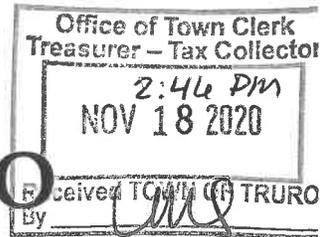




TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666
Tel: 508-349-7004 Fax: 508-349-5505



ZONING BOARD OF APPEALS Agenda

DATE OF MEETING: Monday, November 23, 2020
TIME OF MEETING: 5:30 pm
LOCATION OF MEETING: Remote Meeting
www.truro-ma.gov

Open Meeting

This will be a remote meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website (www.truro-ma.gov). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment via the link below, which can also be found on the calendar of the Board's webpage along with the meeting Agenda and Packet, or by calling in toll free at [1-866-899-4679](tel:1-866-899-4679) and entering the following access code when prompted: [702-635-277](tel:702-635-277). Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing the Town Planner at planner1@truro-ma.gov.

Meeting link: global.gotomeeting.com/join/702635277

Public Hearing

2020-004/ZBA – Daniel F. Roche, Jr. for property located at 7 Coast Guard Road (Atlas Map 34, Parcel 5, Registry of Deeds title reference: Book 13174, Page 177). Applicant seeks a Special Permit under Section 30.3.A.2 of the Truro Zoning Bylaw for a 2-story addition to an existing 3,018 net sq. ft. residence on a lot located in the Seashore District containing three acres.

2020-005/ZBA – M. Louise Briggs, TTE for property located at 8 Castle Road (Atlas Map 50, Parcel 145, Registry of Deeds title reference: Book 31161, Page 258). Applicant seeks a Special Permit under Section 30.7.A of the Truro Zoning Bylaw for construction of a 224 sq. ft. 2nd floor addition over a pre-existing, nonconforming dwelling. Existing dwelling is 20.6' from the property line. The proposed addition would maintain the 20.6' setback.

- Letter from Pam and Ross Blair Regarding 8 Castle Road

Board Action/Review

Review and discuss clarification of lot coverage/square footage (reference Bylaw sections) regarding the ZBA Application and Procedure for Hearing – last modified July 2019.

Discussion of future meeting dates.

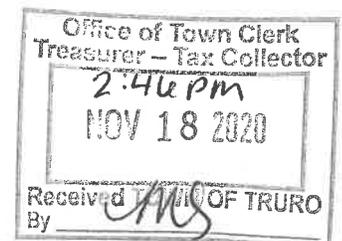
Approval of Minutes

October 8, 2020 – Cloverleaf
October 22, 2020 – Cloverleaf

Next Meeting

Monday, December 14, 2020, at 5:30 p.m.

Adjourn



PRATT

CONSTRUCTION CO.

BUILDING & REMODELING CONTRACTORS

PO Box 731 ♦ Marstons Mills MA 02648

Tel (508) 420-9333 ♦ Fax (508)420-9733

TRANSMITTAL

21 Sept 2020

To: Truro Zoning Board of Appeals

Re: Special Permit, Seashore District

Petition for increase of Gross Floor Area possible

Residential addition 7 Coast Guard Rd

Attached please find:

- Application for Hearing
- Property locus map
- Google earth shots
- Abutters List
- Assessors info
- Architectural plans
- Site plan
- Filing fee

Narrative

A proposed 2-story addition 744sf (24x31) footprint to an existing home (2001), on an isolated 3 acre site, will exceed the max gross square footage of 3600sf allowed as-of-right, based on acreage, in the district.

Owner Dan Roche seeks to add a family room 1st floor with bedroom & bath 2nd floor.

Existing gross floor area 2741sf needs relief from the 3600sf cap of an additional 466sf.

Per 30.3.1.A2 the limit may be raised 1000sf up to 4600sf. Proposed will be 4066sf gross floor area total.

The addition plans are by the original architect and consistent with the neighborhood scale and type - shingle style gambrel. It is situated invisible to the public – 690' from the traveled way, masked by topography & vegetation, 350' from a 60' cliff face near the shore, not seen from below. Area of proposed work is level and currently a gravel parking area. No grade change is needed, no additional clearing is required. Existing curb cut and driveway to remain. New lighting will be 1 entry door down light.

We submit the proposed addition is a modest project with no impact on protected values of the neighborhood, Town or Seashore. We ask your consideration in raising allowed total floor area.

Elizabeth Sturdy

From: Jon Nahas
Sent: Friday, November 20, 2020 1:15 PM
To: Elizabeth Sturdy
Cc: Barbara Huggins Carboni
Subject: 7 Coast Guard Rd
Attachments: 7 Coast Guard Rd PRC post inspection 11-20-2020.pdf

Hi Liz & Barbara,

I wanted to let you know some information discovered today in an inspection of 7 Coast Guard Rd.

The Assessing office performed a "LIST"-or a walkthrough- both inside and out- of the entire property at 7 Coast Guard Rd. In previous years, the Assessors Property Record Card (PRC) has had living space in the Lower Level of the home (BBS) totaling approximately 588sf. There is in fact no habitable space in this lower level. The construction seems to have never been completed. It is unfinished. The Assessing office had estimated the living space per the building plans filed in 2003 and we had never previously "Listed" the property. Please see the updated Property Record Card for the property that is attached that is correct as of today 11/20/2020. Most notable is the fact that the Net Living area of building 1 has changed from 3018sf to 2430sf.

If I can be of any further assistance, please don't hesitate to contact me.

Sincerely,

Jon

Jon Nahas
Principal Assessor
Town of Truro
PO Box 2012
24 Town Hall Rd
Truro, MA 02666
508.214.0917



Key: 742

Town of TRURO - Fiscal Year 2022 Preliminary

11/20/2020 12:56 pm SEQ # 1

LEGAL LAND

| CURRENT OWNER | | | | PARCEL ID | | | | LOCATION | | | | |
|---|---|----------|------|------------|------|------------|---------------------|------------------|------|------|------------|-----------|
| ROCHE DANIEL F JR 287 DEDHAM STREET DOVER, MA 02030 | | | | 34-5-0 | | | | 7 COAST GUARD RD | | | | |
| TRANSFER HISTORY | | | | DOS | T | SALE PRICE | BK-PG (Cert) | | | | | |
| ROCHE DANIEL F JR | | | | 08/10/2000 | QS | 430,000 | 13174-177 (UNRECRD) | | | | | |
| NEWBOLD HOPE M ESTATE OF | | | | 10/01/1999 | 99 | | 6834-188 | | | | | |
| NEWBOLD HOPE M ESTATE OF | | | | 08/07/1989 | 99 | | | | | | | |
| CD | T | AC/SF/UN | Nbhd | Inf1 | Inf2 | ADJ BASE | SAF | Inf3 | Lpi | VC | CREDIT AMT | ADJ VALUE |
| 100 | A | 0.775 | 16 | 1.00 | 1 | 1.00 | 1 | 1.00 | 1 | 1.00 | SV6 | 7.00 |
| 300 | A | 2.225 | 16 | 1.00 | 1 | 1.00 | 1 | 1.00 | 1 | 1.00 | SV6 | 7.00 |
| | | | | | | 1,889,300 | 1.00 | 1 | 1.00 | | | 1,464,210 |
| | | | | | | 144,200 | 1.00 | 1 | 1.00 | | | 320,850 |

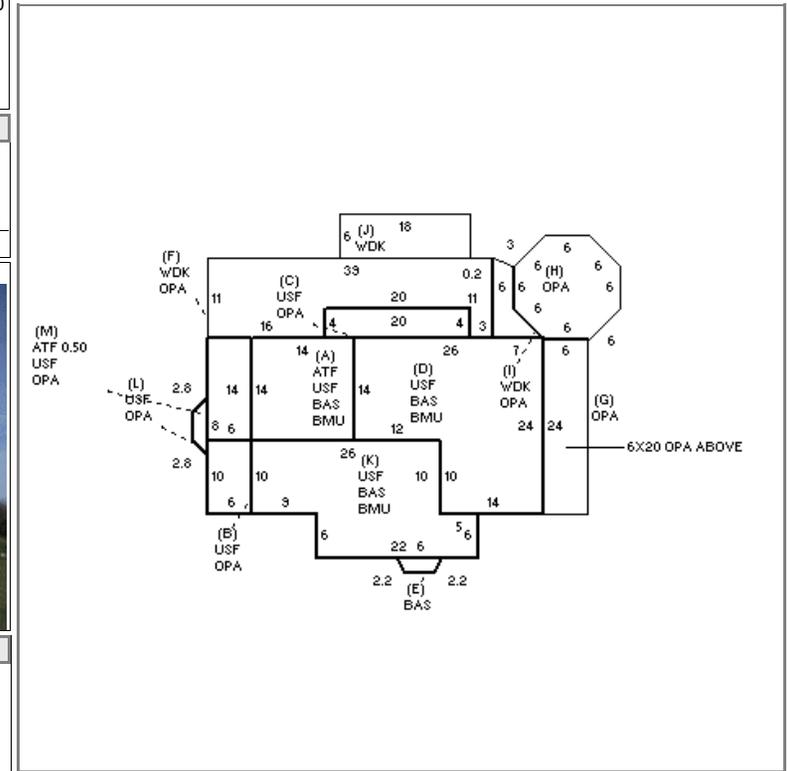
| CLASS | CLASS% | DESCRIPTION | | | BN ID | BN | CARD | |
|---------------------|------------|---------------|---------------------------|---------|------------|----------|----------|----------|
| 1090 | 100 | MULTIPLE HSES | | | | 1 | 1 of 2 | |
| PMT NO | PMT DT | TY | DESC | AMOUNT | INSP | BY | 1st | % |
| BLD2 WORK 02-103 | 05/23/2002 | 20 | NO PERMIT SINGLE FAM R | 500,000 | 11/20/2020 | LG FC | 0 100 | 0 100 |

LEGAL LAND

| TOTAL | 3.000 Acres | ZONING | NSD | FRNT | 42 | ASSESSED | CURRENT | PREVIOUS |
|-------|----------------|--------|-----|------|----|--------------|------------------|------------------|
| Nbhd | NAT'L SEASHORE | NOTE | | | | LAND | 1,785,100 | 1,785,100 |
| Inf1 | NO ADJ | | | | | BUILDING | 642,500 | 704,500 |
| Inf2 | NO ADJ | | | | | DETACHED | 1,500 | 1,500 |
| | | | | | | OTHER | 75,900 | 70,500 |
| | | | | | | TOTAL | 2,505,000 | 2,561,600 |

DETACHED

| TY | QUAL | COND | DIM/NOTE | YB | UNITS | ADJ PRICE | RCNLD |
|-----|------|------|----------|-------|-------|-----------|-------|
| SHF | + | 1.10 | G 0.90 | 10*10 | 2012 | 100 | 16.24 |
| | | | | | | | 1,500 |



BUILDING

| BUILDING | CD | ADJ | DESC | MEASURE | 11/20/2020 | LG |
|----------|----|------|-------------------|---------|------------|-----|
| MODEL | 1 | | RESIDENTIAL | LIST | 11/20/2020 | LG |
| STYLE | 5 | 1.00 | COLONIAL [100%] | REVIEW | 12/15/2010 | LVM |
| QUALITY | V | 1.50 | VERY GOOD [100%] | | | |
| FRAME | 1 | 1.00 | WOOD FRAME [100%] | | | |

| BLDG COMMENTS | | |
|---------------|--|--|
| | | |

INDING

| YEAR BLT | 2003 | SIZE ADJ | 1.000 | ELEMENT | CD | DESCRIPTION | ADJ | S | BAT | T | DESCRIPTION | UNITS | YB | ADJ PRICE | RCN | TOTAL RCN | 764.880 | |
|--------------|-------|------------|-------|-----------------|------------|---------------|----------|------|-----|-----|-----------------|----------------|------|-----------|---------|----------------|-----------|-----------|
| NET AREA | 2,430 | DETAIL ADJ | 1.000 | FOUNDATION | 4 | BSMT WALL | 1.00 | + | BMU | N | BSMT UNFINISHED | 1,092 | | 60.76 | 66,352 | CONDITION ELEM | CD | |
| \$NLA(RCN) | \$315 | OVERALL | 1.040 | EXT. COVER | 1 | WOOD SHINGLES | 1.00 | + | USF | L | UP-STRY FIN | 1,328 | 2003 | 201.38 | 267,428 | | | |
| CAPACITY | | | UNITS | ADJ | ROOF SHAPE | 3 | GAMBRELL | 1.00 | + | ATF | N | FINISHED ATTIC | 238 | 137.99 | 32,841 | | | |
| STORIES(FAR) | 2 | 1.00 | | ROOF COVER | 2 | WOOD SHINGLES | 1.01 | + | OPA | N | OPEN PORCH | 942 | | 51.60 | 48,605 | | | |
| ROOMS | 6 | 1.00 | | FLOOR COVER | 2 | SOFTWOOD | 1.00 | + | BAS | L | BAS AREA | 1,102 | 2003 | 268.12 | 295,466 | | | |
| BEDROOMS | 2 | 1.00 | | INT. FINISH | 1 | PLASTER | 1.00 | + | WDK | N | ATT WOOD DECK | 496 | | 42.43 | 21,046 | | | |
| BATHROOMS | 2.5 | 1.00 | | HEATING/COOLING | 9 | WARM/COOL AIR | 1.03 | | OPA | N | OPEN PORCH | 120 | | 68.80 | 8,256 | | | |
| FIXTURES | 9 | \$6,300 | | FUEL SOURCE | 2 | GAS | 1.00 | | F22 | O | FPL 2S ZOP | 1 | | 18,587.40 | 18,587 | | | |
| UNITS | 0 | 1.00 | | | | | | | ODS | O | OUT DOOR SHOWER | | | 0.00 | | | | |
| | | | | | | | | | | | | | | | | EFF.YR/AGE | 2003 / 16 | |
| | | | | | | | | | | | | | | | | COND | 16 | 16 % |
| | | | | | | | | | | | | | | | | FUNC | 0 | |
| | | | | | | | | | | | | | | | | ECON | 0 | |
| | | | | | | | | | | | | | | | | DEPR | 16 | % GD 84 |
| | | | | | | | | | | | | | | | | RCNLD | | \$642,500 |

Key: 742

Town of TRURO - Fiscal Year 2022 Preliminary

11/20/2020 12:56 pm SEQ # 2

LEGAL

LAND

DETACHED

BUILDING

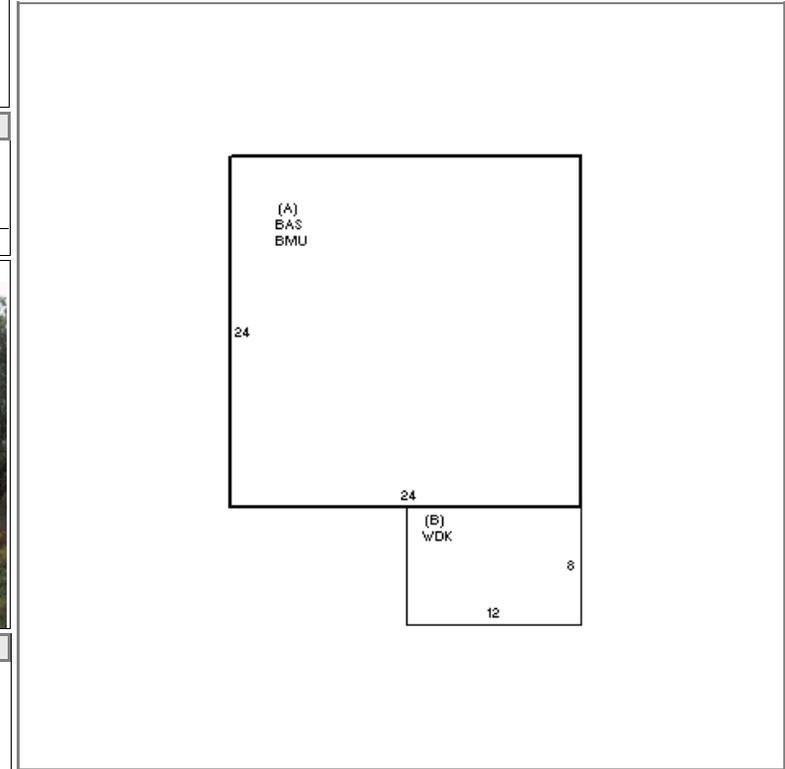
| | | | | | | | | | | | |
|---|--|--|--|--|--|-----------|---|------------|------------------|--|--|
| CURRENT OWNER | | | | | | PARCEL ID | | | LOCATION | | |
| ROCHE DANIEL F JR 287 DEDHAM STREET DOVER, MA 02030 | | | | | | 34-5-0 | | | 7 COAST GUARD RD | | |
| TRANSFER HISTORY | | | | | | DOS | T | SALE PRICE | BK-PG (Cert) | | |

| | | | | | | | |
|--------|--------|---------------|------|--------|-------|----|--------|
| CLASS | CLASS% | DESCRIPTION | | | BN ID | BN | CARD |
| 1090 | 100 | MULTIPLE HSES | | | | 2 | 2 of 2 |
| PMT NO | PMT DT | TY | DESC | AMOUNT | INSP | BY | 1st % |

| | | | | | | | | | | | | |
|----|---|----------|------|-------|-------|----------|-----|-------|-----|----|------------|-----------|
| CD | T | AC/SF/UN | Nbhd | Infl1 | Infl2 | ADJ BASE | SAF | Infl3 | Lpi | VC | CREDIT AMT | ADJ VALUE |
|----|---|----------|------|-------|-------|----------|-----|-------|-----|----|------------|-----------|

| | | | | | |
|-------|--------|------|----------|---------|----------|
| TOTAL | ZONING | FRNT | ASSESSED | CURRENT | PREVIOUS |
| Nbhd | NOTE | | LAND | 75,900 | |
| Infl1 | | | BUILDING | | |
| Infl2 | | | DETACHED | | |
| | | | OTHER | | |
| | | | TOTAL | | |

| | | | | | | | |
|----|------|------|----------|----|-------|-----------|-------|
| TY | QUAL | COND | DIM/NOTE | YB | UNITS | ADJ PRICE | RCNLD |
| | | | | | | | |



| | | | | | | |
|----------|----|------|---------------------|---------|------------|----|
| BUILDING | CD | ADJ | DESC | MEASURE | 11/20/2020 | LG |
| MODEL | 1 | | RESIDENTIAL | LIST | 11/20/2020 | LG |
| STYLE | 6 | 0.80 | COTTAGE/BUNG [100%] | REVIEW | 12/15/2010 | MR |
| QUALITY | A | 1.00 | AVERAGE [100%] | | | |
| FRAME | 1 | 1.00 | WOOD FRAME [100%] | | | |

| |
|---------------|
| BLDG COMMENTS |
|---------------|

| | | | | | | | | | | | | | | | | | |
|--------------|-------|------------|---------|-----------------|----|---------------|------|---|-----|---|-----------------|-------|------|-----------|--------|----------------|------------|
| YEAR BLT | 1959 | SIZE ADJ | 1.000 | ELEMENT | CD | DESCRIPTION | ADJ | S | BAT | T | DESCRIPTION | UNITS | YB | ADJ PRICE | RCN | TOTAL RCN | 106.843 |
| NET AREA | 576 | DETAIL ADJ | 1.000 | FOUNDATION | | | 1.00 | A | BMU | N | BSMT UNFINISHED | 576 | | 37.35 | 21,514 | CONDITION ELEM | CD |
| \$NLA(RCN) | \$185 | OVERALL | 0.810 | EXT. COVER | 1 | WOOD SHINGLES | 1.00 | A | BAS | L | BAS AREA | 576 | 1959 | 139.21 | 80,188 | | |
| | | | | ROOF SHAPE | 1 | GABLE | 1.00 | B | WDK | N | ATT WOOD DECK | 96 | | 31.67 | 3,041 | | |
| | | | | ROOF COVER | 2 | WOOD SHINGLES | 1.01 | | ODS | O | OUT DOOR SHOWER | | | 0.00 | | | |
| | | | | FLOOR COVER | 2 | SOFTWOOD | 1.00 | | | | | | | | | | |
| | | | | INT. FINISH | 2 | DRYWALL | 1.00 | | | | | | | | | | |
| | | | | HEATING/COOLING | 1 | FORCED AIR | 1.00 | | | | | | | | | | |
| | | | | FUEL SOURCE | 3 | ELECTRIC | 1.00 | | | | | | | | | | |
| CAPACITY | | UNITS | ADJ | | | | | | | | | | | | | | |
| STORIES(FAR) | | 1 | 1.00 | | | | | | | | | | | | | | |
| ROOMS | | 0 | 1.00 | | | | | | | | | | | | | | |
| BEDROOMS | | 2 | 1.00 | | | | | | | | | | | | | | |
| BATHROOMS | | 1 | 1.00 | | | | | | | | | | | | | | |
| FIXTURES | | 3 | \$2,100 | | | | | | | | | | | | | | |
| UNITS | | 0 | 1.00 | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | EFF.YR/AGE | 1990 / 29 |
| | | | | | | | | | | | | | | | | COND | 29 29 % |
| | | | | | | | | | | | | | | | | FUNC | 0 |
| | | | | | | | | | | | | | | | | ECON | 0 |
| | | | | | | | | | | | | | | | | DEPR | 29 % GD 71 |
| | | | | | | | | | | | | | | | | RCNLD | \$75,900 |



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date 21 Sept 2020

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

- Applicant seeks approval and authorization of uses under Section 30.3.A.2 of the Truro Zoning Bylaw concerning *(describe)* proposed residential addition in the Seashore District will exceed as of right Gross Floor Area of 3600sf by 466sf. Applicant seeks relief under the +1000sf, 4600sf that may be possible
- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* _____

Property Address 7 Coast Guard Rd Map(s) and Parcel(s) 34-5-0

Registry of Deeds title reference: Book 13174, Page 177, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Daniel F Roche

Applicant's Legal Mailing Address 287 Dedham St Dover MA 02030

Applicant's Phone(s), Fax and Email #212 203-8565 dfr5000@yahoo.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner Prospective Buyer* Other*

Owner's Name and Address see above

Representative's Name and Address Patrick Coffey, Pratt Construction

Representative's Phone(s), Fax and Email #508 280-4688 patrick@pratt.construction

2. The completed application shall also be submitted electronically to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Patrick Coffey

Daniel Roche

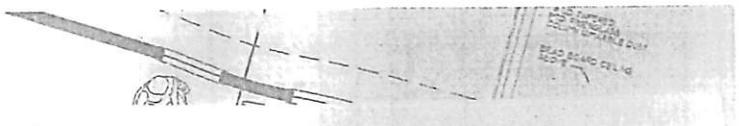
Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission
see attached

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



Owner : Daniel Roche

Mailing Address: 287 Dedham St
Dover MA 02030

Phone : 712-203-8565

Email DFR 5000 @ yahoo . com

August 6 , 2020

Building Permit Sub :

7 Coast Guard Rd Truro

Pratt Construction is authorized
to proceed as general contractor

Daniel Roche



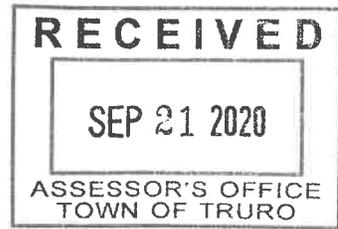


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 18 SEPT 20

NAME OF APPLICANT: DANIEL F ROCHE
NAME OF AGENT (if any): PATRICK COFFEY, PRATT CONSTRUCTION
MAILING ADDRESS: PO BOX 731 MARSTONS MILLS 02648
CONTACT: HOME/CELL 508 280 4688 EMAIL PATRICK@PRATT
PROPERTY LOCATION: 7 CONST GUARD RD CONSTRUCTION
(street address)
PROPERTY IDENTIFICATION NUMBER: MAP 34 PARCEL 5 EXT. 0
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item
(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
- (Please Specify) (Fee: Inquire with Assessors)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 9/21/2020 Date completed: 9/21/2020
List completed by: D. F. Roche Date paid: pending check Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.
²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.
³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.
⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.
⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: September 21, 2020

To: Patrick Coffey, Pratt Construction

From: Assessors Department

Certified Abutters List: 7 Coast Guard Road (Map 34, Parcel 5)

Special Permit/ZBA

Attached is a combined list of abutters for the property located at 7 Coast Guard Road. The current owner is Daniel F. Roche, Jr.

The names and addresses of the abutters are as of September 18, 2020 according to the most recent documents received from the Barnstable County Registry of Deeds.

