTING FRAMING @ 24" O.C. MAXIMUM. SEE LEDGER CONNECTION TABLE AND DETAIL ON THIS SHEET FOR REQUIRED SCREWS AT EACH CONNECTION.
5. BUILDING MOVER TO COORDINATE WITH G.C. TO ENSURE FLOOR FRAMING IS FULLY SUPPORTED DURING MOVING AND CONSTRUCTION/DEMOLITION. W&S IS NOT RESPONSIBLE FOR TEMPORARY CONDITIONS DURING THESE PHASES.

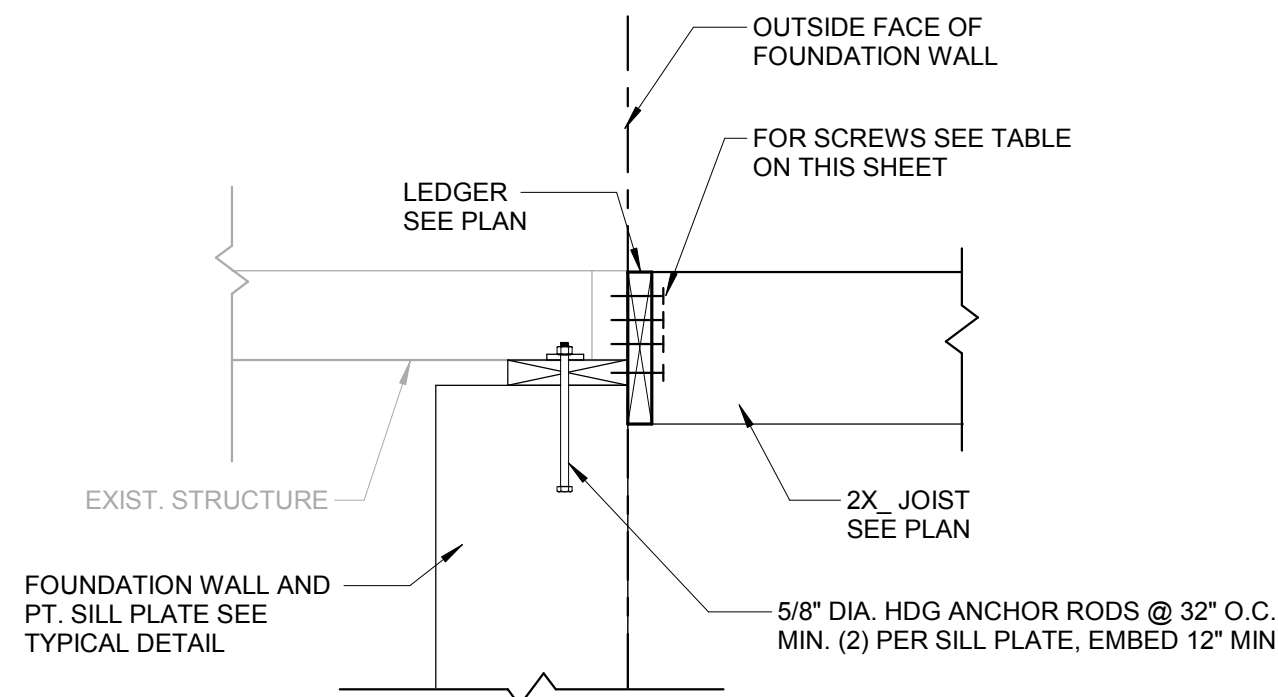
1 FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FLOOR FRAMING LEDGER CONNECTION	
LEDGER	CONNECTION DETAILS
PT 2X6	(3) 1/4"x 4-1/2" LONG #14 WOOD SCREWS @ 16" O.C.
PT 2X10	(2) 5/8" DIA. HDG. BOLTS W/ NUT AND WASHER @ 24" O.C.

