

Truro Zoning Board of Appeals Agenda

Remote Meeting

Monday, June 27, 2022 – 5:30 pm

www.truro-ma.gov

Open Meeting

This will be a remote public meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website (www.truro-ma.gov). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment by entering the meeting link; clicking on the Agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free at [1-866-899-4679](tel:1-866-899-4679) and entering the access code [716-669-269#](tel:716-669-269#) when prompted. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing Liz Sturdy, Planning Department Administrator, at esturdy@truro-ma.gov.

Meeting link: <https://meet.goto.com/716669269>

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

Public Hearings – Continued

2022-005/ZBA (SP) – Benoit Allehaut and Elizabeth Allehaut for property located at 40 South Pamet Road (Atlas Map 51, Parcel 40, Registry of Deeds title reference: Book 33897, Page 73). Applicant seeks a Special Permit under M.G.L. Ch. 40A §6 and §30.7A of the Truro Zoning Bylaw for alteration and addition to existing dwelling, and relocation and renovation of shed on non-conforming lot (lot area) in the Seashore District. [Original Material in 4/25/2022 packet]

- ◆ Decision of the Historical Commission dated May 31, 2022
- ◆ Decision of the Planning Board (20-day appeal period ends July 4, 2022)

2022-006/ZBA (SP's) – Outer Shore Nominee Trust, Rachel Kalin, Trustee for property located at 17 Coast Guard Road (Atlas Map 34, Parcel 3, Registry of Deeds title reference: Book 34387, Page 1). Applicant seeks: (1) a **Special Permit** under M.G.L. Ch. 40A §6 and §30.3.1(A)2 of the Truro Zoning Bylaw to exceed total Gross Floor Area limit in the Seashore District; and (2) a **Special Permit** under M.G.L. Ch. 40A §6 and §30.7(A) of the Truro Zoning Bylaw to demolish 5 of 6 pre-existing, non-conforming cottages; construct new single-family dwelling; convert non-conforming cottage into accessory pool structure in the Seashore District. [Original Material in 4/25/2022 and 5/23/2022 packets] {New material included in this packet}

2022-007/ZBA (Appeal) – Clyde Watson for property located at 127 South Pamet Road (Atlas Map 48, Parcel 12; Certificate of Title Number: 228604, Land Ct. Lot #1C, Plan #16182-E and Land Ct. Lot #1D, Plan #16182-F). The Applicant is aggrieved by the grant of a building permit, #22-105 dated March 8, 2022, to relocate a structure from 133 South Pamet Road onto 127 South Pamet Road. [Original Material in 5/23/2022 packet]

2022-008/ZBA (SP/VAR) – Douglas Ambrose for property located at 49 Fisher Road (Atlas Map 53, Parcel 24, Registry of Deeds title reference: Book 21922/32678, Page 177/75). Applicant seeks a Special Permit under M.G.L. Ch. 40A §6 and §30.7(A) of the Truro Zoning Bylaw concerning demolition and reconstruction of dwelling on pre-existing, non-conforming lot (minimum lot size). Applicant also seeks a Variance under M.G.L. Ch. 40A, §10 and §50.1(A) of the Truro Zoning Bylaw for minimum side yard setback distances to locate a replacement dwelling 18.1 feet from easterly property line, where 25 ft. are required. [Original Material in 5/23/2022 packet]

- ◆ Letter from Lucy Clark dated May 22, 2022

2022-009/ZBA (SP) – Michelle Jaffe for property located at 9A Francis Road (Atlas Map 36, Parcel 191, Registry of Deeds title reference: Book 41209, Page 315). Applicant seeks a Special Permit under M.G.L. Ch. 40A §6 and §30.7 of the Truro Zoning Bylaw to increase existing nonconformity (side setback) for construction of a deck on an existing dwelling within 1.8 feet of the lot line, where 25 feet are required. [Original Material in 5/23/2022 packet]

Public Hearings

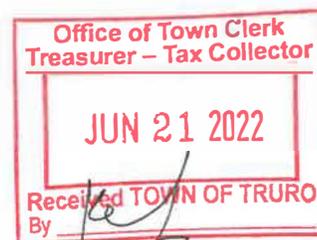
2022-010/ZBA (Appeal) – Thomas P. Dennis, Jr. and Kathleen C. Dennis, Individually and as Trustees for property located at 127 South Pamet Road (Atlas Map 48, Parcel 12; Certificate of Title Number: 228604, Land Ct. Lot #1C, Plan #16182-E and Land Ct. Lot #1D, Plan #16182-F) and 133 South Pamet Road (Atlas Map 48, Parcel 8, Registry of Deeds title reference: Book 33550, Page 123). The Applicant is aggrieved by order or decision of the Building Commissioner on April 5, 2022 revoking a building permit issued March 8, 2022.

2022-011/ZBA (SP) – Susan J. Goldstein and Jonathan A. Curtis for property located at 40 Corn Hill Road (Atlas Map 45, Parcel 118, Registry of Deeds title reference: Book 33478, Page 176). Applicant seeks a Special Permit under M.G.L. Ch. 40A §6 and §30.7 and §50.2.B.2 of the Truro Zoning Bylaw to exceed Gross Floor Area limit to renovate garage to create guest house/studio in the Residential District.

Next Meeting

- ◆ Monday, July 25, 2022 at 5:30 p.m.

Adjourn



MEMORANDUM

To: Truro Zoning Board of Appeals

From: Barbara Carboni, Town Planner and Land Use Counsel

Date: June 24, 2022

Re: June 27, 2022 meeting

CONTINUED HEARING: 2022-005/ZBA (SP) Benoit Allehaut and Elizabeth Allehaut for property located at 40 South Pamet Road. Application for special permit for alteration and addition to existing dwelling and relocation and reconstruction of a shed on a nonconforming lot in the Seashore District.

UPDATE: The applicants decided not to redesign their proposal (to construct the addition at grade) and pursued Site Plan Approval from the Planning Board as originally proposed (addition elevated). At its meeting on June 8, 2022, the Planning Board granted Site Plan Approval. The conditions are standard and require compliance with the decisions of other boards, including those of the Historical Commission and Conservation Commission. The ZBA may conclude its hearing and vote on the application

The following is copied from a memo for the ZBA's April 25th meeting:

Existing Conditions

The lot is nonconforming as to area, 2.5 acres where 3 required, with conforming frontage (356.8 feet where 150 required). The lot is currently improved by a dwelling, part of which dates to 1840; additions are more recent. The current Gross Floor Area is 1754 square feet. The dwelling, which conforms to setbacks, is sited near the Pamet River in the northeast section of the lot. A shed near the house is located within the side setback of the property line with the Cape Cod National Seashore. A gravel driveway and brick walkway serve the dwelling. Various wetland resource areas and NHESP Priority Habitat are present on the property. Neighboring properties include single-family dwellings and National Seashore land.

Proposal

The Applicants propose to remove certain additions from the dwelling, and to build a new addition, increasing the height of the structure from 20.6 to 24.6 feet in height, with a deck and patio on the north (Pamet River-facing) side. The Applicants further propose to remove the existing shed; and to construct a new shed with attached carport, 19.6 feet in height (two stories), near an existing parking area in the southeast section of the property. The Applicants further propose to widen and resurface the existing gravel driveway ends at the parking area. The new Gross Floor Area will total 3,280 square feet (conforming). Restoration of native vegetation is proposed.

Special Permit standard under G.L. c. 40A s. 6 and s. 30.7 (alteration or extension of nonconforming structure/lot)

The lot is nonconforming as to area. Alteration, extension, or reconstruction of a dwelling on a nonconforming lot increases the existing nonconformity and requires a special permit under G.L. c. 40A, s. 6. Bjorklund v. Zoning Board of Appeals of Norwell, 450 Mass. 357 (2008). In this case, the proposal is to alter the existing dwelling, and to relocate and rebuild a shed of greater dimensions.

The Board may grant a special permit under G.L. c. 40A, s. 6 if it finds that the proposed alternation and reconstruction “shall not be substantially more detrimental than the existing nonconforming [structure and] use to the neighborhood.” Likewise, the Board may grant a special permit under Section 30.7.A if it finds that:

“the alteration or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use or structure and that the alternation or extension will exist in harmony with the general purpose and intent of this bylaw.”

In this case, the dwelling is located a considerable distance from South Pamet Road and the proposed addition will not substantially modify the structure’s footprint. The new shed/carport location is closer to the road, and at 2 stories, will be more prominent. However, the structure will be at a conforming setback (26 feet) and at a distance from South Pamet Road due to the configuration of an adjoining lot owned by the National Seashore.

A finding might be made that the renovated dwelling and relocated/reconstructed shed do not significantly change the streetscape, and accordingly that the relocation is “not substantially more detrimental to the neighborhood” than the existing configuration. This and other considerations are entrusted to the Board’s judgment, based on its “intimate understanding of the immediate circumstances [and] of local conditions” Fitzsimonds v. Board of Appeals of Chatham, 21 Mass.App.Ct. 53, 55 (1985).

CONTINUED HEARING: 2022-006/ZBA (SPs) Outer Shore Nominee Trust, Rachel Kalin, Trustee for property located at 17 Cost Guard Road. Applicant seeks (1) a special permit under G.L. c. 40A s. 6 and s. 30.3.1(A)2 of the Zoning Bylaw to exceed Gross Floor Area in the Seashore Districts; and 2) a special permit under G.L. c. 40A s. 6 and s. 30.7 of the Zoning Bylaw to demolish 5 of 6 preexisting nonconforming cottages; construct a new single-family dwelling; and to convert remaining nonconforming cottage into accessory pool structure.

UPDATE: The applicant submitted to this Board and the Planning Board revised plans depicting the dwelling as containing a reduction in Gross Floor Area (from 5,260 sq ft to 4,779 sq ft); the square footage of the structure itself has not changed. At its meeting on June 22, 2022, the Planning Board reviewed these plans and was not prepared to approve them. Applicant’s counsel requested a continuance to the Board’s next meeting on July 13, 2022, which the Board allowed. It was also noted that the plans depict a railing on top of the upper floor exceeding the Bylaw height limit, which will require a variance from the ZBA.

As previously noted, the Planning Board's decision must precede this Board's decision, but this Board may discuss any aspect of the two special permits requested.

CONTINUED HEARING: 2022-008/ZBA (SP/VAR) Douglas Ambrose for property located at 49 Fisher Road. Applicant seeks a special permit under G.L. c. 40A, s.6 and s. 30.7 of the Zoning Bylaw for demolition and reconstruction of a dwelling on nonconforming lot (lot area). Applicant also seeks a variance under G.L. c. 40A, s. 10 and s. 50.1 of the Zoning Bylaw within 18.1 feet from side lot line where 25 feet required.

UPDATE: At the ZBA's last meeting, applicant's counsel suggested that the zoning relief required to accommodate the exterior stairs and landing, constructed in the setback, might be a special permit rather than a variance. Counsel requested a continuance and was going to research documents depicting the previous structure, which would indicate any dimensional nonconformities existing at that time. These materials have not yet been located and applicant intends to request a continuance.

2022-009/ZBA (SP) Michelle Jaffe and Barbara Grasso for property located at 9A Francis Road. Applicants seek a special permit under G.L. c. 40A s. 6 and s. 30.7 of the Zoning Bylaw to increase an existing nonconformity (side setback) for constructing of a deck on an existing dwelling within 1.8 feet of the lot line, where 25 feet are required.

UPDATE: At the ZBA's May 23rd meeting, the applicant noted a Conservation Commission hearing scheduled for June 8, 2022. The Commission has issued an Order of Conditions for the project.

The following is copied from a memo for the ZBA's May 23rd meeting:

Existing conditions and project.

The applicant's dwelling is one of two condominium units on the subject lot with an address of 9A Francis Road. The lot containing the two dwellings is nonconforming as to area at 11,367 square feet where the minimum lot size is 33,750 square feet. The lot is evidently accessed by a driveway easement from Francis Road. The applicant's dwelling is located on the western side of the lot, with nonconforming setbacks of 4.9 feet on the northern side lot line, and 8.2 feet to the western lot line.

The applicant proposes to construct a 8' by 17' deck with stairs off the northeastern side of the dwelling. At its closest point, the deck will be 1.8 feet from the northern lot line.

Special Permit standard under G.L. c. 40A s. 6 and s. 30.7 (alteration or extension of nonconforming structure/lot)

The lot is nonconforming as to area, and the existing structure is nonconforming as to a side yard setback (4.9 feet where 25 feet required). A special permit is required to increase or

intensify the nonconformity of the side yard setback. Bellalta v. Zoning Bd. of Appeals of Brookline, 481 Mass. 372, 376-381(2019).

The Board may grant a special permit under G.L. c. 40A, s. 6 if it finds that the proposed alternation and reconstruction “shall not be substantially more detrimental than the existing nonconforming [structure and] use to the neighborhood.” Likewise, the Board may grant a special permit under Section 30.7.A if it finds that:

“the alteration or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use or structure and that the alternation or extension will exist in harmony with the general purpose and intent of this bylaw.”

The applicants’ narrative offers grounds upon which the Board could find that the proposed deck addition meets the “not substantially more detrimental” standard: no disturbance to neighbors where only two houses in proximity; no increase in traffic; and compact nature of project. These and other considerations are entrusted to the Board’s judgment. “A local board of appeals brings to the matter an intimate understanding of the immediate circumstances, of local conditions.” Berkshire Power Development, Inc. v. Zoning Bd. of Appeals of Agawam, 43 Mass.App.Ct. 828, 832 (1997).

Note that the applicant’s original variance application should be withdrawn with the Board’s approval.

2022-011/ZBA (SP) - Susan J. Goldstein and Jonathan A. Curtis for property located at 40 Com Hill Road (Atlas Map 45, Parcel 118. Applicants seek a Special Permit under G.L. c. 40A §6 and §30.7 and §50.2.B.2 of the Truro Zoning Bylaw to exceed Gross Floor Area limit to renovate garage to create guest house/studio in the Residential District.

Existing conditions

The lot is conforming as to frontage (151 feet) and area (1.649 acres) in the Residential District. It is currently improved by a two-story dwelling and a second structure having a garage on the first floor and painting studio on the second. According to the unstamped plans submitted, the current "Livable Space Square Footage" is represented to be 3,611 sq.ft,¹ a combination of the house (3,141 sq ft) and the second structure (470 sq ft on the second floor). See table "Existing Architectural Square Footage" on Plan Sheet L0.0 and table on Sheet A1.1 ("Livable Space" of existing and proposed).

Proposal

The applicants propose alterations to the garage structure to create a two-story, two-bedroom cottage, which would contain 480 sq ft on the first floor and 514 sq ft on the second

¹ The plans are not stamped by architect or engineer. Stamped plans should be required, if not prior to any zoning approval, prior to issuance of a building permit.

floor, for a total of 994 sq ft. The combined "Livable Space Square Footage" would be 4,605 square feet, a combination of the house (3,141 sq. ft) and cottage (994 sq ft.).

Section 50.2 of the Bylaw limits Gross Floor Area in the Residential District to 3,600 sq ft for a minimum lot size of 33,750 sq ft, prorated to 3668 sq ft for one acre of land, "plus 300 sq.ft for each additional contiguous acre of land, or fraction thereof prorated." Section 50.2.B.1. For this parcel of 1.65 acres, the permissible Gross Floor Area is 3,863 (3,668 for the first acre, plus 195 square feet for the additional .65 acre). *Assuming for the moment* that what the plans refer to as "Livable Space Square Footage" (see Sheet L.0.0) and "Livable Space" (see Sheet A1.1) is the same as what the Bylaw refers to in Section 50.2 and defines as "Gross Floor Area," the proposed renovations will result in a Gross Floor Area exceeding what is permitted by 742 sq ft. (4,605 proposed- 3863 permitted).

Special Permit to exceed Gross Floor Area under Bylaw Section 50.2

Section 50.2.B.2 provides that the total Gross Floor Area allowed as of right may be exceeded by Special Permit up to 4,600 sq ft for a minimum lot size of 33,750 sq.ft., prorated to 4,668 sq ft for one acre of land, "plus 300 sq. ft for each additional contiguous acre or fraction thereof prorated." In this case, the maximum would be $4,600 + 195 = 4,795$

The standard under which the ZBA is to consider a special permit to exceed Gross Floor Area is provided in Section 50.2.D:

"A Special Permit may be granted only where the Zoning Board of Appeals finds by clear and convincing evidence that the proposed alteration, construction or reconstruction is consistent with the criteria found in Section 30.8 (Special Permits) of these Bylaws. In addition, the Zoning Board of Appeals shall make specific written findings of objective facts that support the request for additional gross floor area, and demonstrate that the additional gross floor area is in the public interest of the Town of Truro, and not inconsistent with the intention and purpose of this Bylaw, which is to promote the health, safety, convenience and welfare of the inhabitants of Truro, prevent the overcrowding of land, conserve the value of land and buildings, enable the protection of clean and adequate water supply, conserve natural resources, prevent blight of the environment, encourage the most appropriate use of land in Truro. In considering whether the proposed alteration, construction or reconstruction is in harmony with the public good and is not detrimental to the neighborhood the Zoning Board of Appeals shall consider, among other relevant factors, the size of neighboring buildings and the surroundings in which the additional gross floor area is proposed."

The referenced Section 30.8 of the Bylaw provide a standard applicable to all special permits:

"Special permits may be approved only after a finding by the Board of Appeals or Planning Board (as applicable, see use table) that the proposed use is in the opinion of the Board in harmony with the general public good and intent of this bylaw. The approval shall be subject to any other applicable provision of this bylaw and the Board may impose conditions, safeguards, and limitations on time and use, which in the Board's opinion are necessary to comply with the intent and purpose of this bylaw."

Before applying the above standards to the proposal, the Board should obtain some confirmation that what the submitted plans refer to as "Livable Space Square Footage" (see Sheet L.0.0) and "Livable Space" (see Sheet A1.1), is the same as what the Bylaw refers to in Section 50.2 and defines as "Gross Floor Area." That definition provides:

"Floor Area, Gross. The sum of the horizontal areas of the floor(s) of a building measured from the interior face of the exterior wall of a building, without deduction for hallways, stairs, closets, and thickness of walls, columns or other features used or intended to be used for living, sleeping, sanitation, cooking or eating purposes, excluding cellar and basement floor area, garage, porches, decks, and attics."

2022-007/ZBA (APPEAL). Clyde Watson for property located at 127 South Pamet Road. The applicant appeals the grant of a building permit dated March 8, 2022 to relocate a structure from 133 South Pamet Road onto 127 South Pamet Road.

As the Board may remember, while applications were pending before this Board for relief to relocate the Boathouse from 133 to 127 South Pamet Road, the Building Commissioner issued a building permit allowing the Boathouse to be moved onto the property. This building permit was subsequently revoked (April 5, 2022). By vote on April 25, 2022, the Board granted a special permit allowing the Boathouse to be moved onto 127 South Pamet, and requiring removal of an existing studio. A new building permit has been issued pursuant to that special permit, allowing for the move.

As the building permit at issue in this appeal has been revoked, this appeal is moot. It is recommended that the Board issue a decision so stating, unless the applicant is willing to withdraw the appeal.

2021-010/ZBA (APPEAL) Thomas P. Dennis Jr. and Kathleen C. Dennis, Individually and as Trustees for property located at 127 South Pamet Road. Applicants appeal the Building Commissioner's revocation of the building permit issued March 8, 2022.

As the Board may remember, while applications were pending before this Board for relief to relocate the Boathouse from 133 to 127 South Pamet Road, the Building Commissioner issued a building permit allowing the Boathouse to be moved onto the property. This building permit was subsequently revoked (April 5, 2022). Under G.L. c. 40A, s. 8, an appeal may be taken to the ZBA "by any person aggrieved by an order or decision of the inspector of buildings." The April 5, 2022 revocation of the building permit was "an order or decision" of the building inspector, and so the ZBA hears this appeal in the same manner that it hears an appeal from the issuance of a building permit (as above), or an appeal from the denial of a building permit.

By vote on April 25, 2022, the Board granted a special permit allowing the Boathouse to be moved onto 127 South Pamet, and requiring removal of an existing studio. Arguably, this renders this appeal of the building permit revocation moot, because the applicants have obtained the relief they needed to move the Boathouse to 127 South Pamet. The Board could issue a decision stating that the appeal is moot on these grounds. However, applicants' counsel has stated an intent to preserve the applicants' argument that they were entitled to a building permit *as of right*, without the need of zoning relief from the Board. This is presumably why the applicants appealed the building permit revocation, even though they had been granted the zoning relief they needed in the special permit.

In the event the applicants take an appeal to Land Court of the ZBA's decision in this case, I believe it would be better to have a decision on the *merits* of the appeal, rather than simply a conclusion that the appeal is moot. In the unlikely event that the Court finds the appeal *not* moot, there will exist an alternate basis for upholding the Board's decision. The following discussion is copied from a memo to the Board dated March 25, 2022 addressing the applicants' argument that a building permit could issue as of right. This discussion could be incorporated into a decision of the Board upholding the building permit revocation.

As the Board may remember, the original application to the ZBA acknowledged that 127 South Pamet is nonconforming as to lot area (1.68 acres where 3 acres required) and that a special permit was required under G.L. c. 40A, s. 6 to relocate the Boathouse onto the lot from 133 South Pamet. However, while the special permit application was pending before this Board, the applicants submitted a building permit application, on a theory that relocation of the Boathouse onto 127 South Pamet was allowed as of right and did not require relief from the ZBA.

The Building Permit application and related materials submitted did not use the nonconforming lot size of 127 South Pamet stated in the original application to the ZBA (73,200 sq. ft/1.68 acres). Instead, the Building Permit application provided a new, increased lot area for 127 South Pamet and a lot area for 133 South Pamet with citation to the Zoning Bylaw definition of "Lot Area":

"Lot calculations show[] an area for 127 SPR of 4.36 acres, and for 133 SPR of .32 acres, for a total of 4.68 acres. This is based on the Zoning Bylaw definition that exempts pre 1987 from upland lot area calculation requirements:

Lot Area. The area of a lot when used for building purposes shall not be less than the minimum required by this bylaw for the district in which it is located. Such an area shall not be interpreted to include any portion of a lot below mean water level on fresh water, below mean high water on tidal water or within the limits of any defined way, exclusive of driveways serving only the lot itself. No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune or wet meadow. This definition shall apply only to lots created after April 30, 1987."