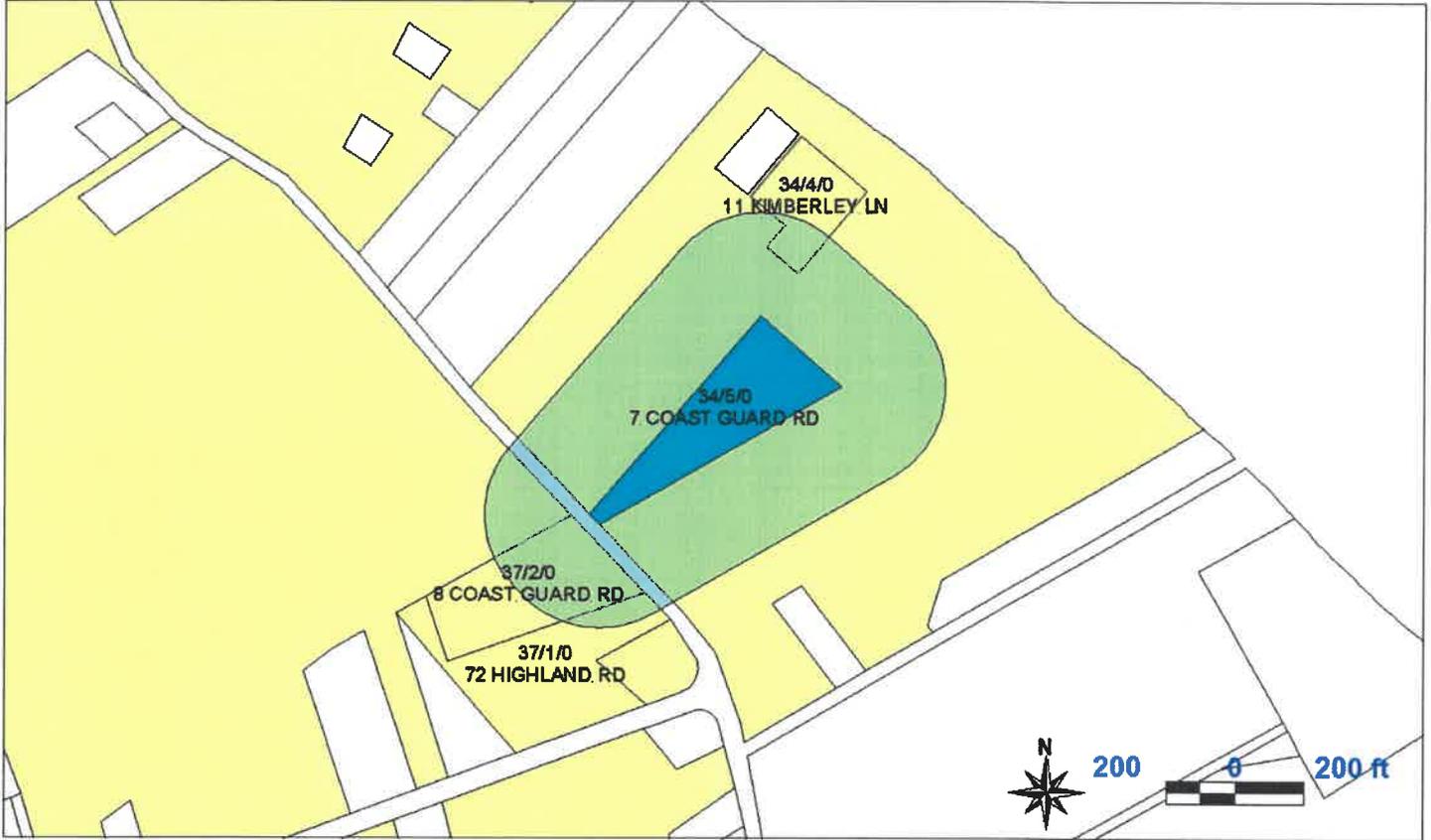
Certified by:

Olga Farrell
Assessing Clerk

7 Coast Guard Road
 Map 34, Parcel 5
 Special Permit/ ZBA

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 34/5/0



| Key | Parcel ID | Owner | Location | Mailing Street | Mailing City | ST | ZipCd/Country |
|------|------------|---|------------------------------|--------------------|--------------|----|---------------|
| 741 | 34-4-0-R | REZNIKOFF JOHN M | 11 KIMBERLEY LN | 83 BELDEN HILL RD | WILTON | CT | 06897 |
| 742 | 34-5-0-R | ROCHE DANIEL F JR | 7 COAST GUARD RD | 287 DEDHAM STREET | DOVER | MA | 02030 |
| 1107 | 37-1-0-R | HIGHLAND REAL ESTATE NOM TR TRS: FRANCIS EDGAR W III | 72 HIGHLAND RD | PO BOX 826 | NO TRURO | MA | 02652-0826 |
| 1108 | 37-2-0-R | ANDREWS JANE A | 8 COAST GUARD RD | PO BOX 761 | NO TRURO | MA | 02652-0761 |
| 7292 | 40-999-0-E | USA-DEPT OF INTERIOR Cape Cod National Seashore | 0 CAPE COD NATIONAL SEASHORE | 99 Marconi Site Rd | Wellfleet | MA | 02667 |

owl akuboro

34-4-0-R

REZNIKOFF JOHN M
83 BELDEN HILL RD
WILTON, CT 06897

34-5-0-R

ROCHE DANIEL F JR
287 DEDHAM STREET
DOVER, MA 02030

37-1-0-R

HIGHLAND REAL ESTATE NOM TR
TRS: FRANCIS EDGAR W III
PO BOX 826
NO TRURO, MA 02652-0826

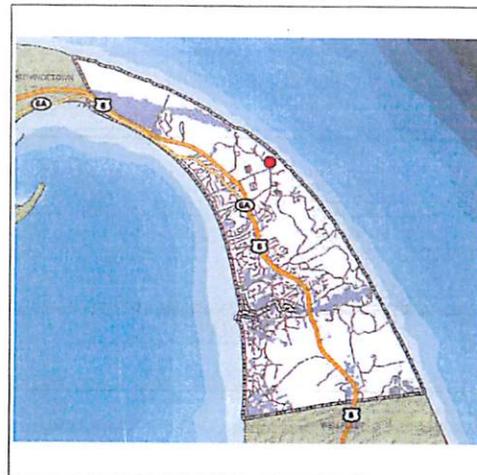
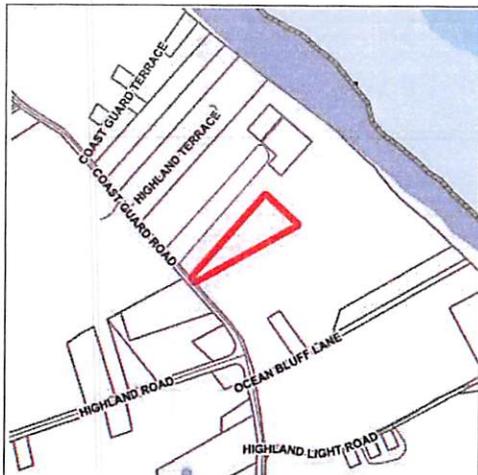
37-2-0-R

ANDREWS JANE A
PO BOX 761
NO TRURO, MA 02652-0761

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

one 9/21/2020



Untitled Map

Write a description for your map.

Legend

-  Feature 1
-  Feature 2
-  Historic District
-  MONOMOY NATIONAL WILDLIFE REFUGE

Google Earth

© 2020 Europa Technologies

© 2020 Google

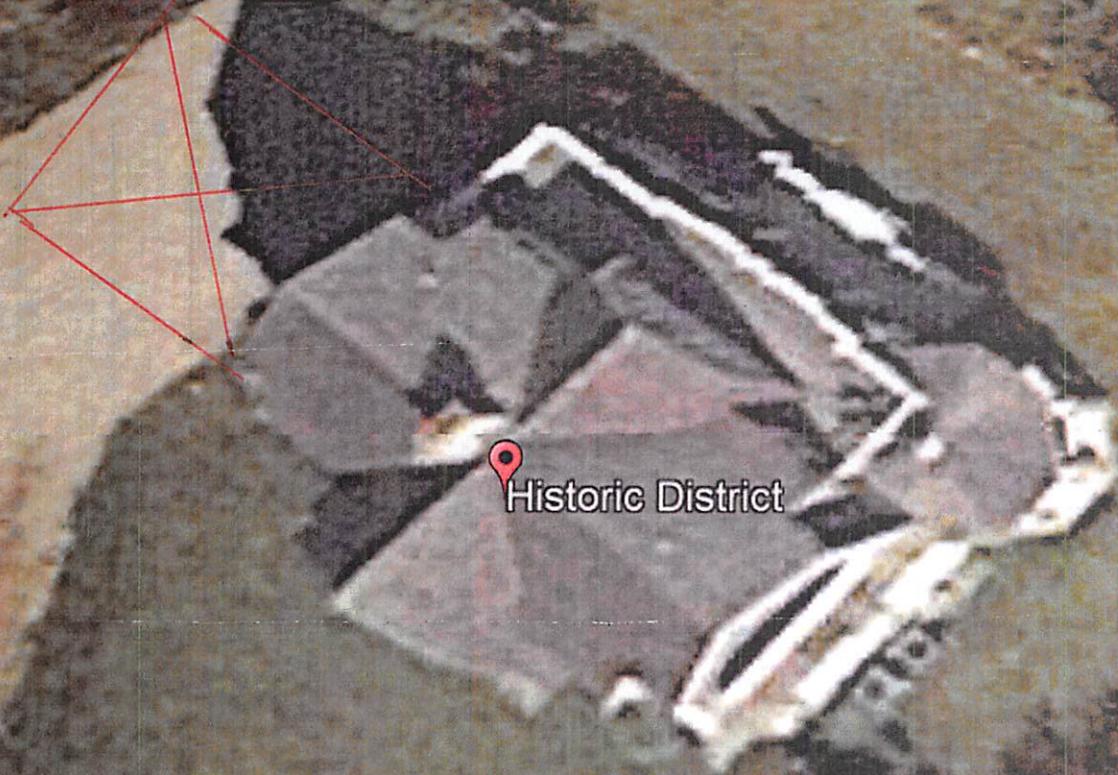


Untitled Map

Write a description for your map.

Legend

-  Feature 1
-  Feature 2
-  Historic District
-  MONOMOY NATIONAL WILDLIFE REFUGE



Historic District



40 ft

Google Earth

© 2020 Europa Technologies

© 2020 Google

TOWN OF TRURO - PROPERTY SUMMARY REPORT

| | | | | | |
|---------------|--------|-------------|-----|------------------|------------------|
| PARCEL | 34-5-0 | KEY: | 742 | LOCATION: | 7 COAST GUARD RD |
|---------------|--------|-------------|-----|------------------|------------------|

| CURRENT OWNER | FY 2020 PARCEL VALUE | |
|--------------------|----------------------|----------------|
| ROCHE DANIEL F JR, | LAND VAL: | \$1,767,300.00 |
| 287 DEDHAM STREET | BUILDING VAL: | \$776,700.00 |
| | DETACH VAL: | \$1,400.00 |
| DOVER, MA 02030 | APPR VAL: | \$2,545,400.00 |
| | TAX VAL: | \$2,545,400.00 |



| | | | |
|---------------------|---------------|--------------------|----------------|
| STATE CLASS: | 1090 | ZONING: | NAT'L SEASHORE |
| DESCRIPTION: | MULTIPLE HSES | BILL SQ FT: | 130680 |

SALES HISTORY

| OWNER | SALE TYPE | BOOK / PAGE | SALE DATE | SALE PRICE |
|--------------------------|-----------|-------------|-------------|------------|
| ROCHE DANIEL F JR | QS | 13174 / 177 | 10-Aug-2000 | \$ 430,000 |
| NEWBOLD HOPE M ESTATE OF | 99 | CTF UNRECRD | 01-Oct-1999 | \$ 0 |
| NEWBOLD HOPE M ESTATE OF | 99 | 6834 / 188 | 07-Aug-1989 | \$ 0 |

| | | | | | |
|-----------------|---|-------------|-----|------------------|------------------|
| BUILDING | 1 | KEY: | 742 | LOCATION: | 7 COAST GUARD RD |
|-----------------|---|-------------|-----|------------------|------------------|

| | |
|------------|----------|
| YEAR BUILT | 2003 |
| STYLE | COLONIAL |
| QUALITY | V |
| NET SF | 3018 |



| | |
|---------------|-------------|
| DATE MEASURED | 17-Oct-2012 |
| DATE LISTED | 17-Oct-2012 |

| ELEMENT | DESCRIPTION | CD |
|--------------|---------------|----|
| FOUNDATION | BSMT WALL | 4 |
| EXT. COVER | WOOD SHINGLES | 1 |
| ROOF SHAPE | GAMBRELL | 3 |
| ROOF COVER | WOOD SHINGLES | 2 |
| FLOOR COVER | SOFTWOOD | 2 |
| INT. FINISH | PLASTER | 1 |
| HEATING/COOL | WARM/COOL AIR | 9 |
| FUEL SOURCE | N/A | 99 |

| CAPACITY | UNIT |
|--------------|------|
| STORIES(FAR) | 2 |
| ROOMS | 6 |
| BEDROOMS | 3 |
| BATHROOMS | 3.5 |
| FIXTURES | 13 |
| UNITS | 0 |
| | |
| | |

CONCRETE

1. THE BOTTOM SURFACE OF EACH FOOTING SHALL REST ON UNDISTURBED MATERIAL, WITH 2 TYP BEARING CAPACITY.
2. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH UNLESS WALLS ARE SUFFICIENTLY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
3. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS.
4. MAXIMUM SLUMP SHALL BE 4".
5. CONCRETE SHALL HAVE A 4% AIR ENTRAINMENT AND SHALL CONFORM TO ASTM C94.
6. CONCRETE SHALL CONFORM TO THE LATEST ACI.
7. REBAR SHALL CONFORM TO ASTM A63 4 30S 18-142000 PSI.
8. WELDED WIRE MESH SHALL CONFORM TO ASTM 18.
9. SLABS SHALL HAVE A SMOOTH STEEL TROUCEL FINISH.

NOTES:

ALL CONCRETE WORK SHALL REST ON SOLID BEARINGS (75% CAPACITY + 25% W/RE) RESTING ON FILL. FILL SHALL BE COMPACTED SMALLER FILL CONFORMING TO SECTION 103.03, COMPACTED GRANULAR FILL, OF THE MASSACHUSETTS BUILDING CODE NOTIFY ARCHITECT IF LESSER CAPACITY MATERIAL IS ENCOUNTERED BEFORE PROCEEDINGS WITH WORK.

COORDINATE WITH ALL OTHER TRADES TO COORDINATE THE INSTALLATION OF SLEEVES, INSERTS, CHASES ETC.

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST ACI STANDARDS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. #3 BARS. REBARS SHALL CONFORM TO ASTM A63 4 30S 18-142000 PSI. WELDED WIRE MESH SHALL CONFORM TO ASTM 18. SLABS SHALL HAVE A STEEL TROUCEL FINISH.

NOTES:

PROVIDE SAW CUTS IN SLAB FOR CONTROL JOINTS

STRUCTURAL NOTES:

- GENERAL NOTES:**
1. THESE NOTES SHALL GOVERN ON ALL STRUCTURAL ELEMENTS UNLESS OTHERWISE NOTED ON PLANS.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE AFFECTED PORTION OF WORK. THIS IS TO INCLUDE, BUT NOT LIMITED TO, CONFLICTS BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS. A RESOLUTION SHALL BE CONSIDERED TYPICAL FOR ALL SUCH CONFLICTS.
 3. FOUNDATIONS SHALL REST ON SOLID BEARINGS WITH A MINIMUM CAPACITY EQUAL TO 75% NOTIFY ARCHITECT IF A LESSER CAPACITY IS ENCOUNTERED BEFORE PROCEEDING WITH WORK.
 4. ALL INDUSTRY SPECIFICATIONS TO BE OF THE LATEST ADDITION.

WOOD

1. STRUCTURAL LUMBER SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS (F_b) OF 1000 PSI, A MINIMUM ALLOWABLE SHEAR STRESS (F_v) OF 75 PSI, AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1,000,000 PSI.
2. JOINTS SHALL BE MADE BY JOINT HANDERS. JOINTS SHALL ACCOMMODATE THE USE OF JOINT HANDERS. JOINTS SHALL BE MADE BY JOINT HANDERS.
3. JOINTS SHALL BE MADE BY JOINT HANDERS.
4. PROVIDE DOUBLE JOINTS IN ALL WALLS.
5. THERE SHALL BE NO MANIPULATION TO THE STRUCTURAL SYSTEM WITH OUT PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

PRE-ENGINEERED LUMBER

1. LAMINATED TIMBER BEAMS (TRUSS-LIKE OR EQUIVALENT) SHALL BE NAILED WITH TWO ROWS OF 8# NAILS AT 3" ON CENTER.
2. PROVIDE HEAVY DUTY CONNECTIONS FOR ANY LAMINATED TIMBER BEAMS THAT ARE FLUSH FRAMED. SUBMIT PROPOSED CONNECTIONS FOR APPROVAL.
3. PROVIDE 1/2" INCHES FROM BEAMS UNDER LAMINATED TIMBER BEAMS, UNLESS FLUSH FRAMED.
4. LAMINATED VENEER LUMBER (LVL) SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS (F_b) OF 1000 PSI AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1,000,000 PSI.
5. PRE-ENGINEERED LUMBER SHALL BE PROTECTED FROM MOISTURE DURING CONSTRUCTION.
6. PROVIDE NECESSARY BRACING DURING ERECTION TO KEEP TRENDING SLEWS AND SQUARE.

STEEL

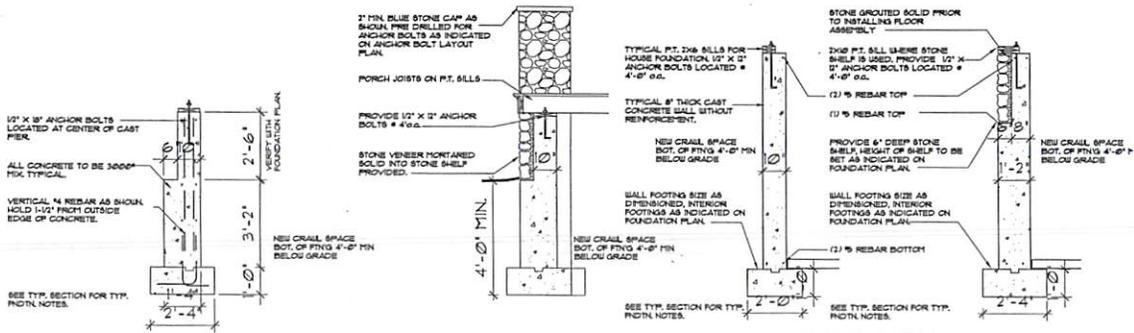
1. STEEL SHALL BE IN CONFORMANCE WITH THE FOLLOWING AISC SPECIFICATIONS AND REQUIREMENTS.
2. ROLLED SHAPES SHALL BE ASTM A 36 AND SHOP WELDED WITH 7055 E80 T4U, PROCESS OR APPROVED EQUAL.
3. WELDS ARE TO BE EXECUTED BY A CERTIFIED WELDER.

CONCRETE

1. THE BOTTOM SURFACE OF EACH FOOTING SHALL REST ON UNDISTURBED MATERIAL, WITH 2 TYP BEARING CAPACITY.
2. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH UNLESS WALLS ARE SUFFICIENTLY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
3. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS.
4. MAXIMUM SLUMP SHALL BE 4".
5. CONCRETE SHALL HAVE A 4% AIR ENTRAINMENT AND SHALL CONFORM TO ASTM C94.
6. CONCRETE SHALL CONFORM TO THE LATEST ACI.
7. REBAR SHALL CONFORM TO ASTM A63 4 30S 18-142000 PSI.
8. WELDED WIRE MESH SHALL CONFORM TO ASTM 18.
9. SLABS SHALL HAVE A SMOOTH STEEL TROUCEL FINISH.

FOUNDATION

1. FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON DRAWINGS AND DEPTHS IF NECESSARY TO OBTAIN A SAFE BEARING OF 1 TON PER SQUARE FOOT.
2. ALL EXCAVATIONS AND FOUNDATION CONSTRUCTION IS TO BE IN THE DIRT AND NO CONCRETE SHALL BE PLACED IN WATER.
3. NO FOOTING SHALL BE PLACED ON FROZEN SOIL.
4. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB, FILL SHALL BE PLACED IN 8" LAYERS COMPACTED TO 98% OF ASTM D991 METHOD D, PROCTOR TEST.
5. PROVIDE OPENING FOR WATER, ELECTRIC AND OTHER SERVICES AS REQUIRED.
6. FOUNDATION CONCRETE IS TO BE PLACED IN 4" LAYERS, ONE FOOT TO FLOOR WITH CONSTRUCTION JOINTS VERTICAL.
7. WIRE MESH IN SLABS ON GRADE SHALL BE LAPPED 6" ON ENDS AND EDGES.
8. PROVIDE A THIN LAYER OF 1" COMPACTED CLEAN COURSE SAND AND GRAVEL UNDER ALL SLABS AFTER TOP SOIL HAS BEEN REMOVED.

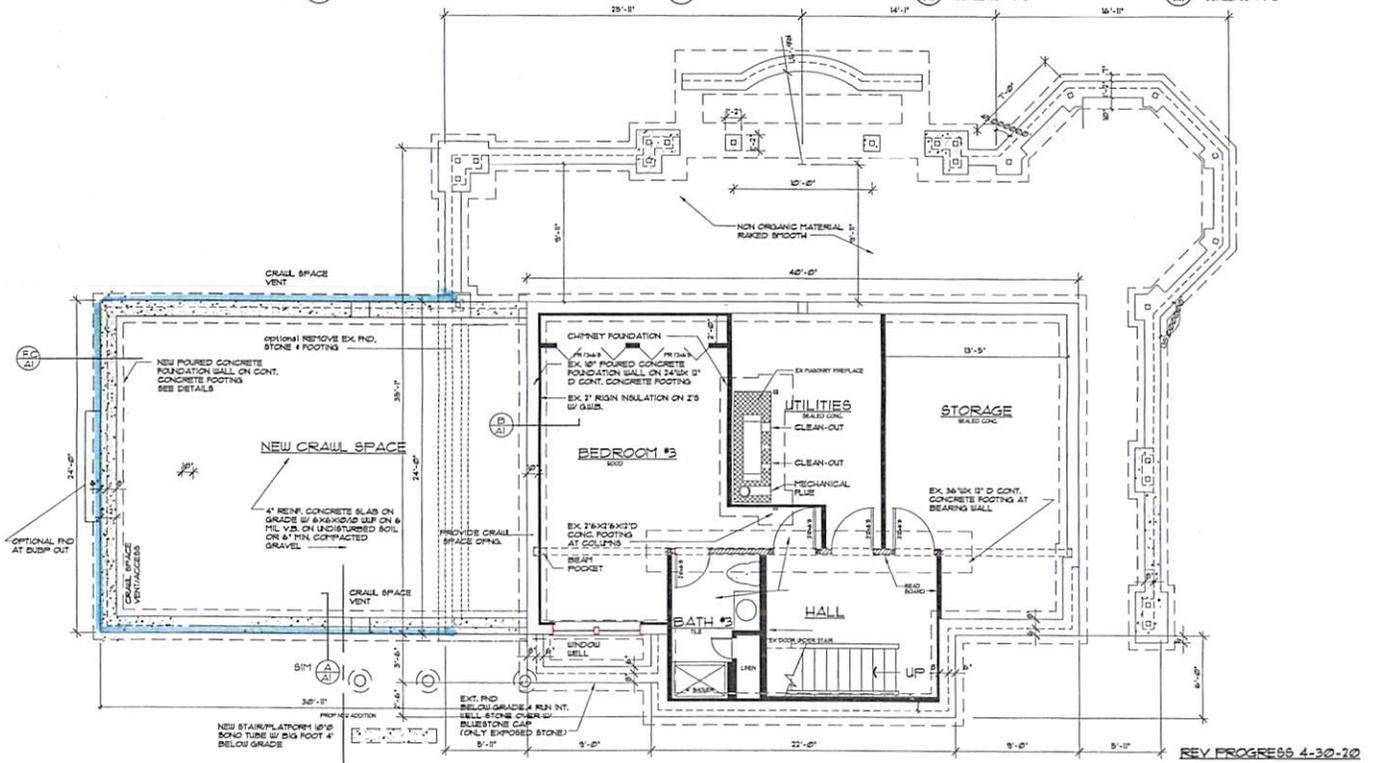


SECTION - PIER SCALE: 1/2" = 1'-0"

SECTION - PORCH DECK SCALE: 1/2" = 1'-0"

SECTION - TYP. WALL SCALE: 1/2" = 1'-0"

SECTION - TYP. WALL SCALE: 1/2" = 1'-0"



FOUNDATION PLAN SCALE: 1/4" = 1'-0"

NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 1 COAST GUARD ROAD N. TRURO, MASSACHUSETTS FOUNDATION PLAN & NOTES SCALE: 1/4" = 1'-0" DATE: JUL 25 2019

ROBERT S. ROSE ARCHITECT P.O. BOX 70, HINGHAM, MA 02043 (781) 749-0060 FAX: (508) 228-0082

A-1

PRATT

CONSTRUCTION CO. BUILDING & REMODELING CONTRACTORS

PO Box 731 ♦ Marstons Mills MA 02648
Tel (508) 420-9333 ♦ Fax (508)420-9733

To: Truro ZBA

Re: RFI Reply: SF Existing & Proposed

7 Coast Guard Rd SP

Date: 14 Nov 2020

Tally of existing & proposed square footage of structures

Provided are stamped architectural drawings of main house existing & proposed SF

w/ ridge height + existing cottage assessors card field verified. 3 acre site. Ridge 29'-7"

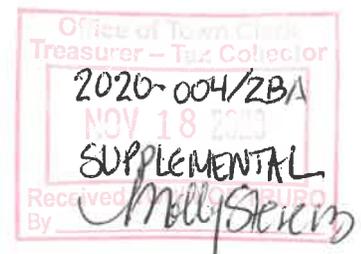
| Main House | existing | new | total |
|--------------------|-------------|------------|-------------|
| 1 st fl | 1100 | 719 | 1819 |
| 2 nd fl | <u>1249</u> | <u>686</u> | <u>1935</u> |
| | 2349 | 1405 | 3745 |
| Cottage | <u>576</u> | n/a | <u>576</u> |
| Totals | 2925 (1) | 1405 | 4330 (2) |

1. 3600 as of right
2. 4600 allowable SP

Forward electronically 2 sends

15 paper copies to Twn Hall by hand

patrick@pratt.construction 5082804688 c



TOWN OF TRURO - PROPERTY SUMMARY REPORT

| | | | | | |
|-------------------|--------------|-------------|-----|------------------|------------------|
| BUILDING | 2 | KEY: | 742 | LOCATION: | 7 COAST GUARD RD |
| YEAR BUILT | 1959 | | | | |
| STYLE | COTTAGE/BUNG | | | | |
| QUALITY | A | | | | |
| NET SF | 576 | | | | |



| | |
|----------------------|-------------|
| DATE MEASURED | 25-Apr-2016 |
| DATE LISTED | 25-Apr-2016 |

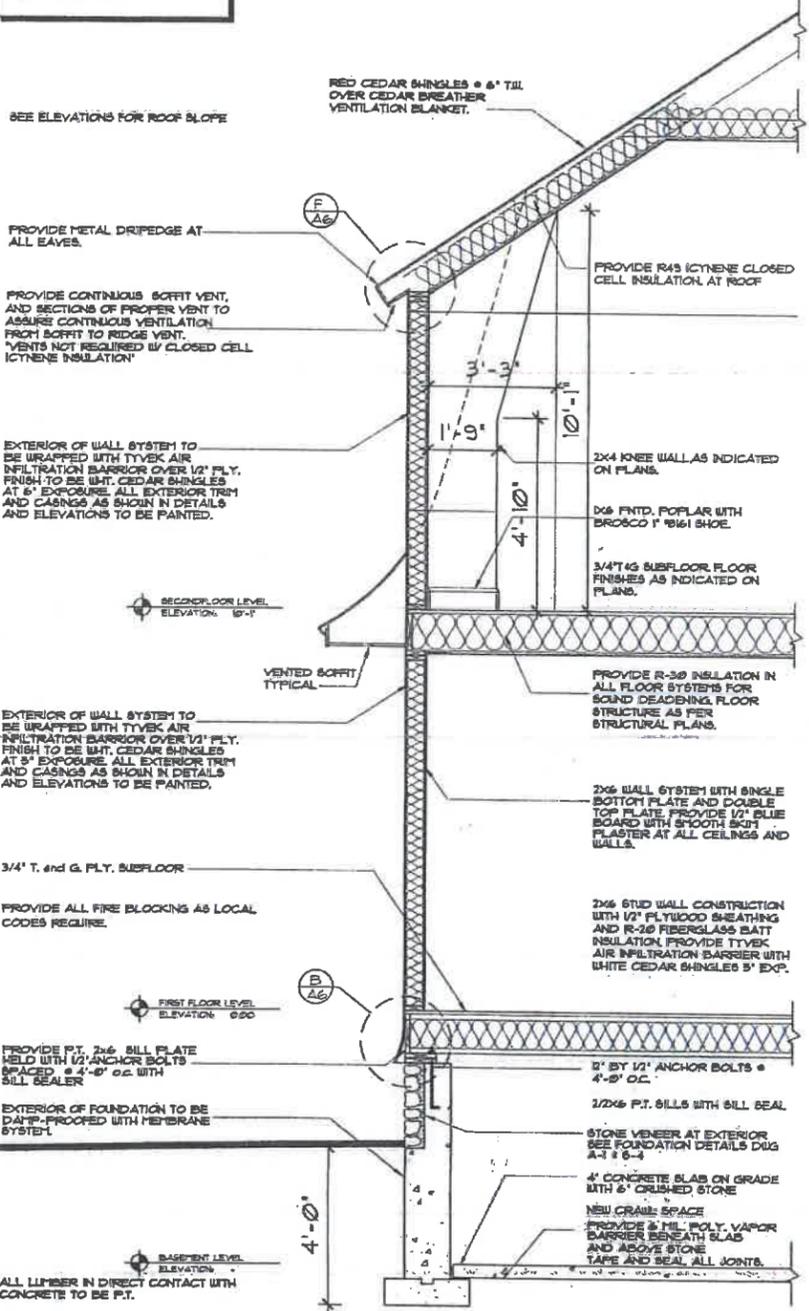
| ELEMENT | DESCRIPTION | CD |
|--------------|---------------|----|
| STORIES(FAR) | | 1 |
| EXT. COVER | WOOD SHINGLES | 1 |
| ROOF SHAPE | GABLE | 1 |
| ROOF COVER | WOOD SHINGLES | 2 |
| FLOOR COVER | SOFTWOOD | 2 |
| INT. FINISH | DRYWALL | 2 |
| HEATING/COOL | FORCED AIR | 1 |
| FUEL SOURCE | ELECTRIC | 3 |

| CAPACITY | UNIT |
|-----------|------|
| ROOMS | 0 |
| BEDROOMS | 1 |
| BATHROOMS | 1 |
| FIXTURES | 3 |
| UNITS | 0 |
| | |
| | |