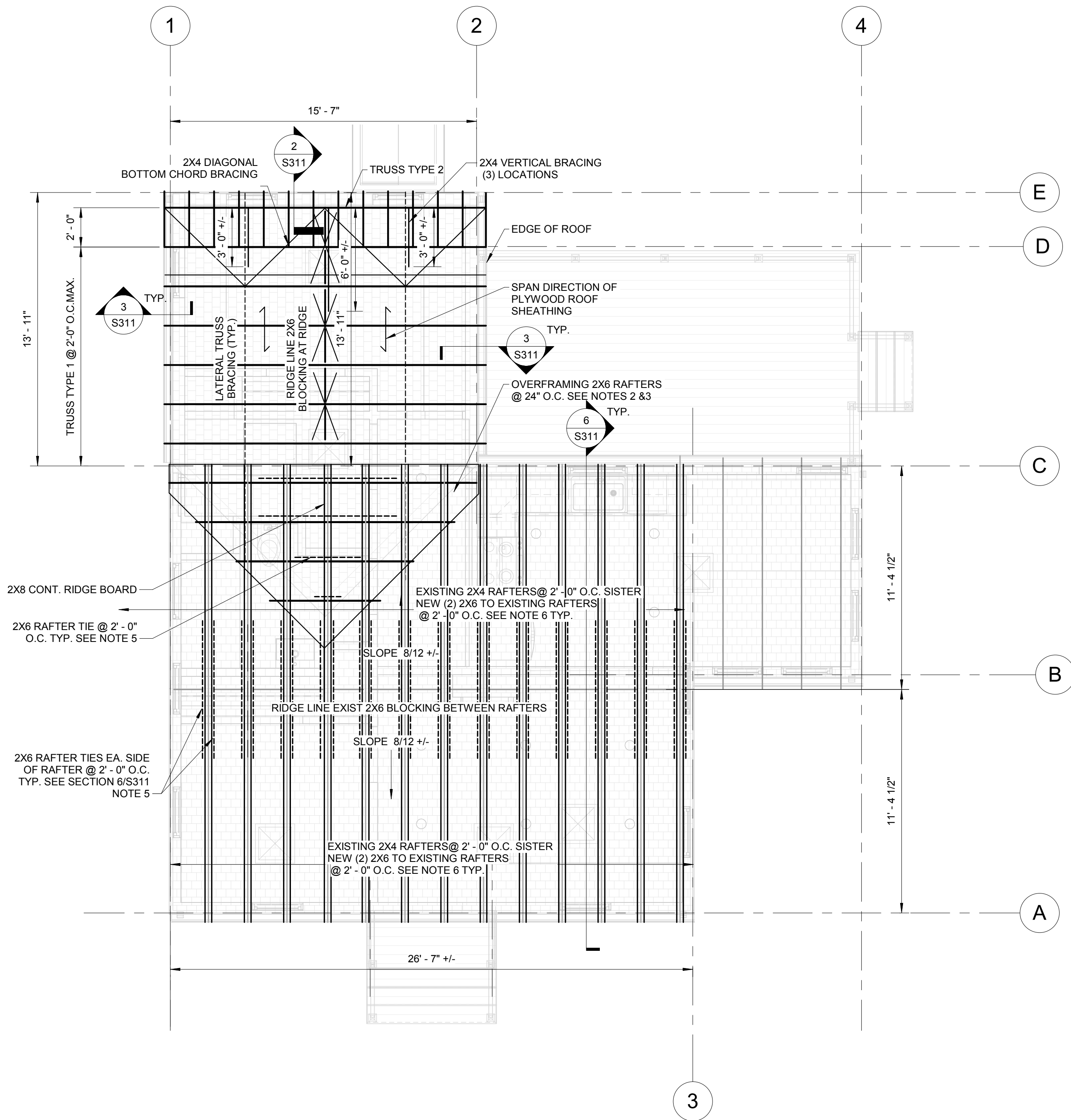
2 LEDGER CONNECTION TABLE

SCALE: 1/2" = 1'-0"



3 LEDGER CONNECTION DETAIL

SCALE: 1" = 1'-0"



NOTES:

1. +/- INDICATES DIMENSION TO BE VERIFIED BY G.C. IN THE FIELD
2. PROVIDE MINIMUM 2X8 SLEEPERS FASTEN TO EACH EXISTING RAFTER WITH (3) 16d COMMON NAILS.
3. FASTEN EACH RAFTERS TO SLEEPER WITH H3 UPLIFT CONNECTOR, OR APPROVED EQUAL
5. ATTACH 2X6 RAFTER TIES WITH (5) 10d COMMON NAILS ON EACH SIDE
6. NOTCH 2X6 @ TOP PLATE AS NEEDED TO FIT. ATTACH TO EXISTING RAFTER ON EACH SIDE WITH (2) ROWS 12d COMMON NAILS @ 12" O.C. STAGGERED. FASTEN EA. RAFTER TO TOP PLATE W/ SIMPSON H2.5A HURRICANE TIE OR APPROVED EQUAL
7. ARCHITECT/ENGINEER TO VERIFY CONDITION OF WALL FRAMING AND SHEATHING PRIOR TO INSTALLING INSULATION AND FINISHES. PROVIDE 72 HOURS NOTICE MINIMUM

1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

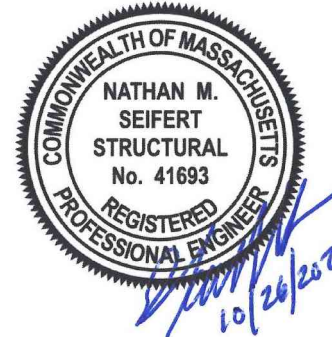
Consultants:

Revisions:

No.	Date	Description

COA:

Seal:



Issued For:

BIDDING

Scale: 1/4" = 1'-0"

Key Plan:



Date: 10/26/2023
Drawn By: TSM/FM
Reviewed By: EJP
Approved By: NMS

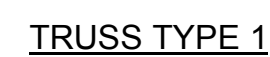
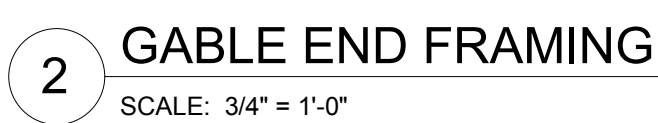
W&S Project No.: ENG22-1122
W&S File No.: XXX

Drawing Title:

13 WALSH WAY -
ROOF FRAMING AND
DEMO ROOF FRAMING
PLANS

Sheet Number:

S107

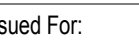


www.westonandsampson.com

consultants:

[illegible]

OA:



BIDDING

scale: As indicated

Key Plan:



ate:

Drawn By: TSM/EM

Reviewed By: EJP

Reviewed By: EJS

Approved By: NMS

W&S Project No.: ENG22-1122

I/S File No.: XXX

Drawing Title:

WOOD SECTIONS & DETAILS

Sheet Number:

S311

DATE: 10.25.2023
TIME: 2:30 PM
LOCATION: Town Clerk's Office
24 Town Hall Road, P.O. Box 2030, Truro, MA 02666

CLIENT:

Town of Truro, MA - Public Buildings / Special Projects

PROJECT:

Truro Cottage Relocation and Upgrades Project

Weston & Sampson
100 Foxboro Blvd
Suite 250
Foxboro, MA 02035
508-398-3034

2M HVAC

Weston & Sampson

[illegible]