In other words, the argument appeared to be:

- 1) the 127 and 133 South Pamet lots predate April 30, 1987; therefore the current definition of “Lot Area” does not apply;
- 2) if the current definition of “Lot Area” does not apply, area other than upland – including area “below mean high water” – may be counted toward calculation of lot area;²
- 3) if the lot area of 127 South Pamet is calculated based on plans from the 1940s (prior to substantial loss of land to the ocean), rather than on upland area as it currently exists on the lot, the lot area of 127 South Pamet is 4.36 acres, exceeding the 3-acre minimum;
- 4) where the newly-calculated lot area is conforming under the Bylaw, the dwelling structure may be moved onto the property as of right, without need for a special permit from the ZBA under G.L. c. 40A, s. 6 and Bylaw Section 30.7.

There was no explanation as to why these calculations and arguments were not asserted in the original application to the ZBA for zoning relief, which expressly acknowledged that 127 South Pamet was nonconforming as to area.

The Building Permit application proposed to combine 127 and 133 South Pamet Road, and asserted that the combined lot area of the two lots – now claimed to be 4.68 acres - was sufficient to support a Seashore District Total Gross Floor Area of 3,936 square feet, which could accommodate the combined square footage of the existing dwelling, existing studio, and the Boathouse (requiring no zoning relief).

Finally, the Building Permit application and related materials stated that the proposed location of the dwelling conformed to all setback requirements on 127 South Pamet, requiring no dimensional zoning relief. Based on the above calculations and arguments, it was asserted that the Boathouse dwelling “may be moved as shown and used as a habitable accessory structure as of right by issuance of a building permit.” **The building permit issued on March 8, 2022, presumably based on agreement with the theory that no zoning relief was required.**

This theory is not supported - and not simply because it is illogical to include acreage lost to the ocean in determining Lot Area. First, if lots 127 and 133 South Pamet were combined, as counsel proposed, the new lot would be one created *after* April 30, 1987, and thus not entitled to the benefit - assuming any exists – of the exemption from the Lot Area definition claimed by counsel so as to count “area” that functionally no longer exists. Neither the 4.36 acres now claimed for 127 South Pamet nor the combined 4.68 acres claimed would be available as the basis upon which to assert a lot conforming to the Seashore required minimum of 3 acres, or a lot area supporting a Gross Floor Area of 3,936 sq. ft. The combined lot area would be 1.68 acres (127 South Pamet) plus the current acreage of 133 South Pamet – *under* the

² As counsel further stated:

“The lot areas include land eastward of the coastal bank, but I believe those areas are included in lot area as the lots are pre-existing pre-1987 lots and therefore the entire land area is included for calculating Total Gross Floor Area permitted.”

Seashore lot area minimum, and supporting a Gross Floor Area substantially less than 3,936 sq. ft. In other words, if 127 and 133 are combined, the lot area would be *nonconforming*, and a special permit required from the ZBA under G.L c 40A, s. 6 and Bylaw Section 30.7 in order to move the Boathouse dwelling to the proposed location. In addition, a special permit would be required from the ZBA under Section 30.3.1.A.2 to exceed Seashore Gross Floor Area.

Second, if the current definition of Lot Area is not applicable, as asserted, because the lots were created prior to 1987, the result is *not* that any/all acreage shown on earlier plans may be counted. Rather, if the current Bylaw definition is not applicable, the prior (pre-1987) version of the Bylaw definition of Lot Area is applicable. Under the Bylaw in effect prior to 1987, the definition of Lot Area provided that "no less than 75% of the minimum lot area must be contiguous upland, exclusive of marsh, bog, swamp, beach, dune or wet meadow." In other words, the consequence of not being governed by the current definition of lot area would not be to eliminate the contiguous upland requirement, but rather to modify it from 100% to 75%.

Based on the above discussion, it is evident that the Boathouse could not be relocated onto 127 South Pamet without zoning relief from the Board (as originally acknowledged by the applicants in seeking a special permit). No building permit could lawfully issue at that time, and for this reason, the building permit issued on March 8, 2022 was properly revoked.



United States Department of the Interior

NATIONAL PARK SERVICE
Cape Cod National Seashore
99 Marconi Site Road
Wellfleet, MA 02667

IN REPLY REFER TO:

A90

Tract No. 12-2760 and 2761

March 25, 2022

Arthur Hultin, Jr., Chair
Truro Zoning Board of Appeals
24 Town Hall Road, P.O. Box 2030
Truro, MA 02666

Dear Mr. Hultin:

Thank you for the much-anticipated Town Planner/Land Use Counsel's staff report on the continued Zoning Board of Appeals (ZBA) hearing for the relocation of a single-family residence formerly at 133 South Pamet Road to 127 South Pamet Road in Truro, MA. The entirety of the materials submitted prior to and after the detrimental, emergency last-minute move of the house at 133 South Pamet Road and its relocation are complicated and require thorough review from National Park Service Land Use Counsel's expertise for our consideration, that of abutters and interested parties, and for the board.

We request additional time to review this matter with the DOI Solicitor's Office as we believe Land Use Counsel's report is instructive concerning issues related to combining the lots and considering a special permit for relocation of the house. The report became available late Friday, March 25, 2022 with the ZBA hearing scheduled for Monday March 28, 2022, that leaves insufficient time for an in depth review this circumstance requires.

Our initial comments based on a review of the issues are:

The Truro Zoning Bylaw lot definition states, "No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune or wet meadow. This definition shall apply only to lots created after April 30, 1987." The applicant lot area calculations for lot size appears to include land classification categories beyond upland.

We presume that the concept of removing a kitchen allows for relocation of a single-family house "by right" should be refuted; the applicant's counsel's statement that this house relocation proposal would be permissible by-right if the two lots are combined do not seem viable given actual lot size, current conditions, and prior representations.

Also, as we have seen repeatedly it is not enough to remove a kitchen. "Accessory dwellings" have been routinely rented out separately from a single-family residence even if it has been purported that the accessory guest house is lacking a kitchen. Any single-family lot seeking special permits for a separate structure that has similarities with a single-family dwelling should be constrained to single-

family use with the restriction that any guest house is not separately rented; whether the second home described as a studio on the 127 South Pamet lot is already separately rented out has not been verified. A third structure would intensify the use and, if not constrained by the town, may be rented separately.

We concur with the letter in the board packet written by Tom Watson. We have similarly stated that the Seashore District is a single-family residential conservation district. We have requested that high standards for variances and special permits be exercised. We urge denial of any special permit as it proposes zoning exceptions that increase intensity of the nonconformity and creates new nonconformities. These nonconformities would add to the detriment of the neighborhood than the existing nonconforming uses or structures and will not exist in harmony with the general purpose and intent of the Seashore District and other town bylaws.

Finally, a building permit was issued for a new foundation based on incomplete representations before this case came back before the ZBA as was instructed. We have submitted two prior letters on this ZBA case, and this third letter should be indicative of the level of concern about the precedent that could be set if a permit is authorized for this variance.

Sincerely,

Brian T. Carlstrom
Superintendent

cc:
Town Planner
Town Administrator



TOWN OF TRURO

P.O. Box 2012, Truro, MA 02666

Town Clerk

Tel: 508-349-7004

Extension: 130

Fax: 508-349-5505

May 27, 2022

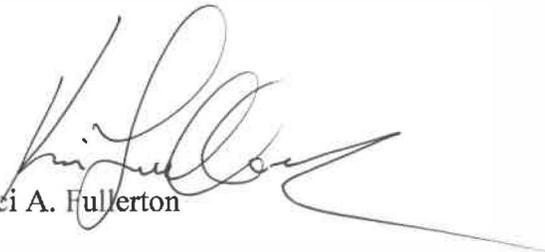
Benoit & Elizabeth Allehaut
39 East 29th Street, Apt. 26A
New York, NY 10016

Location: 40 South Pamet Road (Atlas Map 51 Parcel 40)

CERTIFIED DECISION ENCLOSE FOR RECORDING

I hereby certify that this decision was filed with the Office of the Town Clerk on 5/31/2022,
enclosed for the Decision of the Historical Commission

Please see


Kaci A. Fullerton

Town Clerk, Town of Truro
Office Direct: (508) 214-0923

cc: Planning Board
Town Planner and Land Use Counsel
Building Commissioner

Kaci A Fullerton-Willis, Town Clerk, Town of Truro / May 31, 2022



TOWN OF TRURO

24 Town Hall Road, P.O. Box 2030, Truro, MA 02666
Tel: (508) 349-7004, Ext. 127 Fax: (508) 349-5505

DECISION OF THE HISTORICAL COMMISSION

Address: 40 South Pamet Road (Atlas Map 51 Parcel 40)
Title Reference: Barnstable County Registry of Deeds, Book 33897 Page 73
Owners and Applicants: Benoit & Elizabeth Allehaut
Hearing Date: May 11, 2022
Decision Date: May 11, 2022
Sitting: Matthew J. Kiefer, Chair; Charles Steinman, Vice Chair; David Kirchner, Secretary; Amy Rolnick; Jim Summers
Absent: Bart Mitchell
Recused: Richard Larkin
Vote: 5-0

This matter came before the Historical Commission pursuant to Chapter VI, Section 5 of the Truro General Bylaws, on an Application for Demolition referred by the Building Commissioner on March 15, 2022, with supplemental information forwarded on April 5, 2022, and a determination that the dwelling is significant under Section 6-2-1. The Commission held a public hearing on this matter on May 11, 2022.

The following materials were filed with this Board:

- Notice of Intent: Project Description 40 South Pamet Road, Truro, MA
- CAI Technologies Map, 40 S Pamet FEMA Flood Map, dated March 27, 2022
- "Cover Sheet, Allehaut Residence, 40 South Pamet Road, Truro, MA" prepared by C&J Katz Studio, dated January 7, 2022, Scale N/A, Sheet C
- "Existing Plans, Allehaut Residence, 40 South Pamet Road, Truro, MA" prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4" = 1'-0", Sheet A-00
- "First Floor Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA" prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4" = 1'-0", Sheet A-01

[Handwritten signature]
TOWN OF TRURO
MAY 11 2022

A true copy, attest:

- “Second Floor Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4” = 1’-0”, Sheet A-02
- “Existing West & South Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-20
- “Existing East & North Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-21
- “New West & South Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-22
- “New East & North Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-23
- “Existing Shed Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-24
- “Shed Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated February 7, 2022, Scale 3/8” = 1’-0”, Sheet A-25
- “Long Section, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-30
- “General Notes Plan, Allehaut Residence, C&J Katz Studio, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated March 1, 2022, Sheet S-001.
- “Foundation Plans, Allehaut Residence, C&J Katz Studio, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated March 1, 2022, Sheet S-100.
- “Crawl Space Slab Plans, Allehaut Residence, C&J Katz Studio, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated March 1, 2022, Sheet S-101.
- “Plan Showing Proposed Building and Site Modifications, Benoit & Elizabeth Allehaut, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated March 18, 2022, Scale 1” = 30’, Sheet C2.1.3
- Massachusetts Cultural Resource Information System, Inventory No. TRU. 159 Isaac Rich House, file accessed on 4/5/2022.
- Massachusetts Cultural Resource Information System, Inventory No. TRU. 159 The Pamets, file accessed on 5/10/2022.
- Application for Residential Site Plan Review dated March 21, 2022.
- 9th Edition Massachusetts Residential Code Requirements in Floodplains.
- Email chains (only most recent in chain identified).
 - May 10, 2022 at 1:51 pm; Sarah Korjeff (CCC) to Eric Carlson (DCR); Truro Historical Commission Public Hearing Notification for 40 South Pamet Road
 - May 11, 2022 at 3:19 pm; Benjamin Zehnder to Chuck Steinman; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road with attachments

- May 11, 2022 at 2:32 pm; Matthew Kiefer to Barbara Carboni; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road with forward message: May 10, 2022 at 3:57 pm; Sarah Korjeff (CCC) to Eric Dray, Chuck Steinman; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road
- May 3, 2022 at 9:52 am; Benjamin Zehnder to Rich Stevens, Truro Historical Commission Public Hearing Notification for 40 South Pamet Road with attachments
- April 20, 2022 at 1:15 pm; Chuck Steinman to Matthew Kiefer, Jim Summers, David Kirchner, Amy Rolnick, Richard Larkin, Bart Mitchell, Barbara Carboni; Historic Information for 40 S. Pamet Road with attachments
- May 11, 2022 at 9:52 am; Benjamin Zehnder to Rich Stevens; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road with attachments
- May 11, 2022 at 2:31 pm; Matthew Kiefer to Barbara Carboni; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road with forward message: May 10, 2022 at 4:54 pm; Sarah Korjeff (CCC) to Matthew Kiefer, Eric Dray; Truro Historical Commission Public Hearing Notification for 40 South Pamet Road

Based on the hearing, and materials and testimony submitted in compliance with Section 6-5-1-1, the Commission makes the following findings:

1. The 2.7 acre property at 40 South Pamet Road is within the National Seashore Zoning District, and within an area pending review by the Massachusetts Historical Commission for eligibility as a National Register Historic District.
2. The subject property on the Pamet River contains the 1-1/2-story "Isaac Rich House," a portion of which was constructed circa 1830 and which has been documented by the Historic American Building Survey and identified in Truro's Comprehensive Survey of Historic Properties. An addition containing a kitchen was likely constructed in the late 19th century and altered in the 1990s, at which time an enclosed porch was also constructed. The property also contains an unusual shed with sloped walls akin to a mansard roof, in poor condition, located near the Pamet River. Both structures are located in an AE Flood Zone.
3. Plan referred to above, submitted to the Commission and presented at the hearing, show removal of the kitchen and porch additions to the house; demolition of the shed; construction of a new flat-roofed two-story addition; alteration of a front façade gable; and construction of a new garage with habitable space above and an attached carport, in a different location.
4. The Commission notes that the size and elevation of the proposed addition would be out of scale with the historic structure. The Commission further notes that the proposed changes to the hipped roof on the second floor of the front (west) façade to the left of the entrance portico to turn it into a gabled roof would alter a distinctive historic feature of the

house. Finally, the Commission notes that the shed could be of historic and architectural interest.

5. In light of the foregoing, the Commission finds that the proposed work would materially diminish the significance of the historic structure and its setting to Truro's heritage.
6. The applicants informed the Commission that they are seeking an exemption (from the Building Commissioner and/or the State Building Code Appeals Board) from the Building Code requirement of elevating the proposed addition, required due to location in AE Flood zone. The Commission supports the applicants' pursuit of an exemption from the requirement to elevate the addition, which would allow the applicants to lower the height of the proposed addition.
7. Due to the potential impacts on the historic structure and landscape, which will vary depending upon the availability of an exemption, the Commission finds that the structures (dwelling and shed) are preferably preserved and imposes a demolition delay. The Commission invites the applicant to return at time of their convenience to present amendments to the proposal addressing the following:
 - a) the scale of the proposed addition in relation to the existing historic structure, which includes the potential of constructing the addition at the same floor level as the house;
 - b) alternatives to altering the existing hipped roof to become a gabled roof on the front gable to the left of the entrance portico; and
 - c) possible salvage of the shed or its structural elements or its relocation; investigation of any further information regarding its history.
8. The demolition delay shall remain in effect unless the Commission votes to suspend the delay after the applicants return to the Commission to present a proposal responsive to the above three issues, consistent with Section 6-5-6 of Chapter VI of the General Bylaws.

Respectfully Submitted

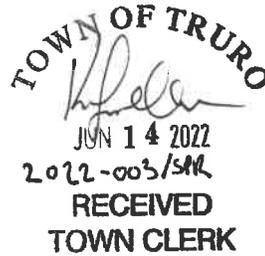

Matthew J. Kieler, Chair

28 May 2022
Date

Received, Office of the Town Clerk:


Signature

31 May 2022
Date



Planning Board

Town of Truro

24 Town Hall Road
Truro, MA 02666

(508) 349-7004

DECISION OF THE PLANNING BOARD

Residential Development Site Plan Review

Case Reference No.: 2022-003/SPR

Atlas Map 51, Parcel 40

Address: 40 South Pamet Road

Title Reference: Barnstable County Registry of Deeds Book 33897, Page 73

Owners and Applicants: Benoit Allehaut and Elizabeth Allehaut

Hearing Dates: April 20, 2022; May 18, 2022; June 8, 2022

Decision Date: June 8, 2022

Vote: 5-1-1

Sitting: Anne Greenbaum, Chair; Richard Roberts, Vice Chair; Jack Riemer, Clerk; Ellery Althaus; Bruce Boleyn; Paul Kiernan; Caitlin Townsend

Following duly posted and noticed Truro Planning Board hearings held on April 20, 2022, May 18, 2022 and June 8, 2022, the Board voted to approve the application for Residential Development Site Plan Review pursuant to §70.4 of the Truro Zoning Bylaw for the removal of existing additions, construction of new addition, and relocation and reconstruction of an existing shed into a two-story shed with attached carport, on property located at 40 South Pamet Road, Map 51, Parcel 40, in the Seashore District.

The following materials were submitted as part of the complete application for review:

- Cover Letter from Benjamin E. Zehnder, Esq. dated March 21, 2022
- Application for Residential Site Plan Review dated March 21, 2022
- 70.4 – Residential Site Plan Review Checklist
- Addressing the Review Criteria §70.4D
- Certified Abutters List
- Town of Truro Property Card for 40 So Pamet Rd
- MapsOnline – Truro, MA for 40 South Pamet Rd printed September 14, 2021
- Quitclaim Deed (3 pages)
- Tech Lighting (2 pages)
- Town of Truro Property Cards for: 42 So Pamet Rd; 33 So Pamet Rd; 31 So Pamet Rd; 45 So Pamet Rd; 46 So Pamet Rd; 48 So Pamet Rd (2 pages); 27 So Pamet Rd; 51 So Pamet Rd; 35 So Pamet Rd

- “Cover Sheet, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale N/A, Sheet C
- “Existing Plans, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4” = 1’-0”, Sheet A-00
- “First Floor Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4” = 1’-0”, Sheet A-01
- “Second Floor Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 1/4” = 1’-0”, Sheet A-02
- “Existing West & South Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-20
- “Existing East & North Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-21
- “New West & South Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-22
- “New East & North Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-23
- “Existing Shed Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-24
- “Shed Elevations, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated February 9, 2022, Scale 3/8” = 1’-0”, Sheet A-25
- “Long Section, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by C&J Katz Studio, dated January 7, 2022, Scale 3/8” = 1’-0”, Sheet A-30
- “Land Management Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by BlueFlax Design LLC, dated February 28, 2022 (16 pages)
- “Planting Plan, Allehaut Residence, 40 South Pamet Road, Truro, MA” prepared by BlueFlax Design LLC, dated February 28, 2022, Scale 1” = 20’, Sheet 00
- “Plan Showing Existing Site Conditions, Benoit & Elizabeth Allehaut, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated November 4, 2021, Revised January 11, 2022 and March 17, 2022, Scale As Noted, Sheet C1.2.1
- “Plan Showing Proposed Building and Site Modifications, Benoit & Elizabeth Allehaut, 40 South Pamet Road, Truro, MA” prepared by Coastal Engineering Co., dated March 18, 2022, Scale 1” = 30’, Sheet C2.1.3

Board Vote:

At the June 8, 2022 meeting, M. Althaus made a motion, seconded by M. Townsend, to approve the application for residential development site plan. Vote was 5-1-1 in favor.

In favor of the Motion: Anne Greenbaum, Chair; Richard Roberts, Vice Chair; Ellery Althaus; Bruce Boleyn

Opposed to the Motion: Jack Riemer, Clerk

Abstained from Vote: Paul Kiernan

TOWN OF TRURO

JUN 14 2022

RECEIVED
TOWN CLERK

The application of Benoit Allehaut and Elizabeth Allehaut for Residential Site Plan approval pursuant to §70.4 of the Truro Zoning Bylaw was granted by the Planning Board.

This decision is pursuant to the following facts and conditions:

Findings:

1. Benoit Allehaut and Elizabeth Allehaut have applied for Residential Site Plan Review pursuant to §70.4 of the Truro Zoning Bylaw. Residential Site Plan Review is required under § 70.4(A) regarding additions to existing structures in the Seashore District.
2. The lot is nonconforming as to area, 2.5 acres where 3 required, with conforming frontage (356.8 feet where 150 required). The lot is currently improved by a dwelling, part of which dates to 1840; additions are more recent. The current Gross Floor Area is 1754 square feet.
3. The dwelling, which conforms to setbacks, is sited near the Pamet River in the northeast section of the lot. A shed near the house is located within the side setback of the property line with the Cape Cod National Seashore.
4. A gravel driveway and brick walkway serve the dwelling. Various wetland resource areas and NHESP Priority Habitat are present on the property. Neighboring properties include single-family dwellings and National Seashore land.
5. The Applicants propose to remove certain additions from the dwelling, and to build a new addition, increasing the height of the structure from 20.6 to 24.6 feet in height, with a deck and patio on the north (Pamet River-facing) side.
6. The Applicants further propose to remove the existing shed; and to construct a new shed with attached carport, 19.6 feet in height (two stories), near an existing parking area in the southeast section of the property. The new Gross Floor Area will total 3,280 square feet (conforming).
7. The Applicants further propose to widen and resurface the existing gravel driveway ends at the parking area. Restoration of native vegetation is proposed.
8. Pursuant to §70.4(D) of the Bylaw, the Board finds:
 - a. Relation of Buildings and Structures to the Environment. The Board finds that the existing dwelling and proposed addition relate well to the terrain, where solar exposure are maximized along the southerly side.
 - b. Building Design and Landscaping. The Board finds that the proposed project is consistent with the prevailing character and scale of the buildings and structures in the neighborhood. The applicants are preserving the original historic structure and propose a complementary addition of modern design and similar scale, utilizing common siding materials to tie into the existing dwelling.
 - c. Preservation of Landscape. The Board finds that that the existing landscape is not in a natural state due to colonization by invasive plants. The applicants will deploy

TOWN OF TRURO

JUN 14 2022

RECEIVED
TOWN CLERK

an extensive mitigation and restoration plan to restore portions of the resource areas and buffer areas, as approved by the Conservation Commission.

- d. Circulation. No new curb cuts are proposed; the driveway will be widened. The Board finds that the curb cut and widened driveway will adequately and safely serve the dwelling and garage.
- e. Lighting. The Board finds that as herein conditioned, the lighting proposed for the structure will be consistent with General Bylaw Chapter IV, Section 6, and that adjacent properties and the night sky will be protected from intrusive lighting.