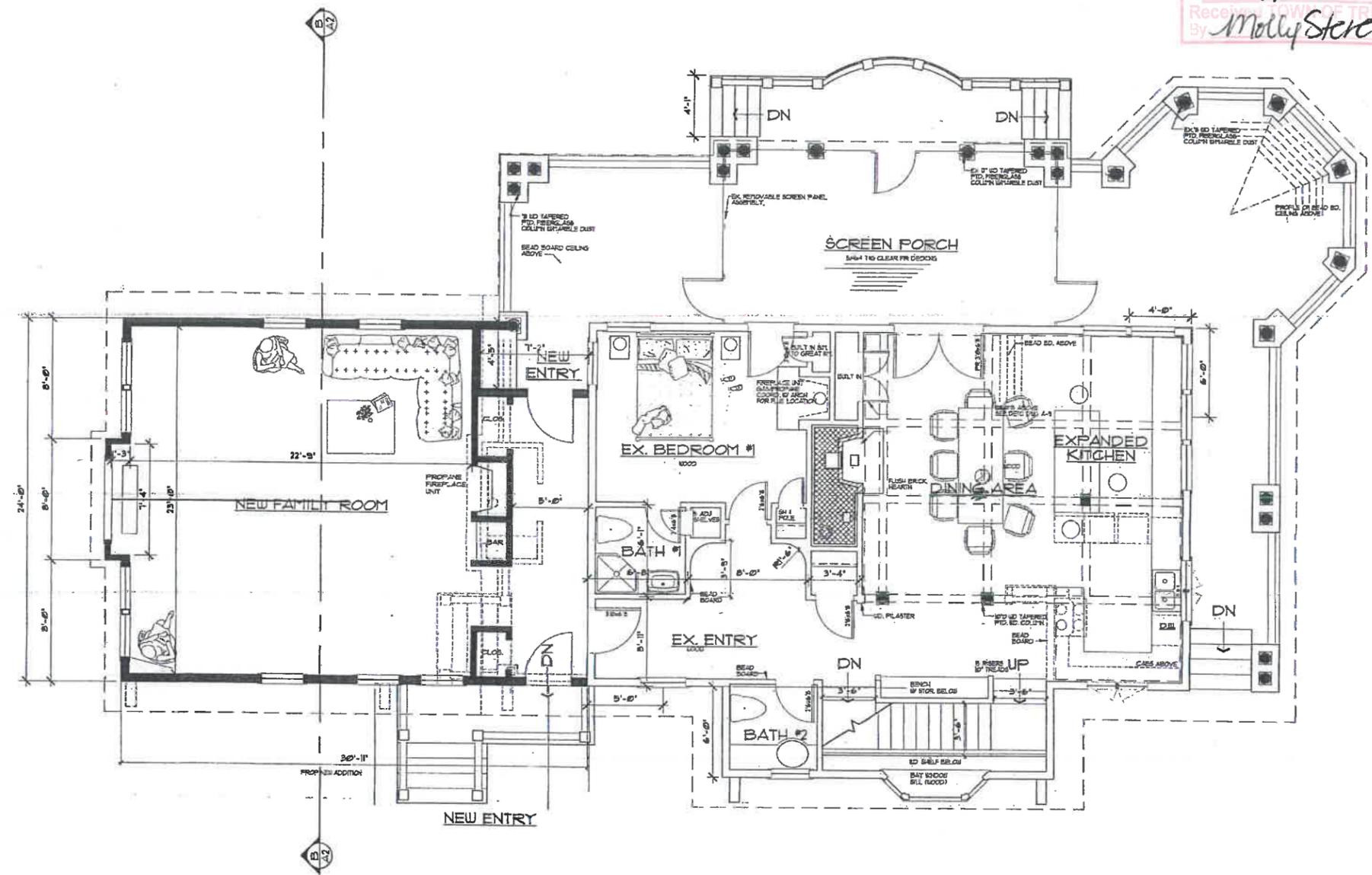
*ONSITE TAPE MEASURE CONFIRMED
 24 x 24 = 576 SF*

Office of Town Clerk
 Treasurer - Tax Collector
 2020-004/26A
 MAY 18 2020
 Supplemental
 RECEIVED TOWN OF TRURO
 By Molly Stevens

SEE DUGS 8-3 FOR GABLE
 ROOF TRUSS LAYOUT.



PARTIAL BUILDING SECTION B
 SCALE: 1/2" = 1'-0"



NEW 1ST FL ADDITION 719 SQFT
 TOTAL EXISTING/NEW 1ST FL 1219 SQFT
 EXISTING 1ST FL 1100 SQFT

(B) FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



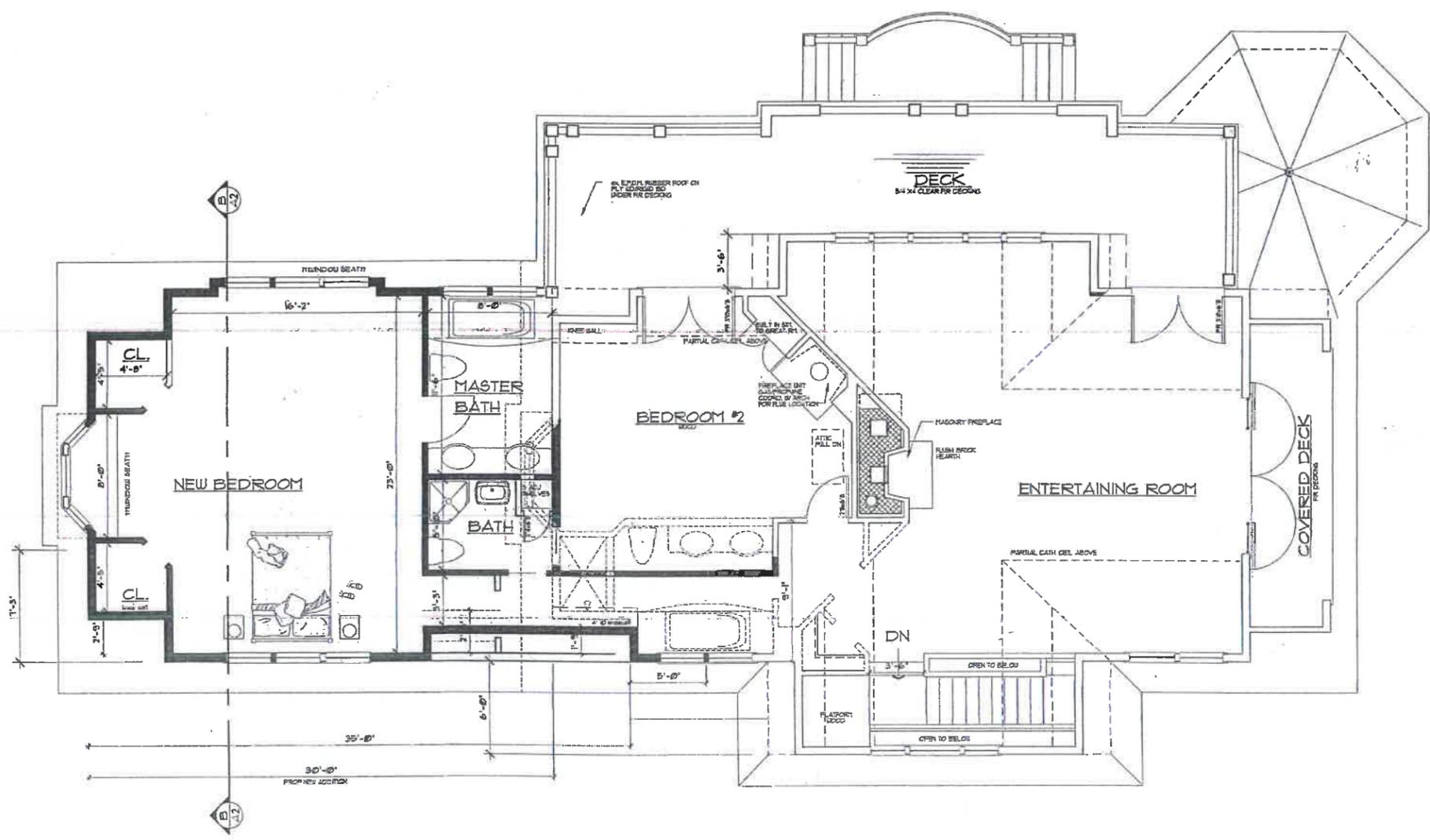
AS NOTED ON SITE PLAN PREPARED BY FELCO, INC.
 ENGINEERS-LAND SURVEYING
 PROPOSED T.O.F. ELEV. 79 DATED 2001
 (AVG. GRADE 11.00' (REL. FLAT SITE)
 (AVG. GRADE TO PEAK IS 29'-7"±)
 BASED ON 2001 BUILDING PERMIT SET
 PROPOSED RIDGE WILL BE EQUAL TO EX.



REV 2 PROGRESS 11-12-20
 REV 1 PROGRESS 4-30-20

| | | |
|---|--|-----|
| NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 7 COAST GUARD ROAD N. TRURO, MASSACHUSETTS | ROBERT S. ROSE ARCHITECT P.O. BOX 76, HINGHAM, MA 02043 (781) 749-0060 ; FAX (508) 228-3081 | A-2 |
| FIRST FLOOR PLANS SCALE: 1/4" = 1'-0" DATE: AUG. 25 2019 | | |

2020-004/ZBA
 11/18/20
 Supplemental
 Molly Servino



NEW 2ND FL. ADDITION 686 SQFT

EXISTING 2ND FL. 1249 SQFT

NEW 2ND FL. ADDITION/NEW 1935 SQFT

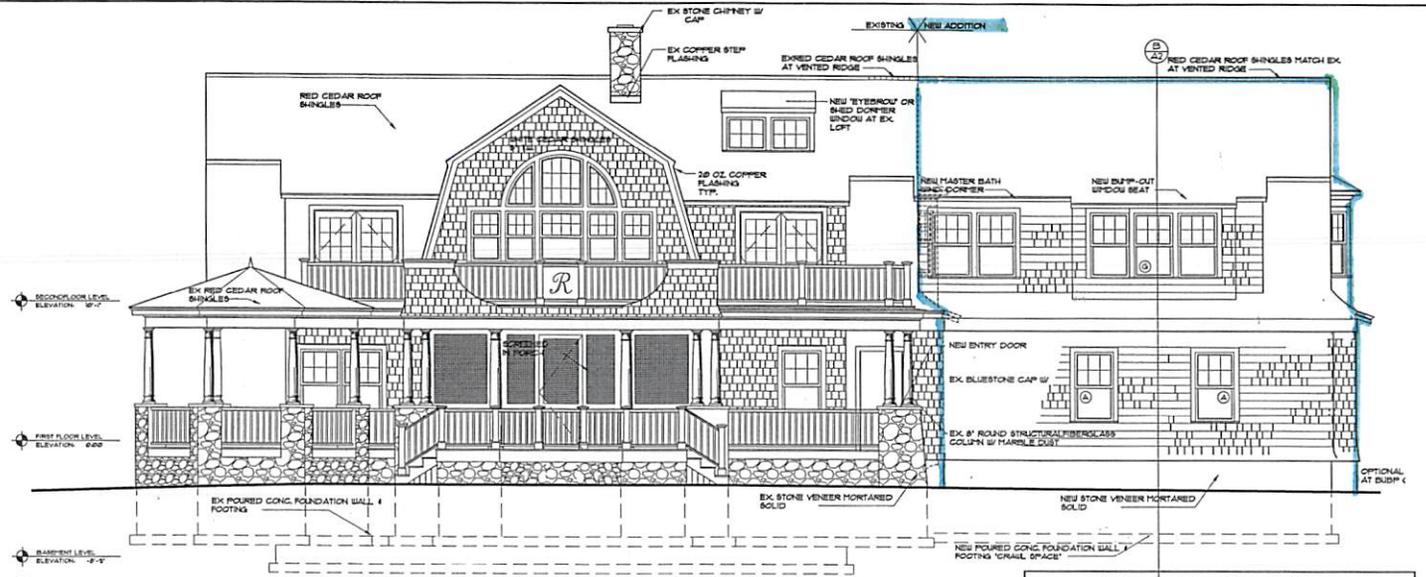
A SECOND FLOOR PLAN
 A-3 SCALE: 1/4" = 1'-0"



AS NOTED ON SITE PREPARED BY FELCO, INC.
 ENGINEERS-LAND SURVEYING
 PROPOSED T.O.F. ELEV. 79 DATED 2001
 (AVG. GRADE 71.00' (REL. FLAT SITE)
 (AVG. GRADE TO PEAK IS 29'-7"±
 BASED ON 2001 BUILDING PERMIT SET
 PROPOSED RIDGE WILL BE EQUAL TO EX.

11-12-20
 REV 2 PROGRESS 11-12-20
 PROGRESS 9-11-19

| | | |
|---|--|------------|
| NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 7 COAST GUARD ROAD N. TRURO, MASSACHUSETTS | ROBERT S. ROSE ARCHITECT P.O. BOX 761, HINGHAM, MA 02043 (781) 749-0060 FAX: (508) 228-5081 | A-3 |
| SECOND FLOOR PLAN SCALE: 1/4" = 1'-0" DATE: AUG. 25 2019 | | |



(A) NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

| DEA | MPG | MODEL | DIMENSION (H x W) | REMARKS |
|-----|--------|-----------------|-------------------------|---------------------------------|
| A | MARVYN | SLCH2020 | 710-3/8"X71-1/2" | |
| B | MARVYN | SLCH2020 | 26-3/8"X48-1/2" | |
| C | MARVYN | SLCH2020-2 | 6-9 1/8"X68-1/2" 2024 | UPR 1/2" 812 POCKET |
| D | MARVYN | SLCH2020-3 | 109-3/8"X68-1/2" 2024 | UPR 1/2" 812 POCKET |
| E | MARVYN | W214211422141 | 49"X172"24" | TO FIT OVER COOR. BARNET SCREEN |
| F | MARVYN | | 2024 | 49 DECA. BAY |
| G | MARVYN | SLCH2024-2 | 6-9 1/8"X171-1/2" | UPR 1/2" 812 POCKET |
| H | MARVYN | ERTH-314" 8424" | 34-3/8"X21-3/16" 1 LITE | 6 GOTHIC LITES |
| J | MARVYN | W20738282382 | 34-3/8"X32-1/8" 1024 | |
| K | MARVYN | | | DIAMOND LITES |
| L | MARVYN | | 2024 | 49 DECA. BAY |
| M | MARVYN | SLCH3224 | 38-3/8"X171-1/2" | |
| N | MARVYN | ERT11 | 26-3/8"X48" | NEED TO PROVIDE PROPER BEZEL |
| O | MARVYN | ERT6 | 36-3/8"X48" | UPR 1/2" 812 POCKET |
| P | MARVYN | ERT8 | 26-3/8"X48" | NEED TO PROVIDE PROPER BEZEL |
| Q | MARVYN | SLCH21 | 26-3/8"X32-3/16" | UPR 1/2" 812 POCKET |
| R | MARVYN | SLCH3228 | 38-3/8"X48-1/2" | |
| S | MARVYN | W214211422141 | | TO FIT OVER COOR. BARNET SCREEN |

NOTE

PROVIDE ALL WINDOWS WITH MILLION PATTERNS AS SHOWN ON ELEVATIONS. CUSTOMIZE AS REQUIRED, 1/8" SPACED DIVIDED LITES WITH SPACER BARS.

ALL FIRST FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-0" UNLESS OTHERWISE NOTED.

ALL SECOND FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-0" UNLESS OTHERWISE NOTED.

IF WINDOWS ARE TO BE GLAZED, COORDINATE FINAL COLOR SELECTION WITH CLIENT AND HOUSE COLOR SCHEME PRIOR TO ORDERING.

MANUFACTURER TO PROVIDE EXTENSION TRIM 3/4"X4" FINE (CEDAR OPTIONAL), 2" SILL, NO FINISH JOINT TRIM.

GLAZING TO BE LOW E ARGON.

MANUFACTURE TO PROVIDE 1/2" SCREENS AT ALL DOUBLE HUNG WINDOWS, HILL AT CAMPBELL.

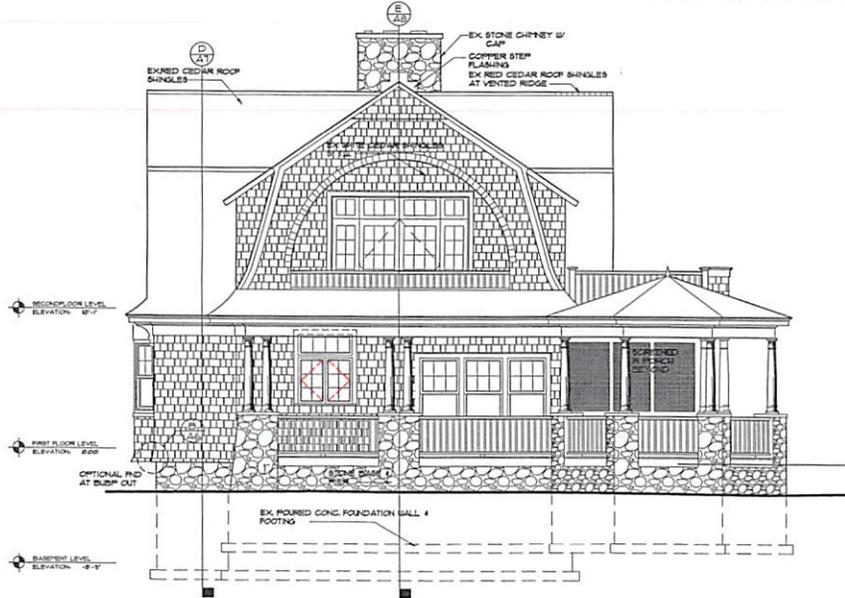
MANUFACTURE TO PROVIDE REARCAST HARDWARE.

PROVIDE SHOP DRAWINGS.

PER MASS CODE-BEDROOM EGRESS WINDOW WHEN FULLY OPEN TO BE 20"X24" IN EITHER DIRECTION, BILL HT. NOT MORE THAN 44".

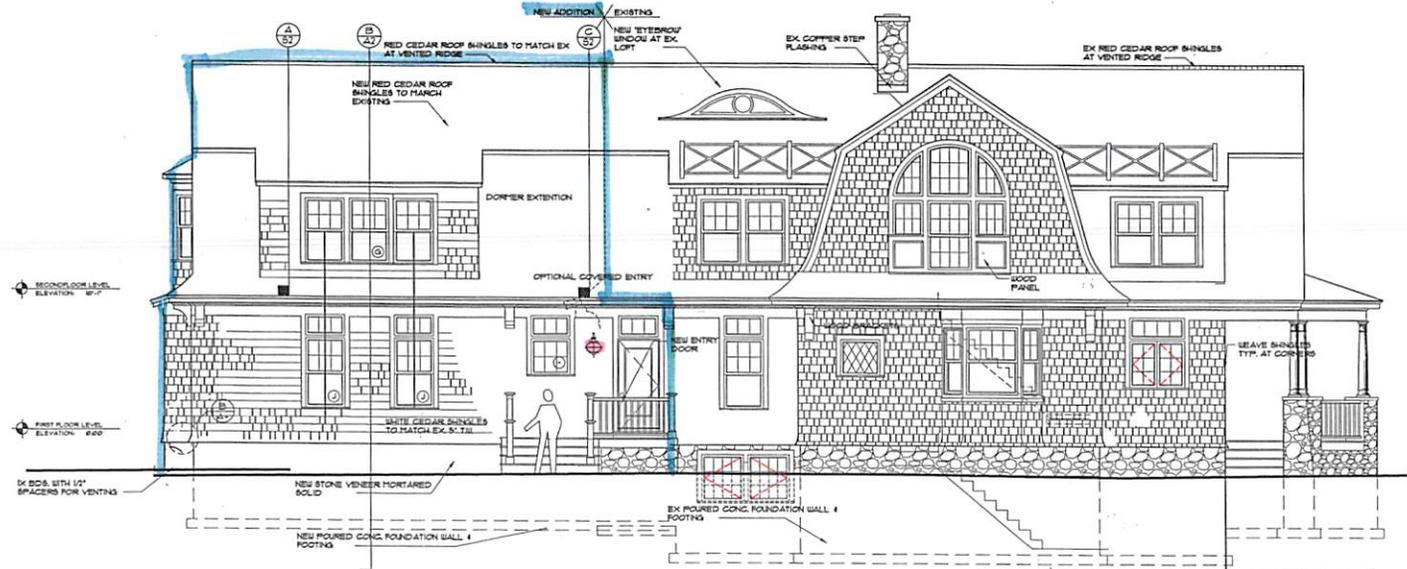
PER CODE-WINDOW SHD BORNE DEBRIS REGION.

REV. PROGRESS 4-30-20



(B) SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

| | | | |
|---|--|--|------------|
| NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 1 COAST GUARD ROAD N. TRURO, MASSACHUSETTS | | ROBERT S. ROSE ARCHITECT P.O. BOX 761, HINGHAM, MA 02043 (781) 749-0060 FAX: (508) 228-5088 | A-4 |
| EXTERIOR ELEVATIONS & DETAILS SCALE: 1/4" = 1'-0" DATE: AUG. 23, 2019 | | | |



A SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

| DEB | TYPE | MODEL | DIMENSION (H x W) | REMARKS |
|-----|--------|-----------------|------------------------------|---|
| A | MARVYN | SLDCH2028 | 270 3/8" X 9 1/2" | |
| B | MARVYN | SLDCH2028 | 26 3/8" X 12" | |
| C | MARVYN | SLDCH2028-2 | 6 1/2" X 6 1/2" X 12" 2024 | WITH 1/2" RIDG POCKET |
| D | MARVYN | SLDCH2028-3 | 105 3/8" X 6 1/2" X 12" 2024 | WITH 1/2" RIDG POCKET WITH 1/2" RIDG POCKET |
| E | MARVYN | SPFW40FLD2027N1 | 49" X 7 1/2" X 24" | |
| F | MARVYN | 2024 | | 45 DEG. BAY |
| G | MARVYN | SLDCH2024-2 | 65 1/8" X 9 1/2" X 12" | WITH 1/2" RIDG POCKET |
| H | MARVYN | URTH1 3/4" 6454 | 34 3/8" X 31 1/8" X 1 LITE | 6 GOTHIC LITES |
| J | MARVYN | WDF13W18241818 | 34 3/8" X 28 1/8" X 18" 2024 | |
| K | MARVYN | | | DIAMOND LITES |
| L | MARVYN | 2024 | | 45 DEG. BAY |
| M | MARVYN | SLDCH2024 | 38 3/8" X 9 1/2" X 12" | |
| N | MARVYN | URTH1 | 26 3/8" X 46" | ROUND TOP PINEAPPLE PROFILE BELOW WITH 1/2" RIDG POCKET |
| O | MARVYN | URTH6 | 26 3/8" X 46" | WITH 1/2" RIDG POCKET |
| P | MARVYN | URTH8 | 26 3/8" X 46" | ROUND TOP PINEAPPLE PROFILE BELOW WITH 1/2" RIDG POCKET |
| Q | MARVYN | SLDCHP | 26 3/8" X 32 3/8" | |
| R | MARVYN | SLDCH2028 | 38 3/8" X 9 1/2" X 12" | |
| S | MARVYN | SPFW40FLD2027N1 | 38 3/8" X 9 1/2" X 12" | TO RETRY FRAME CODE BARBENT SUPPLY |

NOTE

PROVIDE ALL WINDOWS WITH MILLION PATTERNS AS SHOWN ON ELEVATIONS. CUSTOMIZE AS REQUIRED, 1/8" SPACED DIVIDED LITES WITH SPACER BARS.

ALL FIRST FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-0" UNLESS OTHERWISE NOTED.

ALL SECOND FLOOR WINDOWS TO HAVE A HEADER HEIGHT OF 6'-0" UNLESS OTHERWISE NOTED.

IF WINDOWS ARE TO BE GLAZED, COORDINATE FINAL COLOR SELECTION WITH CLIENT AND HOUSE COLOR SCHEME PRIOR TO ORDERING.

MANUFACTURER TO PROVIDE EXTERIOR TRIM 8 1/4" X 4" PINE (CEDAR OPTIONAL); 2" SILL, NO FINGERJOINT TRIM.

GLAZING TO BE LOW E ARGON.

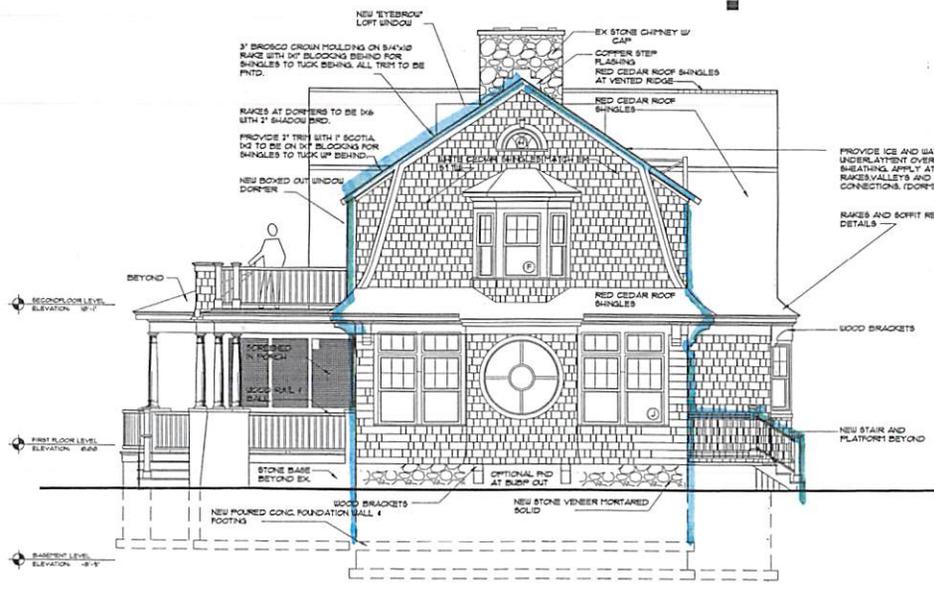
MANUFACTURE TO PROVIDE 1/2" SCREENS AT ALL DOUBLE HUNG WINDOWS, HALL AT CAMPMENTS.

MANUFACTURE TO PROVIDE BEACON HARDWARE.

PROVIDE SHOP DRAWINGS.

PER MASS CODE-BEDROOM BAY WINDOW WHEN FULLY OPEN TO BE 20" X 24" IN EITHER DIRECTION. SILL HT. NOT MORE THAN 44".

PER CODE-WINDOW AND BORME DEBRIS REGION. **REV. PROGRESS 4-30-20**



B NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

| | | | |
|---|--|--|------------|
| NEW ADD. SUMMER RESIDENCE FOR DANIEL F. ROCHE JR. 1 COAST GUARD ROAD N. TRURO, MASSACHUSETTS | | ROBERT S. ROSE ARCHITECT P.O. BOX 70, HINGHAM, MA 03043 (781) 749-0050 FAX: (508) 228-5051 | A-5 |
| EXTERIOR ELEVATIONS & DETAILS SCALE: 1/4" = 1'-0" DATE: AUG. 25, 2019 | | | |

Patrick Coffey

From: Patrick Coffey
Sent: Tuesday, October 27, 2020 4:49 PM
To: Barbara Huggins Carboni; Elizabeth Sturdy
Cc: Anne Greenbaum; ANNE GREENBAUM
Subject: RE: MESA review exemption, proposed addition at 7 Coast Guard Rd

Ms Cheeseman of MESA based her review on 24 pages of documentation provided that included cover page statement "work is to be in an existing gravel parking area, site is level, no expansion of existing paved, lawn and landscaped areas is proposed.

2 gravel parking slots displaced by the addition will be duplicated in present lawn area to the north."

she was fully informed

CMR language for exemption ""construction of a driveway...within existing paved and lawfully developed and maintained lawns or landscaped areas, provided there is no expansion of such existing paved, lawn and landscaped areas." lumps them together as a footprint of not suitable as protected habitat.

our proposal includes no paved. parking as gravel is a substitution of landscaped for lawn within the existing footprint of "developed and maintained lawns or landscaped areas."

patrick coffey

From: Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>
Sent: Tuesday, October 27, 2020 2:51 PM
To: Patrick Coffey <patrick@pratt.construction>; Elizabeth Sturdy <ESturdy@truro-ma.gov>
Cc: Anne Greenbaum <agreenbaum@truro-ma.gov>; ANNE GREENBAUM <annetruro@comcast.net>
Subject: RE: MESA review exemption, proposed addition at 7 Coast Guard Rd

Although it is not depicted on the plan, his review criteria response states that there will be "new parking, gravel, to be to north in near level meadow area," and further that "vegetation removal limited to meadow grasses". This is not consistent with the information NHESP reviewed, which included "applicant verification that all work will occur within existing gravel parking area and no expansion of lawn/landscaped area would occur." See NHESP finding below.

The expansion of gravel parking into meadow grasses is possibly de minimis, but it seems that what NHESP reviewed is not what is proposed to the Board. Up to Board members how they want to address.

Barbara

Barbara Huggins Carboni, Esq.
KP | LAW
101 Arch Street, 12th Floor
Boston, MA 02110
O: (617) 654 1824
F: (617) 654 1735
bhugginscarboni@k-plaw.com
www.k-plaw.com

This message and the documents attached to it, if any, are intended only for the use of the addressee and may contain information that is PRIVILEGED and CONFIDENTIAL and/or may contain ATTORNEY WORK PRODUCT. If you are not the intended recipient, you are hereby notified that any dissemination of this communication is strictly prohibited. If you have received this communication in error, please delete all electronic copies of this message and attachments thereto, if any, and destroy any hard copies you may have created and notify me immediately.

From: Patrick Coffey <patrick@pratt.construction>
Sent: Tuesday, October 27, 2020 2:22 PM
To: Elizabeth Sturdy <ESTurdy@truro-ma.gov>
Cc: Anne Greenbaum <agreenbaum@truro-ma.gov>; ANNE GREENBAUM <annetruro@comcast.net>; Barbara Huggins Carboni <BHugginsCarboni@k-plaw.com>
Subject: FW: MESA review exemption, proposed addition at 7 Coast Guard Rd

Ms Sturdy

accord from MESA "exempt from MESA review" just received
we hold it is not new information. it is in the language of the statute

patrick@pratt.construction

From: Cheeseman, Melany (FWE) <melany.cheeseman@state.ma.us>
Sent: Tuesday, October 27, 2020 1:31 PM
To: Patrick Coffey <patrick@pratt.construction>
Subject: RE: MESA review exemption, proposed addition at 7 Coast Guard Rd

Patrick,

Thank you for submitting the information about the single family home addition. Based on a review of the information that was provided (plans dated 9/12/20, applicant verification that all work will occur within existing gravel parking area and no expansion of lawn/landscaped area would occur), this project, as currently proposed, appears to be **exempt from a MESA review** pursuant to 321 CMR 10.14 which states: "[t]he following Projects and Activities shall be exempt from the requirements of 321 CMR 10.18 through 10.23..."

(4) the maintenance, repair, or replacement, or additions, including the construction of a driveway for an existing single family or two family home within existing paved and lawfully developed and maintained lawns or landscaped areas; provided there is no expansion of such existing paved, lawn and landscaped areas;

Any changes to the proposed project or any additional work beyond that provided may require a filing with the Division pursuant to the MESA regulations. Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions please let me know. Thank you,

Melany Cheeseman
Endangered Species Review Assistant
Natural Heritage & Endangered Species Program
Massachusetts Division of Fisheries & Wildlife
1 Rabbit Hill Road, Westborough, MA 01581
melany.cheeseman@mass.gov | www.mass.gov/nhesp

Important: Our offices are currently closed and all non-essential state employees, including Environmental Review staff, are working remotely. We will respond to your inquiry as quickly as possible. Thank you for your patience. Please visit our website (www.mass.gov/nhesp) for updates.

From: Patrick Coffey <patrick@pratt.construction>

Sent: Thursday, October 22, 2020 12:28 PM

To: Cheeseman, Melany (FWE) <Melany.Cheeseman@mass.gov>; melanie.cheeseman@state.ma.us

Subject: MESA review exemption, proposed addition at 7 Coast Guard Rd

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Ms Cheeseman

attached is our submission for Site Plan Review with Planning Board of Truro
proposed is an addition to a SFD 7 Coast Guard Rd Truro (24x31 footprint, 2-story)

work is to be in an existing gravel parking area, site is level, no expansion of existing paved, lawn and landscaped areas is proposed

2 gravel parking slots displaced by the addition will be duplicated in present lawn area to the north

Board has questioned whether review is required

we believe per 321 CMR 10.14 we meet criteria of exempt from review

Please confirm or advise, if possible before hearing continued to 4 Nov

thanks for your attention to this matter

patrick coffey

patrick@pratt.construction

5082804688 c

M. Louise Briggs
8 Castle Road
Truro, MA 02666-0094
louise@louisebriggs.com
(617) 529-9089

November 13, 2020

Chairman Hulton
Zoning Board of Appeals
P.O. Box 2030
Truro, MA 02666

RE: Application for a special Permit 2020-005/ZBA, for Castle Road, Truro, MA 02666

Dear Chairman Hulton and Zoning Board Members,

I am before your board on November 23 regarding the proposed addition for my residence at 8 Castle Road. Eight Castle Rd. is an antique classic cape cod home built before 1777.

The grandfather of Kirk Briggs, my late husband, bought this house in the early 1940's and practiced medicine from this location for years. Kirk spent much of his childhood summers here. He first brought me here 51 years ago.

Our family has rented the house to vacationers for more than 50 years. I've lived here for all but the rental season for the last 12 years. In 2018 I completed building a 500 SF habitable studio to live in during rental season so that I could become a year-round Truro resident. COO is attached.

The proposed renovation will provide an updated kitchen and add a safe, code-compliant stairway to the second floor. For a 72-year-old with osteoporosis, the existing antique ladder-like stairs are no longer safe.

I did not understand that building a small portion of the second floor, above the non-conforming area of the first floor, might be considered an extension of the non-conformity. The only habitable space on the second floor that lies within the required setback is 3'6" x 12', equaling 42 S.F. I've enclosed architectural drawings that clarify the area under consideration.

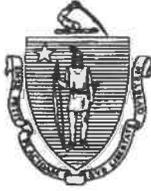
Elton Elperin, the architect for this project, is the Chair of Brookline's Historic Commission as well as a Truro homeowner. The architect's design mirrors the oldest riverfront part of the house, making the elevation and roofline consistent.

I ask that you grant a special permit for my project.

Sincerely,

M. Louise Briggs

Enclosures: 3
CC: Bruce Bierhan, Elton Elperin, David Lajoie



The Commonwealth of Massachusetts

TOWN OF TRURO

In accordance with the Massachusetts State Building Code; 780 CMR Section R110 Eighth Edition, this

CERTIFICATE OF USE AND OCCUPANCY

Is issued to Louise Briggs

Of: 56 Dana Street, Cambridge, MA 02138

I certify that I have inspected the _ STUDIO

Map 50 Parcel 145

Located at 8 Castle Road in the Town of Truro County of Barnstable, Commonwealth of Massachusetts. The building is hereby certified to be in compliance with the Code and for the purpose stated below.

USE GROUP R-3 LIVE LOAD

TYPE OF CONSTRUCTION VB

OCCUPANCY LOAD

AUTOMATIC SPRINKLER SYSTEM: YES NO REQUIRED

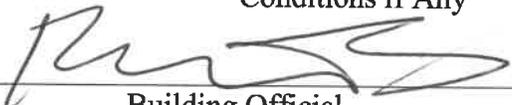
TYPE OF SPRINKLER: N/A

7/10/2018

Associated with Building Permit # 17-058

Date Certificate Issued

Conditions if Any


Building Official

The building official shall be notified of any changes in the above information.



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date Oct. 21, 2020

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on (date) _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on (date) _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning (describe) _____

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning (describe) _____

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 307A of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning (describe) Construction of

a 2nd S.E. 2nd Floor addition over a pre-existing non-conforming dwelling. Existing dwelling is 20.6' from the property line. The proposed addition would maintain the 20.6' setback.
Property Address 8 Castle Road Map(s) and Parcel(s) 50-145-0

Registry of Deeds title reference: Book 31161, Page 258, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name M. Louise Briggs, TTE (M. Louise Briggs Living Trust)

Applicant's Legal Mailing Address P.O. Box 94 Truro, MA 02666

Applicant's Phone(s), Fax and Email (617) 529-9089 louise@louisebriggs.com (No Fax)

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address M. Louise Briggs 8 Castle Road Truro, MA 02666-009

Representative's Name and Address _____

Representative's Phone(s), Fax and Email _____

2. The completed application shall also be submitted electronically to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

• The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

M. Louise Briggs TTE
Applicant(s)/Representative Printed Name(s)

M. Louise Briggs TTE
Applicant(s)/Representative Signature

M. Louise Briggs TTE
Owner(s) Printed Name(s) or written permission

M. Louise Briggs TTE
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

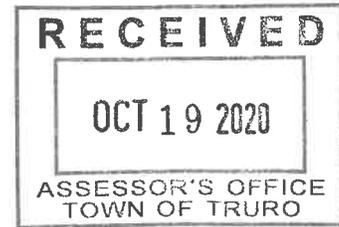


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: 10/19/2020

NAME OF APPLICANT: M. Louise Briggs Living Trust, Louise Briggs, Trustee

NAME OF AGENT (if any): _____

MAILING ADDRESS: P.O. Box 94

CONTACT: HOME/CELL 617-529-9089 EMAIL louise@louisebriggs.com

PROPERTY LOCATION: 8 Castle Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 50 PARCEL 145 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item
(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
- (Please Specify) (Fee: Inquire with Assessors)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: Oct 19, 2020

Date completed: Oct 20, 2020

List completed by: Laura Geiges

Date paid: 10/19/20 Cash Check \$1480

¹ Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

² Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³ Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴ All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵ Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: October 20, 2020

To: Louise Briggs, Trustee of M. Louise Briggs Living Trust

From: Assessors Department

Certified Abutters List: 8 Castle Road, Map 50 Parcel 145

Special Permit

Attached is a combined list of abutters for the property located at 8 Castle Road. The current owner is M. Louise Briggs Living Trust .

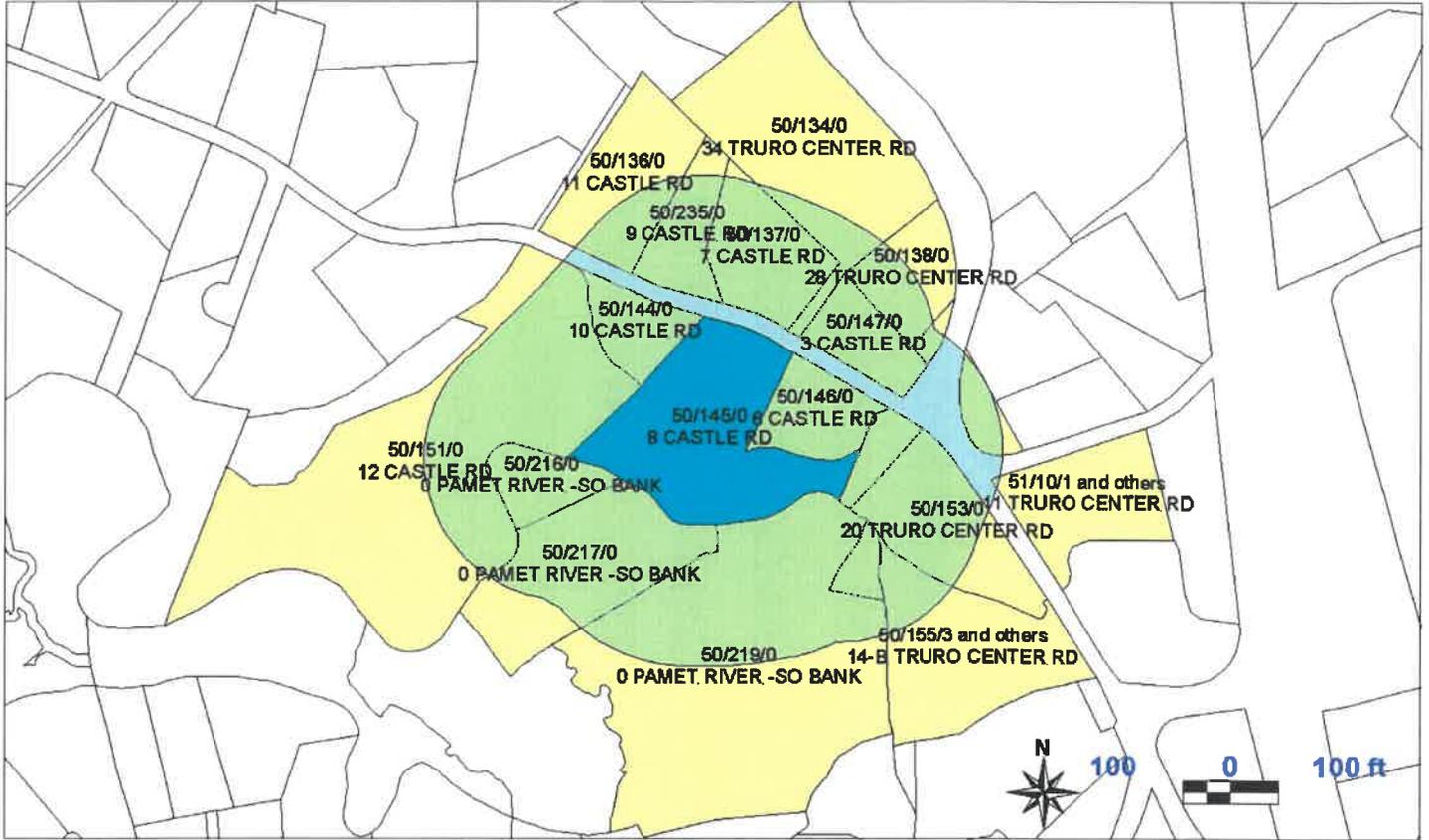
The names and addresses of the abutters are as of October 16, 2020 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: _____

Laura Geiges
Assistant Assessor

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 50/145/0



| Key | Parcel ID | Owner | Location | Mailing Street | Mailing City | ST | ZipCd/Country |
|------|------------|--|--------------------|--|--------------|----|---------------|
| 2913 | 50-134-0-R | DANE CAROL ANN S & SKILLMAN WILLIAM R ET AL | 34 TRURO CENTER RD | C/O POWELL BARBARA S 407 WALPOLE ST | CANTON | MA | 02021 |
| 2915 | 50-136-0-R | DEWILDE WILLIAM W ESTATE OF | 11 CASTLE RD | c/o RYAN, LLC PO BOX 460329, DEPT 909 | HOUSTON | TX | 77056 |
| 2916 | 50-137-0-R | JANSEN ERIC S | 7 CASTLE RD | PO BOX 258 | TRURO | MA | 02666 |
| 2917 | 50-138-0-R | VEEVERS-CARTER RORY & PATRICIA | 28 TRURO CENTER RD | 2706 OLIVE STREET NW | WASHINGTON | DC | 20007 |
| 2923 | 50-144-0-R | DONOVAN HELEN W & NIXHOLM HOLLY | 10 CASTLE RD | 30 MADISON ST | CAMBRIDGE | MA | 02138-2314 |
| 2924 | 50-145-0-R | M. LOUISE BRIGGS LIVING TRUST TRS: M. LOUISE BRIGGS | 8 CASTLE RD | PO BOX 94 | TRURO | MA | 02666 |
| 2925 | 50-146-0-R | BLAIR PAMELA A TRUST - 2011 TRS: BLAIR PAMELA A | 6 CASTLE RD | 150 KIMBALL RD | CARLISLE | MA | 01741 |
| 2926 | 50-147-0-R | DAY WILHELMINE c/o Ming & Mark Beaver | 3 CASTLE RD | 2706 OLIVE STREET, NW | WASHINGTON | DC | 20007 |
| 2927 | 50-148-0-R | CONNOR JOSEPH W | 26 TRURO CENTER RD | PO BOX 443 | TRURO | MA | 02666-0443 |
| 2928 | 50-149-0-E | TOWN OF TRURO | 13 TRURO CENTER RD | PO BOX 2030 | TRURO | MA | 02666-2030 |
| 2930 | 50-151-0-E | TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL | 12 CASTLE RD | PO BOX 327 | NO TRURO | MA | 02652-0327 |
| 2931 | 50-152-0-E | TOWN OF TRURO | 4 CASTLE RD | PO BOX 2030 | TRURO | MA | 02666-2030 |
| 2932 | 50-153-0-E | TOWN OF TRURO | 20 TRURO CENTER RD | PO BOX 2030 | TRURO | MA | 02666-2030 |
| 2934 | 50-155-0-E | TRURO CENTER CONDO TRUST | 14 TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 7269 | 50-155-1-R | PAMET RIVER ENTERPRISES LLC DAWN & SEBASTIAN SNOW | 14 TRURO CENTER RD | 45 CHASKE AVE | AUBURNDALE | MA | 02466 |

LG 10/20/2020

| Key | Parcel ID | Owner | Location | Mailing Street | Mailing City | ST | ZipCd/Country |
|------|------------|--|------------------------|--------------------|--------------|----|---------------|
| 7270 | 50-155-2-R | ATLANTIS INC REG AGT: AVE D ROSENTHAL | 14-A TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 7271 | 50-155-3-R | PAMET RIVER ENTERPRISES LLC DAWN & SEBASTIAN SNOW | 14-B TRURO CENTER RD | 45 CHASKE AVE | AUBURNDALE | MA | 02466 |
| 7272 | 50-155-4-R | ATLANTIS INC | 14-C TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 7273 | 50-155-5-R | ATLANTIS INC | 14-D TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 7274 | 50-155-6-R | ATLANTIS INC | 14-E TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 7275 | 50-155-7-R | ATLANTIS INC | 16 TRURO CENTER RD | PO BOX 673 | TRURO | MA | 02666-0673 |
| 2985 | 50-216-0-R | WHITE RAYMOND L JR ET AL c/o Susan Howard | 0 PAMET RIVER -SO BANK | 12 LEIGHTON ST | NATICK | MA | 01760 |
| 2986 | 50-217-0-R | OWNER UNKNOWN | 0 PAMET RIVER -SO BANK | N/A | TRURO | MA | 99999 |
| 2988 | 50-219-0-R | ATLANTIS INC | 0 PAMET RIVER -SO BANK | PO BOX 673 | TRURO | MA | 02666-0673 |
| 2989 | 50-220-0-R | OWNER UNKNOWN | 0 PAMET RIVER -SO BANK | N/A | TRURO | MA | 99999 |
| 3002 | 50-235-0-R | NESKEY SHARON D REV TR OF 2004 TRS: NESKEY SHARON D | 9 CASTLE RD | PO BOX 2008 | TRURO | MA | 02666 |
| 6157 | 51-10-1-R | RUSSO GREGG & LATTIME SCOTT J ET AL | 11 TRURO CENTER RD | PO BOX 1306 | TRURO | MA | 02666 |
| 6158 | 51-10-2-R | SCRIMSHAW LONGNOOK LLC MGR: NICHOLAS NORMAN | 11 TRURO CENTER RD | PO BOX 746 | TRURO | MA | 02666-0746 |
| 6934 | 51-10-3-E | 11 TCR CONDO TRUST | 11 TRURO CENTER RD | 11 TRURO CENTER RD | TRURO | MA | 02666 |

LG 10/20/2020

| | | | | | |
|--|------------|---|------------|---|------------|
| DANE CAROL ANN S & SKILLMAN WILLIAM R ET AL C/O POWELL BARBARA S 407 WALPOLE ST CANTON, MA 02021 | 50-134-0-R | DEWILDE WILLIAM W ESTATE OF c/o RYAN, LLC PO BOX 460329, DEPT 909 HOUSTON, TX 77056 | 50-136-0-R | JANSEN ERIC S PO BOX 258 TRURO, MA 02666 | 50-137-0-R |
| VEEVERS-CARTER RORY & PATRICIA 2706 OLIVE STREET NW WASHINGTON, DC 20007 | 50-138-0-R | DONOVAN HELEN W & NIXHOLM HOLLY 30 MADISON ST CAMBRIDGE, MA 02138-2314 | 50-144-0-R | M. LOUISE BRIGGS LIVING TRUST TRS: M. LOUISE BRIGGS PO BOX 94 TRURO, MA 02666 | 50-145-0-R |
| BLAIR PAMELA A TRUST - 2011 TRS: BLAIR PAMELA A 150 KIMBALL RD CARLISLE, MA 01741 | 50-146-0-R | DAY WILHELMINE c/o Ming & Mark Beaver 2706 OLIVE STREET, NW WASHINGTON, DC 20007 | 50-147-0-R | CONNOR JOSEPH W PO BOX 443 TRURO, MA 02666-0443 | 50-148-0-R |
| TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030 | 50-149-0-E | TRURO CONSERVATION TRUST TRS: BETSEY BROWN ET AL PO BOX 327 NO TRURO, MA 02652-0327 | 50-151-0-E | TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030 | 50-152-0-E |
| TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030 | 50-153-0-E | TRURO CENTER CONDO TRUST PO BOX 673 TRURO, MA 02666-0673 | 50-155-0-E | PAMET RIVER ENTERPRISES LLC DAWN & SEBASTIAN SNOW 45 CHASKE AVE AUBURNDALE, MA 02466 | 50-155-1-R |
| ATLANTIS INC REG AGT: AVE D ROSENTHAL PO BOX 673 TRURO, MA 02666-0673 | 50-155-2-R | PAMET RIVER ENTERPRISES LLC DAWN & SEBASTIAN SNOW 45 CHASKE AVE AUBURNDALE, MA 02466 | 50-155-3-R | ATLANTIS INC PO BOX 673 TRURO, MA 02666-0673 | 50-155-4-R |
| ATLANTIS INC PO BOX 673 TRURO, MA 02666-0673 | 50-155-5-R | ATLANTIS INC PO BOX 673 TRURO, MA 02666-0673 | 50-155-6-R | ATLANTIS INC PO BOX 673 TRURO, MA 02666-0673 | 50-155-7-R |
| WHITE RAYMOND L JR ET AL c/o Susan Howard 12 LEIGHTON ST NATICK, MA 01760 | 50-216-0-R | OWNER UNKNOWN N/A TRURO, MA 99999 | 50-217-0-R | ATLANTIS INC PO BOX 673 TRURO, MA 02666-0673 | 50-219-0-R |
| OWNER UNKNOWN N/A TRURO, MA 99999 | 50-220-0-R | NESKEY SHARON D REV TR OF 2004 TRS: NESKEY SHARON D PO BOX 2008 TRURO, MA 02666 | 50-235-0-R | RUSSO GREGG & LATTIME SCOTT J ET AL PO BOX 1306 TRURO, MA 02666 | 51-10-1-R |
| SCRIMSHAW LONGNOOK LLC MGR: NICHOLAS NORMAN PO BOX 746 TRURO, MA 02666-0746 | 51-10-2-R | 11 TCR CONDO TRUST 11 TRURO CENTER RD TRURO, MA 02666 | 51-10-3-E | | |

LG 10/20/2020

PROPOSED FINDINGS
2020-005 ZBA M. LOUISE BRIGGS

1. The subject property is an approximately 1.293 acre parcel which contains an approximately 1,856 s.f. three bedroom single family dwelling. The structure is an antique home built before 1777. The Applicant proposes to build an updated kitchen and safe code compliant stairway to the second floor. The Applicant has a medical condition which makes it difficult for her to use the existing "ladder like" steps.
2. The total proposed habitable updated kitchen is 415 s.f., the proposed 2nd floor bedroom and bath is 453 s.f., and the total proposed gross floor area is 2,352 s.f. The total lot proposed site coverage is 5.4 0/0.
3. The Applicant seeks a Special Permit pursuant to Section 30.7A. The structure is a pre-existing non-conforming structure in that the side set back is 20.6' rather than the required 25'. The proposal maintains the existing 20.6' setback.
4. Notice was published in The Banner on _____, and postcards were mailed to abutters on _____.
5. The proposed construction of the updated kitchen and code compliant stairway will not be substantially more detrimental to the neighborhood than the existing non-conforming structure.
6. The proposed construction of the updated kitchen and code compliant stairway will not change the manner and purposes of the existing non-conforming structure on the property.