Conditions

1. The use of the Property shall be in strict conformance with the Town of Truro Bylaw.
2. The Applicant shall obtain a Special Permit from the Zoning Board of Appeals pursuant to G.L. c. 40A, s. 6 and Zoning Bylaw s. 30.7 for alteration, extension, and reconstruction of structures on a nonconforming lot. The Applicant shall comply with all conditions imposed in any such Special Permit.
3. The applicant must obtain a variance from the Zoning Board of Appeals with respect to the height of the structure.
4. The Applicant shall comply with all terms of the Decision of the Historical Commission imposing a demolition delay pursuant to General Bylaw Section 6-5-5.
5. The Applicant shall comply with all conditions imposed in the Order of Conditions issued by the Conservation Commission on April 25, 2022.
6. Construction, including any materials identified, shall conform to the plans referenced in this Decision.
7. The Applicant shall obtain any necessary NHESP permits and/or approvals.
8. Construction shall conform to all Board of Health permits and orders.
9. All lighting on the property shall conform to Truro General Bylaw Chapter IV Section 6, Outdoor Lighting.

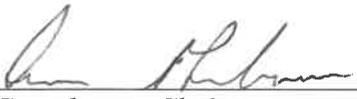
TOWN OF TRURO

JUN 14 2022

RECEIVED
TOWN CLERK

This Site Plan Approval for a Residential Site Plan shall expire two (2) years from the date of approval.

Pursuant to Zoning Bylaw Section 70.6, it is the responsibility of the applicant to obtain a true attested copy of this decision from the Town Clerk and to record this decision in the Barnstable Registry of Deeds or Land Court, as applicable. Prior to the issuance of building permit, the applicant shall present evidence of such recording to the Building Commissioner and the Planning Department.

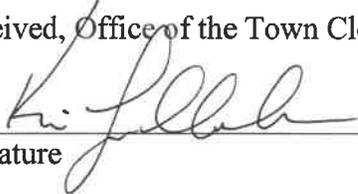


Anne Greenbaum, Chair

6/14/2022

Date

Received, Office of the Town Clerk:



Signature

6/14/2022

Date

I hereby certify that this decision was filed with the Office of the Town Clerk on _____ and 20 (twenty) days have elapsed since the date of filing, and:

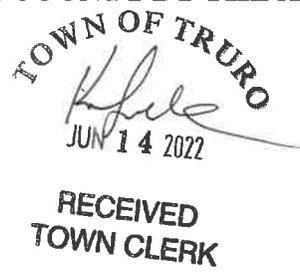
- No Appeal has been filed.
- An Appeal has been filed and received in this office on: _____

Signature

Date

NOTE: Any person aggrieved by a decision of the Planning Board may appeal to the Superior or Land Court by bringing action within twenty days after the decision has been filed with the Town Clerk of Truro. (Massachusetts General Laws, Chapter 40A, Section 17)

THE COPY OF THIS DECISION PROVIDED BY THE TOWN CLERK MUST BE FILED WITH THE REGISTER OF DEEDS OF BARNSTABLE COUNTY BY THE APPLICANT.


TOWN OF TRURO
JUN 14 2022
RECEIVED
TOWN CLERK

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

June 21, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
Truro, MA 02666

Via hand delivery

Re: 17 Coast Guard Road (34-3) / Outer Shore Nominee Trust
2022-006 / ZBA – Zoning Board of Appeals
Supplemental Materials Filing

Dear Ms. Fullerton:

Please find enclosed for filing with the above matter 10 copies of the following supplemental materials:

1. Description of revisions;
2. Field cards and photographs from locus of three neighborhood improved properties;
3. Revised floor plans and elevations dated 6/13/2022;
4. Revised proposed site plan dated 6/14/2022.

Thank you for your attention.

Very truly yours,



Benjamin E. Zehnder

Enc.

cc via email only w/ attachments:
client

Barbara Carboni, Truro Land Use Counsel / Town Planner

Elizabeth Sturdy, Truro Board Manager

Jim Cappuccino

Bryan Weiner

Brian Carlstrom, CCNS Superintendent

Lauren McKean, CCNS Planner

Supplemental Plan Revisions

17 Coast Guard Road
Assessor's Parcel ID 34-3
Outer Shore Nominee Trust

June 14, 2022

Prepared by Benjamin E. Zehnder, LLC

Applicant Outer Shore Nominee Trust has prepared and filed herewith a supplemental proposed site plan, floor plan, and elevation revising its earlier design for 17 Coast Guard Road in order to reduce the proposed Seashore District Total Gross Floor Area for the project, to address the Board's comments at hearing.

17 Coast Guard Road has 6.30 acres (274,603+/- s.f.) of lot area and has an allowable total gross floor area of 5,260 s.f. with a special permit under Bylaws § 30.3.1.A.2. The applicant's original proposal contained 3,262 s.f. of floor area on the first floor and 1,862 s.f. of floor area on the lower level.

The applicant has removed 256 s.f. from the first floor, reducing its area to 3,006 s.f., and removed 89 s.f. from the lower level, reducing its area to 1,773 s.f., or a total reduction of 345 s.f., bringing the proposed Seashore District Total Gross Floor Area to 4,779 s.f.

The applicant's revised proposal is consistent with the prevailing character and scale of buildings and structures in the surrounding neighborhood. For example, to the north, the privately owned property at 11 Coast Guard Terrace is improved with a 1,557 s.f. dwelling with bright white stepped roof decks on a 24,394 s.f. lot, in a prominent location with minimal tree cover, and can be easily seen from nearby public areas and beaches. Similarly, the 27,878 s.f. privately owned parcel of land at 15 Coast Guard Path is developed with a highly visible 5,019 s.f., two story dwelling. In addition, while a different type of structure, the United States' Highland Light complex to the south of locus at 10 Highland Light Road includes a two story, 8,051 s.f. net area museum building which is visible from the entire area. Unlike those properties, the applicant's proposed dwelling will not be easily seen from offsite, due to the high coastal bank, the extensive tree cover to the west, and the low proposed building profile. The applicant submits that the design, as revised, fully meets the §70.4.D review criteria and that the 17 Coast Guard Road property is the specific type of large, isolated lot appropriate for the Bylaw gross floor area special permit procedure.

The applicant has attached hereto Assessing field cards for the three above-referenced parcels, as well as photographs taken by the applicant from locus looking towards the principal structure on each parcel.

– END –

Key: 738

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 651

LEGALS

CURRENT OWNER				PARCEL ID				LOCATION			
ROBINSON INVESTMENT LLC 85 BARNES ROAD, #201 WALLINGFORD, CT 06492				34-1-0				11 COAST GUARD TERR			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				
ROBINSON INVESTMENT LLC				12/17/2015	QS	1,100,000	29343-107				
DERENZO JAY J				12/20/2013	I	510,000	27897-23				
EMBASSY REALTY LLC				01/04/2002	QS	483,000	14663-309				

CLASS	CLASS%	DESCRIPTION		BN ID	BN	CARD	
1010	100	SINGLE FAMILY			1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %
NP		4	REHAB		03/14/2019	JN	100 100
17-179	06/20/2017	9	DECK	10,000	12/21/2017	LG	100 100
16-166	08/04/2016	3	REPAIR/REMOD	15,000	01/30/2017	LG	100 100
14-039	03/25/2014	3	REPAIR/REMOD	75,000	11/25/2014	FC	100 100
02-061	03/27/2002	4	REHAB	100,000	03/22/2003	BT	100 100

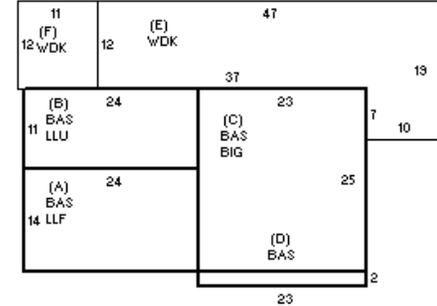
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.560	16	1.00	E50 0.50 1 1.00	1,012,125	1.25	1	1.00	SW1 7.50		709,620

TOTAL	24,394 SF	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	NOTE				LAND	709,600	709,600
Inf1	EROSION		BUILDING	500,800	451,600			
Inf2	NO ADJ		DETACHED	0	0			
			OTHER	0	0			
TOTAL			1,210,400	1,161,200				

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
BCH	SV	1.00	SV 1.00		1	0.00		01/31/2017



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	11/25/2014	FC
MODEL	1		RESIDENTIAL	LIST	11/25/2014	EST
STYLE	2	1.00	RAISED RANCH [100%]	REVIEW	12/15/2010	MR
QUALITY	G	1.30	GOOD [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS
WDK (1,581 SF) is 31 x 51 roof decking.

LOADING

YEAR BLT	1965	SIZE ADJ	1.020	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	556,445
NET AREA	1,557	DETAIL ADJ	1.000	FOUNDATION	4	BSMT WALL	1.00	A	LLF	L	LOWER LEVEL FIN	336	1965	178.87	60,101	CONDITION ELEM	CD
\$NLA(RCN)	\$357	OVERALL	1.040	EXT. COVER	1	WOOD SHINGLES	1.00	B	LLU	N	LOWER LEVEL UNF	264		133.75	35,309		
				ROOF SHAPE	4	FLAT/SHED	1.00	C	BIG	N	BUILT-IN GARAGE	575		63.59	36,564		
				ROOF COVER	7	ROLL	1.00	+	BAS	L	BAS AREA	1,221	1965	258.51	315,640		
				FLOOR COVER	1	HARDWOOD	1.00	+	WDK	N	ATT WOOD DECK	766		38.68	29,630		
				INT. FINISH	2	DRYWALL	1.00	WDK	N	N	ATT WOOD DECK	1,581		38.68	61,156		
				HEATING/COOLING	8	HEAT PUMP	1.04	HTB	O	O	HOT TUB	1		10,344.20	10,344		
				FUEL SOURCE	2	GAS	1.00										
CAPACITY		UNITS	ADJ														
STORIES(FAR)		1	1.00														
ROOMS		0	1.00														
BEDROOMS		3	1.00														
BATHROOMS		3	1.00														
FIXTURES		11	\$7,700														
UNITS		1	1.00														
																EFF.YR/AGE	2010 / 10
																COND	10 10 %
																FUNC	0
																ECON	0
																DEPR	10 % GD 90
																RCNLD	\$500,800



11 Coast Guard Terrace

Key: 704

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 629

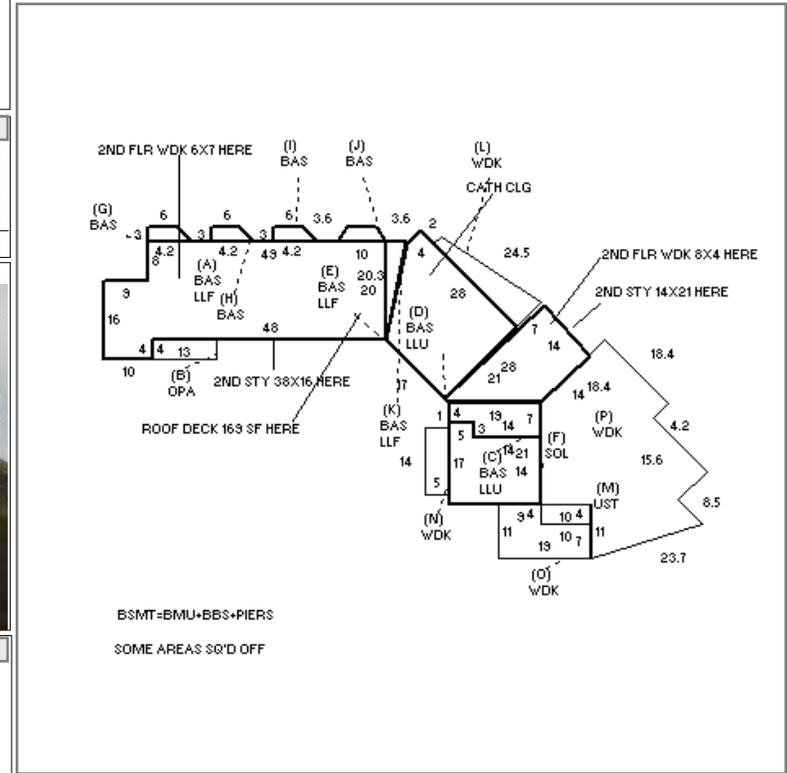
LEG
AL
LAND

CURRENT OWNER				PARCEL ID				LOCATION				
15 COAST GUARD PATH NOM TRUST				33-4-0				15 COAST GUARD PATH				
TRS: PATTEN EDWARD T				TRANSFER HISTORY				DOS T SALE PRICE BK-PG (Cert)				
29 MERRILL RD				15 COAST GUARD PATH NOM T				05/11/2009 99				
NEWTON, MA 02459-1320				15 COAST GUARD PATH NOM T				05/11/2009 99				
				15 COAST GUARD PATH NOM T				11/30/2000 QS 1,945,000 13397-001				
CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.640 16	1.00	1	1.00	1,889,300	1.14	1	1.00	SV6	7.00	1,380,130

CLASS	CLASS%	DESCRIPTION		BN ID	BN	CARD	
1010	100	SINGLE FAMILY			1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %
20-273X	09/28/2020	4	REHAB	75,000	01/04/2021	LG	100 100
02-189	09/24/2002	1	SINGLE FAM R	720,000	03/29/2004	BT	100 100
02-161	08/01/2002	10	ALL OTHERS	20,000	03/15/2003	BT	100 100
01-076	05/02/2001	90	BP NVC	8,600	01/01/2002		100 100
89-018		2	ADDITION	20,000	12/31/1989	SW	100 100

TOTAL	27,878 SF	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	NOTE PANORAMIC VIEW+PROXIMATE TO OCEAN BUT NOT WF.	LAND		1,380,100	1,380,100	1,380,100	
Inf1	NO ADJ		BUILDING		1,902,000	1,902,500	1,902,500	
Inf2	NO ADJ		DETACHED		1,200	1,200	1,200	
		OTHER		0	0	0		
		TOTAL		3,283,300	3,283,800	3,283,800		

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
SHF	A	1.00 G	0.90 13*7		91	14.91	1,200



BUILDING	CD	ADJ	DESC	MEASURE	5/17/2013	FC
MODEL	1		RESIDENTIAL	LIST	5/17/2013	FC
STYLE	16	1.30	NEW STYLE [100%]	REVIEW	4/5/2021	MR
QUALITY	E	2.00	EXCELLENT [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS
Access is via vehicle entrance to bike trail - driveway is right fork. BBS=2 OPEN RMS (FIN'D+HEATED)+FULL BATH. SOL HAS WD FLR+WALLS + CLG+FP (NO HEAT).

DETACHED

BUILDING

YEAR BLT	2003	SIZE ADJ	0.950	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	2,186,245	
NET AREA	5,019	DETAIL ADJ	1.000	FOUNDATION	4	BSMT WALL	1.00	+	LLF	L	LOWER LEVEL FIN	1,168	2003	301.19	351,789	CONDITION ELEM	CD	
\$NLA(RCN)	\$436	OVERALL	1.340	EXT. COVER	1	WOOD SHINGLES	1.00	+	OPA	N	OPEN PORCH	52		160.84	8,364			
				ROOF SHAPE	7	OTHER	1.00	+	LLU	N	LOWER LEVEL UNF	419		246.92	103,459			
				ROOF COVER	2	WOOD SHINGLES	1.01	E	LLF	L	LOWER LEVEL FIN	494	2003	301.19	148,786			
				FLOOR COVER	1	HARDWOOD	1.00	F	SOL	L	SOLARIUM	281	2003	281.34	79,056			
				INT. FINISH	1	PLASTER	1.00	+	BAS	L	BAS AREA	2,174	2003	453.64	986,206			
				HEATING/COOLING	9	WARM/COOL AIR	1.03	+	WDK	N	ATT WOOD DECK	1,278		71.42	91,269			
				FUEL SOURCE	2	GAS	1.00	M	UST	N	UTILITY STORAGE	40		172.11	6,884			
																	EFF.YR/AGE	2007 / 13
																	COND	13 13 %
																	FUNC	0
																	ECON	0
																	DEPR	13 % GD 87
																	RCNLD	\$1,902,000



15 Coast Guard Path

Key: 1128

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 1.104

LEGALS

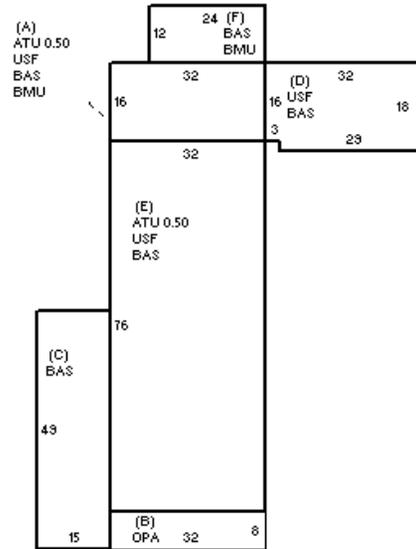
CURRENT OWNER				PARCEL ID				LOCATION			
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667				37-22-0				10 HIGHLAND LIGHT RD			
TRANSFER HISTORY				DOS	T	SALE PRICE		BK-PG (Cert)			
U S A				03/08/1996	99			10092-323			

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
9000	100	U S GOV				1	1 of 3	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
02-221	10/29/2002	90	BP NVC		10/14/2003	LVM	100	100
02-008	01/18/2002	9	DECK	7,200	10/14/2003	LVM	100	100
91-137	12/13/1991	3	REPAIR/REMOD	5,845	07/06/1993		100	100
91-113	10/11/1991	9	DECK	4,000	07/06/1993		100	100
91-102	09/25/1991	3	REPAIR/REMOD	13,800	07/06/1993		100	100

LAND

CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE
103	S	33,977	NSP	1.00	1	340,000	1.00	1	1.00	C02	1.00	265,200
203	A	0.770	NSP	1.00	1	67,800	1.00	1	1.00	C02	1.00	52,210
303	A	30.450	NSP	1.00	1	23,200	1.00	1	1.00	C02	1.00	706,440

TOTAL	32.000 Acres	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS	
Nbhd	NAT'L SEASHORE	N	ACRG EST. HIGHLAND LINKS & MUSEUM on this parcel. 1996 = RE- LOCATED LIGHTHOUSE FROM				LAND	1,023,900	1,002,400
Infl1	NO ADJ	O	M37-P7. FY05=CHG PCL"X"TO"22".				BUILDING	762,600	769,300
Infl2	NO ADJ	T					DETACHED	5,700	5,700
		E					OTHER	508,700	513,100
							TOTAL	2,300,900	2,290,500



DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	DATE
APV	A	1.00	A 0.75 36X300		10,800	0.70	5,700		05/23/2019

BUILDING	CD	ADJ	DESC	MEASURE	3/16/2016	RJM
MODEL	5		CIM	LIST	2/27/2014	BE
STYLE	31	1.95	STORE(SM. RET) [100%]	REVIEW	3/17/2016	RJM
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BUILDING

YEAR BLT	1905	SIZE ADJ	0.805	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	1,105,220
NET AREA	8,051	DETAIL ADJ	1.824	FOUNDATION	3	CONTIN WALL	1.00	+	BMU	N	BSMT UNF	800		45.08	36,062	CONDITION ELEM	CD
\$NLA(RCN)	\$137	OVERALL	1.000	EXTERIOR WALL	1	WOOD SHINGLES	1.00	+	USF	L	UP-STRY FIN	3,514	1905	127.60	448,376		
CAPACITY				ROOF STRUCTURE	1	GABLE	1.00	+	ATU	N	ATTIC UNFIN	1,472		22.32	32,853		
STORIES	2	ADJ	1.00	ROOF COVER	2	WOOD SHINGLE	1.02	B	OPA	N	OPEN PORCH	256		35.24	9,021		
% HEATED	5		1.00	FLOORING	2	SOFTWOOD	0.95	+	BAS	L	BASE AREA	4,249	1905	127.60	542,160		
% A/C	0		1.00	INT FINISH	1	PLASTER	1.04	F	BAS	L	BASE AREA	288	2019	127.60	36,748		
% SPRINKLERS	0		1.00	H.V.A.C.	5	ELECTRIC	0.98										
				FUEL SOURCE	3	ELECTRIC	1.00										
				COMPLEX	0		1.00										

EFF.YR/AGE	2000 / 20
COND	31 31 %
FUNC	0
ECON	0
DEPR	31 % GD 69
RCNLD	\$762,600

Key: 1128

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 1.105

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667				37-22-0				10 HIGHLAND LIGHT RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
9000	100	U S GOV				2	2 of 3	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%

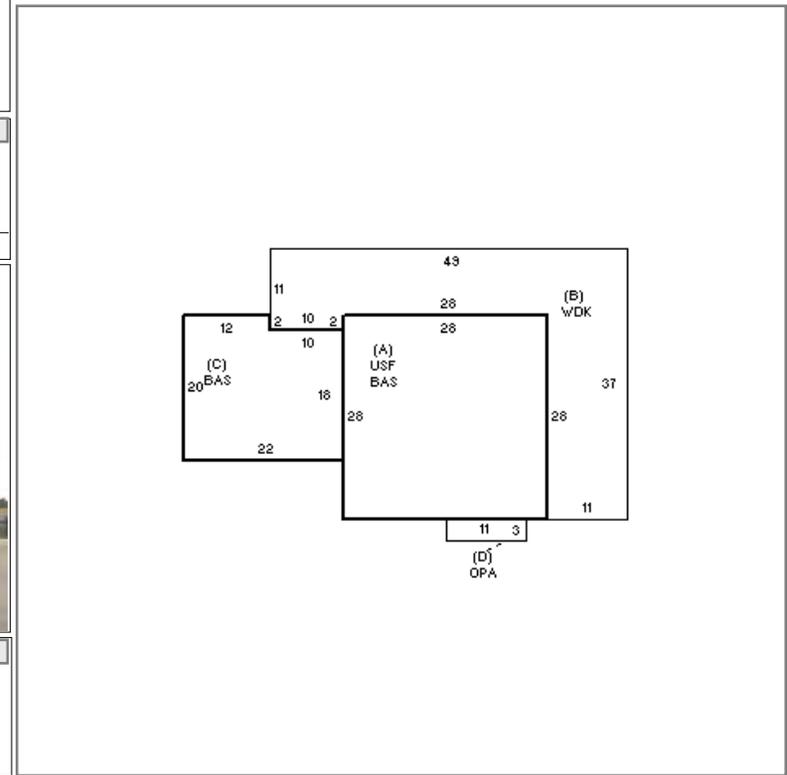
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	262,000	
Inf1		BUILDING			
Inf2		DETACHED			
			OTHER		
			TOTAL		