8 Castle Road
Project Summary
18 November 2020

Existing space - gross floor area

| | |
|-----------------------|-------------------|
| 1 st floor | 1,167 s.f. |
| 2 nd floor | <u>689 s.f.</u> |
| Total | 1,856 s.f. |

Porches 245 s.f.

Demolition of gross floor area

| | |
|-----------------------|----------|
| 1 st floor | 292 s.f. |
| 2 nd floor | 80 s.f. |

Demolition of Porches 245 s.f.

New Construction, gross floor areas

| | |
|-------------------------------|-----------------|
| 1 st floor | 415 s.f. |
| (demolished) | <u>292 s.f.</u> |
| Net new 1 st floor | 123 s.f. |

| | |
|-------------------------------|----------------|
| 2 nd floor | 453 s.f. |
| (demolished) | <u>80 s.f.</u> |
| Net new 2 nd floor | 373 s.f. |

Total net new gross floor area 496 s.f.
Total proposed gross floor area 2,352 s.f.

| | |
|-----------------|-----------------|
| Porches | 322 s.f. |
| (demolished) | <u>245 s.f.</u> |
| Net new porches | 77 s.f. |

Distance from south lot line (existing) 20.6'
 Distance from south lot line (proposed) 20.6'

Height from median grade (existing) 23.2'
 Height from median grade (proposed) 23.2'

Depth of proposed excavation below grade 8'

CONSTRUCTION NOTES

1. CONSTRUCTION ACCESS VIA EXISTING DRIVE.
2. PROPOSED ADDITIONS A & B TO BE ON FULL FOUNDATION.
3. PROPOSED PORCH C TO BE CONSTRUCTED ON CONCRETE PIERS.
4. CONNECT ALL NEW PLUMBING IN ADDITIONS TO EXISTING WASTE LINE WITHIN THE EXISTING DWELLING.
5. WORK LIMIT TO BE STAKED SILT FENCING.
6. ADDITIONS AND PORCH AREA (265± SF.) TO BE MITIGATED BY REVEGETATION OF (450± SF.) OF NATIVE PLANTS. PROPOSED PLANTING AREA SHOWN TO CONSIST OF 1-2 GAL. PLANTS SPACED 4'-6" O.C. OF BEACH PLUM, BAYBERRY, AND CAROLINA ROSE OR EQUIV. REMAINDER OF DISTURBED AREA TO BE PLANTED WITH "CAPE COD MIX" NATIVE GRASS.

"AILANTHUS TREES" ON OR AROUND THE COASTAL BANK TO BE FLAGGED AND REVIEWED FOR REMOVAL BY CONSERVATION AGENT PRIOR TO WORK.

"TREE REMOVABLE AREA" (824± SF.) SHOWN TO CONSIST OF DEAD TREES TO BE FLAGGED AND REVIEWED FOR REMOVAL BY CONSERVATION AGENT PRIOR TO WORK.

7. ROOF RUNOFF TO BE CONTROLLED BY GUTTERS TO DRYWELLS OR STONE DRAINS. INSTALL ALL DRYWELLS 10' MIN. FROM SEPTIC TANK AND 25' MIN. FROM LEACH AREA.
8. SEE ADDITIONAL PLANS BY ARCHITECT AND OWNER.

PLAN REFERENCES:

DEED BOOK 31161 PAGE 258
PLAN BOOK 589 PAGE 81



SHARON D. NESKEY
REVOCABLE TRUST OF 2004
DEED BOOK 19868 PAGE 270
MAP 50 PARCEL 137

CAROL ANN S. DANE &
ERIC S. JANSEN
DEED BOOK 29785 PAGE 200
MAP 50 PARCEL 137

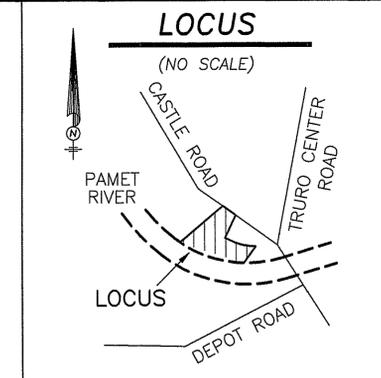
HELLEN W. DONOVAN
& HOLLY NIXHOLM
DEED BOOK 9425 PAGE 268
MAP 50 PARCEL 144

CAROL ANN S. DANE &
WILLIAM R. SKILLMAN
DEED BOOK 1275 PAGE 352
MAP 50 PARCEL 134

WILHELMINE DAY
CERTIFICATE #15549
MAP 50 PARCEL 147

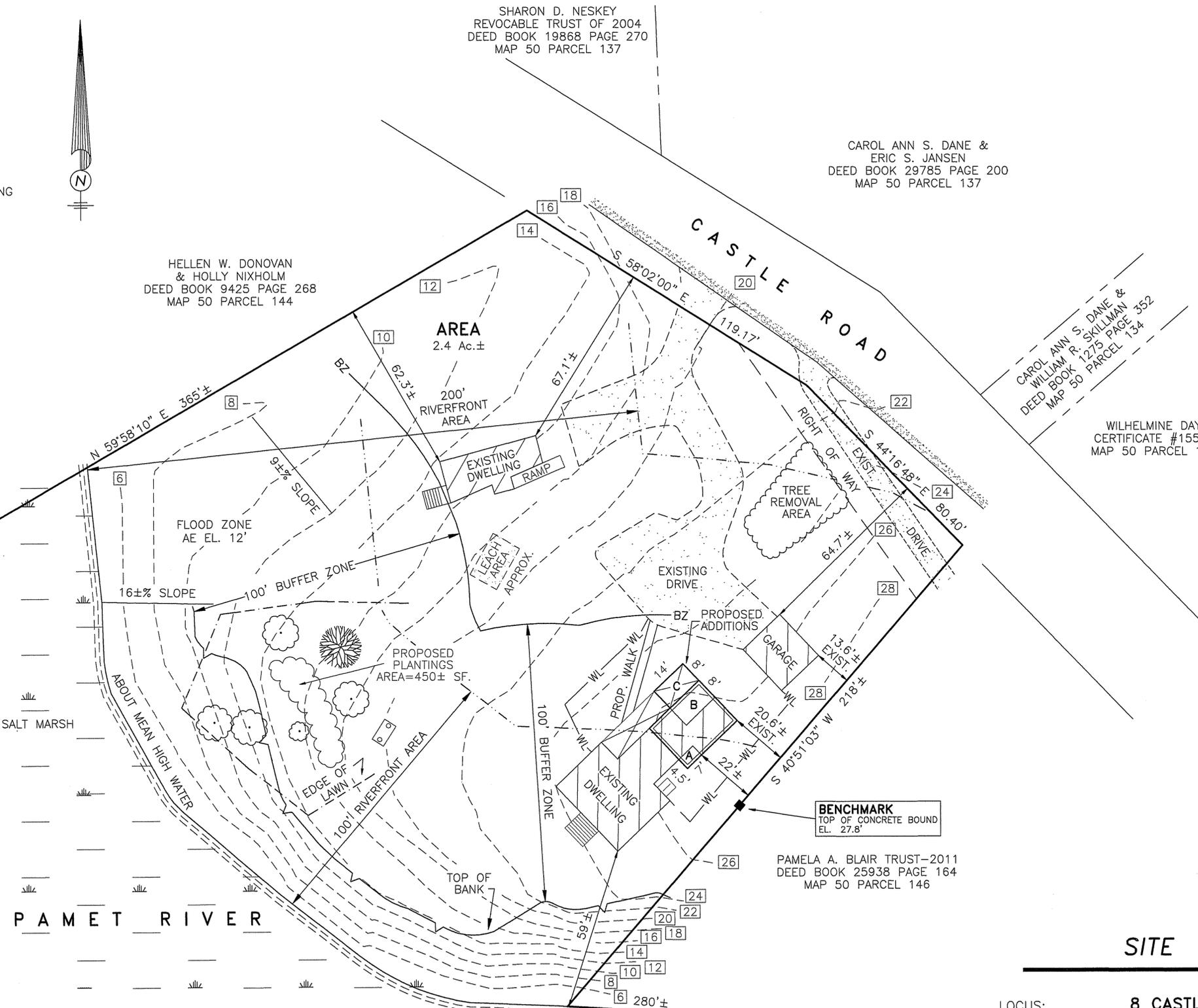
BENCHMARK
TOP OF CONCRETE BOUND
EL. 27.8'

PAMELA A. BLAIR TRUST-2011
DEED BOOK 25938 PAGE 164
MAP 50 PARCEL 146



LEGEND

- EXISTING CONTOUR
- □ EXISTING SEPTIC TANK
- WL- WORK LIMIT
- LOCUST TREE
- CHERRY TREE
- PRICKLY PEAR SHRUB



P A M E T R I V E R

SITE PLAN

LOCUS: **8 CASTLE ROAD**
TRURO, MA

PREPARED FOR: **LOUISE BRIGGS**
P.O. BOX 94
TRURO, MA 02666

REFERENCE: ASSR'S MAP **50** PARCEL **145**

SCALE : 1" = 20' DATE : 11-13-2020
SHEET No. 1 OF 1 JOB No. 10115

| ZONING DISTRICT: R | REQUIRED | EXISTING | PROPOSED |
|--------------------|-------------|--------------|--------------|
| MIN. LOT AREA | 33,750 S.F. | 56,314± S.F. | 56,314± S.F. |
| MIN. LOT FRONTAGE | 150' | 199.57' | 199.57' |
| FRONT SETBACK | 25' | 64.7'± | 64.7'± |
| SIDE SETBACK | 25' | 13.6'± | 13.6'± |
| REAR SETBACK | 25' | 59'± TO AMHW | 59'± TO AMHW |
| BUILDING COVERAGE | | 4.4±% | 4.8±% |
| SITE COVERAGE | | 4.8±% | 5.4±% |

FELCO, INC.
ENGINEERING - LAND SURVEYING
P.O. BOX 1366 ORLEANS, MA 02653
(508) 255-8141 WWW.FELCOENGINEERING.COM

| REVISIONS | |
|------------|--------------|
| 11/18/2020 | ADD SETBACKS |



11/18/20

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 2020

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

BASEMENT
DEMOLITION
PLAN

SCALE AS NOTED

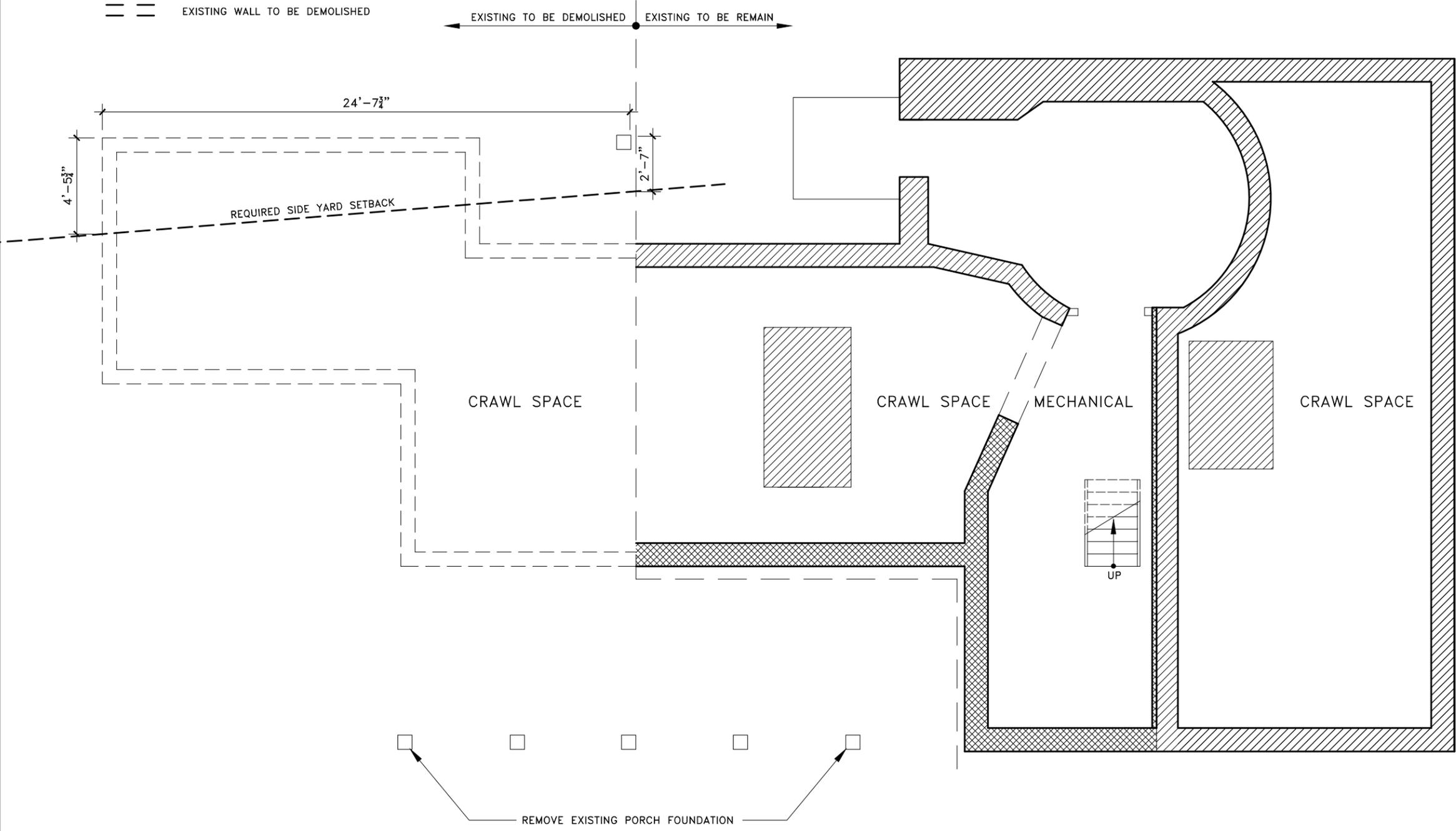
DRAWING NO.

A 01

WALL TYPES KEY

-  EXISTING CMU WALL TO REMAIN
-  EXISTING BRICK TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED

← EXISTING TO BE DEMOLISHED EXISTING TO BE REMAIN →



1 BASEMENT DEMOLITION PLAN
SCALE: 3/16"



NOTE: ALL DIMENSIONS TO FACE OF
STRUCTURE UNLESS OTHERWISE
NOTED

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

| | |
|-----------|----------------|
| JOB NO. | |
| DRAWN | |
| DATE | 6 NOVEMBER 202 |
| REVISIONS | |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

FIRST FLOOR
DEMOLITION
PLAN

SCALE AS NOTED

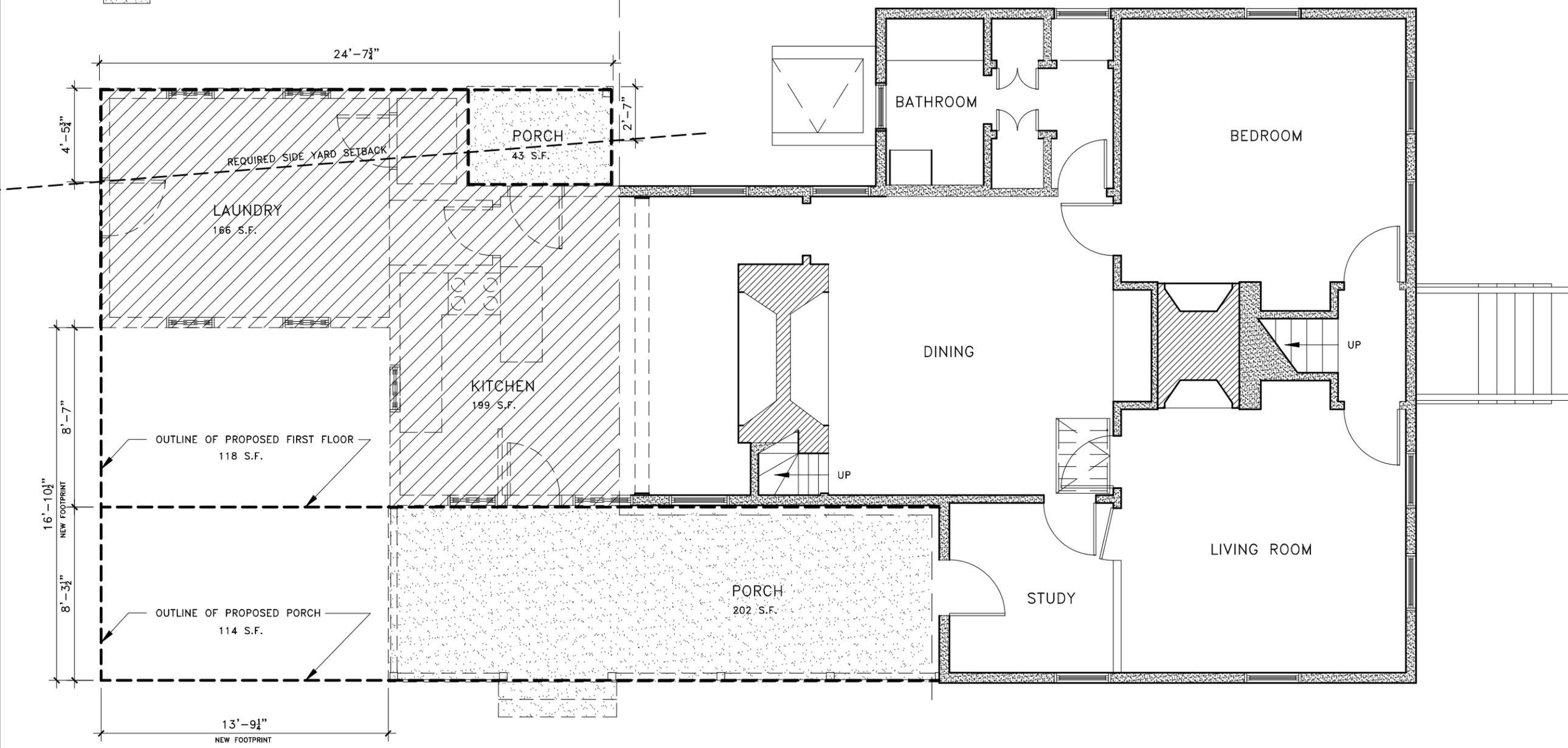
DRAWING NO.

A 02

WALL TYPES KEY

-  EXISTING WALL TO REMAIN
-  EXISTING BRICK TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING HABITABLE SPACE TO BE DEMOLISHED
-  EXISTING PORCH TO BE DEMOLISHED

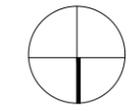
← EXISTING TO BE DEMOLISHED EXISTING TO BE REMAIN →



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16"

NOTES

- SALVAGE ALL ORIGINAL FINISH FLOOR BOARDS
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED



CALLED NORTH

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

NO. DATE DESCRIPTION

SECOND FLOOR
DEMOLITION
PLAN

SCALE AS NOTED

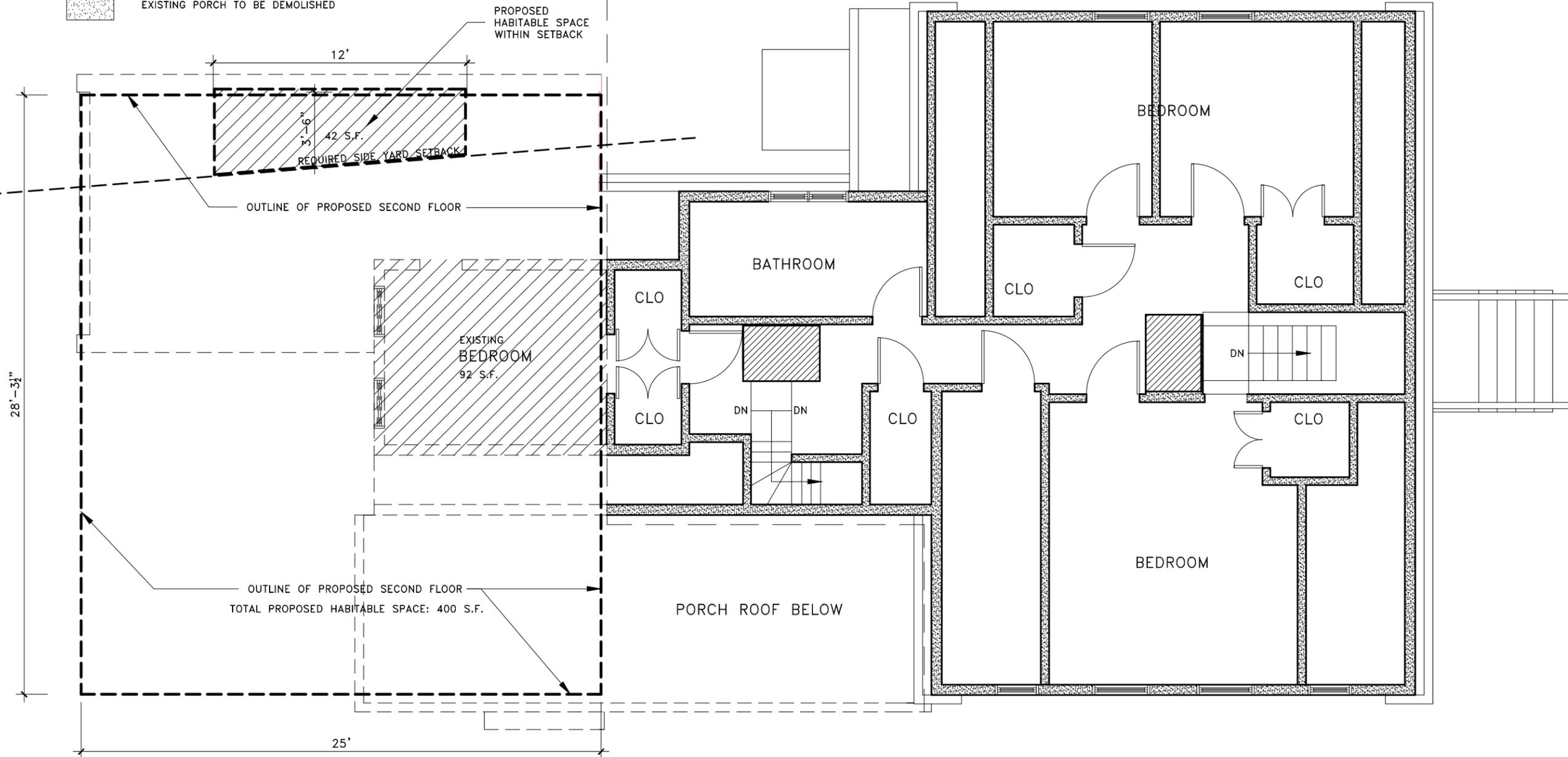
DRAWING NO.

A 03

WALL TYPES KEY

-  EXISTING WALL TO REMAIN
-  EXISTING BRICK TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING HABITABLE SPACE TO BE DEMOLISHED
-  EXISTING PORCH TO BE DEMOLISHED

← EXISTING TO BE DEMOLISHED EXISTING TO BE REMAIN →



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 3/16"

NOTES

- SALVAGE ALL ORIGINAL FINISH FLOOR BOARDS
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED



CALLED NORTH

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

ROOF DEMOLITION PLAN

SCALE AS NOTED

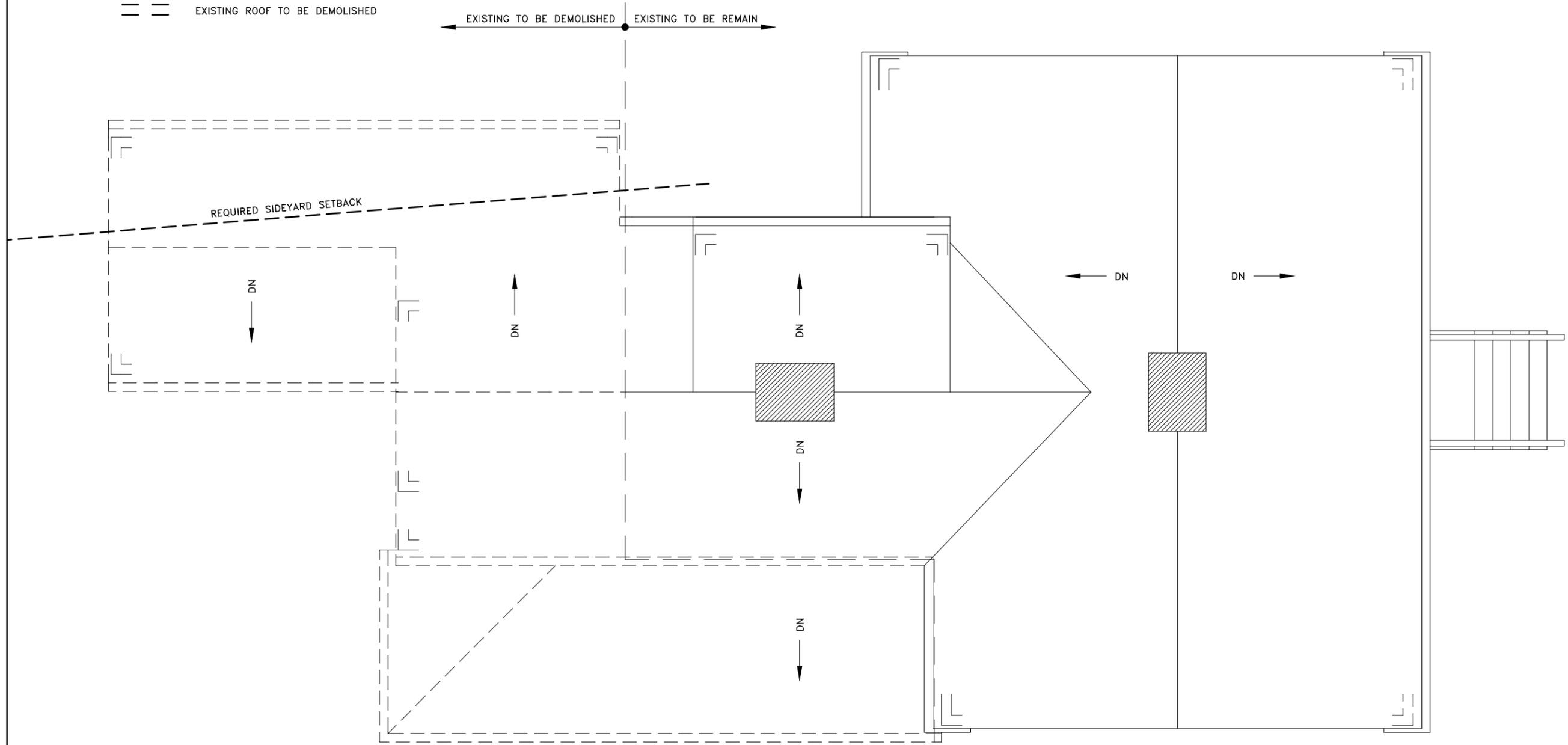
DRAWING NO.