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
								03/16/2016

BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	3/16/2016	RJM	BLDG COMMENTS
MODEL	5		CIM	LIST	3/16/2016	EST	GOLF CLUB HOUSE
STYLE	71	1.76	CLUB/LODGE/HALL [100%]	REVIEW	3/17/2016	RJM	
QUALITY	G	1.20	GOOD [100%]				
FRAME	1	1.00	WOOD FRAME [100%]				

YEAR BLT	0	SIZE ADJ	1.000	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	379,642		
NET AREA	1,988	DETAIL ADJ	1.655	FOUNDATION	2	SLAB	1.00	+	BAS	L	BASE AREA	1,204	0	172.58	207,790	CONDITION ELEM	CD		
\$NLA(RCN)	\$191	OVERALL	1.000	EXTERIOR WALL	1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	784	0	172.58	135,305				
				ROOF STRUCTURE	2	HIP	1.00	B	WDK	N	WOOD DECK	769		45.48	34,974				
				ROOF COVER	1	ASPH/COMP SHIN	1.00	D	OPA	N	OPEN PORCH	33		47.67	1,573				
				FLOORING	2	SOFTWOOD	0.95												
				INT FINISH	2	DRYWALL	1.02												
				H.V.A.C.	2	HOT WATER	1.02												
				FUEL SOURCE	1	OIL	1.00												
				COMPLEX	0		1.00												
																		EFF.YR/AGE	2000 / 20
																		COND	31 31 %
																		FUNC	0
																		ECON	0
																		DEPR	31 % GD 69
																		RCNLD	\$262,000

Key: 1128

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 1.106

LEGALLAND

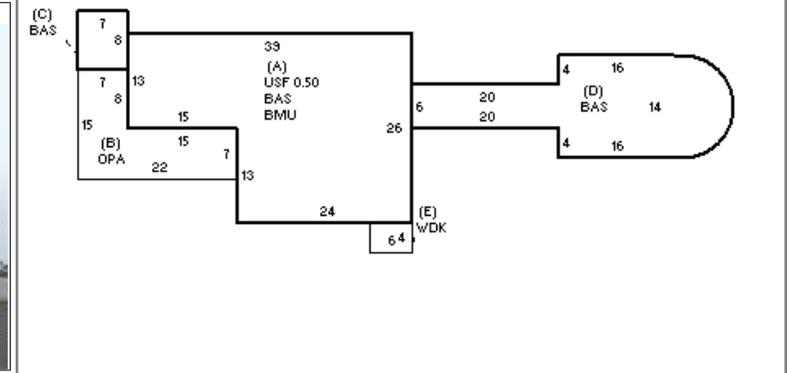
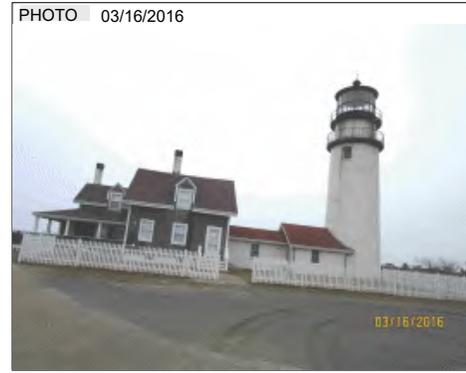
CURRENT OWNER		PARCEL ID		LOCATION	
U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667		37-22-0		10 HIGHLAND LIGHT RD	
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD
9000	100	U S GOV				3	3 of 3
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
----	---	----------	------	------	------	----------	-----	------	-----	----	------------	-----------

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	246,700	
Inf1		BUILDING			
Inf2		DETACHED			
TOTAL			OTHER		

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
----	------	------	----------	----	-------	-----------	-------



BUILDING	CD	ADJ	DESC	MEASURE	3/16/2016	RJM
MODEL	5		CIM	LIST	3/16/2016	EST
STYLE	31	1.95	STORE(SM. RET) [100%]	REVIEW	3/17/2016	RJM
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS
LIGHTHOUSE (CAPE COD LIGHT) WITH GIFT SHOP

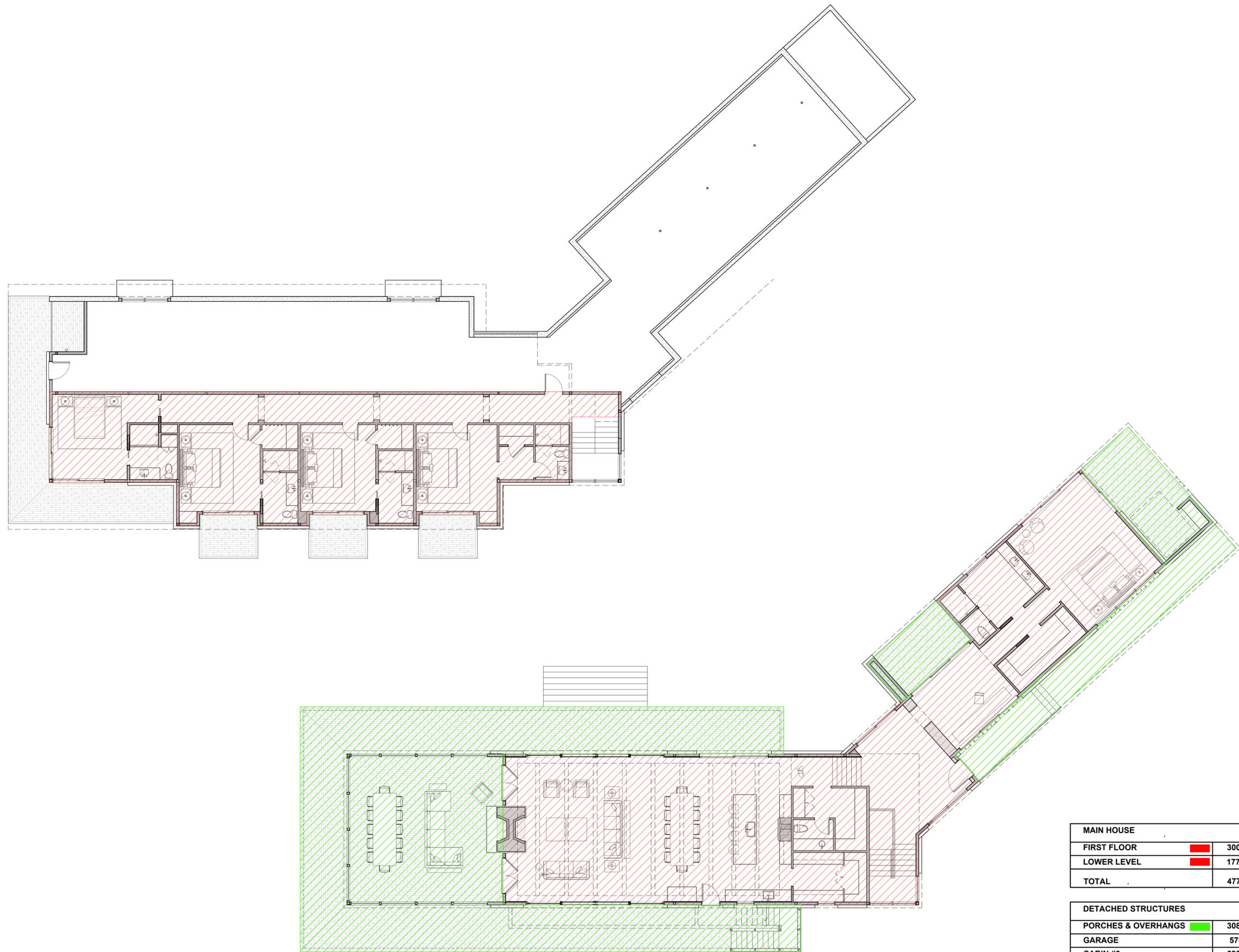
DETACHED

BUILDING

YEAR BLT	0	SIZE ADJ	1.035	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	357,522
NET AREA	1,721	DETAIL ADJ	1.916	FOUNDATION	4	BSMT WALL	1.00	A	BMU	N	BSMT UNF	819		60.88	49,861	CONDITION ELEM	CD
\$NLA(RCN)	\$208	OVERALL	1.000	EXTERIOR WALL	1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	410	0	172.33	70,654		
CAPACITY				ROOF STRUCTURE	1	GABLE	1.00	B	OPA	N	OPEN PORCH	210		47.60	9,995		
STORIES		UNITS	1.75	ROOF COVER	1	ASPH/COMP SHIN	1.00	+	BAS	L	BASE AREA	1,311	0	172.33	225,922		
% HEATED	100	ADJ	1.00	FLOORING	2	SOFTWOOD	0.95	E	WDK	N	WOOD DECK	24		45.42	1,090		
% A/C	100		1.00	FLOORING	1	PLASTER	1.04										
% SPRINKLERS	0		1.00	INT FINISH	11	HOT WT/COOL AIR	1.05										
				H.V.A.C.	1	OIL	1.00										
				FUEL SOURCE	0	COMPLEX	1.00										
				COMPLEX													
																EFF.YR/AGE	2000 / 20
																COND	31 31 %
																FUNC	0
																ECON	0
																DEPR	31 % GD 69
																RCNLD	\$246,700



10 Highland Light Road



MAIN HOUSE		
FIRST FLOOR		3006
LOWER LEVEL		1773
TOTAL		4779

DETACHED STRUCTURES		
PORCHES & OVERHANGS		3082
GARAGE		576
CABIN #6		630

2022.01.05	PROGRESS FLOOR PLAN
2022.02.02	PROGRESS FLOOR PLAN
2022.02.03	ZONING REVIEW
2022.03.17	PLANNING BOARD
2022.03.30	STRUCTURAL REVIEW
2022.05.06	PROGRESS
2022.05.10	PLANNING/ZONING
2022.06.03	PROGRESS
2022.06.13	PLANNING BOARD REVISION

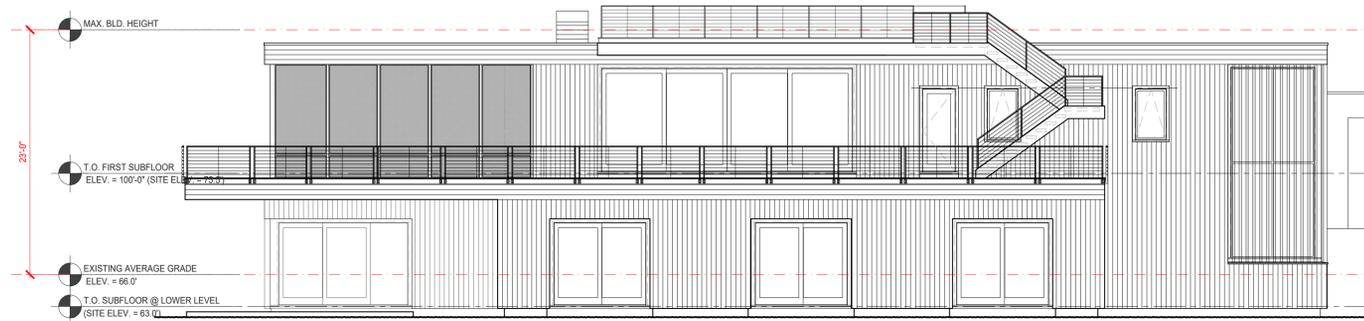
HUTKER
ARCHITECTS

NOT FOR
CONSTRUCTION

OUTER SHORE
NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

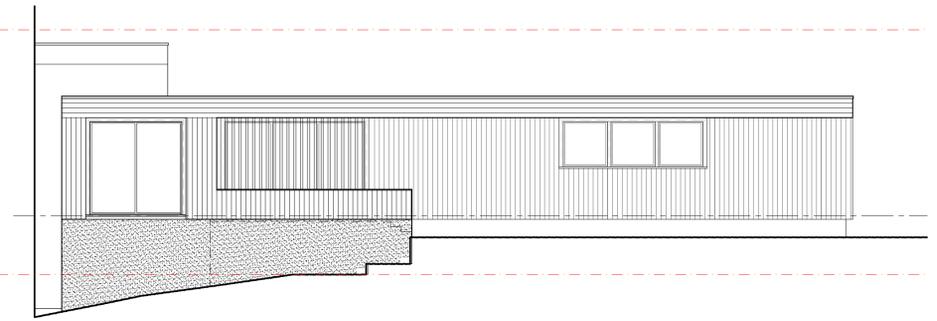
ZONING

A001



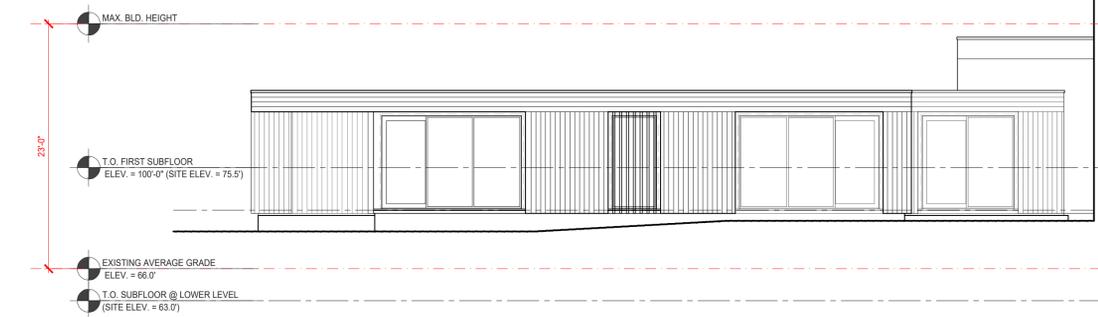
1 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



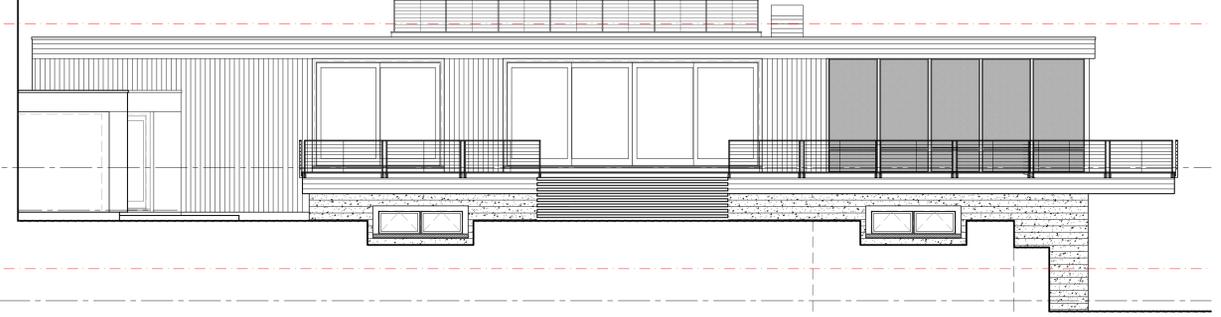
2 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



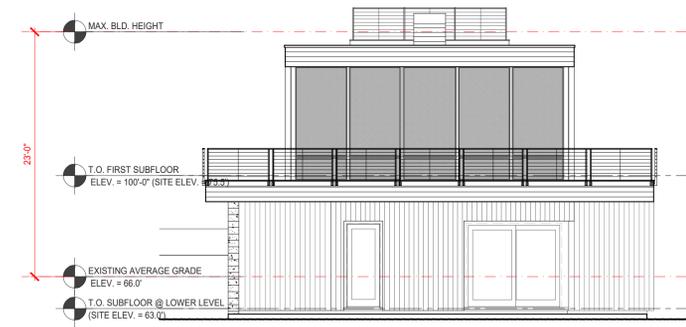
3 PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



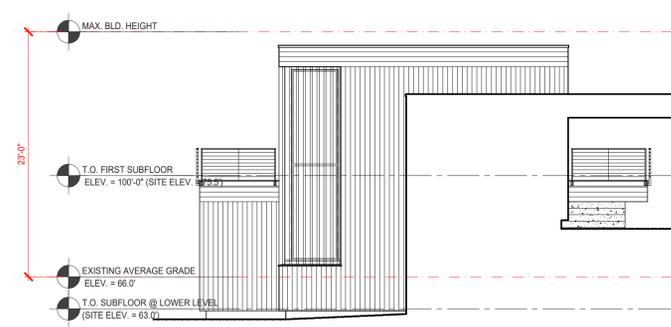
4 PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



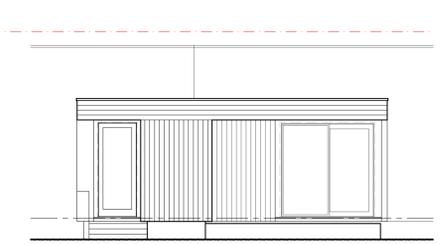
5 WEST ELEVATION

SCALE: 1/8" = 1'-0"



6 PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"



7 PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"

2022.01.05	PROGRESS FLOOR PLAN
2022.02.02	PROGRESS FLOOR PLAN
2022.02.03	ZONING REVIEW
2022.03.17	PLANNING BOARD
2022.03.30	STRUCTURAL REVIEW
2022.05.06	PROGRESS
2022.05.10	PLANNING/ZONING
2022.06.03	PROGRESS
2022.06.13	PLANNING BOARD REVISION

HUTKER
ARCHITECTS

NOT FOR
CONSTRUCTION

OUTER SHORE
NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

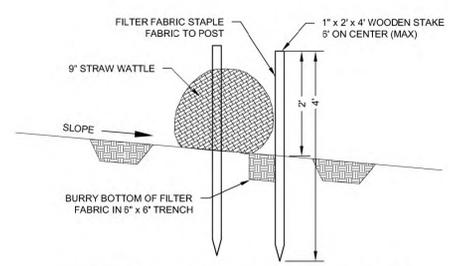
BUILDING
ELEVATIONS

A201

ZONING TABLE

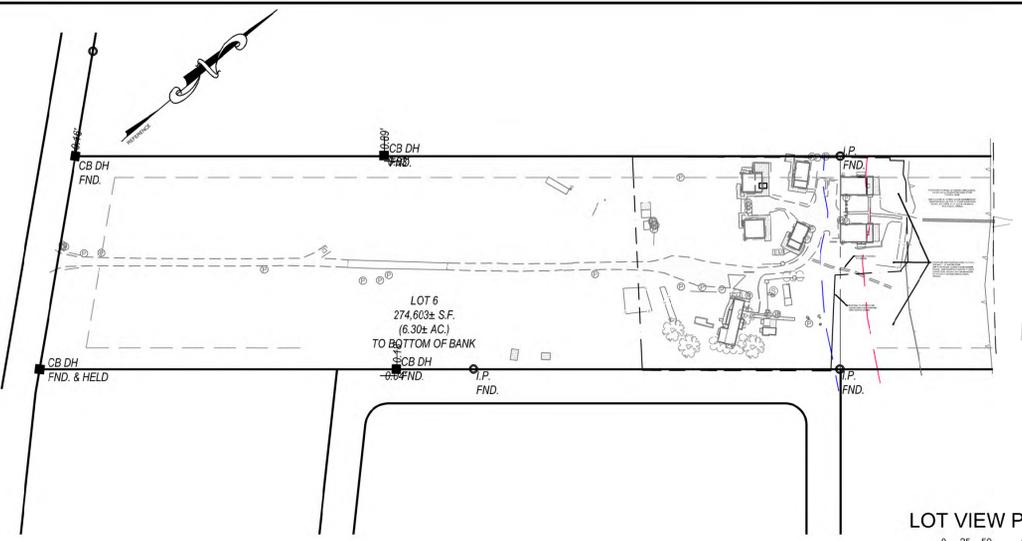
ZONING DISTRICT: NSD-SEASHORE		ASSESSORS MAP 34 PARCEL 3	
SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA ¹	3 ACRES	274,603± S.F. ⁵ (6.30± ACRES)	NO CHANGE
FRONTAGE - COAST GUARDS ROAD	150 FT.	253.51 FT.	NO CHANGE
SETBACK - COAST GUARDS ROAD ²	50 FT.	555.6± FT. (CAMPER)	715.2± FT. (GARAGE)
SETBACK - KIMBERLY LANE ²	50 FT.	27.8± FT. (MOBILE HOME)	59.1± FT. (DWELLING)
SIDE SETBACK - NORTH ²	25 FT.	6.1± FT. (COTTAGE #2)	24.4± FT. ⁶ (COTTAGE #6)
SIDE SETBACK - SOUTH ²	25 FT.	27.8± FT. (MOBILE HOME)	59.1± FT. (DWELLING)
BUILDING COVERAGE ³	-	6,204± S.F.	5,792± S.F.
GROSS FLOOR AREA ⁴	5,260 S.F. ⁷	N/A	4,779 S.F. ^{7,9}
BUILDING HEIGHT ⁴	2 STY. OR 23 FT. MAX.	N/A	22.6± FT.

- PER TRURO ZONING BYLAW SECTION 50.1.A NOTE 8
- PER TRURO ZONING BYLAW SECTION 50.1.A
- BUILDING COVERAGE INCLUDES MOBILE HOME AND CAMPER
- PER TRURO ZONING BYLAW SECTION 50.1.A NOTE 5a. EXISTING AVERAGE GRADE ELEVATION = 66.0
- REFER TO COASTAL ENGINEERING "PLAN SHOWING EXISTING SITE CONDITIONS" PLS STAMPED 05-20-2021
- PER TRURO ZONING BYLAW SECTION 30.3.1.A.2
- 5,260 S.F. ALLOWED WITH A SPECIAL PERMIT
- EXISTING NON-CONFORMING SIDE SETBACK AT COTTAGE #6
- 4,779 S.F. IS DWELLING

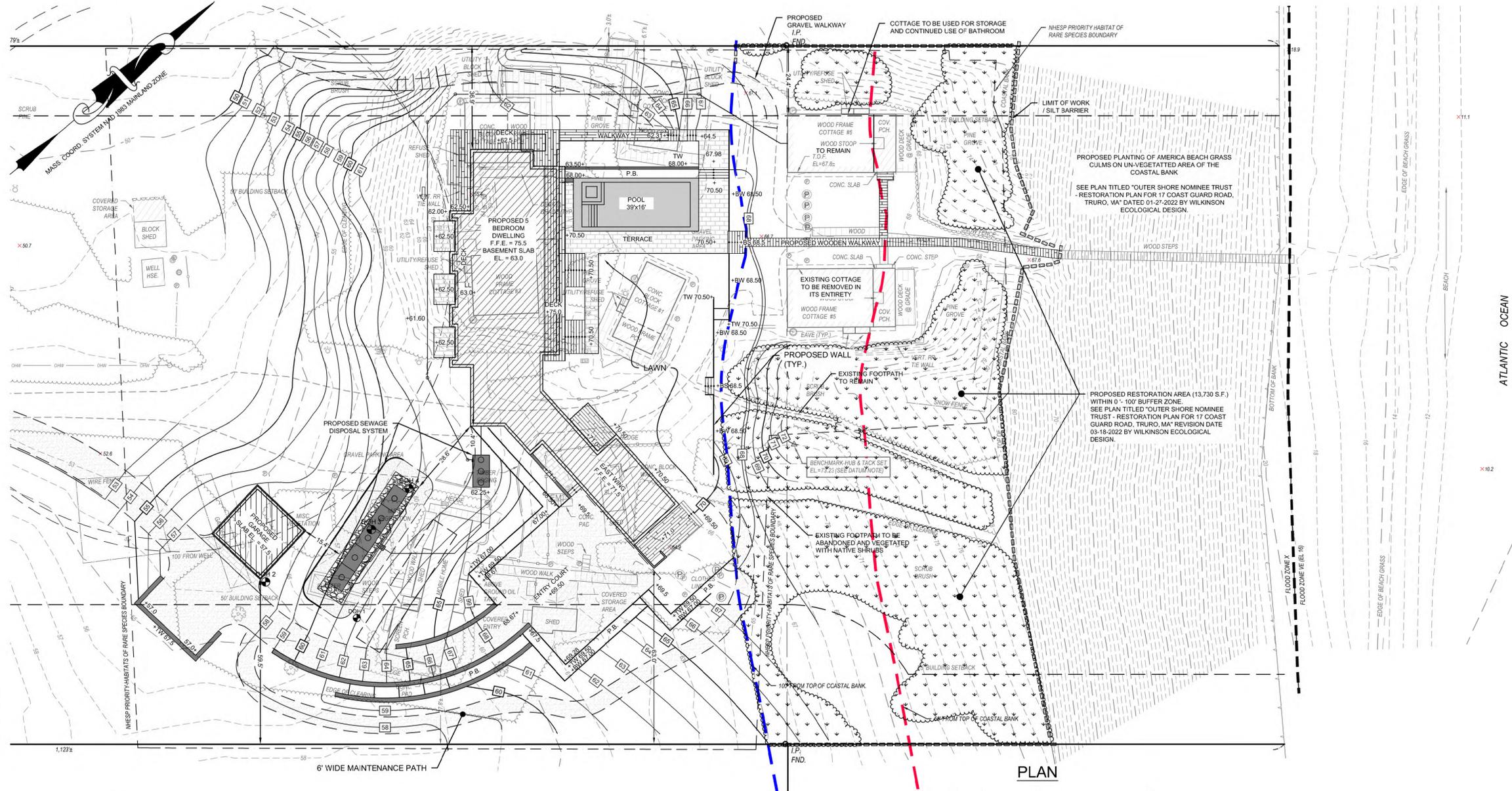


WATTLE SILT BARRIER DETAIL
NOT TO SCALE

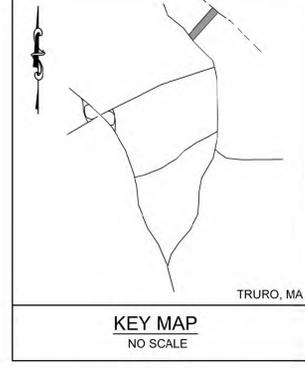
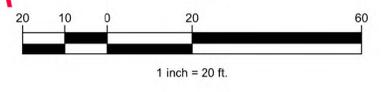
- EROSION & SEDIMENTATION CONTROL NOTES:**
- THE SEDIMENT CONTROL BARRIER SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL STABILIZATION AND RE-VEGETATION OF DISTURBED AREAS.
 - DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND SHALL PROTECT THE CONSTRUCTION SITE FROM EROSION UNTIL COMPLETION OF SITE WORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
 - THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITER OR DEBRIS.
 - MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM PROJECT SITE.



LOT VIEW PLAN
0 25 50 100
1" = 100'



PLAN



REFERENCE:
ASSESSORS MAP 34, PARCEL 3
PLAN BOOK 103, PAGE 99
PLAN BOOK 143, PAGE 51

FLOOD ZONE:
FLOOD ZONE VE (EL 16) AND ZONE X SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #25001C0137J EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS AND/OR FEMA PRIOR TO SITING ANY PROPOSED STRUCTURES.

DATUM:
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

COTTAGE #6 UTILITY NOTE:

- EXISTING WATER SERVICE TO REMAIN.
- EXISTING ELECTRIC SERVICE TO REMAIN.
- EXISTING CESSPOOL SHALL BE ABANDONED IN ACCORDANCE WITH TITLE 5 AND BOTH REQUIREMENTS. PLUMBING CONNECTED TO THE EXISTING CESSPOOL SHALL BE CONNECTED TO A NEW SEPTIC SYSTEM USING 4" SCH 40 PIPING. THE 4" SCH 40 PIPING SHALL BE FIELD-LOCATED AT THE WEST SIDE OF COTTAGE#6 WITHIN A 1-FOOT WIDE TRENCH.

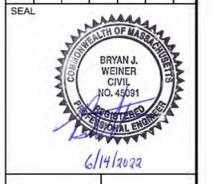
LEGEND

- BOUND
- IRON PIPE
- ⊙ SEPTIC MANHOLE
- ⊗ WATER GATE
- ⊕ IRRIGATION
- ⊖ UTILITY POLE
- GUY WIRE
- ⊖ ELECTRIC METER
- ⊖ PROPANE TANK
- ⊖ POST
- ⊖ MISC. SIGN
- WIRE/SNOW FENCE
- SPLIT RAIL FENCE
- STOCKADE FENCE
- UNDERGROUND ELECTRIC SERVICE
- ELECTRIC SERVICE
- CONTOUR
- ⊙ SPOT ELEV.
- ⊙ CONIFER TREE
- ⊙ DECIDUOUS TREE

PERMIT PLAN
NOT FOR CONSTRUCTION



NO.	DATE	REVISION
1	6/14/22	Revised house



OUTER SHORE NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

PLAN SHOWING PROPOSED DWELLING AND SITE IMPROVEMENTS

PROJECT: 17 COAST GUARD ROAD TRURO, MA
SHEET TITLE: PLAN SHOWING PROPOSED DWELLING AND SITE IMPROVEMENTS
SCALE: 1" = 20'
DRAWING FILE: C19600-CIV
DATE: 06-14-2022
DRAWN BY: DAV/WGM
CHECKED BY: BJW

C2.1.2
1 OF 1 SHEETS
PROJECT NO. C19600.00

F:\SDSKPRC\C19600\C19600-CIV\19600-CIV.dwg 6/14/2022 1:24 PM

KIMBERLY LANE (PAPER ROAD)
PLAN BOOK 143 PAGE 51

Coastal Engineering Co., Inc. © 2022

Sunday, May 22, 2022

To Barbara Carboni,

As a frequent visitor to Fisher Beach and I walk past the recent development at 49 Fisher Road.

I understand that aesthetics aren't a part of the Zoning Board's concerns but the change from a modest cottage to an awkward, bulky residence hovering over the public entrance to a quiet and small public beach is very noticeable.

The information that I have read is that the owners are seeking a special permit as well as a variance for the demolition and reconstruction of a dwelling which would have inadequate setbacks.

My question: is there a way the owners could abide by the Zoning bylaws re setbacks without needing a special permit or a variance? Is it really a question for the ZBA to weigh whether this is a question of being in harmony with the public good?

Thank you,

Lucy Clark
7 Benson Road, Truro



Elizabeth Sturdy

From: jack riemer <jackriemer@hotmail.com>
Sent: Tuesday, June 21, 2022 6:09 PM
To: Elizabeth Sturdy
Subject: Fw: 2022-008 / ZBA (SP/VAR)-Douglas Ambrose

From: jack riemer <jackriemer@hotmail.com>
Sent: Monday, June 20, 2022 10:40 PM
To: Barbara Carboni <bcarboni@truro-ma.gov>
Subject: 2022-008 / ZBA (SP/VAR)-Douglas Ambrose

Hi Barbara,
Please accept for the record my following comments.

I have reviewed the Truro ZBA Agenda packet which contains 2022-008 / ZBA (SP/VAR) - Douglas Ambrose . The preexisting dwelling was removed and new dwelling constructed prior to the application process , leaving the Board little if any basis upon which to compare the structures and make necessary findings. Please allow for the record the Town of Truro Assessors Card Documents & Links which list the five photos of the preexisting dwelling . (to be hand delivered separately). The foot print of the replacement dwelling does not appear to be the same , the preexisting did not violate setback . The preexisting dwelling was not elevated. The height of the preexisting flat roof dwelling may be estimated to be well below the 23' maximum allowable height. The current height of the replacement dwelling appears to exceed the limit for a flat roof . The replacement roof shape is identified in the Town of Truro Fiscal Year 2022 Assessors card as "Flat/Shed". The highest point of the replacement dwelling roof appears to be within inches of 30' which is the limit for a gable /hip roof and looks nothing like other gable roof dwellings in the neighborhood. The square footage of the new dwelling is not provided , nor the square footage of the prior dwelling , the replacement dwelling appears to be much larger. The Agenda Packet contains a letter from a nearby homeowner dated May 15, 2022 , which states in part , " My objection is that this structure is a large , ugly box built high in the air . The intent seems to maximize cubic feet located as high and close to the shore as possible." Please review the whole content of this letter before granting a Special Permit / Variance. In addition , it has been determined that the replacement dwelling had been constructed within the side line setback to lot adjacent to the east (to 18.1 feet of lot line) , requiring a variance. Please consider in your packet the Quitclaim Deed Marcia S Ambrose / Douglas W Ambrose page 2 of the Deed states: The premises are conveyed subject to and with the benefit of the following rights and easements of various owners of the various lots shown on said plan:

C. The right of the Owners of the various Lots to use the existing private way for the purpose of ingress and egress to the various Lots."

Where is that Private Way defined on any plan and what is the correct set back from it? Will all Lot owners have adequate access and parking?

Finally, as stated in the letter of May 15 , 2022 " Truro's beaches are a treasure where all should be able to enjoy and rejuvenate in a beautiful setting protected from the crass ugliness of the material world.

Unfortunately, now all visitors must access Fisher Beach by walking underneath the prominent, glaring gaze of

this private structure. While on the public beach, they forego their privacy to any privileged inhabitants peering down upon them from their lofty deck and windows. I thought a role of the zoning board is to protect the interests of the public. I hope it is not too late. "

I thank the Board in advance for their thought full consideration of both the Private and Public interest in the matter before them.

John Riemer
7 Fisher Road
Truro , MA

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This communication may contain privileged or other confidential information. If you are not the intended recipient, or believe that you have received this communication in error, please do not print, copy, retransmit, disseminate, or otherwise use the information. Also, please indicate that to the sender and delete the copy you received. When writing or responding, please remember that the Secretary of State's Office has determined that email is a public record. Please take notice: All e-mail communications sent or received by persons using the Town of Truro network may be subject to disclosure under the Massachusetts Public Records Law (M.G.L. Chapter 66, Section 10) and the Federal Freedom of Information Act



E

Truro MA
Assessor Card
Documents + Links
Building Photo
49 Fisher Road
053-024-000



E



N



N



S

Benjamin E. Zehnder LLC

62 Route 6A, Unit B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

April 29, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
P.O. Box 2012
Truro, MA 02666

Via hand delivery

Re: New ZBA application / appeal from building permit revocation
127 South Pamet Road (48-12)

Dear Ms. Fullerton:

Please find enclosed for filing with the Zoning Board of Appeals one original and nine copies of an appeal from a building permit revocation by the Building Commissioner for the property at 127 South Pamet Road issued on April 5, 2022. I have also enclosed payment in the amount of \$50.00 for the filing fee.

Thank you as always for your assistance. I remain –

Very truly yours,



Benjamin E. Zehnder

Enc.
cc via email:
client
Barbara Carboni
Brian Carlstrom
Lauren McKean
John Schnaible
Elizabeth Sturdy



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date April, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.

Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* April 5, 2022 which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* _____

Property Address 127 South Pamet Road & 133 South Pamet Road Map(s) and Parcel(s) 48-12 & 48-8

Registry of Deeds title reference: Book 33550, Page 123, or Certificate of Title Number 228604 and Land Ct. Lot # 1C / 1D and Plan # 16182-E / 16182-F

Applicant's Name Thomas P. Dennis, Jr. and Kathleen C. Dennis, individually & as Trustees

Applicant's Legal Mailing Address 30 Colony Road Springfield, MA 01106

Applicant's Phone(s), Fax and Email (413) 246-1096; dennis@dennisgrp.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

Owner Prospective Buyer* Other*

Owner's Name and Address _____

Representative's Name and Address Benjamin E. Zehnder 62 Route 6A, Unit B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzezhnder@zehnderllc.com

2. The completed application **shall also** be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

• The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

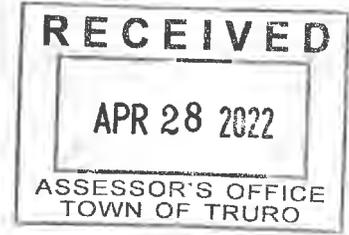
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form



DATE: April 28, 2022

NAME OF APPLICANT: Thomas P. Dennis, Jr. and Kathleen C. Dennis

NAME OF AGENT (if any): Benjamin E. Zehnder

MAILING ADDRESS: 62 Route 6A, Suite B, Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-7766 **EMAIL** bzehnder@zehnderllc.com

PROPERTY LOCATION: 127 South Pamet Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 48 **PARCEL** 12 **EXT.** _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |

XX Other Appeal from Building Permit revocation by Building Commissioner (Fee: Inquire with Assessors)
(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 4/28/2022 Date completed: 4/28/2022
List completed by: [Signature] Date paid: 4/28/2022 Cash/Check: 131

¹ Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.
² Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.
³ Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.
⁴ All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.
⁵ Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: April 28, 2022

To: Benjamin E. Zehnder, Agent for Thomas P. Dennis, Jr. & Kathleen C. Dennis

From: Assessors Department

Certified Abutters List: 127 South Pamet Road (Map 48, Parcel 12)

Appeal of Building Permit Revocation-BP#22-105

Attached is a combined list of abutters for the property located at 127 South Pamet Road.

The current owners are Thomas P. Dennis, Jr. & Kathleen C. Dennis.

The names and addresses of the abutters are as of April 22, 2022 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

Olga Farrell
Assessing Clerk

127 South Pamet Road

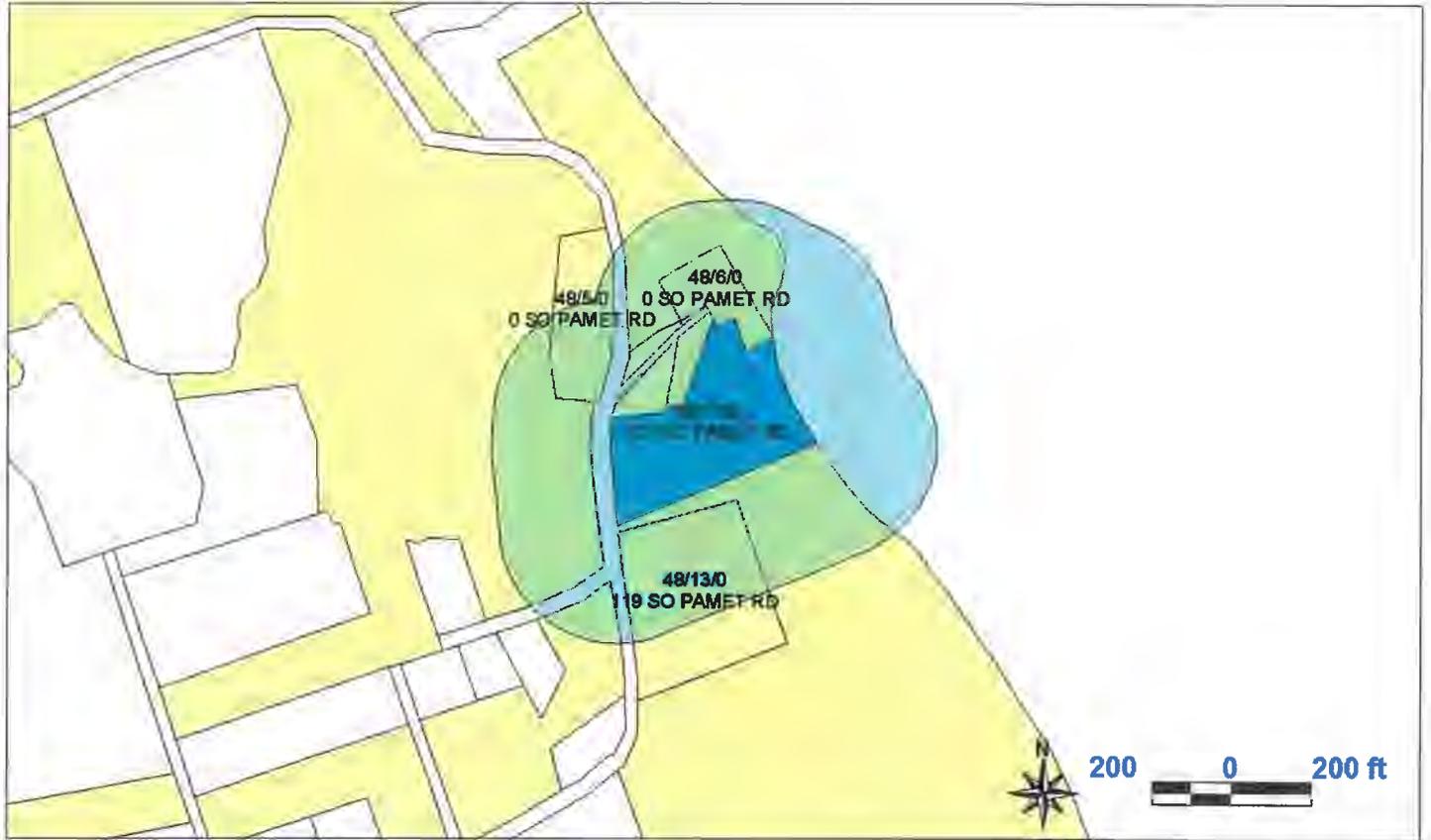
Map 48, Parcel 12

Appeal of Building Permit Revocation

BP #22-105

TOWN OF TRURO, MA
BOARD OF ASSESSORS
P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 48/12/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip Cd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
2742	48-5-0-E	TOWN OF TRURO	0 SO PAMET RD	PO BOX 2030	TRURO	MA	02666-2030
2743	48-6-0-E	TOWN OF TRURO	0 SO PAMET RD	PO BOX 2030	TRURO	MA	02666-2030
2744	48-7-0-E	TOWN OF TRURO	135 SO PAMET RD	PO BOX 2012	TRURO	MA	02666
2745	48-8-0-R	THOMAS P DENNIS JR REV TRUST & KATHLEEN C WESTHEAD-DENNIS REV	133 SO PAMET RD	C/O DENNIS GROUP 1537 MAIN ST	SPRINGFIELD	MA	01103
2748	48-11-0-R	SEAL OF APPROVAL LLC MGR: THOMAS ROCCO	131 SO PAMET RD	14 HAMMEL COURT	PORTSMOUTH	RI	02871
2749	48-12-0-R	DENNIS THOMAS P JR & KATHLEEN	127 SO PAMET RD	30 COLONY RD	SPRINGFIELD	MA	01106
2750	48-13-0-R	WATSON CLYDE D QPR TRUST TRS: WATSON CLYDE D	119 SO PAMET RD	55 THREE MILE RD	ETNA	NH	03750-3809

[Handwritten signature]
4/28/2022

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

48-5-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

48-6-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

48-7-0-E

TOWN OF TRURO
PO BOX 2012
TRURO, MA 02666

48-8-0-R

THOMAS P DENNIS JR REV TRUST &
KATHLEEN C WESTHEAD-DENNIS REV
C/O DENNIS GROUP
1537 MAIN ST
SPRINGFIELD, MA 01103

48-11-0-R

SEAL OF APPROVAL LLC
MGR: THOMAS ROCCO
14 HAMMEL COURT
PORTSMOUTH, RI 02871

48-12-0-R

DENNIS THOMAS P JR & KATHLEEN
30 COLONY RD
SPRINGFIELD, MA 01106

48-13-0-R

WATSON CLYDE D QPR TRUST
TRS: WATSON CLYDE D
55 THREE MILE RD
ETNA, NH 03750-3809



TOWN OF TRURO

Building Department

24 Town Hall Road

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004, Ext. 131 Fax: 508-349-5508

Benjamin E. Zender
P.O. Box 2300
Orleans, MA 02653

April 5, 2022

Dear Ben,

Pursuant to my authority under G.L. c. 40A, s. 7 and Section 60.1 of the Zoning Bylaw, I am revoking Building Permit # 22-105, issued March 8, 2022, authorizing foundation construction and placement of the "Boathouse" (formerly located on 133 South Pamet Road) on the property located at 127 South Pamet Road. The reasons for this revocation are as follows:

1) An evident zoning violation on the property at 127 South Pamet has come to the attention of this Department. A current rental listing (ballstonbeachgetaway.com) describes in detail the features of the two residential structures on the property, the "Main House" and the "Cottage". Both the Main House and the Cottage are described as having kitchens.

The Cottage was permitted in 2007 as a habitable studio. Further, it has been represented to the Department and to the Zoning Board of Appeals in recent applications as being a habitable studio. That term is defined in the Zoning Bylaw as follows:

Habitable Studio. A habitable studio shall consist of one or more bedrooms, with or without bathroom facilities, in a building detached from the principal residence, which is incidental and accessory to the principal residence *and which does not include residential kitchen facilities*. A room identified as a bedroom will be included in considerations under the State Environmental Code, Title 5.

(Emphasis added). The Zoning Bylaw defines a "dwelling unit" as follows:

Dwelling Unit. One or more rooms containing both cooking and bathroom facilities and designed for human habitation by one family independent of other facilities. Each

accessory building or portion thereof, studio or guesthouse, which has both cooking and bathroom facilities, is considered to be a separate dwelling unit.

The difference between a dwelling unit and a habitable studio is a kitchen: a dwelling unit contains such a facility; a habitable studio may not. As the Cottage evidently contains "kitchen facilities," it appears to be a dwelling unit, not a habitable studio under the Zoning Bylaw. As there is another dwelling unit on the property (the Main House), the Cottage structure and its use are evidently in violation the Zoning Bylaw, which permits only one dwelling unit per lot. I will conduct an inspection of both structures to determine the existence of any Zoning violation(s) and the appropriate remedy.