A 04

KEY

-  EXISTING ROOF AND GUTTERS TO REMAIN
-  EXISTING CHIMNEYS TO REMAIN
-  EXISTING ROOF TO BE DEMOLISHED

← EXISTING TO BE DEMOLISHED EXISTING TO BE REMAIN →



1 ROOF DEMOLITION PLAN
SCALE: 3/16"



CALLED NORTH

NOTE: ALL DIMENSIONS TO FACE OF
STRUCTURE UNLESS OTHERWISE
NOTED

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

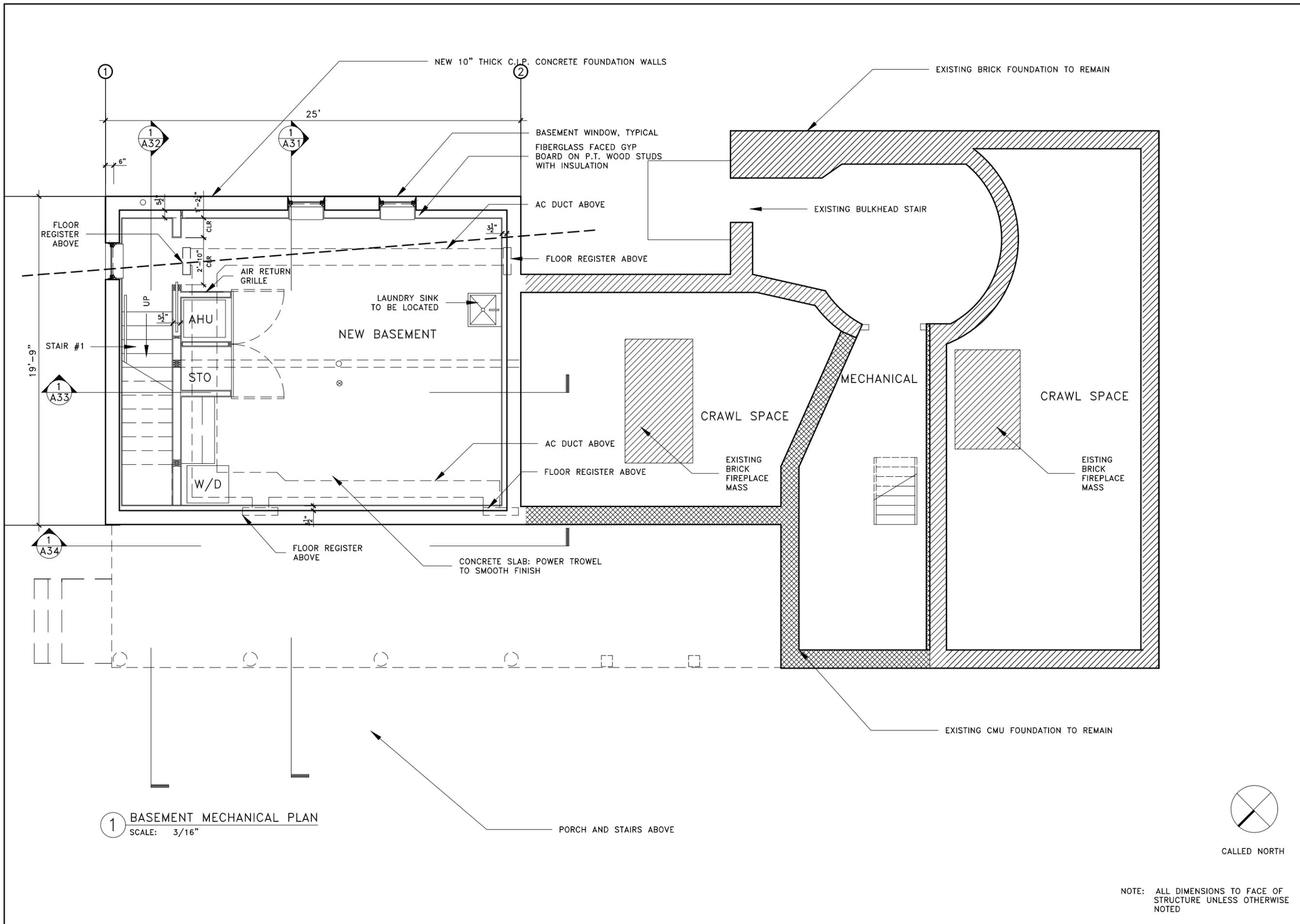
NO. DATE DESCRIPTION

BASEMENT
FLOOR PLAN

SCALE AS NOTED

DRAWING NO.

A 10



1 BASEMENT MECHANICAL PLAN
SCALE: 3/16"



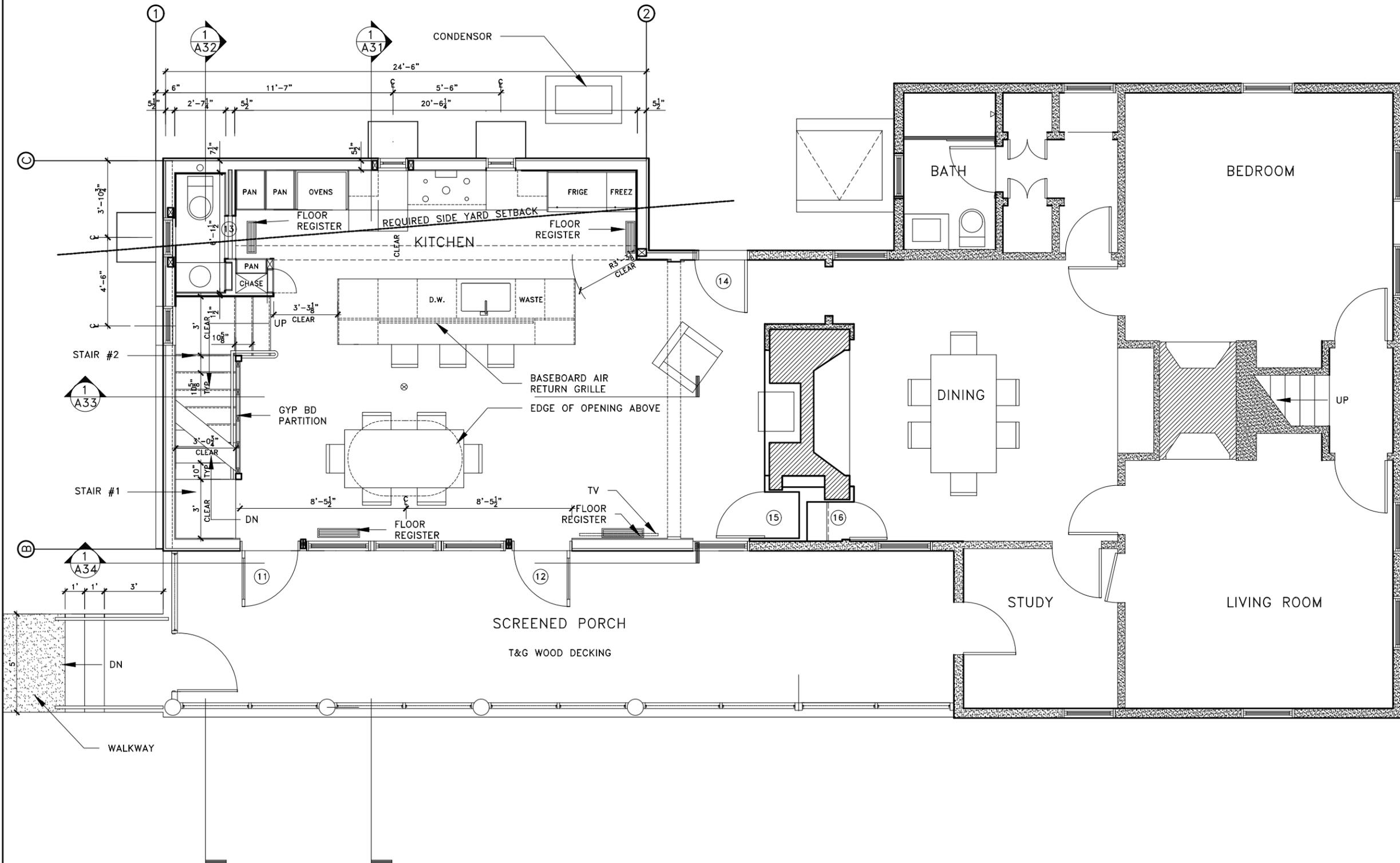
NOTE: ALL DIMENSIONS TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

| | | |
|-----------|----------------|-------------|
| JOB NO. | | |
| DRAWN | | |
| DATE | 6 NOVEMBER 202 | |
| REVISIONS | | |
| NO. | DATE | DESCRIPTION |



1 FIRST FLOOR PLAN
SCALE: 3/16"



CALLED NORTH

NOTE: ALL DIMENSIONS TO FACE OF
STRUCTURE UNLESS OTHERWISE
NOTED

FIRST FLOOR
PLAN

SCALE AS NOTED

DRAWING NO.

A 11

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

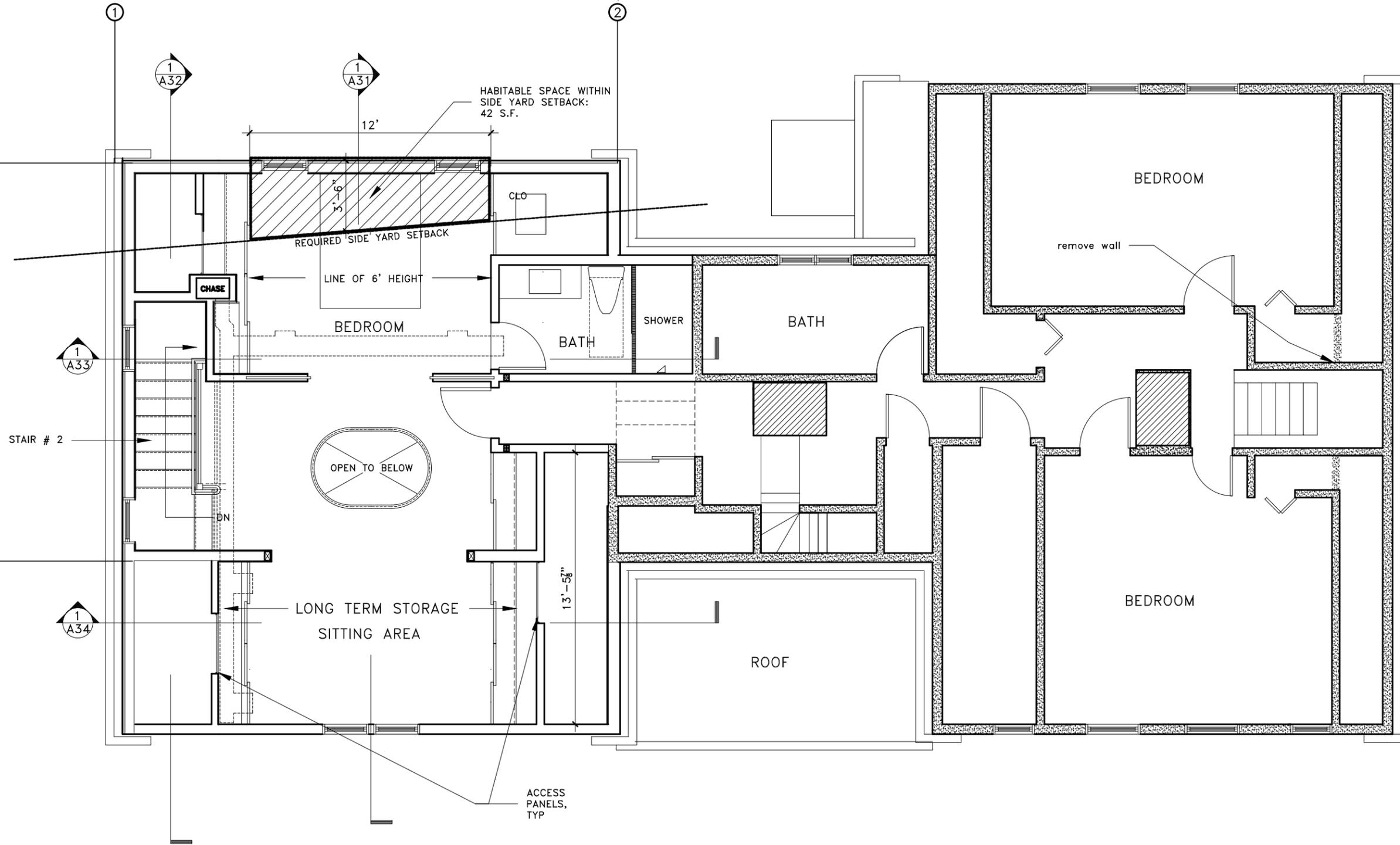
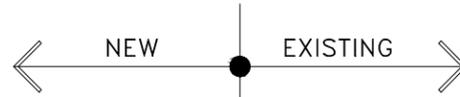
| | | |
|-----------|----------------|-------------|
| JOB NO. | | |
| DRAWN | | |
| DATE | 6 NOVEMBER 202 | |
| REVISIONS | | |
| NO. | DATE | DESCRIPTION |

SECOND FLOOR
PLAN 8

SCALE AS NOTED

DRAWING NO.

A 12



1 SECOND FLOOR PLAN
SCALE: 3/16"



NOTE: ALL DIMENSIONS TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

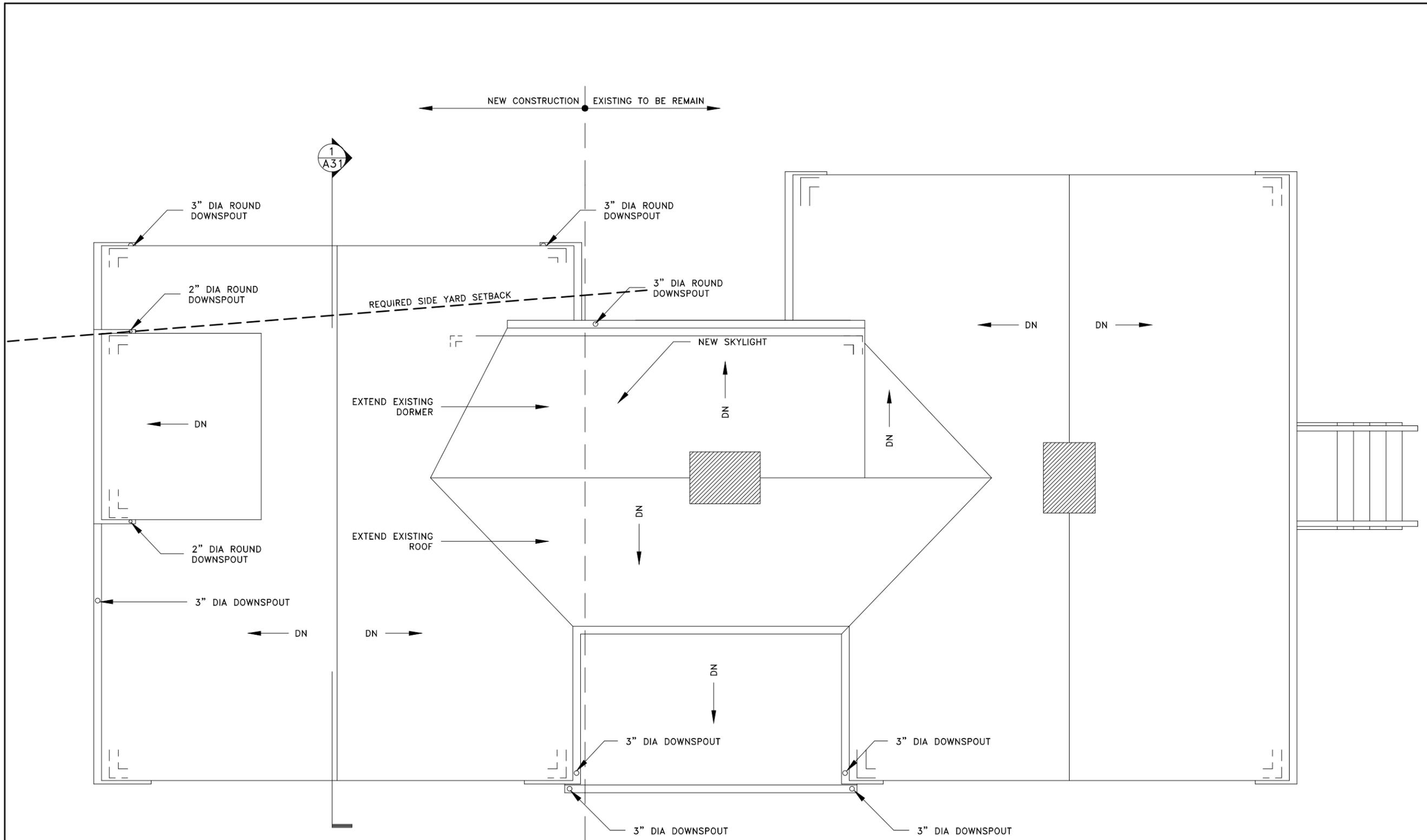
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

ROOF PLAN

SCALE AS NOTED

DRAWING NO.

A 13



1 ROOF PLAN
SCALE: 3/16"



CALLED NORTH

NOTE: ALL DIMENSIONS TO FACE OF
STRUCTURE UNLESS OTHERWISE
NOTED

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

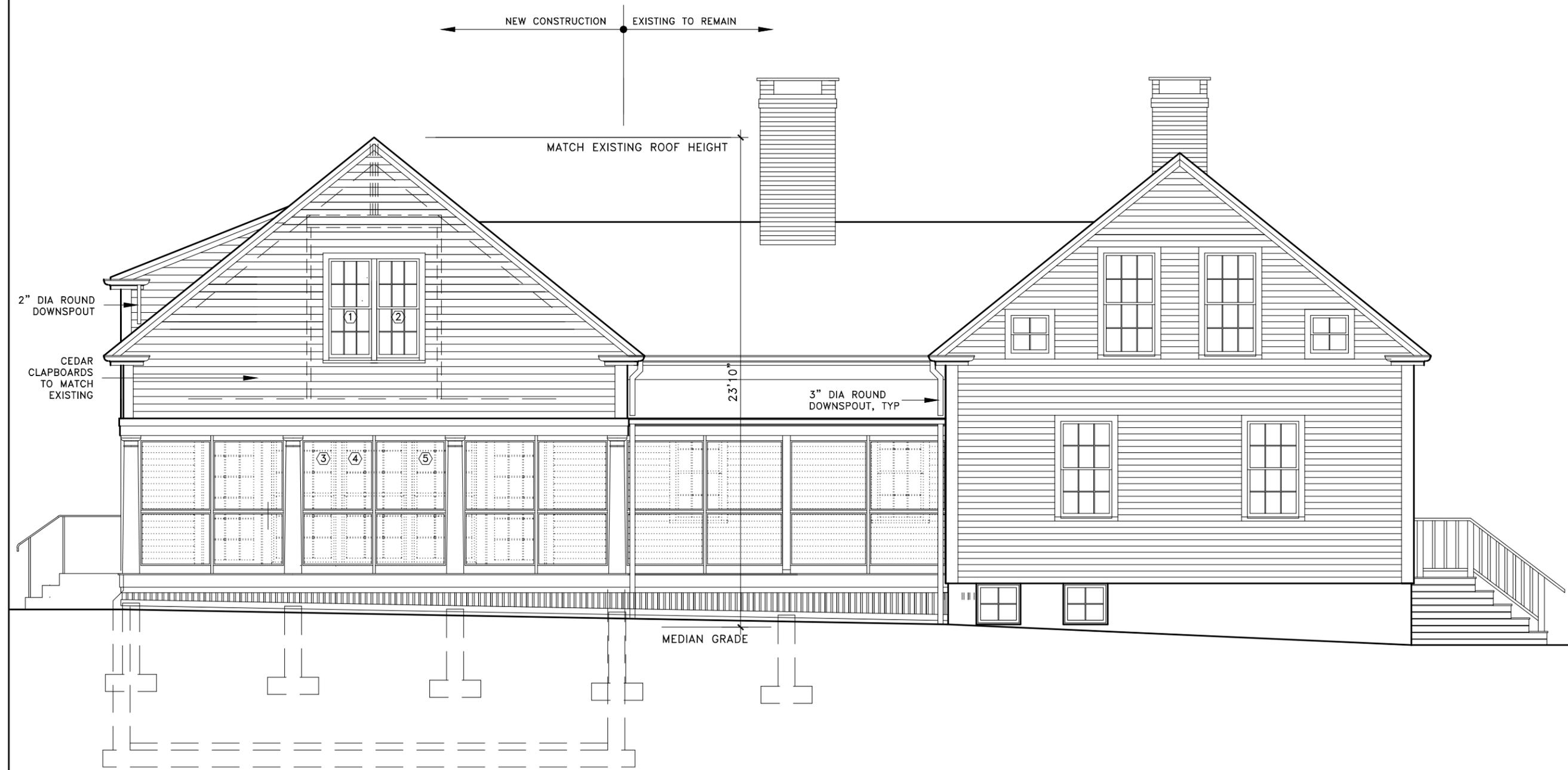
JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |



1 NORTH ELEVATION
SCALE: 3/16"

NORTH ELEVATION

SCALE AS NOTED

DRAWING NO.

A 21

8 Castle Road
Truro, MA

ELTON ELPERIN ARCHITECT

49 MONMOUTH STREET • BROOKLINE, MA
917-716-6876

JOB NO.

DRAWN

DATE 6 NOVEMBER 202

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

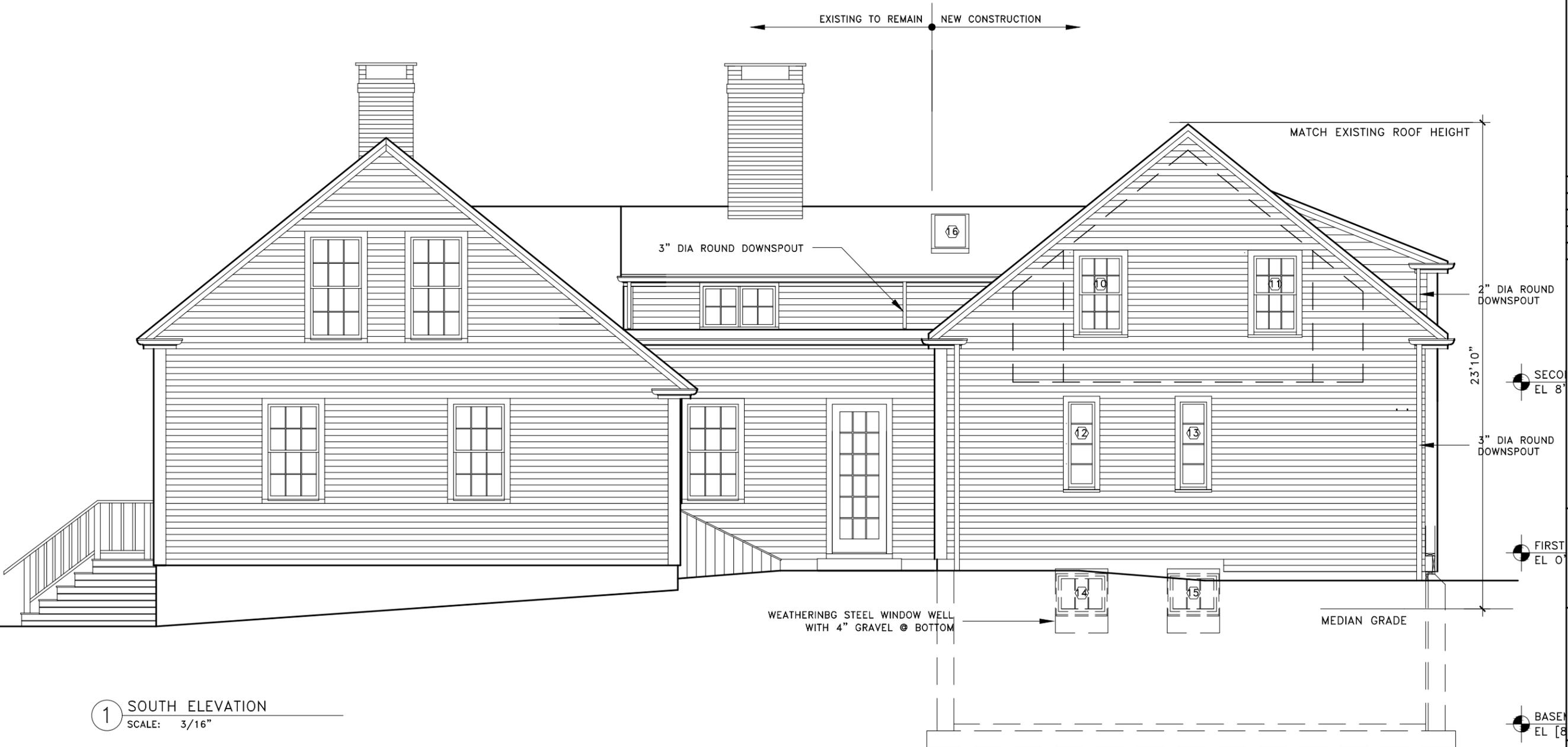
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SOUTH ELEVATION

SCALE AS NOTED

DRAWING NO.

A 23



1 SOUTH ELEVATION
SCALE: 3/16"

November 17th, 2020

Dear Chair Hultin and Members of the Truro Zoning Board of Appeals,

I am writing with regard to the Special Permit application for 8 Castle Rd. ("Briggs property").

I am a direct abutter at 6 Castle Rd. I have owned the home since the mid-1980's following my mother's and grandmother's deaths. The home has been passed down through my mother's family, who resided there, for a significant number of generations, probably dating back to the early 1800's. My extended family was a part of the history of the town. My husband and I have been devoted to preserving, improving and enjoying our historic house and grounds and appreciate all that Truro and the Outer Cape offer.

We (i.e. my husband and I) know that our neighbor also feels a special attachment to her land and dwellings, and to Truro, for some of the same reasons we have, due to the Briggs family ties.

Each of our historic houses have been added to over time, as is typical of the Cape Cod houses, to accommodate new wishes of the owners. Some of these additions became pre-existing, nonconforming structures due to changes in local zoning laws as years progressed.

Compared to other abutters, we think the most impact of our neighbor's current large project is unique to us, due to how the homes and other structures were placed in close proximity to each other on the same "peninsula" of land near the Pamet River, years ago, for whatever reason.

With regard to my neighbor's ZBA application, please know that we have a sincere willingness to support our neighbor's desire and rights to improve her principle dwelling pending any necessary, legal permitting, as we have done with our property, but have not required zoning relief.

Our biggest concerns are with the desired end results of our the project, how we perceive it will impact us, and with what is permitted and filed with Barnstable County Registry of Deeds and is legally attached to the property, which will apply to any owner.

When we first learned about the project in mid-September, we arranged a meeting with our neighbor to discuss safety and privacy issues of concern to us, without fully considering the size and setback of the proposed new construction. At that time, our neighbor indicated that historical commission review had been done.

While our initial concerns with tree safety and screening were considered during review of the NOI by ConsCom, we appreciate the opportunity to add input to your Board for your judgements on this proposed project. We thought ZBA review would be required, and is probably in everyone's best interest.

Please refer to the following two pages and attachments. Thank you.