2)The recent building permit application represented the 127 South Pamet property as containing 4.36 acres and conforming to the Zoning Bylaw minimum lot area of 3.0 acres. This is inconsistent with the application filed with the Zoning Board of Appeals in 2021, which identified the existing lot area as 1.68 acres/73,000 square feet on a plan stamped by a professional surveyor. This is significant, as whether the lot is conforming (3 or more acres) or nonconforming determines whether zoning relief is required to locate the Boathouse structure onto the property. As an appeal of the building permit has been taken, this issue is now before the Zoning Board of Appeals and will be resolved by that Board.

For the above reasons, I am revoking Building Permit # 22-105 pending resolution of the Zoning issues identified. The Boathouse structure may not be moved onto 127 South Pamet property unless and until these issues of Zoning compliance are resolved.

Please contact me at your earliest convenience to schedule an inspection of the Main House and Cottage.

Richard Stevens



Building Commissioner
Town Of Truro

Building Permit Application

Massachusetts State Building Code, 780 CMR, 9th Edition



TOWN OF TRURO

Building Department

24 Town Hall Rd.
PO Box 2030
Truro, MA 02666

Tel (508) 349-7004 x131 Fax (508) 349-5508

Permit #:	Fee:
-----------	------

SITE INFORMATION

Project Site: 127 S. PAMET RD TRURO, MA 02666

Assessors Map & Parcel: 48-12-0⁴⁸ Zoning District:

Outside Flood Zone Inside Flood Zone - Specify:

Setbacks: Front: 51' Left Side: 53' Right Side: 150' Rear: ∞

Lot Area (sq. ft.): 4.36 ACRES Frontage: 287.24

Water Supply: Private Public

Subject to Policy 28: Curb Cut? Y N
If Yes, please attach a copy of the approval to this application.

SUBJECT TO NHESP/MESA REVIEW? Y N * IF YES, PLEASE ATTACH A COPY OF THE APPROVAL.

PROPERTY OWNERSHIP

Owner of Record: THOMAS & KATHLEEN DENNIS

Mailing Address: 1537 MAIN ST, SPRINGFIELD, MA 01103

Phone: 413.246.1096 E-mail: DENNIS@DENNISGRP.COM

Property Owner Authorization

Signature: Tom Dennis Date: 23 Feb, 2022

PROJECT INFORMATION

1 & 2 Family Home Commercial / Other than 1 & 2 Family Home* Change of Use DEMO - Subject to Chapter VI: Historic Properties Bylaw? Y N

* BUILDINGS IN EXCESS OF 35,000 CU. FT. MUST MEET CONTROL CONSTRUCTION REGULATIONS (780 CMR 116). ADDENDUM TO PERMIT APPLICATION AVAILABLE IN BUILDING DEPARTMENT.

New Dwelling: # of units _____ Commercial Building
 Addition Alteration Mechanical
 Accessory Structure: (type) _____ Other: HOUSE RELOCATION

Detailed Description of Proposed Work:

HOUSE MOVE INCLUDING INSTALLATION OF WOOD PILE FOUNDATION.

NO NEW HOUSE CONSTRUCTION - FOUNDATION AND MOVE ONLY

Estimated Construction Cost: **PIVINGS * 15,000**
MOVING * 45,000 Debris Disposal:
 (Landfill or Company Name)

Floor Area: (Proposed Work Only) Basement: unfinished _____ finished _____

1st flr: _____ 2nd flr: _____ Porch/Deck: _____ Other: _____

#fireplaces: _____ #chimneys: _____ #bathrooms: existing _____ proposed _____

#bedrooms: existing _____ proposed _____

Type of Heating System: _____ Type of Cooling System: _____

CONTRACTOR INFORMATION*

*HOMEOWNER'S AFFIDAVIT REQUIRED IF OWNERS ARE DOING THEIR OWN WORK (RESIDENTIAL PROJECTS ONLY)

Contractor Name: *** SOUTH SHORE PILE DRIVING**
GEDDES HOUSE

Address: *** 12 SEA ST MARSHFIELD, MA 02050**
8 GORDON RD BOW, NH 03304

Phone: *** 781-706-4021** Email: **PAUL@SSPILEDRIVING.NET**
603-224-2192 **GEDDESMOVING@CIVILAST.NET**

CSL#: _____ HIC # _____

OFFICE USE

HEALTH/CONSERVATION AGENT Review _____

Signature: _____ Date: _____

Other Comments: _____

BUILDING COMMISSIONER Review & Approval: _____

Signature: _____ Issuance Date: _____



TOWN OF TRURO

BUILDING DEPARTMENT

P.O. Box 2030, Truro MA 02666

Tel: 508-349-7004, Ext. 31 Fax: 508-349-5508

HOMEOWNER LICENSE EXEMPTION FORM

Please print:

Job Location: 127 S. Pamet Rd 48-12-0
Street Address Map Parcel

"HOMEOWNER": Tom Dewitt 413-246-1096
Name Home Phone

Present Mailing Address: 1537 Main St
Springfield, MA 01103

780 CMR 110.R5.1.3.1 (Exception) Any homeowner performing work for which a building permit is required shall be exempt from the licensing provisions of 780 CMR 110.R5, provided that if a homeowner engages a person(s) for hire to do such work, then such homeowner shall act as supervisor. This exception shall not apply to the field erection of a manufactured buildings constructed pursuant to 780 CMR 110.R3.

Note. Any Licensed Construction Supervisor who contracts to do work for a homeowner shall be responsible for performing said work in accordance with 780 CMR and manufacture's recommendations, as applicable, whether or not the licensed contractor secured the permit for said work.

780 CMR 110.R5 (Homeowner)

Person(s) who owns a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one- or two-family dwelling, attached or detached structures accessory to such use and/or farm structures. A person who constructs more than one home in a two-year period shall not be considered a homeowner.

Homeowner's Signature: Tom Dewitt Date: 23 Feb, 2022

Approval of Building Official: _____ Date: _____

Updated: 01/03/2012



The Commonwealth of Massachusetts
 Department of Industrial Accidents
 1 Congress Street, Suite 100
 Boston, MA 02114-2017
 www.mass.gov/dia

Workers' Compensation Insurance Affidavit; Builders/Contractors/Electricians/Plumbers.
 TO BE FILED WITH THE PERMITTING AUTHORITY.

Applicant Information

Please Print Legibly

Name (Business/Organization/Individual): THOMAS DENNIS

Address: 1537 MAIN ST

City/State/Zip: SPRINGFIELD, MA 01105 Phone #: 413-246-1096

<p>Are you an employer? Check the appropriate box:</p> <p>1. <input type="checkbox"/> I am an employer with _____ employees (full and/or part-time).*</p> <p>2. <input type="checkbox"/> I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]</p> <p>3. <input type="checkbox"/> I am a homeowner doing all work myself. [No workers' comp. insurance required.]†</p> <p>4. <input checked="" type="checkbox"/> I am a homeowner and will be hiring contractors to conduct all work on my property. I will ensure that all contractors either have workers' compensation insurance or are sole proprietors with no employees.</p> <p>5. <input type="checkbox"/> I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance.</p> <p>6. <input type="checkbox"/> We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §(4), and we have no employees. [No workers' comp. insurance required.]</p>	<p>Type of project (required):</p> <p>7. <input type="checkbox"/> New construction</p> <p>8. <input type="checkbox"/> Remodeling</p> <p>9. <input type="checkbox"/> Demolition</p> <p>10. <input type="checkbox"/> Building addition</p> <p>11. <input type="checkbox"/> Electrical repairs or additions</p> <p>12. <input type="checkbox"/> Plumbing repairs or additions</p> <p>13. <input type="checkbox"/> Roof repairs</p> <p>14. <input checked="" type="checkbox"/> Other <u>HOUSE MOVE</u></p>
---	--

* Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.
 † Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.
 ‡ Contractors that check this box must attach an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: _____

Policy # or Self-ins. Lic. #: _____ Expiration Date: _____

Job Site Address: _____ City/State/Zip: _____

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date).

Failure to secure coverage as required under MGL c. 152, §25A is a criminal violation punishable by a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. A copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: THOMAS DENNIS Date: 23 FEB. 2022

Phone #: 413-246-1096

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (circle one):
 1. Board of Health 2. Building Department 3. City/Town Clerk 4. Electrical Inspector 5. Plumbing Inspector
 6. Other _____

Contact Person: _____ Phone #: _____

Benjamin Zehnder

From: Benjamin E. Zehnder
Sent: Wednesday, February 23, 2022 1:29 PM
To: Rich Stevens (rstevens@truro-ma.gov)
Cc: Barbara Carboni; Charles B. Zehnder
Subject: 127 and 133 South Pamet Road Request for Determination
Attachments: Lot 1-C_127 South Pamet Rd Truro - Deed Documents.pdf; Lot 1-D_127 South Pamet Rd Truro - Deed Documents.pdf; S Pamet Road.pdf; C17338-C-SKC-3-2022-02-23-STAMP.pdf

e2DraftID: a5d6627975

Hi Rich:

Following up on yesterday's below email. I have attached the following:

1. Site plan showing the 133 SPR dwelling (the "Boathouse") moved back and down on 127 SPR to a location 51' from South Pamet Road and 53' from the easterly sideline. Also showing lot frontage for 127 SPR of 288.24 feet.
2. Lot calculations showing an area for 127 SPR of 4.36 acres, and for 133 SPR of .32 acres, for a total of 4.68 acres. This is based on the Zoning Bylaw definition that exempts pre 1987 from upland lot area calculation requirements:

Lot Area. The area of a lot when used for building purposes shall not be less than the minimum required by this bylaw for the district in which it is located. Such an area shall not be interpreted to include any portion of a lot below mean water level on fresh water, below mean high water on tidal water or within the limits of any defined way, exclusive of driveways serving only the lot itself. No less than 100% of the minimum lot area required shall consist of contiguous upland exclusive of marsh, bog, swamp, beach, dune or wet meadow. This definition shall apply only to lots created after April 30, 1987.

Based on combined lot area of 4.68 acres, the Zoning Bylaw permits a Seashore District Total Gross Floor Area of **3,936 square feet**. (3,600sf for 3 acres and 336 for the next 1.68 at 200 sf per acre pro-rated).

The combined Seashore District Total Gross Floor Area of the three structures is as follows:

- a. 133 SPR Boathouse 1st floor 24'x35' = 840 sf 2nd floor = 700 sf Total= 1,540 sf
- b. 127 SPR Studio (living area) One floor 25'x29' 725 sf
- c. 127 SPR Main House Main bldg 29'x39' = 1,131 sf ; Side bldg = 22'x24' = 528 sf
Total = 1,659 sf

Tom and Kit Dennis will remove the kitchen from the Boathouse to render it a habitable accessory building, and will combine the two lots by affidavit or Approval Not Required Plan per your direction.

Based on these assumptions, I believe that the Boathouse may be moved as shown and used as a habitable accessory structure as of right by issuance of a building permit and necessary conservation and health permits.

Would you please confirm or let me know if you require any zoning relief? I am happy to drop off a building permit application if necessary.

My thanks for your attention.

Ben

Benjamin E. Zehnder
La Tanzi, Spaulding & Landreth
8 Cardinal Lane; P.O. Box 2300
Orleans, MA 02653
(508) 255-2133
(508) 255-3786 (fax)
(508) 246-4064 (mobile)
bzehnder@latanzi.com
Orleans/Provincetown/Barnstable



This email message and any files transmitted with it contain PRIVILEGED AND CONFIDENTIAL INFORMATION and are intended only for the person(s) to whom this email message is addressed. As such, they are subject to attorney-client privilege and you are hereby notified that any dissemination or copying of the information received in this email message is strictly prohibited. If you have received this email message in error, please notify the sender immediately by telephone or email and destroy the original message without making a copy. Thank you.

EMAIL DISCLAIMER: We do not email Non-Public Confidential Information in a non-secure method. Accordingly, such confidential information, including account information and personally identifiable information should not be transmitted by non-encrypted email/email attachments. Use of non-encrypted email is inherently insecure. In no event shall we accept any responsibility for the loss, use or misuse of any information including confidential information, which is sent to us by email or an email attachment, nor can we guarantee receipt, accuracy or response to any email.

From: Benjamin E. Zehnder
Sent: Tuesday, February 22, 2022 10:41 AM
To: Rich Stevens (rstevens@truro-ma.gov) <rstevens@truro-ma.gov>
Cc: Barbara Carboni <bcarboni@truro-ma.gov>; Charles B. Zehnder <CZehnder@latanzi.com>
Subject: FW: S Pamet Road Analysis

Hi Rich:

Tom Dennis' engineers have calculated the lot areas of 127 and 133 South Pamet Road. Here is a schematic that I can have stamped and file with a proposed site plan for moving the boathouse further rearward onto the 127 property. Also attached are the land court plans. Lots 1-C and 1-D are 127 South Pamet Road, and the land shown as the Coast Guard land next to Lot 1-C on Plan 16182-E is 133 SPR.

The proposal will be to move and locate the structure further back on 127 conforming to dimensional setbacks, and remove the kitchen, making it a second accessory building on the property. The intention is also to combine the lots by the means you determine necessary, either an ANR plan, which would be somewhat complicated given that the land is both registered and unregistered land, or by recorded affidavit of intention to combine, which is what we do in Eastham.

The lot areas include land eastward of the coastal bank, but I believe those areas are included in lot area as the lots are pre-existing pre-1987 lots and therefore the entire land area is included for calculating Total Gross Floor Area permitted.

Based on the land areas, the Whitelaw land alone meets the area and frontage requirements, therefore I do not believe the structure move requires either a dimensional or use special permit.

Assuming the combined structure sizes are below the by right Total Gross Floor Area maximums, I do not believe that the move requires a special permit in that regard.

I will send you a site plan shortly for your review and will give you a call shortly. We are trying to permit the move prior to the start of the season so as to get the house off the neighbor's property and not inconvenience him.

Thanks Rich.

Ben

Benjamin E. Zehnder
La Tanzi, Spaulding & Landreth
8 Cardinal Lane; P.O. Box 2300
Orleans, MA 02653
(508) 255-2133
(508) 255-3786 (fax)
(508) 246-4064 (mobile)
bzehnder@latanzi.com
Orleans/Provincetown/Barnstable



This email message and any files transmitted with it contain PRIVILEGED AND CONFIDENTIAL INFORMATION and are intended only for the person(s) to whom this email message is addressed. As such, they are subject to attorney-client privilege and you are hereby notified that any dissemination or copying of the information received in this email message is strictly prohibited. If you have received this email message in error, please notify the sender immediately by telephone or email and destroy the original message without making a copy. Thank you.

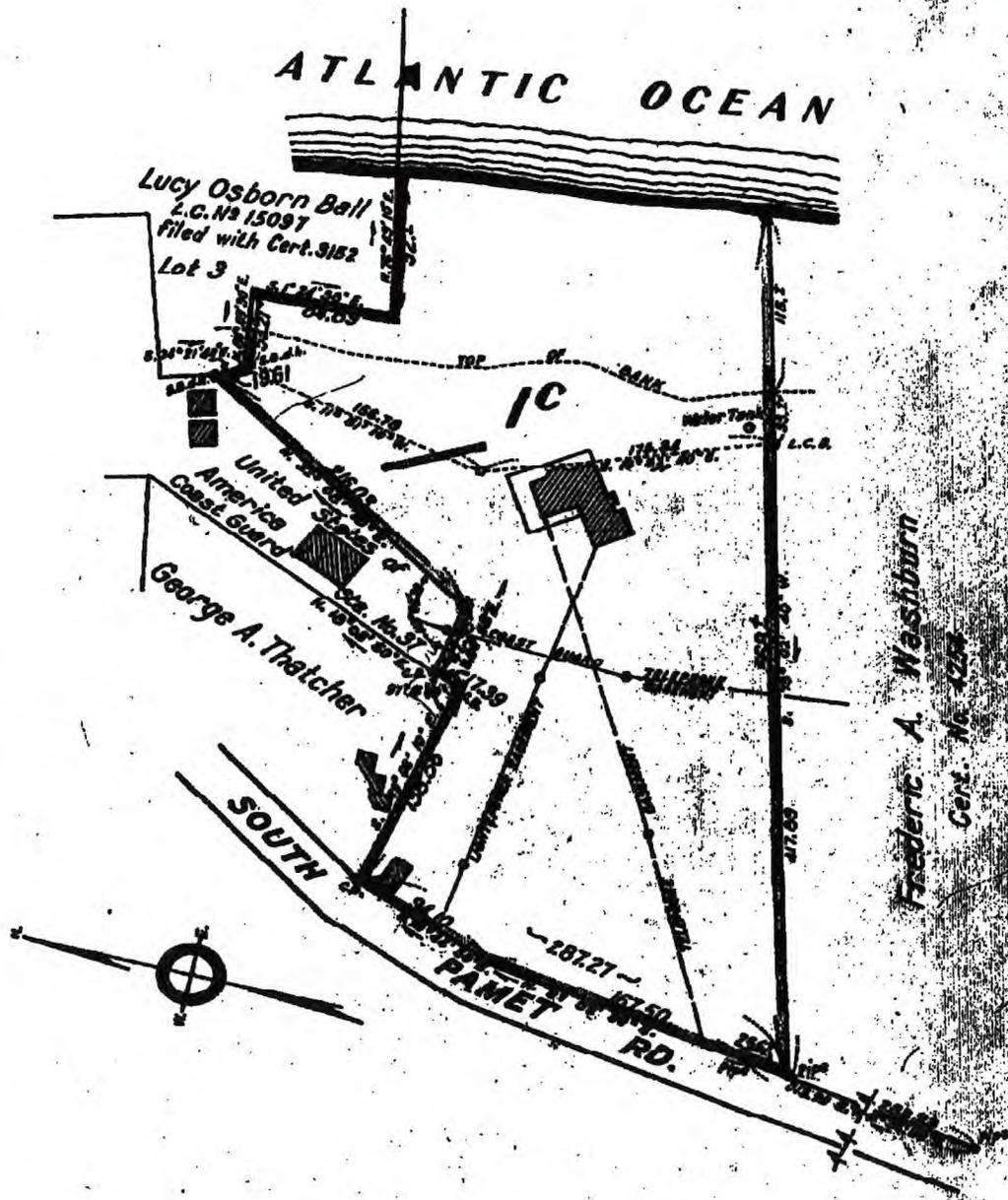
EMAIL DISCLAIMER: We do not email Non-Public Confidential Information in a non-secure method. Accordingly, such confidential information, including account information and personally identifiable information should not be transmitted by non-encrypted email/email attachments. Use of non-encrypted email is inherently insecure. In no event shall we accept any responsibility for the loss, use or misuse of any information including confidential information, which is sent to us by email or an email attachment, nor can we guarantee receipt, accuracy or response to any email.

Subdivision of part of Parcel 1 shown on plan 16182^A sh. 1 **16182^E**
Filed with Cert. of Title No. 4254 Registry District of Barnstable County

LAND IN TRUST

October 1945

John R. Dyer. Civil Eng'r.

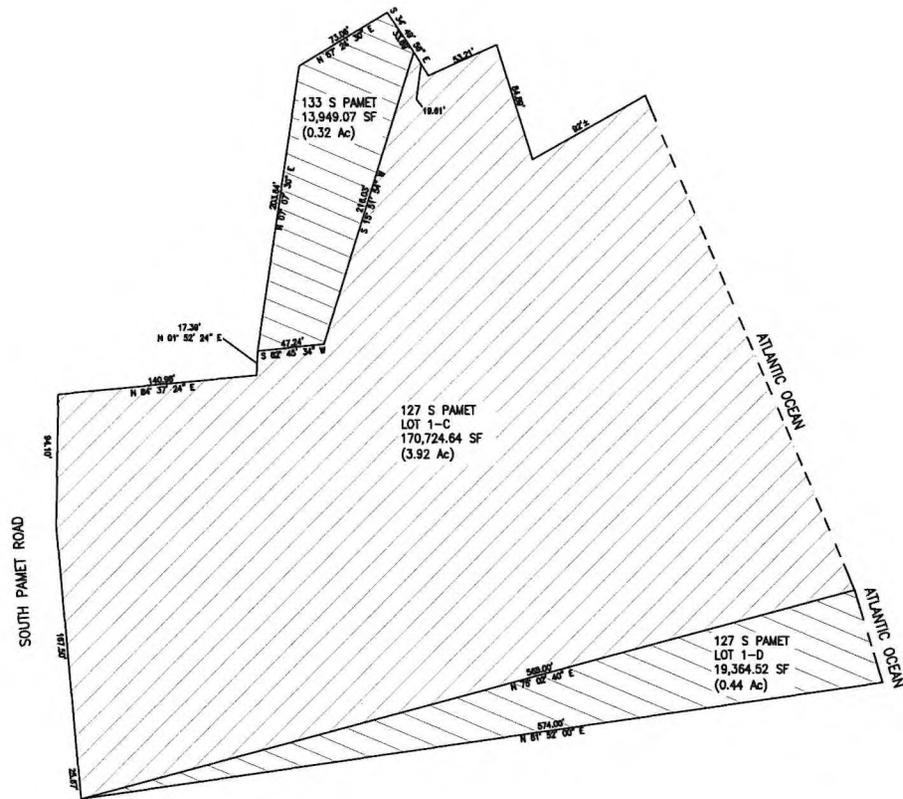


Frederic A. Washburn
Cert. No. 1238

Frederic A. Washburn, Commr., Cert. No. 1238

Separate certificates of title may be issued
for Lot 1C as shown hereon
By the Court
Robert F. L...
2111.9.1945 Recorder.

Cov of part of plan
LAND REGISTRATION OFFICE
NOV 9 1945
Scale of this plan 80 feet to an inch
C.B. Humphrey, Engineer for Court



- NOTES:
1. ALL DIMENSIONS AND BEARINGS SHOWN FOR 133 SOUTH PAMET ROAD WERE TAKEN FROM OUTCROP DEED, DATED 03-25-2014, WITH LEGAL DESCRIPTION DERIVED FROM "PLAN OF LAND IN TRUST, MA MADE FOR ACCESS AMERICA, INC. DATED SEPTEMBER 17, 1993" BY SLADE ASSOCIATES, INC. RECORDED WITH THE BARNSTABLE REGISTRY OF DEEDS. PLAN BOOK 519, PAGE NO. 31.
 2. ALL DIMENSIONS AND BEARINGS SHOWN FOR 127 SOUTH PAMET ROAD WERE TAKEN FROM REGISTRY DISTRICT OF BARNSTABLE COUNTY LAND IN TRUST BOOK OF DEEDS, LAND COURT PLANS 16182-E AND 16182-F, DATED OCTOBER 1945.
 3. BEARINGS MISSING FROM 127 SOUTH PAMET ROAD LOT 1-C WERE ILLEGIBLE ON THE ABOVE REFERENCED DOCUMENTS. THE LOTS WERE Laid OUT USING ALL LEGIBLE INFORMATION FROM THE DOCUMENTS, USING THE SOUTH EAST CORNER WHERE LOTS 1-C AND 1-D INTERSECT AS THE BASIS OF PLOTTING THE PROPERTY LINES.

AREAS

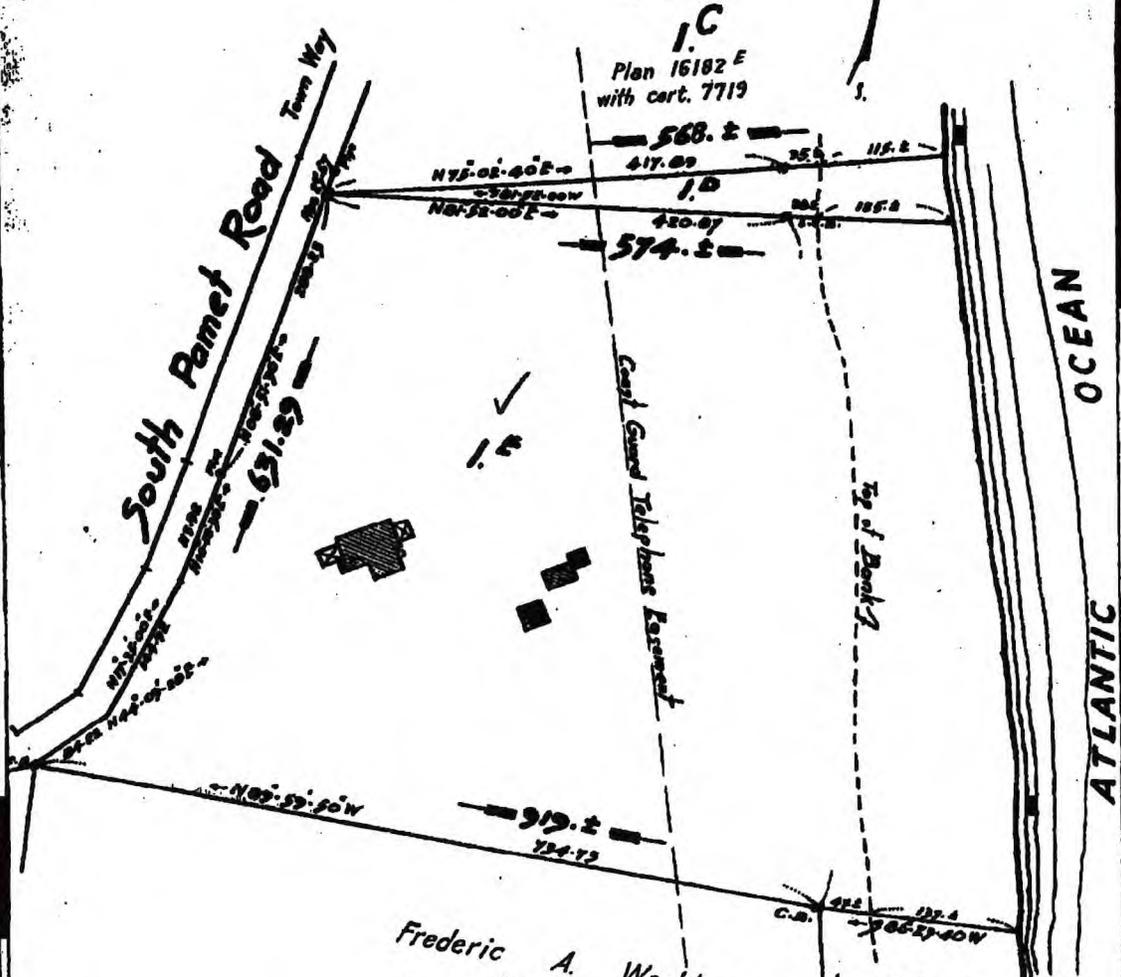
- 127 SOUTH PAMET ROAD LOT 1-C = 170,724.64 SF (3.92 AC)
- 127 SOUTH PAMET ROAD LOT 1-D = 19,364.52 SF (0.44 AC)
- 133 SOUTH PAMET ROAD = 13,949.07 SF (0.32 AC)
- TOTAL COMBINED AREA = 204,038.23 SF (4.68 AC)

16182F

SUBDIVISION PLAN OF LAND IN TRURO

John R. Dyer, C. E.

May - 1949



Frederic A. Washburn
Cert. 4254

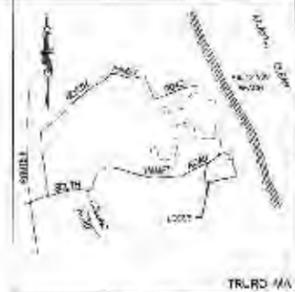
Lucy Osborn Ball
I.C. 15097A sh. 4
with Cert. 5152

Subdivision of part of Parcel 1
Shown on plan 16182^A sh. 1
Filed with Cert. of Title No. 4254
Registry District of Barnstable County

Separate certificates of title may be issued
for lots 1D and 1E as shown herein
By the Court
[Signature]
Recorder

JUNE 1, 1949

Copy of part of plan
filed in
LAND REGISTRATION OFFICE
JUNE 1, 1949
Scale of this plan 120 feet to an inch
W.T. Falcough, Engineer & Court



KEY MAP
 1/8" = 50' F

FLOOD ZONE:

FLOOD ZONE AL, L1, L2 AND ZONE VE F, V1, V2 SHOWN ON THIS DRAWING ARE A REPRESENTATION OF THE FLOOD ZONE BOUNDARIES SHOWN ON FEMA FLOOD INSURANCE RATE MAPS (FIRM) FOR PARCEL 12, EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOOD ZONE BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THE FIRM BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF FLOOD ZONE BOUNDARIES WITH THE DESIGNATED COMMUNITY DEVELOPMENT MANAGERS AND TO TAKE NECESSARY ACTION TO AVOID PROPOSED STRUCTURES.

DATUM:

ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83).

REFERENCE:

ASSESSORS MAP NO. 194001-1 & 12
 LAND COURT PLAN 16152 E
 LAND COURT PLAN 16152 F
 LAND COURT DOC #128748
 OWNER OF RECORD:
 PARCEL 9
 T. DENNIS P. DENNIS JR. & KATHLEEN D. DENNIS
 H.F. 1300X300X PAGE 202
 PARCEL 12
 T. DENNIS P. DENNIS JR. & KATHLEEN D. DENNIS
 CERTIFICATE 228004

LEGEND:

- ROUND
- ⊖ IRON PIPE
- ⊙ WOOD PIPE
- ⊘ UTILITY POLE
- ⊙ GUY POLE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ⊙ PICKET FENCE
- ⊙ BRUSH FENCE
- ⊙ STOCKADE FENCE
- ⊙ UNDERGROUND ELECTRICAL CONDUIT
- ⊙ SPLIT PIPE
- ⊙ OVERHEAD WIRES
- ⊙ WALL

THE LOCATION OF "PA" THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 01-14-2021

DATE: FEBRUARY 23, 2022



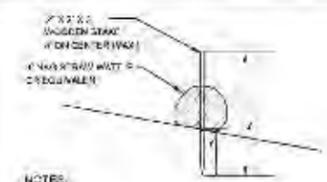
PROJECT: THOMAS DENNIS

121 & 103 SOUTH PAMET ROAD
 SOUTH PAMET

SKETCH PLAN SHOWING
 PROPOSED BUILDING LOCATION & SDS

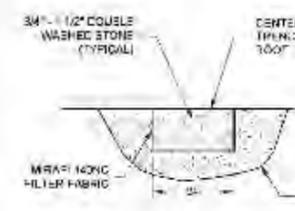
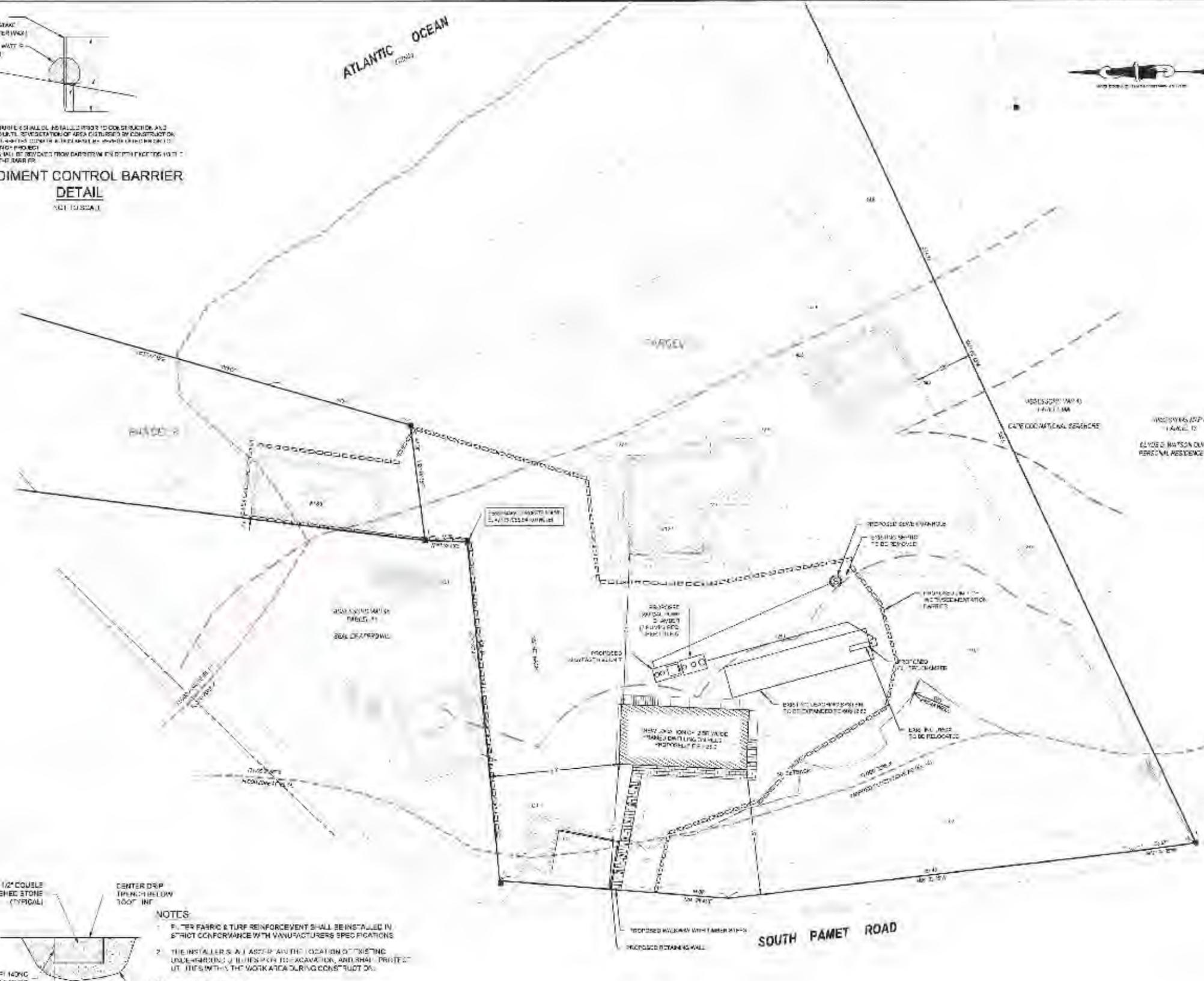
AS NOTED
 DRAWING NO. C17338-02.dwg
 DATE 02/23/2022
 DRAWN BY DATE
 CHECKED BY JOB

SKC-3



- NOTES:**
1. DETAIL BARRIER SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL SUSPENSION OF AREA OCCURRED BY CONSTRUCTION COMPLETION.
 2. BARRIER SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE REPAIRED AS NECESSARY.
 3. BARRIER SHALL BE REMOVED FROM BARBERS POINT ROAD TO THE HEIGHT OF THE BARRIER.

SEDIMENT CONTROL BARRIER
 DETAIL
 NOT TO SCALE



- NOTES:**
1. FILTER FABRIC & TURF REINFORCEMENT SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. THE INSTALLER SHALL LOCATE THE LOCATION OF THIS TRENCH UNDERGROUND UTILITIES FROM RECORD DRAWINGS AND SHALL PROTECT UTILITIES WITHIN THE WORK AREA DURING CONSTRUCTION.

INFILTRATION TRENCHES
 AT ROOF DRIP LINES

NOT TO SCALE



C:\PROJECTS\2022\121 & 103 SOUTH PAMET ROAD\121 & 103 SOUTH PAMET ROAD.dwg

THE DENNIS GROUP, LLC

PLANNING ▲ ENGINEERING ▲ CONSTRUCTION MANAGEMENT

DENNIS RESIDENCE

SOUTH PAMET ROAD

TRURO, MA

RELEASE FOR: PERMIT

RELEASED: FEBRUARY 27, 2015

RELEASE	DATE	BY	APP.	PERMIT
A	02/27/2015	EEF	MRS	

DRAWING LIST

● DENOTES DRAWINGS INCLUDED WITH RELEASE / PACKAGE.

STRUCTURAL

- S0.00 STRUCTURAL COVER SHEET
- S0.01 GENERAL NOTES
- S1.11 PILE FOUNDATION & SUB-FRAMING PLAN
- S2.01 SECTIONS & DETAILS

GENERAL NOTES

- ANY DISCREPANCY WITHIN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR CONSTRUCTION MANAGER PRIOR TO THE COMMENCEMENT OF ANY WORK. NO WORK SHALL BE DONE UNTIL DISCREPANCY HAS BEEN RESOLVED.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF STUDS, CENTERLINE OF BEAMS AND COLUMNS. OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- THE FIGURED DIMENSIONS ON THE DRAWINGS OR NOTES INDICATING DIMENSIONS SHALL BE USED INSTEAD OF MEASUREMENTS OF THE DRAWINGS BY SCALE, AND SHALL BE STRICTLY COMPLIED WITH.
- WHEREVER A DETAIL IS REFERENCED AND DEVELOPED FOR A SPECIFIC CONDITION, SAME OR SIMILAR DETAIL SHALL APPLY TO IDENTICAL OR SIMILAR CONDITIONS ELSEWHERE ON THE PROJECT EVEN THOUGH NOT SPECIFICALLY REFERENCED.
- CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, BUILDING LOCATIONS, CURBS, FLOW LINES, EXISTING CONDITIONS AND POINTS OF CONNECTIONS TO UTILITIES, ETC. IN THE EVENT OF CONFLICT, CONTACT THE ENGINEER OR CONSTRUCTION MANAGER FOR INSTRUCTION PRIOR TO PROCEEDING.
- CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ALL MATERIALS AND METHODS SHALL COMPLY WITH CITY, STATE, AND FEDERAL REQUIREMENTS. ALL SYSTEMS SHALL BE APPROVED SYSTEMS AS DESIGNATED BY CITY, STATE, AND FEDERAL STANDARDS.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER - THE STRICTEST PROVISIONS SHALL GOVERN.

ABBREVIATIONS

AB	ANCHOR BOLT	NOM	NOMINAL
ALUM	ALUMINUM	NS	NEAR SIDE
ARCH	ARCHITECTURAL	NTS	NOT TO SCALE
B/	BOTTOM OF	OC	ON CENTER
BFB	BOTTOM FLANGE BRACE	OD	OUTSIDE DIAMETER
BLDG	BUILDING	OH	OVERHEAD
BM	BEAM	OPP	OPPOSITE
BRG	BEARING	OPNG	OPENING
CANT	CANTILEVER	PAPS	POWDER ACTUATED FASTENERS
CFMF	COLD-FORMED METAL FRAMING	PC	PRECAST CONCRETE
CJ	CONTROL/CONSTRUCTION JOINT	PEMB	PRE-ENGINEERED METAL BUILDING
CLR	CLEAR	PERP	PERPENDICULAR
CM	CONSTRUCTION MANAGER	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	REINF	REINFORCING OR REINFORCED
CONN	CONNECTION	SCH	SCHEDULE
CONT	CONTINUOUS	SECT	SECTION
COORD	COORDINATE	SF	SQUARE FOOT OR STEP FOOTING
CY	CUBIC YARD	SL	SLOPED
DBL	DOUBLE	SPEC	SPECIFICATIONS
DEMO	DEMOLISH OR DEMOLITION	SQ	SQUARE
DET	DETAIL	SS	STAINLESS STEEL
DIA	DIAMETER	STD	STANDARD
DIAG	DIAGONAL	STL	STEEL
DIM	DIMENSION	SY	SQUARE YARD
DWG	DRAWING	SYM	SYMMETRICAL
E	EXISTING	T/	TOP OF
EA	EACH	T&B	TOP AND BOTTOM
EF	EACH FACE	TEMP	TEMPORARY
EL	ELEVATION	T&G	TONGUE AND GROOVE
ELEV	ELEVATION	TO	TOP OF
EJ	EXPANSION JOINT	TOD	TOP OF DECK
EOS	EDGE OF SLAB	TOM	TOP OF MAT
EQ	EQUAL	TOS	TOP OF SLAB
EW	EACH WAY	TOST	TOP OF STEEL
EX	EXISTING	TOW	TOP OF WALL
EXP	EXPANSION	TYP	TYPICAL
FD	FLOOR DRAIN	UN	UNLESS NOTED
FDN	FOUNDATION	UNO	UNLESS NOTED OTHERWISE
FIN	FINISH OR FINISHED	VB	VAPOR BARRIER
FLR	FLOOR	VERT	VERTICAL
FOC	FACE OF CONCRETE	VIF	VERIFY IN FIELD
FOS	FACE OF STUDS	W	WALL
FOW	FACE OF WALL	WF	WIDE FLANGE
FTG	FOOTING	W/O	WITHOUT
FRTW	FIRE-RETARDANT TREATED WOOD	WT	WEIGHT
FS	FAIR SIDE	WWF	WELDED WIRE FABRIC
FV	FIELD VERIFY	YD	YARD
GA	GAGE		
GALV	GALVANIZE		
GC	GENERAL CONTRACTOR		
HC	HOLLOW CORE		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
INFO	INFORMATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
L	ANGLE		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
LP	LOW POINT		
LSV	LONG SIDE VERTICAL		
M	MAT		
MAS	MASONRY		
MAX	MAXIMUM		
MIN	MINIMUM		
MTL	METAL		
N	NORTH		
NA	NOT APPLICABLE		
NIC	NOT IN CONTRACT		

DESIGN TEAM

STRUCTURAL ENGINEER
THE DENNIS GROUP, LLC
 PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT

DENNIS RESIDENCE
 SOUTH PAMET ROAD
 TRURO, MA
 COVER SHEET

THE DENNIS GROUP, LLC
 PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT
 www.dennistg.com
 ATLANTA | SALT LAKE CITY | SAN DIEGO | SPRINGFIELD | TORONTO



© THE DENNIS GROUP
 THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION BELONGING TO THE DENNIS GROUP, OR ITS AFFILIATED COMPANIES AND SHALL BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS CREATED. IT SHALL NOT BE COPIED, REPRODUCED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DENNIS GROUP. ANY VIOLATION OF THESE TERMS OF ANY AGREEMENT UNDER WHICH IT WAS CREATED OR WITH THE PROPRIETARY RIGHTS OF THE DENNIS GROUP, AND SHALL BE RETURNED UPON REQUEST.

DRAWING NO.
S0.00
 P1000

NOTES:

DESIGN CRITERIA:

BUILDING CODE: MASSACHUSETTS BUILDING CODE 8TH EDITION RESIDENTIAL VOLUME / INTERNATIONAL RESIDENTIAL CODE (IRC) 2009 WITH MASSACHUSETTS AMENDMENTS

ROOF SNOW LOADS: = 30 PSF

FLOOR LIVE LOADS: SECOND FLOORS = 30 PSF FIRST FLOORS = 40 PSF

WIND LOADS: BASIC WIND SPEED (3 SECOND GUST), V = 120 MPH WIND IMPORTANCE FACTOR, Iw = 1.00 WIND EXPOSURE CATEGORY = C

GENERAL NOTES:

- 1. THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION OF THE BUILDING HAS BEEN COMPLETED...
2. SHORING NOTE: THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING, PROVIDING AND INSTALLING ALL TEMPORARY SHORING THAT IS REQUIRED TO SUPPORT INSTABILITIES OF EXISTING STRUCTURE...
3. JOBSITE SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR...
4. IF FAULTY CONSTRUCTION PROCEDURES, OR MATERIAL, RESULT IN DEFECTIVE WORK THAT REQUIRES ADDITIONAL ENGINEERING TIME TO DEVISE CORRECTIVE MEASURES...
5. MECHANICAL EQUIPMENT WEIGHTS USED IN DESIGN OF SUPPORTING ELEMENTS ARE INDICATED ON THE DRAWINGS...
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK...
7. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK...
8. DO NOT SCALE DRAWINGS...
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING BUILDING INSPECTOR INSPECTIONS...
10. CONTRACTOR SHALL VERIFY AND ACCEPT FIELD CONDITIONS PRIOR TO COMMENCING WORK...
11. ALL WORK SHALL COMPLY WITH THE DRAWINGS AND SPECIFICATION AND WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENT.