Respectfully submitted,

Pam and Ross Blair
c/o Pamela Blair Trust - 2011, Pam Blair Trustee
978-729-8969

Our Concerns and Considerations with Regard to Size and Height of the Proposed New Addition:

We recognize this project to be significant in many respects, and think it will involve a great deal of time and expense, as well as considerable work within the setback. While not everything can be anticipated at this time, we are interested in preventing or mitigating any adverse effects we may experience due to demolition and construction activities if they unintentionally occur.

As noted on the site plans there will be some expansion of the nonconforming footprint of the existing 1 story addition, measured 22 to 20.6 feet from the property line, as depicted on the site plan, (Area A) as well as in the proposed second floor. This is the area of the project that affects us the most, in terms of the new structure.

We are not sure if the estimates overall, or new, nonconforming habitable space are correct, based on GFA definitions and the plans submitted. However, the exterior is really what concerns us most.

Specifically, we believe the enlarged, new structure, which will replace the current one story addition, will be much more imposing from our perspective, in it's location and proximity to the property line, with it's enlarged width (by about 7 feet) and height (by about 10 or so feet), and because it sits behind our raised garden area, which we have had for 26 years and would like to keep.

We will be viewing the substantially taller, gable end and side dormer, which decreases the feeling of open space and light we currently enjoy now. In addition, we have some concern about a greater loss of privacy, e.g. with use of our outdoor shower, or deck surrounding our porch, unless some kind of vegetative screening is maintained.

Screening is being somewhat provided by the expansive canopy of a mature Maple tree, and somewhat by other hardwoods on my neighbor's property, close to the limit of work (see attached). If these trees are to stay, we are hoping that best efforts, based on arborists recommendations, take place to minimize root damage during demolition, excavation and building activities and as past of the conditions for this project. Should the trees fail over time, or worse, fall, this could result in harm to persons or property, but also substantially less screening, that we would like them to be replaced.

In sum, the new structure increases the overall density of non conforming buildings on our neighbor's property, and affects open space between our two homes along the property line, and screening will be important to maintain a sense of privacy. Consideration of potential hazards and current and desired use of the property should be considered.

Alternatives ?:

1. Of course, one is to just remodel what exists or confine new additions to the front of the property. Obviously, that does not meet our neighbor's goals.
2. If partial demolition of the house is going to occur, it seems the new addition could be designed to be outside of the setback, or even angled or turned to make it conform to zoning, provide a better view of the Pamet, and provide more open space and relief between our properties. This would have been ideal from our point of view, pending environmental approval. We can think of many other benefits, but do realize how much work has been done of the proposed concepts to date, and the conservation aspects.

3. As a compromise, how about sliding the footprint back 3 feet, so that most of Area A will be at the 25 foot setback, and there will still be some definition between the new and older parts of the building. Ideally, turning the building so that we view the roof line would be best for density and open space/light considerations.
4. While not ideal, keep the current desired design, but modify the location as in item 3 above, within the limit of work, or request a slight modification of this on the western side and the stricter limitations in the setback. We would be happier with this....the new limit of work in the setback could be further away from our property line, existing garden, privacy fencing, and our well, and from the trees mentioned. The condenser and dry wells will become the most non-conforming aspects in this area, and there will be more space for plantings in perhaps a sunnier location. We think this would involve limited design changes and there is this flexibility, while still tastefully achieving our neighbor's desired goals, for an expansive new kitchen, stairs to code, enlarged porch areas and a second floor bath, bedroom and sitting area, without significantly greater expense.

Other Questions and Considerations:

Regardless of what is decided about the location, size and design for the new addition, we would like to have the following conditions considered with respect to the building activities and the site plan, and permitting that has been/will be approved:

1. Define areas for storage of building supplies, dumpster, port-a-johns on the site plan outside the setback area as much as feasible.
2. Confine access to the property and parking to the existing driveway and parking areas currently depicted on the site plan.
3. Limit the impact of buildings activities on our neighboring property mitigate/repair if needed
4. Limit the building of new structures or use of fire pits within the new or existing angled setback for the foundation along its entire length, based on final decisions for the new structure.
5. Maintain screening, currently provided by the Norway Maple or other trees/shrubs through careful excavation and consideration of recommendations of a certified arborist. If the trees are removed or fail at any time, require that new trees will be planted to replace or improve screening as much as possible and obtain ConsCom approval, as needed
6. Allow area of dead tree removals to naturalize or add additional plantings based on ConsCom requirements or approvals to provide similar level of screening for the parking area
7. Location of new plantings will not compromise the property line by the new addition based on size at maturity, and any current plantings that may do this will be relocated.
8. Since the property has been consistently rented over summer months, a significant change or expansion of use should require the appropriate local authority approval process

We appreciate your thoughtful consideration of all, as well as our neighbor's, and hope that we are not creating any unintentional bad feelings, but as discuss before, we are trying to look at project as objectively as possible, considering what is at stake. Certainly, not all possible negatives can be anticipated and addressed, and we hope for positive outcomes for all.





Jeffrey Ribeiro

From: Kevin Shea <kevinshea356@gmail.com>
Sent: Monday, November 23, 2020 8:13 AM
To: Elizabeth Sturdy; Town Planner; Jeffrey Ribeiro
Cc: Louise Briggs
Subject: 8 Castle Road 2020-005 ZBA
Attachments: HULTIN 112220.pdf

Dear Elizabeth,

Please include the attached letter in support of the above application for a Special Permit at 8 Castle Road.

Thank you,
Kevin Shea

408 Shore Road
Truro, MA 02652
kevinshea356@gmail.com
617 413 7370

November 22, 2020

Arthur F. Hultin, Jr., Chair
Zoning Board of Appeals
Town of Truro
24 Town Hall Road
PO Box 2030
Truro, MA 02666

RE: 8 Castel Road, 2020-005 ZBA

Dear Chair Hultin and Members of the Board:

We are writing in support of the above application for a Special Permit as proposed.

8 Castle Road is currently a lovely antique Cape Cod house that has been in the Briggs Family for generations.

As with many antique homes that were constructed before the adoption of the current Zoning Bylaw a portion of the existing structure is within the now required 25 foot side lot setback. The design before the Board maintains the existing 20.6 foot setback that now exists and does not increase that nonconformity.

From the exterior the proposed design is a seamless extension of the existing antique house. The proposed roofline and gables faithfully match the existing house. The proposed roof height is 23' 10" when a more imposing 30' would be allowed by the Bylaw.

The additional gable of the proposed South Elevation matches the existing and completes the design with symmetry. Moving the proposed second floor area back 4' 6" would not have any significant reduction to a neighbor's privacy. However, that proposed exterior design change would have a huge impact on the proposed interior layout.

The current stairways to the second floor, though picturesque, are steep and unsafe for Louise Briggs to now use. This is a hardship that now exists for Ms. Briggs regarding the enjoyment of her property.

The proposed design will provide a safe, code compliant stairway to the second floor for her to use. However, that stair design cannot be shortened by 4' 6" and remain code compliant. Providing a landing and second run in the stairway will require even more floor space and a further expansion of the proposed building. The additional width would increase the height of the new addition.

The architect, Elton Elperin, has prepared a historically sensitive and modest addition to the existing antique Cape Cod dwelling that will exist in harmony with the general purpose and intent of the bylaw.

The proposed alterations to this lawful, pre-existing structure at 8 Castle Road will certainly not be substantially more detrimental to the neighborhood than the existing non-conforming structure.

Please grant a Special Permit in case no. 2020-005 ZBA to allow the proposed design to be constructed at 8 Castle Road.

Sincerely,



Judith Richland



Kevin Shea
Registered Architect, MA Lic. 4350



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

PROCEDURE FOR SUBMITTING APPLICATION FOR HEARING

The following information and requirements must be filed with all Applications for Hearings consistent with the Rules, Regulations and Fee Schedule of the Truro Board of Appeals. **Note: Submittals must be collated into ten (10) packets.**

Section 1 – Application Form – Original and Nine (9) Copies

Every application for action by the Board shall be made on an official form. These forms shall be furnished by the Town Clerk and/or Building Department upon request. Any communications purporting to be an application shall be treated as mere notice of intention to such relief until such time as it is made on an official application form accompanied by all requisite supporting data.

Section 2 – Denial from Building Commissioner – Filing Period – Ten (10) Copies

Any appeal under M.G.L. Ch. 40A, §8, shall be taken within thirty (30) days from the date of the order or decision being appealed. A copy of said order of decision shall be filed with the required application form in Section 1 above. Note: this is not required for an application for a special permit.

Section 3 – Required Plan(s) – Ten (10) Copies

Every application and petition to the Board shall be accompanied by a Certified Plot Plan(s) drawn at a scale of no smaller than 1" = 20' and of a size at least 8½" x 11", providing the following information:

North arrow; locus map; names of streets; zoning district in which the property lies; names of owners of abutters, including owners of land directly opposite on any adjacent public or private way; boundaries of the property lines, including lengths and distances; the location of all existing and proposed buildings, and additions, including dimensions and setbacks to all property lines; use(s) of each building, structure, and the property; entrances, exits, driveways, and walkways shall be shown, including existing or proposed required parking and existing and proposed distances to property lines.

In addition, floor plans and elevation plans drawn to scale shall be provided if applicable to the request before the Board of Appeals.

Section 4 – Filing Fee

All applications shall be accompanied by a check payable to the Town of Truro. For Special Permit Applications pursuant to §40.3 (Conversion of Cottage or Cabin Colony, Motor Court, Motel or Hotel), the fee is **\$50.00 per unit**. For all other applications, the fee is **\$50.00**. All fees are non-refundable.

Section 5 – Certified Abutters List – Original and Nine (9) Copies

A Certified Abutters List shall be obtained by the Applicant from the Truro Assessors Office and filed along with the items outline in Sections 1 – 4 above. A copy of the "Request for Certified Abutters List" is included in this packet.

Section 6 – §40.3 Conversion of Cottage or Cabin Colony, Motor Court, Motel or Hotel – Original and Nine (9) Copies and a copy of your deed for the property (required)

The completed application **shall also** be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

Upon receipt of a complete application, with this information before it, the Board of Appeals will then proceed to post notice of a public hearing in accordance with Chapter 40A, §11, of the General Laws of Massachusetts.

Either you or your agent/representative shall appear before the Board at the scheduled hearing. If you need to reschedule, you must submit a request for a continuance.

Additional information for an application/petition shall be submitted by the applicant/representative to the Truro Town Clerk no less than seven (7) calendar days prior to the scheduled public hearing or the continuation of the public hearing. *(Voted by the Board of Appeals August 27, 2007)*

Please do not include a copy of these instructions with the application



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date _____

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.

Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* _____

Property Address _____ Map(s) and Parcel(s) _____

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name _____

Applicant's Legal Mailing Address _____

Applicant's Phone(s), Fax and Email _____

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner Prospective Buyer* Other*

Owner's Name and Address _____

Representative's Name and Address _____

Representative's Phone(s), Fax and Email _____

2. The completed application **shall also** be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Applicant(s)/Representative *Printed* Name(s)

Owner(s) *Printed* Name(s) or written permission

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

This page intentionally left blank



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form

DATE: _____

NAME OF APPLICANT: _____

NAME OF AGENT (if any): _____

MAILING ADDRESS: _____

CONTACT: HOME/CELL _____ EMAIL _____

PROPERTY LOCATION: _____
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP _____ PARCEL _____ EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:

(please check all applicable)

FEE: \$15.00 per checked item

(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | Planning Board (PB) | Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |

Other _____ (Fee: Inquire with Assessors)
(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: _____ Date completed: _____

List completed by: _____ Date paid: _____ Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. Note: For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. Note: Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. Note: Responsibility of applicant to notify abutters and produce evidence as required.

**TOWN OF TRURO
ZONING BOARD OF APPEALS
MEETING MINUTES
October 08, 2020
Remote Meeting**

Members Present: Chair-Art Hultin, John Dundas, Fred Todd, Chris Lucy, John Thornley, Alternate-Darrell Shedd, Alternate-Heidi Townsend

Others Present: Atty. Barbara Huggins-Carboni, Mark Nelson, Ted Malone, DPW Director-Jarrold Cabral, Elizabeth Sturdy, Mary Ann Larkin, Fred Ruymann, Raymond Clarke, Karen Ruymann, Jessica Snare, Health Agent-Emily Beebe, David Kirchner, Laura English, Ronald Boyles, Sheila Coleman, Kathy Gagne, Steven Stahl, David Kirschner, Regan McCarthy, Ronald Fichtner

Atty. Huggins-Carboni read off instructions for citizens interested in how to join the meeting.

Chair Hultin called the meeting to order at 5:30pm.

Public Comment

Public Comment letter from Bill Golden

Chair Hultin stated that the letter is in the ZBA packet and is on the Town of Truro website. He said that they were not reading the letters out loud verbatim as they are in the record. Chair Hultin offered Mr. Golden five minutes to speak if he was in attendance. Mr. Golden was not in attendance. Chair Hultin stated the letter had to do with the amount of money spent at Town Meeting. He (Chair Hultin) was also surprised at how quickly 20 million dollars could be spent without discussion and was equally surprised that 550 thousand dollars additionally could be spent without discussion. He does not think that's the way Town Meeting was intended to be and that's his personal opinion in response to Mr. Golden's letter.

Public Comment packet from Residents of Pond Village regarding water quality

Chair Hultin stated the packet was quite long and covered several topics, each one of them important. He asked if one of the authors of the letter was present to give a summary of what the letter is to demonstrate.

Ms. Larkin stated that she was told a while back by some volunteer scientists and doctors about the nitrates in their drinking water. She used to love getting water from her spigot but now when she drinks from there, she feels miserable. She's not against the Cloverleaf, she is in favor of it.

Fred Ruymann is a practicing gastroenterologist at Cape Cod Hospital. He was brought to the Cape to provide expertise in the area of pancreatic cancer, colon cancer, and gastric cancer. There has been an explosion of cancer on the Cape, particularly breast, esophageal, and pancreatic. There are tremendous concerns about the level of nitrates, particularly within the Pond Village community. Many people are above the level that is deemed to be dangerous by the Federal Government. The increase in cancer begins at very low levels. Once the resource is spoiled there is no going back. It's a cumulative risk.

Raymond Clarke would like to underline what Mr. Ruymann said. Many cancers seem to occur with ppm levels less than 5, let alone 10. He stated that the Health Department "red-flags" levels of 5. Even with

a level of 5 as a maximum, will the ZBA hold the Cloverleaf to the science and keep the levels below 5, or will they allow the developer to use the outdated policy of 10 ppm?

Karen Ruymann has been watching the meetings since the beginning of the year, trying to understand the process. She believes in a safe environment for all. Health Agent, Emily Beebe, was queried at one of the meetings about the well water for Pond Village. "Our information is sketchy at best" was a direct quote from Health Agent Beebe at a meeting in the Spring. Health Agent Beebe had mentioned that the Board of Health has tried to get funding several times over the past few years to conduct a thorough survey of the well water, but it's never been able to receive the funding. Many residents of Pond Village have obtained their own water tests so they could establish baseline data should the waiver be granted for the Cloverleaf project. A few citizens received results that indicate that they are essentially being poisoned by the current nitrate levels. Other citizens received results that are concerning when considered in light of the recommendations of the Cape Cod Commission. Ms. Ruymann is asking that the ZBA request the Board of Health to review its current water standards and to undertake a comprehensive study of the well water quality in the Pond Village neighborhood.

Health Agent Emily Beebe stated that there has been a lot of movement in the area of water quality testing. She wished to go over salient points of the memo submitted to the ZBA;

- Refers the ZBA to review appendix B "Private wells in Truro-Safe Water". This paper argues for consideration and possible reduction of the standard for nitrate/nitrogen concentration in the drinking water from 10 mg to 5 mg. All BOH members have received a copy of this paper and have discussed placing this on their agenda for December 1, 2020 at 4:30pm.
- The letter has an appendix and summary of the new results of water testing Ms. Ruymann referenced. This document expresses concerns about the existing nitrate levels in private wells in the Pond Village area. The document states the BOH has ignored the resident's concerns, which Health Agent Beebe disputes. The BOH has been talking about this issue, as a community, for many months. It's clear that the water quality conditions in the Pond Village area reflects what's happening now. The area was identified as an area of concern in the 2014 Weston and Sampson study. Last month they contracted with the Cape Cod Commission to conduct a study.
- Health Agent Beebe noted that the results of the last water tests done in the Pond Village area were not shared with the Health Department or the Board of Health. The letter in the ZBA packet from Pond Village residents is the first time she, the Department, and the Board of Health, have seen the recent private well data.

Ms. Ruymann stated that she did submit her results to the Board of Health about two weeks ago via email. She also encouraged other members of her community to do the same.

Member Shedd appreciates all the public input and the situation Pond Village is in. It does sound like Pond Village has some issues, above and beyond, the Cloverleaf project. He asked how much latitude does the ZBA have in superseding State regulations? Chair Hultin does believe there are limits to what the ZBA can do. Atty. Huggins-Carboni stated that the ZBA has the authority to waive local requirements that are stricter than the State requirements but can only do so if it finds that the waiver is consistent with public health and safety. The Board has received advice from the Board of Health and also from a peer review exactly on this topic. She would defer more discussion to when the peer reviewer can offer further comment.

Member Thornley thinks the group named "Docs for Truro" should be commended for their excellent report.

Member Townsend asked if anyone knew the number of residents of the Pond Village area that have a Title V septic versus a cesspool or older septic system? Health Agent Beebe said there are about 5 cesspools in the area that people consider the Pond Village neighborhood. Approximately 8% of the entire town is still on cesspools.

Member Todd asked when Health Agent Beebe expects to hear results from the Cape Cod Commission study. Health Agent Beebe stated that there has not been a timeline set yet. It will be one of the first tasks the Board of Health will engage in as they break down the different parts of the project.

Member Dundas asked if water testing should be done on a more frequent basis to get an accurate reflection on levels in the Pond Village area. Health Agent Beebe agrees that people need to test and retest. If numbers are good, testing once a year should suffice, but if there are numbers of concern testing should be done more frequently.

Member Lucy called Town Hall earlier in the day looking for a list of people who have upgraded their septic systems to a Title V in the Pond Village area. On Pond Road itself there are 14 septic systems that have been upgraded. He asked how many of those 14 systems are nitrogen removal systems? Health Agent Beebe did not have the number at hand however she did say the number would be “few”.

David Kirchner stated that what the Pond Village residents are looking for is a more comprehensive look. It appears, from his vantage point, that the residents don't feel their issues have been thoroughly vetted and considered, particularly in light of the project and the size of the project.

Chair Hultin thinks the ZBA has covered the topic of downgradient water and what the result might be. He asked Mark Nelson if there was anything else he could add to the discussion regarding cumulative effect, downgradient. Mr. Nelson said that the location of a septic system and a nearby private well is one of the critical issues that creates these water quality concerns. An elevated level of nitrogen suggests there's a potential for a cross connection between the effluent leaving a septic system and someone's private well. Mr. Nelson proceeded to explain how the system at the Cloverleaf works.

Member Thornley made an observation that the Cloverleaf project could not go forward if we didn't have Truro town water supplied to that project. He suggested giving town water to the Pond Village people so they wouldn't be threatened by the nitrates.

An unidentified called wished to ask a question. He'd like to suggest that greater clarity be made available to the residents of Pond Village about the maintenance plan in place for the treatment system. He also stated that the system is a pilot system, and asked how confident people are in this system? Chair Hultin said they have been presented, and have reviewed, monitoring protocol for this system. It's a topic which has been thoroughly covered over the past several months. Mr. Nelson proceeded to state that they've worked through several of the details of an operation and maintenance plan for the system. The primary part is the monitoring, which he proceeded to lay out. Mr. O'Reilly has prepared a contingency plan which lays out how the operator and the applicant will work with the Board of Health moving forward. Mr. O'Reilly stated that they did lay out, in a schematic way, an example of what would happen.

- The first 12 months after the system is up and running at full or 80% capacity will start the sampling of effluent on a monthly basis.
- If approved by both the Board of Health and the DEP it could go to quarterly. It is not an automatic switch to quarterly after the 12 months.

- If there was an exceedance of 10ppm at discharge both the Board of Health and the DEP would be notified by the operator within 48 hours of the exceedance.
- The operator will immediately resample the effluent and obtain results within 48 hours.
- If the limits are still not met the operator shall review with the Board of Health and DEP, the recommended steps to be taken to bring the system into compliance.
- Those modifications to the system would be completed. A resample would be taken within 30 days and if the sample was still exceeding limits then the manufacturer would get involved to review the treatment process, review the influent, and then they would be involved in any modifications.
- The Board of Health should be notified of the 30-day sample and the recommendations by the manufacturer. The operator and manufacturer would implement the recommendations. If upon the adjustment the system is still not achieving total nitrogen, it would be the responsibility of the owner (through this pilot program and through the Disposal Works Permit) to make the corrective measures.
- This is a pilot program. There are very few systems out there that treat waste between 2,000 and 10,000 gallons per day.

Laura English had a question regarding the pilot monitoring system. She asked if there was a time limit on the monitoring of the system. Mr. O'Reilly stated that the monitoring will never end. This particular system (with being more than a single-family residence) he sees a quarterly monitoring occurring indefinitely. If the owner looked to reduce that monitoring, they would have to go to the Board of Health and DEP to seek a reduction. Ms. English asked if that was in writing within the agreement. Mr. O'Reilly said that the permit issued by the State will outline the testing requirements as well as the permit issued by the Town. Ms. English also asked about the lifespan of the treatment process. Mr. O'Reilly stated that the type of unit being specified lets the treatment process be interchangeable. If they get damaged, or clogged, they would be changed.

Mr. Clarke asked if it was possible to monitor some distance downstream, so residents have a sense of dilution. Mr. O'Reilly said the site would be required to monitor at discharge, but part of the proposal includes the installation of two monitor wells. The testing from those wells will be done four times a year.

Ms. Larkin is puzzled by the fact that the Village is supposed to be assured by the fact that the water being released will be under 10 ppm. The Village is already polluted, and 10 ppm is high.

Member Shedd wanted to make it clear to the public that none of what they are listening to tonight is new to the ZBA. The ZBA has posed the same questions to, and received answers from, Mr. Nelson and Mr. O'Reilly. The ZBA has received adequate answers. Chair Hultin stated that in fairness to people, he'd like people who have been waiting to speak to have their chance.

Ronald Boyles asked what the projected maximum capacity was of the project. Chair Hultin said that the topic has been discussed over many meetings. Mr. Boyles said he would look for that information. He also wanted to know, if the system goes down what would be the turnaround time to get it repaired. Mr. O'Reilly stated that the system is based on 68 bedrooms and a small office located in the larger unit. As far as the turnaround for repairing, if the system gets to the point where it's simply not working the owner will be under order to replace it and will also (most likely) be under order not to have any discharge from the unit.

Sheila Coleman stated that her septic has very high nitrate numbers and she'd like to reiterate Ms. Larkin's alarm about water being released under 10-ppm. The ZBA must have some latitude in terms of the 10-ppm coming out.

Chair Hultin asked Mr. Nelson about the cumulative effect (or lack of) the nitrates as they leave the Cloverleaf project. What is the mechanism by which ground water mixes, and accumulates nitrates? Mr. Nelson stated that the effluent from this project will go in the ground. It will soak in the ground water and start to flow to the South- Southwest and will stay in a defined pathway and mix/diffuse a bit so the nitrogen level will go down. It will head toward the pond; it's not going to affect the entire neighborhood. The plume could flow underneath someone's well or above someone's well. The whole analysis of the neighborhood becomes site specific. If someone's well has issues right now, it's the local area and the issue is to find the cross connection and determine how that can be repaired.

Kathy Gagne asked if there was a way to encourage the Town to conduct a hydro-geology study of the groundwater around Pond Village to better understand how the 10-ppm coming out of the treated septic waste is going to evolve and flow through the neighborhood and the pond. Chair Hultin suggested she bring that question to the Select Board.

Elizabeth Sturdy read an emailed question from Mr. Steven Stahl. He asked, what if the nitrate levels are met, as has been described, leaving the property but there are homes that now in the Pond Village area have higher levels of nitrates above the Town set level of 3 ppm (where they never have before). How will that be dealt with? Chair Hultin does not believe the Town set level is 3 ppm. Health Agent Beebe explained that it's not a new standard, but if a water test level is above 3 ppm that is a trigger for communication with the home owner. She continued, stating they want to establish baseline water quality levels throughout the area and it's good some folks already have those test results. The results home owners have now are because of their own septic system and their neighbor's septic system (and fertilizer from lawns and most likely runoff). She doesn't believe it's an easy task, or even possible, to draw a correlation between the concentration of wastewater coming from one site and going to another site unless you have test wells. What's been proposed in the project is to treat the wastewater to a vastly higher degree than anyone else in the neighborhood. They should not be looking upstream but what's more adjacent to them.

David Kirschner stated that no one can tell the neighbors what could possibly happen, and they would very much appreciate a delay in any waivers regarding this, until there is a study conducted that can give them more comfort.

Laura English stated that as she understood it, when Senator Cyr obtained a grant (MassWorks Grant with the State), because it's a State grant there is a level of scrutiny involved from the Massachusetts Environmental Protection Agency to make sure there is no damage to the environment. There are a number of steps that need to be taken to submit to MEPA and she's wondering if that information is available. It should be public, and she would like to know where she can find that information. If that has not be done, what can be done to perhaps ask MEPA to come and do the geophysical studies? Atty. Huggins-Carboni does not know the status of any MEPA review of the project. She wonders if Mr. Malone would have any comment? Mr. Malone stated he was not aware of the status of MEPA review on the Town's application for the MassWorks grant. Atty. Huggins-Carboni will follow up with a status.

Regan McCarthy wants to be sure she understands how some of the “dots” have been connected. She feels the “Docs for Truro” report introduced something new. If it did not introduce something new, then she’d like to know how the ZBA arrived at their decision. Her understanding is that in addition to establishing that 5-ppm is outside of the EPA’s standard of 10-ppm is not only outdated but is the maximum limit of contaminant level that should be acceptable. If that was known to the ZBA and a waiver is being considered, how does the ZBA justify the delta that is incontrovertible between what the EPA allows (from a 60-year old standard) and what the science says is irrefutable? The newest thing that has come out of the “Docs for Truro” report are the links between fatal, and non-fatal, health concerns. These cannot be trivialized. She questioned whether the ZBA has heard all of this before, and if they have then how can they consider granting waivers on density and water contaminant levels when the evidence is clear on the serious harmful effects of doing so. Chair Hultin stated that this has all been discussed in public several times. He feels Ms. Regan is suggesting that there be zero growth in Truro because every septic in Truro adds to the problem. Ms. Regan thinks the cap should be set at 5-ppm.

Ron Fichtner invited the Board members to read the research documents within the “Docs for Truro” report in their packet. They are frightening and scary. He believes we have moved into a new area of awareness, perhaps in Truro, about the perils of nitrates in drinking water. He continued to go over EPA levels and Appendix B in the report.

Chair Hultin mentioned that he had a letter submitted by Mr. Clinton Kershaw which Chair Hultin summarized.

Chair Hultin officially opened the continued Public Hearing:

Public Hearing – Continued

2019-008 ZBA – Community Housing Resource, Inc. seeks approval for a Comprehensive Permit pursuant to G.L. c. 40B, §§20-23 to create 40 residential rental units, of which not less than 25% or 10 units shall be restricted as affordable for low or moderate income persons or families, to be constructed on property located at 22 Highland Road, as shown on Assessor’s Map 36 and Parcel 238-0 containing 3.91 acres of land area.

Cloverleaf Update-Jarrold Cabral, DPW Director

DPW Director Cabral wished to get back to a prior caller’s question regarding MEPA and the Grant. There was no MEPA requirement, no State permits were required. He continued with an update on the water line installation.

- The installation and associated site work will consist of 3 phases:
 - Watermain install from Shore Road to 22 Highland.
 - Connect Fire House Road under Route 6 to Cloverleaf property.
 - Install watermain from Northernmost area of Cloverleaf down to Highland Road.
- The roadway within the Cloverleaf will be rough cut in and stabilized with standard roadway base material.
- Erosion control will be installed before and after watermain installation.
- DPW will monitor Cloverleaf site with weekly site walkthroughs emphasizing erosion control, storm water management, and maintenance compliance with the environmental management plan. The project will then be transferred to Community Housing Resource Inc, and Ted Malone, as part of a lease agreement.
- Language in water main bid documents and contract documents will be specific regarding construction sequences, completion, supervision, and required meetings.

- Bid documents will be specific regarding erosion control, storm water management, and maintaining compliance with the environmental management plan throughout the project.
- Town will require a Project Manager, Project Superintendent and Jobsite Foreman.
- Meetings will consist of;
 - Initial construction kick-off meeting
 - Daily meetings with the DPW Director and Jobsite Superintendent.
 - Project team meeting every 2 weeks with Project Manager, Jobsite Superintendent, DPW Director and Town Consultant.
 - In the absence of DPW Director the Town's Health/Conservation Agent will attend meetings as needed.
- Means and method of installation and site work proposed by lowest responsive bidder will be submitted to and reviewed by Town staff and Town consultant.
- Specifics of roadway maintenance responsibilities will be specified in the lease.
- This portion of the Cloverleaf project is funded by a MassWorks grant, total estimated cost of construction is approximately 1.1M.

Waivers

Chair Hultin thought it would be helpful to first have a general discussion on what's involved with waivers and how they are formulated, on what basis they are formulated, and what requirements they need to fulfill to be allowed.

Atty. Huggins-Carboni explained that part of the 40B process is to consider all the waivers asked for by the Applicant from all regulations, not just zoning. The ZBA acts in the place of other Boards for purposes of 40B. She proceeded to give guidance on the principles and process under which the ZBA considers requests for waivers of local regulations.

Chair Hultin wished to then go over the waivers to see what was before the Board. Atty. Huggins-Carboni started the review with the following;

- Relief from specific requirements of Article 14 of the Truro Board of Health regulations in excess of MA DEP Title 5 regulations. Article 14 is specific to nitrogen loading requirements.
- Another regulation which would need to be waived was Article 9: Innovative/Alternative Technology.

The greatest number of bylaw waivers requested have to do with zoning.

- Section 30: Use Regulations
 - 30.1(A): General Requirements. A waiver would be required to allow multi-family and two-family use.
 - 30.2 Use Table. A waiver would be required to allow a two-family or multi-family as principal uses.
 - 30.2 Use Table. A waiver would be required to allow an on-site management office, community room or storage as accessory uses in conjunction with multi-family use.
- Section 40.6: Growth Management
 - B. Residential Development Limitation
Staff agrees that a waiver of Section 40.6 is required to allow the issuance to a single applicant of building permit(s) for the construction of 39 dwelling units. Staff believes that if a waiver is granted, the exemption in Section 40.6.C.1 is not relevant.
- Section 50: Area and Height Regulations
 - 50.1 Regulations
 - A. Table (Dimensional Requirements) The Applicant has requested side yard and building height waivers. Staff believes that at 170,320 square feet that does not satisfy

the Bylaw minimum lot size for a project of 39 dwelling units and that a waiver of 50.1.A is required to allow this density.

- 50.2: Building Gross Floor Area for the Residential District. As calculated by the Applicant, the Total Gross Floor Area of the project is 46,172 sq. ft. A waiver is required for construction of all Floor Area in excess of 5,568 sq. ft.
- Section 70: Site Plan Review
 - 70.3. Commercial Development
 - A. Commercial Site Plan Review is required for: 1. Any construction, alteration, expansion, or modification of any properties, structures and uses other than that of single or two-family residences and their accessory uses and structures.
 - Applicant seeks relief from the requirements of Site Plan Review procedures and requirements; and, to allow the Comprehensive Permit to be issued in lieu thereof. Relief is requested from requirements, if any, to post a bond, cash, Letter of Credit, or impost Planning Board Covenants, related to site development.
 - Under G.L. c. 40B, a separate Site Plan Review process cannot be required. ZBA's review of the comprehensive permit application substitutes for Site Plan Review under Section 70. The Board may conclude that its review has been consistent with Section 70.3, and that waiver of any remaining procedural or substantive requirements is warranted. The Board may wish to review the project's conformity with the Review Criteria/Design Guidelines of Section 70.3.F.
- Subdivision Rules and Regulations
 - Although the project is not a subdivision, it is residential development of a scale and impacts consistent with those of a subdivision. For this reason, many of the standards contained in the Rules and Regulations should be considered applicable to the project, and where noncompliant, waivers should be requested and considered by the Board. Section 3, Design Standards and Section 4, Specifications for Construction of Roads, and Appendix 2, Table 1 (Recommended Geometric Design Standards) are of particular importance.
 - Section 3. Design Standards
 - Section 3.6 Street Design
 - Waiver is required: Loop roadway is 1,060 +/- feet long.
 - Section 3.6.7. Adjacent properties
 - Waiver is required: Access road is within 25 feet of side line, adjacent to Unit 21 (east), 13 feet provided.
 - Section 3.6.8. Design Standards: Table 1 in Appendix 2 – Type C
 - Waiver is required: loop road has 14-foot travel way, with 1-foot berms provided (one-way traffic)
 - Waiver is required: 100 feet provided a Highland Road entrance; 50 feet provided within the site.
 - Waiver is required: Main Access Road 10% grade proposed.
- Section 4: Specifications for Construction
 - 4.1.8 Berms-Waiver is required: 12-inch berms proposed
 - 4.1.10 Vegetation-Waiver is required: Trees within the proposed limit of work line shall be removed as needed to allow for the construction of the development, beyond the edge of clearing for the roadway.
- Additional waiver requested: 2.5.4(c) Performance Guarantee-To protect the Town's interests and investment in this project, denial of this waiver is recommended.

Atty. Huggins-Carboni moved into the General Bylaws where she briefly touched upon the requested waivers from:

- Chapter 1, Section 8: Soil Removal
- Curb Cut Permit

The Applicant also requested relief from any other Bylaw that it might not have asked waiver from, just to make sure it has all the relief it needs. Atty. Huggins-Carboni feels that any relief sought should be specifically identified and considered by the Board.

The request for waiver of fees is something the Board has to think about.

Atty. Huggins-Carboni included one other area which is that the Planning Board had expressed its opinion that the Applicant needs a parking waiver for the project because some of the parking spaces are obstructed. The Board may determine the meaning of the Bylaw language and implications for the applicant's proposed number of spaces. If the Board finds that the number of parking spaces does not meet the Bylaw requirement, it may consider a (partial) waiver of the requirement.

She added that the Applicant has stated that the project will comply with the Lighting Bylaw, and if the Board deems that to be true, no waivers will need to be sought on that topic.

Member Lucy made a motion to continue the Public Hearing for 2019-008 ZBA until 5:30pm on October 22, 2020.

Member Todd seconded.

So voted; 5-0-0, motion carries.

**Respectfully Submitted,
Noelle L. Scoullar**

**TOWN OF TRURO
ZONING BOARD OF APPEALS
MEETING MINUTES
October 22, 2020
Remote Meeting**

Members Present: Chair-Art Hultin, John Dundas, Fred Todd, Chris Lucy, John Thornley, Alternate-Darrell Shedd, Alternate-Heidi Townsend

Others Present: Atty. Barbara Huggins-Carboni, Ted Malone, Mark Nelson, Jessica Snare, Pamela Wolff, Scott Warner, Laura English, Raymond Clarke, Sheila Coleman, Mary Ann Larkin, Karen Ruymann, Patty Belanger, Louise Perry, John O'Reilly, Chris Nagle, Patrick Pepper

Atty. Huggins-Carboni read off instructions for citizens interested in joining the meeting.

Chair Hultin called the meeting to order at 5:30pm and wished to start with some opening remarks. He gave a summary of the project process, which Boards the ZBA have heard from and which Town Departments they have heard from. He read the opening paragraph, along with some other sections, from the *Chapter 40B Handbook for Zoning Boards of Appeal* to aid the Board in their discussions tonight. Chair Hultin stated that they have received testimony, review by Boards, and they have purposefully not closed the public hearing to further discussion to allow more input. The ZBA has now arrived at a point where they must consider what waivers might be required to make the project viable. He referred to the staff memorandum written by Atty. Huggins-Carboni, which lists the waivers in order of importance. The consideration of waivers is on the agenda for tonight. There is no requirement that the ZBA needs to vote on any consideration of waiver discussed tonight. Chair Hultin mentioned that the Board is in receipt of letters from the public which deserve consideration as well.

Public Hearing – Continued

2019-008 ZBA – Community Housing Resource, Inc. seeks approval for a Comprehensive Permit pursuant to G.L. c. 40B, §§20-23 to create 40 residential rental units, of which not less than 25% or 10 units shall be restricted as affordable for low or moderate income persons or families, to be constructed on property located at 22 Highland Road, as shown on Assessor's Map 36 and Parcel 238-0 containing 3.91 acres of land area.

1. Applicant's request: Relief from specific requirements of Article 14 of the Truro Board of Health regulations in excess of MA DEP Title 5 regulations.
Article 14: Nitrogen Loading Requirements

Member Dundas does not wish to add anything new at this point. He believes the due diligence done by Mark Nelson and the immediate action by the Applicant to address this specific Article gave him confidence that the ZBA has the context in perspective that they need to consider this as a waiver.

Member Shedd concurs with what Member Dundas said. He stated that this is one of the most important waivers the Board is to consider. He believes everything that's been presented to the Board by the Applicant (as far as the sewage disposal system) has surpassed all requirements required by Title V and he agrees with Mr. Nelson that the waiver of Article 14 is appropriate.

Member Lucy has no issues with this waiver request. This system is by far the cleanest, most efficient, system the Town has seen.

Member Townsend stated that her colleagues summed up her feelings as well.

Member Todd is convinced, based upon everything the Board has heard, that this will be a system that's much superior to any of the Title V systems. He pointed out that the project in Westport with the same system has numbers coming out of the system at less than 4 mg/L. He does not believe this will be detrimental to anybody downgradient.

Chair Hultin agrees that the system has shown to be superior to anything that was started with in the beginning of this process. It was made clear by the Board early on in their discussions that the proposed septic system needed to be upgraded and the Applicant has done that. One of the things that any waiver would require would be conditions. One of the key elements proposed is for maintenance and upkeep of the system, which has been reviewed and thoroughly gone over. He asked Mr. Nelson's opinion on the present state of the maintenance and testing agreement.

Mr. Nelson stated that from an operation, maintenance and monitoring standpoint he believes the proposal is appropriate. There will be monthly sampling of the effluent before it goes into the leech field (for the first year after full occupancy). If that proves that it's working well the Board of Health can look at perhaps moving the testing to a quarterly basis. There will also be two monitoring wells placed to understand the quality of groundwater upgradient and downgradient of the system. Those wells will be tested regularly as well. The contingency plan has been set up to outline what would happen if the monitoring shows there is an issue with the system. Mr. Nelson believes the steps the applicant has put together provide information for the Board of Health to work with the applicant to solve any problems. He has also asked the applicant's engineer if there is a way to prevent any significant amount of effluent getting into the ground that wouldn't meet the standard of 10 mg/L (if the system doesn't comply) and the engineer is looking into that. He stated that they've been looking at this with a standard of 10 mg/L, and as one of the ZBA members mentioned the performance of this system at another location with a similar flow is operating well below that. The system is treating the nitrogen very well and it also has a filtration system which is likely removing a number of other contaminants.

Chair Hultin stated that the Board could consider asking the Cape Cod Commission to review the new proposed septic system. Doing so would cause a delay, but he wanted to put it out there as a possibility. He would need a motion and a vote in the affirmative.

Member Thornley made a motion for the Zoning Board of Appeals to ask the Cape Cod Commission to review the proposed septic system with a response time of 20 days.

Member Lucy seconded, for discussion.

Member Shedd decided to pass on his comments at the time to see what the other Board members had to say.

Member Dundas asked that if they move to send this to the Cape Cod Commission, would review include recommendations, and are those recommendations binding? Atty. Huggins-Carboni stated that this would not be referred to the Cape Cod Commission as in a DRI (Developments of Regional Impact), it would be more like asking their staff to conduct another peer review.

Member Townsend is not against referring it to the Cape Cod Commission, but she is not sure it's necessary. She also asked why they were back at the table discussing the system.

Member Todd's concern is how quickly it could happen, as he would not like to get involved in a long process. There has been comment from the Pond Village community that this is a new, innovative system and he thinks if the Commission can comment on that, it would be useful. He would not be opposed to a review as long as it's timely.

Chair Hultin echoes those sentiments, and feels the timeliness is very important. Atty. Huggins-Carboni does not know how long this would take. She hopes that since it's a discrete review of a particular aspect of the project that it would not be that long. She can find out tomorrow with Health Agent Emily Beebe. She also wished to answer Member Townsend's question. The reason why they are back at the table is because staff (including herself) were looking at ways to address the concerns raised by the Pond Village residents. It occurred to them that the Commission has expertise and had not reviewed the new wastewater system proposed so they reached out to them to see if a review could be performed. Chair Hultin would be in favor, conditionally, with a "report back" time. He asked if the motion could be reframed to limit the amount of time before acting on the waiver. Atty. Huggins-Carboni gave a suggestion on how to phrase the motion.

Member Lucy is against going to the Cape Cod Commission as they have had a full year to chime in on this. He does not see how the Board will get a timely review from the Commission and he feels the concerns of the Pond Village residents should have been acted upon years ago, along with other Town Departments.

Member Shedd is in total agreement with Member Lucy's comments. He thinks that if anything is going to be reviewed, it would be the septic systems of Pond Village. If those systems were raised to the standards that the Cloverleaf is trying to be held to, then he feels some progress would be made on water quality in the Pond Village area. To ask the Commission to get involved after the engineers have gone over this (and come to the conclusion that they have) he agrees with Member Lucy. He is opposed to bringing the Commission in at this point.

Member Thornley does not understand the rush. He feels it's important to have as many intelligent people look at this aspect of the project.

Member Lucy knows there are approximately 20 properties along the pond itself, and out of the 20 there are only 2 with nitrogen removal systems. The majority of the properties have a regular Title V. This area has been inundated with sewage and waste. This project is not what's causing the issues with their water. It's the constant building and rebuilding in the Pond Village area, and no one is paying attention to the fact that their sewage is poisoning themselves. Putting in Title V systems is not good enough; all the systems should be nitrogen removal systems within a distance to the pond. He does not know why it's been overlooked for so many years and it's an issue that should come before the Board of Health.

So voted;

Chair Hultin-Aye

Member Dundas-Aye

Member Thornley-Aye

Member Todd-Aye

Member Lucy-Nay
4-1-0, motion carries.

Chair Hultin would like to postpone further review of the waiver of Article 14: Nitrogen Loading Requirements.

2. Article 9: Innovative/Alternative Technology (additional waiver required).

Member Shedd believes the system has been explained to the Board in great detail and sees no reason why this can't be waived.

Member Dundas agrees with Member Shedd's comment.

Member Lucy is also in agreement. He added that if they do not pass this and allow the system on the property the Board will have to go back to the original, standard, Title V. The State approved this system.

Member Thornley had no comment.

Member Townsend was okay with the waiver.

Chair Hultin is also okay with the waiver.

Member Todd agrees and is okay with the waiver.

3. Zoning Bylaw-Section 30: Use Regulations

Member Dundas views a waiver such as this a necessity and is in favor of the waiver.

Member Townsend is in favor as well.

Member Todd is in favor of waiving.

Member Lucy is in favor of waiving.

Member Thornley is in favor of waiving.

Member Shedd is in favor of waiving and thinks it's consistent with local needs. He wished to add that he visited an affordable housing project in Eastham, and after seeing the Cloverleaf plans and having the public being able to review said plans that have been presented, the Town of Truro is very fortunate to have a project like this with the aesthetics and the careful planning as opposed to the Village at Nauset Green which is very much like a housing project.

Chair Hultin has no problem waiving this.

Atty. Huggins-Carboni stated that since consensus is unanimous, there is no need for a formal vote.

4. Zoning Bylaw-Section 40.6: Growth Management

Chair Hultin does not see any reason why, however many building permits are needed, that this be exempt from the limitations of the Residential Development Limitation Bylaw.

Member Dundas is in favor of the waiver.

Member Townsend is in favor of the waiver.

Member Todd is in favor of waiving.

Member Lucy is in favor of waiving, but asked if they knew whether there would be one permit or 40 permits? Chair Hultin thought they could be clear in the waiver that this would not impact the total number of permits for a year in the rest of Town. Member Lucy also pointed out that in the bylaw it states that permits not issued within the calendar year may be carried over and be added to the next calendar year's quantity. He asked if the Board knew how many building permits are currently allowed? Chair Hultin thinks this can be an exemption from the Growth Management Bylaw and will not be counted toward the growth management limit. Member Lucy then stated that he would be in favor of the waiver.

Member Thornley is in favor of waiving.

Member Shedd asked if, for some technical reason, it was to come before the Building Commissioner and additional permits weren't allowed would this be something a person could bring before the ZBA and the Board would have another chance at a waiver? Chair Hultin clarified that this was regarding the next applicant, and he said he thought they could. Member Shedd stated he was in favor of waiving as well.

Chair Hultin is in favor of waiving.

Chair Hultin noted the time and reminded the Board that they still needed to hear public comment. He polled the Board in terms of moving forward with other exemptions. He thought it to be a bit complex unless they found a way to group all the remaining waivers together.

Member Thornley thinks that each one of the waiver requests, when you put them together, describe the whole design and he feels that they can't go against any of them. He feels they should all be waived.

Member Dundas agrees with Member Thornley's statement.

Member Townsend agrees as well. She thinks they've had a couple revisions of the overall design of the site plan and she feels voting on it as one, and waiving as one, makes sense.

Member Todd agrees and would like to waive them as a batch as they are integral to the design.

Member Lucy is in favor of waiving as a whole.

Member Shedd is in favor as well, but thinks the Board got away from Chair Hultin's original question which was; Does the Board want to plow ahead? Member Shedd is in favor of doing that if the Chair would grant a 2-minute recess.

Chair Hultin is also in favor of waiving en masse.

A five-minute break was taken at 6:52pm.
The meeting resumed at 6:58pm.

Chair Hultin started the discussion, stating they had waiver 50.2 that should be quickly dispensed with.

5. Section 50: Area and Height Regulations; 50.2: Building Gross Floor Area for the Residential District.

Chair Hultin personally feels that Section 70: Site Plan Review starts to get into the complexities of the Planning Board, and he wouldn't mind reviewing their comments and possibly taking that up at the next meeting. Discussion continued regarding the waiver of 50.2.

Chair Hultin is in support of the waiver.

Member Dundas is in support of the waiver.

Member Shedd is in support of the waiver.

Member Townsend is in support of the waiver.

Member Todd supports the waiver as well.

Member Lucy supports waiving it, with the reminder to the Planning Board to please abide by what they have placed in the bylaws for 50.2F.

Member Thornley supports waiving as well.

Atty. Huggins-Carboni wished to clarify that there was consensus as well on the waiver of all the dimensional requirements. Chair Hultin confirmed in the affirmative.

Public Comment

Chair Hultin stated that the first public comment letter was from Pamela Wolff. Ms. Wolff stated she didn't have any other public comment to make as she believes people already know what her interests are and what her questions have been. She is still concerned about water quality in Pond Village and the height limitations of the project.

Next was a public comment letter from the residents of Pond Village. Mr. Scott Warner wished to speak. He stated that the residents of Pond Village are unequivocally in favor of affordable housing in Truro and in their neighborhood. The residents also supported the acquisition of the Cloverleaf parcel, and development of the 12-16 units that was originally proposed. They believe that the current plan for the Cloverleaf parcel represents a threat to their health. He wished to respond to a comment made by a

ZBA member earlier in the meeting. If he heard correctly, the ZBA member stated that Massachusetts has approved the proposed wastewater treatment system. It was Mr. Warner's understanding that the State has placed the system on a list of pilot systems. He brought up a concern that a minimum of 50 systems of this model have to be installed and evaluated for at least 3 years to achieve in-provisional status use. The applicant has only provided 3 such systems, not 50. In their letter to the ZBA they pose a number of questions and concerns which they hope will be shared with the Cape Cod Commission.

Laura English read a statement regarding the duty of the ZBA to protect the residents, and those resident's concerns with the proposed pilot septic system.

Raymond Clarke wished to share some points with the ZBA.

- As the process enters a final review phase, it does so without a Town Manager and a Town Planner overseeing the complexities of the project. He feels the peer review process is not complete, particularly in regard to the downgradient health impacts. A more comprehensive peer review process is essential to garner confidence.
- The ZBA should not grant any waivers unless the applicant produces a new plan that will meet the 5 mg/L standard.
- There is a way to achieve both affordable housing up the hill and safe water in the village; reduce the number of bedrooms and make them all truly affordable.

Sheila Coleman wished to discuss something mentioned in a prior meeting where it was insinuated that the number of signatures the Pond Village residents had been able to garner was a small percentage. She challenged the math that went into that impression and then challenged the impression itself. She also does not believe any waivers should be passed until the Board of Health-Pond Village water study results are received, and comments from the Cape Cod Commission are heard.

Member Shedd wished to address a couple of the points mentioned. The system is very safe and falls within Title V approval regulations. He thinks the Cloverleaf project wants to be held to a higher standard than what the State requires and what's required of people owning their own systems. He does not understand that, and he also does not understand, as a ZBA member, what their authority is to supersede approved standards and regulations. He was never aware of any water quality problems in the Pond Village area until the residents brought it to his attention. The Cloverleaf project is at least a year away, so to hypothetically be blaming the Cloverleaf for problems that already exist requires more thought on everyone's part.

Mary Ann Larkin added that they never knew anything was wrong with their water until this group of scientists and doctors in Truro investigated it.

Karen Ruymann noted that one of the comments that prompted this was when Health Agent Beebe stated they had 20 samples from 2006 spanning about 10 years and the information was spotty. Ms. Ruymann started asking her neighbors if they knew their nitrate levels, etc. It was suggested that people in the neighborhood get a baseline water quality test so that they would know, years down the road, if there were changes. She urged the Board to finish this project with thorough investigation.

Member Todd reiterated that the ZBA is not blaming Pond Village for the water quality. The Route 6 runoff is a major contributor and it was noted in the 2014 Weston and Sampson water study for the entire Town that there were concerns there. He added that with the most recent testing of the water in the Pond Village neighborhood, 80 percent of the samples came back at 5 or less which was within the

range that is aimed for. He doesn't understand the level of panic all of a sudden. He objects to people stating that the equivalent of 3 swimming pools of waste will be coming from the Cloverleaf. If he takes the 120 dwellings (in the Pond Village neighborhood) and assumes 2 bedrooms at 220 gallons per day, per year, that's 12 million gallons. If there are 3 bedrooms, that would be 18 million gallons. Everything that would come from the project would be treated. At the worst, the effluent would be at 10 mg/L, where with a septic system it could be from 26-80 mg/L. He thinks people should be careful with the numbers being thrown around.

Laura English asked why wouldn't the Cloverleaf project be held to a higher standard? Chair Hultin stated that it is being held to a higher standard.

Raymond Clarke stated that where there is already a difficult situation with the nitrate levels in Pond Village, we shouldn't be adding to that by not holding the Cloverleaf up to a higher standard.

Patty Belanger wanted to underscore that given the apparent challenges that the residents are discovering in the vicinity, the notion that they would wish to be a part of a pilot, or think that it was appropriate, defies reason. Considering this is not a proven system and is a system which will place a burden on the water system which the residents depend upon, she thinks their objections are not surprising. She thinks the current study should be seen through and no waivers should be approved until that time.

Chair Hultin stated that he understands there is fear of increased nitrate accumulation in the well water. He asked Mr. Nelson if there was any evidence of that actually being the case? Mr. Nelson stated it was a complicated answer. He proceeded to explain the plume and concentrations. He also added that the fact that some homes are seeing elevated nitrogen levels is probably from a septic system in the neighborhood because above 5 mg/L will not be from stormwater runoff, and very unlikely it's from fertilizer. It's the interaction between a septic system and a nearby private well. The technology chosen for the project is under pilot approval, but current data shows it's working fairly well and coming out below 10 mg/L and is actually close to 5 mg/L. The additional filtration that's proposed for this system is going to remove many of the other constituents that can affect drinking water quality. Chair Hultin asked if there could be a plan for another monitoring well on the other side of Route 6 to track nitrates? Mr. Nelson stated that a monitoring well in that area could be a possibility.

Louise Perry clarified that the residents were not blaming the Cloverleaf for the issues they have in Pond Village. They are concerned that should something happen it will make the Pond Village area worse. She asked, since the system is a pilot system, what happens should it fail? What will the Town do to protect them? Chair Hultin stated that there is a management and operation protocol in place. John O'Reilly explained that they have provided the Board, and Horsley Witten, with a contingency plan that would be approved by the Board of Health after a full review by the Health Agent and the Board of Health itself. Mr. O'Reilly briefly summarized the steps which would be followed in addressing a problem. During the monthly testing cycles for the first 12 months (after full occupancy) if there is an exceedance of nitrogen or any of the parameters, the first person called besides the operator would be the Health Agent of the Town. It would be the responsibility of the owner of the facility to make whatever necessary repairs to bring the system into compliance. He believes that Pond Village residents would be notified once the Board of Health/Health Agent were notified of a problem.

Chris Nagle is concerned about his health and others. He sees two separate issues, one being the problem in the Village. He is asking that this problem be studied further. With the existing issue of the

higher levels of nitrates in their neighborhood, how can there be a discussion about any nitrates being added until the problem is addressed.

Patrick Pepper has been testing his water for the past couple of years. Their levels have come in at 4.7 and 3.6. Barnstable County did not flag these numbers. Mr. Pepper had no idea that there were any health concerns related to those numbers. It appears, from the science, that the level of 10 is inadequate to protect them. The neighbors of the Village are here because they didn't get the information from Barnstable County. He hopes that clarifies why the people from Pond Village are attending these meetings.

Mr. O'Reilly read a passage from the Board of Health Regulations that essentially gives the Board of Health the power to shut the system down and require the waste to be pumped offsite.

Chair Hultin made a motion to continue the Public Hearing 2019-008 ZBA to November 5, 2020 at 5:30 pm.

Member Thornley seconded.

So voted; 5-0-0, motion carries.

**Respectfully Submitted,
Noelle L. Scoullar**