TIMBER PILE NOTES

- 1. ALL PILES SHALL BE PRESSURE TREATED SOUTHERN YELLOW PILE (C.C.A.2.5 L.D.S.I.C.F.) GRADE NO. 2 TYPE "B" AND ALL MEASURE AT LEAST 8 INCHES IN DIAMETER AT THE TIP AND AT LEAST 12 INCHES DIAMETER AT THE CUT-OFF (UNDER BARK MEASUREMENTS) AND SHALL CONFORM TO ASTM D25, PRESSURE TREATING SHALL BE IN CONFORMANCE WITH AWPA STANDARDS C3 AND C16...
2. MINIMUM TREATED TIMBER PILE DESIGN VALUE SHALL BE: Fc = 1200 PSI (PARALLEL TO GRAIN) Fb = 2400 PSI Fv = 110 PSI Fc = 1200 PSI (PERPENDICULAR TO GRAIN) E = 1,500,000 PSI
3. MAXIMUM HORIZONTAL PILE DEVIATION AT THE PILE CUT-OFF SHALL NOT BE GREATER THAN 3 INCHES (IN ANY DIRECTION), MAXIMUM VERTICAL PILE DEVIATION SHALL NOT EXCEED 5% MEASURED FROM PILE CUT-OFF TO GRADE...
4. PROCEDURE REQUIRED IF THE PILE VERTICAL OR HORIZONTAL DEVIATION IS EXCEEDED IN ANY DIRECTION NOTIFY THE ENGINEER IMMEDIATELY AND PROVIDE EXACT PILE LOCATIONS AS REQUIRED...
5. GENERAL CONTRACTOR TO INSURE THAT THE PILES SATISFY ALL CODE REQUIREMENTS AND THAT THE PILES ARE DRIVEN IN ACCORDANCE WITH THESE NOTES AND DRIVEN TO THE REQUIRED CAPACITY...
6. THE OWNER SHALL ENGAGE A REGISTERED GEO-TECHNICAL ENGINEER, THE ENGINEER, OR HIS/HER REPRESENTATIVE, WHO MUST BE QUALIFIED BY EXPERIENCED TRAINING...
7. EACH PILE SHALL BE DRIVEN IN ONE PIECE, WITHOUT SPLICING...
8. DURING THE PILE DRIVING OPERATION, ANY SUDDEN DECREASE IN DRIVING RESISTANCE SHALL BE INVESTIGATED WITH REGARDS TO THE POSSIBILITY OF BREAKAGE OF THE PILE...
9. JETTING, AUGURING AND OTHER METHODS OF PRE-EXCAVATION TO ACHIEVE THE MINIMUM TIP ELEVATION ME NOT BE PERMITTED WITH OUT PRIOR APPROVAL BY THE ENGINEER...
10. THE PILE CONTRACTOR SHALL KEEP AND SUBMIT A PILE DRIVING LOG FOR EACH PILE...
11. BEFORE ANY TREATED PILES ARE DRIVEN, A CERTIFICATION SHALL BE SUBMITTED, CERTIFYING THAT THE PILES WERE FREE FROM DECAY...
12. ALL TIMBER PILES SHOWN SHALL BE DRIVEN IN STRICT ACCORDANCE WITH THE CURRENT MASSACHUSETTS STATE BUILDING CODE (REFER TO TIMBER PILE NOTES) AND SHALL BE DRIVEN WITH MODERN DROP HAMMER, PNEUMATIC HAMMER, DIESEL HAMMER, OR SIMILAR MEASURABLE DEVICES AND APPARATUS...

WOOD FRAMING NOTES

- 1. ALL FRAMING LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE APPA "NATIONAL DESIGN SPECIFICATION", AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION", LATEST EDITION. MAXIMUM MOISTURE CONTENT SHALL BE 19%.
2. PRESSURE TREATED WOOD MEMBERS USED FOR PLACEMENT AGAINST CONCRETE OR MASONRY (SILL, PLATES, ETC) SHALL BE PRESSURE TREATED WITH ACO PRESERVATIVES, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
3. ALL EXPOSED WOOD MEMBERS USED FOR STRUCTURAL FRAMING, DECKING, STAIRS, RAILS, BRACING, ECT. SHALL BE PRESSURE TREATED WITH ACO PRESERVATIVES, OR APPROVED EQUAL, TO MINIMUM RETENTION OF 0.6 PCF IN ACCORDANCE WITH AWPA C3.
4. ALL CONNECTORS, CONNECTIONS, FASTENERS, ETC. USED TO SECURE ACO PRESSURE TREATED LUMBER SHALL BE TRIPLE ZINC COATED HOT DIPPED GALVANIZED OR STAINLESS STEEL.
5. THE FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM GRADE AND SPECIES FOR SPECIFIED USE. ALL LUMBER SHALL BE GRADE STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE KILN DRY, SOUTHERN PINE GRADE NO. 1 OR BETTER, WITH A MINIMUM ALLOWABLE BENDING STRESS (Fb)=1050 PSI, AND MINIMUM MODULUS OF ELASTICITY (E)=1,600,000 PSI.
6. LUMBER WHICH IS SPLIT, CRACKED, NOTCHED OR OTHERWISE ALTERED OR DAMAGED SHALL BE IMMEDIATELY REJECTED AND NOT ALLOWED FOR USE, UNLESS OTHERWISE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
7. CONVENTIONAL WOOD FOR INTERIOR STRUCTURAL FRAMING (WHERE SPECIFIED) SHALL BE SPRUCE-PINE-FIR, GRADE NO. 2 OR BETTER WITH AN ALLOWABLE FIBER BENDING STRESS (Fb)= 875 PSI, AND MINIMUM MODULUS OF ELASTICITY (E)=1,400,000 PSI.
8. ENGINEERED LUMBER PRODUCTS SHALL BE AS MANUFACTURED BY TRUSS-JOIST CORP., BOISE-CASCADE, LOUISIANA-PACIFIC, OR APPROVED EQUAL.
9. FOLLOW MANUFACTURER'S SPECIFICATION FOR ERECTION INSTALLATION, & PLACEMENT OF ENGINEERING LUMBER PRODUCTS. PENETRATIONS THROUGH ENGINEERED LUMBER PRODUCTS IS EXPRESSLY NOT PERMITTED W/O APPROVAL BY THE ENGINEER.
10. DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION (APPA), THE TIMBER CONSTRUCTION MANUAL (AISC), AND ARCHITECTURAL GRAPHICS STANDARD BY RAMSEY & SLEEPER.
11. WHERE DIMENSIONAL FRAMING LUMBER IS FLUSH FRAMED TO ENGINEERED LUMBER OR STEEL GIRDERS, SET THESE GIRDERS 1/2" CLEAR BELOW THE TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
12. STAGGER LAP ALL PLATES AND SILLS AT CORNERS AND AT ALL INTERSECTIONS OF PARTITIONS.
13. CONTRACTOR SHALL SUBMIT ALL PROPOSED WOOD SPECIES, GRADES, GRADING AGENCY, TYPE OF PRESSURE TREATMENT, MANUFACTURE DATA AND CERTIFICATIONS TO THE ENGINEER FOR WRITTEN APPROVAL PRIOR TO ORDERING ANY MATERIALS.
14. PROVIDE SOLID BLOCKING BETWEEN ALL FLOOR JOIST AND DOUBLE ALL JOIST UNDER EACH PARTITION. EACH END OF EACH JOIST SHALL BE FULL DEPTH BLOCKED AT THE SUPPORT LOCATION. PROVIDE JOIST BRIDGING AT MID-SPAN AND QUARTER POINTS, OR AS SHOWN ON DRAWINGS. BRIDGING PLACEMENT SHALL NOT EXCEED 8 FT. OC SPACING.
15. USE FULLY NAILED MATERIAL CONNECTORS (USP, SIMPSON, OR EQUAL), JOIST, OR BEAM HANGERS WHEN JOIST OR BEAMS FRAME INTO OTHER JOISTS OR BEAMS. PROVIDE METAL POST CAPS AND BASES FOR ALL POSTS, REFER TO FRAMING PLAN FOR CONNECTOR TYPES.
16. ALL SILLS AND TOP WALL PLATES SHALL BE DOUBLED 2x6S WITH EACH CORNER STAGGER-LAPPED. SILLS AGAINST CONCRETE SHALL BE PRESSURE-TREATED.
17. BUILT-UP BEAMS (3 PIECES MAXIMUM) USING CONVENTIONAL FRAMING LUMBER SHALL BE FULLY SPIKED TOGETHER WITH 2 ROWS OF 10d ANNUAL RING NAILS AND 1x1x1x1 WITH 3 ROWS OF 16d ANNUAL RING NAILS EACH SIDE AT 12"OC, OR AS OTHERWISE NOTED ON THE DRAWINGS, OR AS RECOMMENDED BY THE MANUFACTURER. NAILS USED FOR BUILT-UP PIECES SHALL BE ANNUAL RING NAILS.
18. ALL NAILS, FASTENERS, AND CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED. ALL CONNECTORS AND FASTENERS WHICH ARE USED WITH PRESSURE TREATED WOOD SHALL BE AISI 304 OR 316 STAINLESS STEEL.
19. ALL WOOD PRODUCTS SHALL BE STORED IN A DRY LOCATION. ENGINEERED LUMBER PRODUCTS WHICH ARE NOT KEPT DRY WILL BE IMMEDIATELY REJECTED AND REQUIRED TO BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.
20. IN NO CASE SHALL JOISTS, RAFTERS, BEAMS, POSTS, STUDS OR ANY OTHER FRAMING MEMBER BE CUT, NOTCHED, DRILLED, OR OTHERWISE MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
21. JOISTS WHICH SUPPORT MECHANICAL UNITS SHALL BE TRIPLED AND NAILED TOGETHER AS SPECIFIED, UNLESS OTHERWISE SHOWN ON THE FRAMING PLANS OR DETAILS.

STRUCTURAL GLUED LAMINATED (GLU-LAM) TIMBER:

- 1 GLUED LAMINATED TIMBER SHALL BE "POWER PRESERVED GLULAM" (TREATED GLULAM) AS MANUFACTURED BY ANTHONY FOREST PRODUCTS CORPORATION.
2 APPEARANCE OF TIMBERS SHALL CONFORM TO AITC 110 "STANDARD APPEARANCE GRADE FOR STRUCTURAL GLUED LAMINATED TIMBER". TYPICALLY, CONCEALED TIMBERS SHALL BE INDUSTRIAL APPEARANCE GRADE, EXPOSED OR PARTIALLY EXPOSED TIMBERS SHALL BE ARCHITECTURAL APPEARANCE GRADE UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS OR IN THE SPECIFICATIONS.
3 MINIMUM ALLOWABLE STRESSES AND STIFFNESS CHARACTERISTICS OF TIMBERS SHALL BE AS FOLLOWS: Fb = 2400 PSI (BOTH TENSION AND COMPRESSION FACE) Fc1 = 740 PSI Fv = 300 PSI E = 1,800,000 PSI
4 UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE DRAWINGS, INSTALL TIMBERS IN SUBSTANTIAL CONFORMANCE WITH AITC 104 "TYPICAL CONSTRUCTION DETAILS".
5 THE FABRICATOR SHALL BE AN AITC LICENSED FIRM AND SHALL PROVIDE FACTORY-GLUED STRUCTURAL UNITS THAT COMPLY WITH AITC 190.1 "STRUCTURAL GLUED LAMINATED TIMBERS". EACH PIECE OF STRUCTURAL GLUED LAMINATED TIMBER SHALL BE FACTORY MARKED WITH AITC QUALITY MARK. PLACE MARK ON SURFACE THAT WILL NOT BE EXPOSED IN COMPLETED WORK.
6 THE FABRICATOR SHALL ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL GLUED LAMINATED TIMBER CONSTRUCTION SIMILAR IN MATERIAL, DESIGN AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
7 DELIVERY, STORAGE, AND HANDLING OF STRUCTURAL GLUED LAMINATED TIMBERS SHALL COMPLY WITH AITC 111 "RECOMMENDED PRACTICE FOR PROTECTION OF STRUCTURAL GLUED LAMINATED TIMBER DURING TRANSIT, STORAGE, AND ERECTION". INDIVIDUALLY WRAP MEMBERS WITH PLASTIC COATED PAPER COVERINGS, WITH WATER-RESISTANT SEAMS, BEFORE SHIPPING OR EXPOSED TO OUTDOOR CONDITIONS.
8 STRUCTURAL GLUE LAMINATED TIMBER MEMBERS SHALL BE ACO OR CA PRESERVATIVE-TREATED BEFORE GLUING IN ACCORDANCE WITH AWPA C29-95 FOR WATERBORNE PRESERVATIVES. AFTER DRESSING AND END CUTTING TO FINAL SIZE AND SHAPE, APPLY A FIELD TREATMENT PRESERVATIVE TO COMPLY WITH AWPA M4-95 TO ANY PORTIONS OF THE MEMBER THAT FALL OUTSIDE THE BUILDING WALL.
9 ADHESIVE SHALL BE WET-USE TYPE COMPLYING WITH ASTM D-2559. DO NOT USE MELAMINE-UREA-FORMALDEHYDE ADHESIVE FOR PRESERVATIVE TREATED GLUED LAMINATED TIMBER.
10 CONNECTORS, ANCHORS AND ACCESSORIES SHALL BE FABRICATED FROM STRUCTURAL STEEL SHAPES, PLATES, AND BARS COMPLYING WITH ASTM A36. ALL FABRICATED ASSEMBLIES SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 123.
11 BOLTS SHALL CONFORM TO ASTM A307. NUTS SHALL CONFORM TO ASTM A 563. ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 123.
12 FACTORY FINISH MEMBERS WITH THE MANUFACTURER'S STANDARD, DRY APPEARANCE, PENETRATING ACRYLIC STAIN AND SEALER, OVEN DRIED AND RESISTANT TO MILDEW AND FUNGUS. PROVIDE COLOR SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.
13 MEMBERS MAY NOT BE NOTCHED OR BORED IN THE FIELD WITHOUT WRITTEN PERMISSION OF THE ENGINEER, EXCEPT AS REQUIRED FOR CONNECTIONS INDICATED ON THE APPROVED SHOP DRAWINGS.
14 REPAIR DAMAGED SURFACES AND FINISHES AFTER INSTALLATION IS COMPLETE. REPLACE DAMAGED STRUCTURAL GLUED LAMINATED TIMBERS IF REPAIRS ARE NOT APPROVED BY THE ARCHITECT OR ENGINEER.

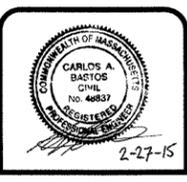
SPECIAL REQUIREMENTS FOR COASTAL CONSTRUCTION

- 1. ELEVATIONS SHOWN ARE REFERENCED TO NATIONAL GEODESIC VERTICAL DATUM (NGVD 1929) FIRM REF #25222-4004 C TOWN OF TRURO, MA. FLOOD ZONE V4 DESIGN FLOOD ELEV. = +21.0 FT
2. THE EXISTING BUILDING SHALL BE DISCONNECTED FROM ITS FOUNDATION AND PROPERLY LIFTED TO THE ELEVATION SHOWN ON PLAN. THE CONTRACTOR SHALL CAREFULLY EXECUTE JACKING OPERATIONS TO ASSURE THE EXISTING STRUCTURE REMAINS INTACT, TRUE AND ALIGNED. IT WILL BE THE LIFTING CONTRACTOR'S RESPONSIBILITY TO INSTALL ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE STRUCTURE DURING THE ENTIRE FOUNDATION RETROFIT OPERATION. AFTER THE NEW FOUNDATION IS CONSTRUCTED, THE EXISTING BUILDING SHALL BE LOWERED AND PROPERLY SECURED TO THE NEW FOUNDATION AS SHOWN ON THE PLAN.
3. SPECIAL PROVISIONS FOR COASTAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FOUND IN THE "COASTAL CONSTRUCTIONS MANUAL" AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA-65).
4. THE BUILDING STRUCTURE AND COMPONENTS SHALL BE ADEQUATELY ANCHORED TO THE NEW FOUNDATION TO PREVENT FLOATION, COLLAPSE AND/OR LATERAL MOVEMENT.
5. THE ENTIRE BUILDING STRUCTURE IS TO BE TIED TOGETHER AT ACT AS A CONTINUOUS, INTEGRAL UNIT USING JOIST ANCHORS, METAL TIE DOWN STRAPS, WELL NAILED PLYWOOD SHEATHING, BOLTS THROUGH BEAMS AND PIERS, ECT.
6. ALL ITEMS SHALL BE RIGIDLY ANCHORED OR ATTACHED. SQUARE, PLUMB AND TRUE, OR ON OTHERS PLANES AND SHAPES SHOWN ON THE DRAWINGS. JOINTS SHALL BE TIGHT, EVEN AND FREE OF OFFSETS. ALL SURFACES SHALL BE SANDED, FILLED OR OTHERWISE PREPARED TO RECEIVE FINISH WHERE INDICATED.
7. DAMAGED, DETERIORATED, OR OTHERWISE DEFICIENT FRAMING AND CONNECTIONS CONDITIONS WITHIN THE EXISTING STRUCTURE SHALL BE REPAIRED OR REPLACED TO CONFORM WITH THE CURRENT BUILDING CODE.
8. STAINLESS STEEL TIE DOWN STRAPS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUAL AND SHALL BE INSTALLED AT EACH FLOOR JOIST CONNECTION.
9. ALL EXTERIOR EXPOSED LUMBER USED FOR STRUCTURAL FRAMING, STAIRS, RAILS, ECT. SHALL BE PRESSURE TREATED WITH ACO PRESERVATIVE IN ACCORDANCE WITH AWPA C3.

Table with columns for RELEASE, DATE, and BY. Includes fields for RELEASE, DATE, and BY.

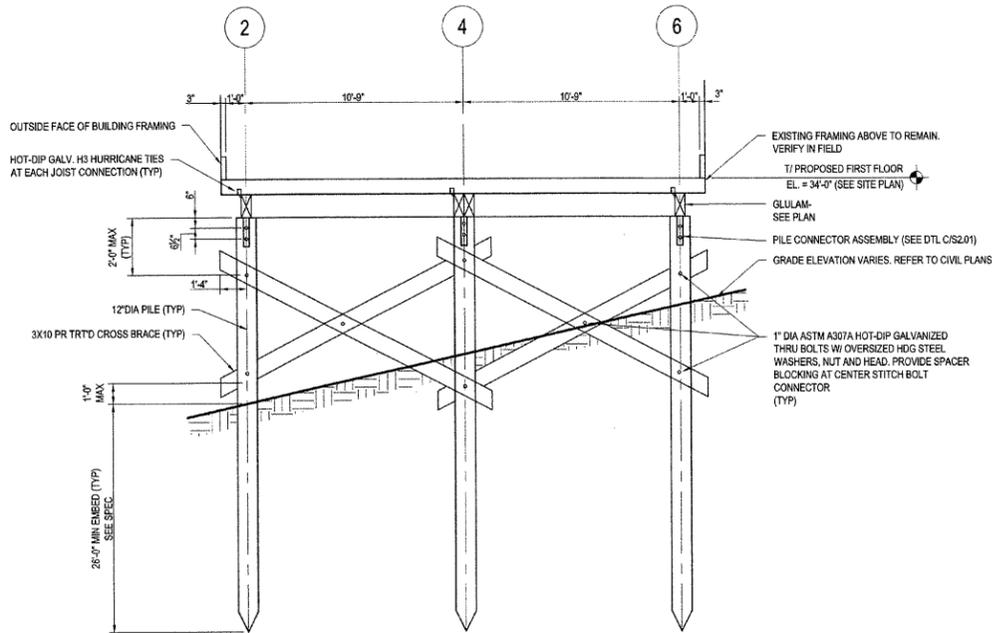
DENNIS RESIDENCE SOUTH PANIET ROAD TRURO, MA. GENERAL NOTES. THE DENNIS GROUP, LLC. Includes logo and contact information.

THE DENNIS GROUP, LLC. PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT. Includes logo and contact information.

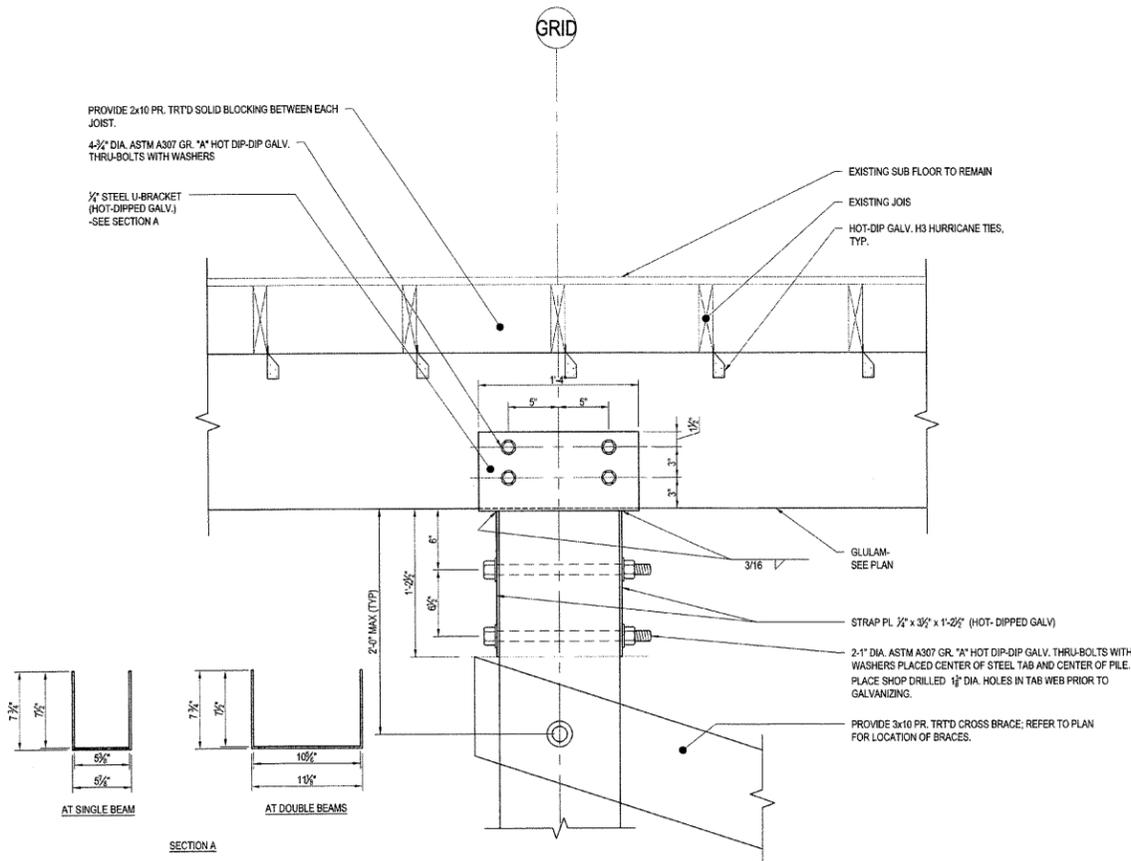


© THE DENNIS GROUP. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION BELONGING TO THE DENNIS GROUP. IT IS HEREBY AGREED THAT ANY REPRODUCTION OR DISTRIBUTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE DENNIS GROUP IS STRICTLY PROHIBITED.

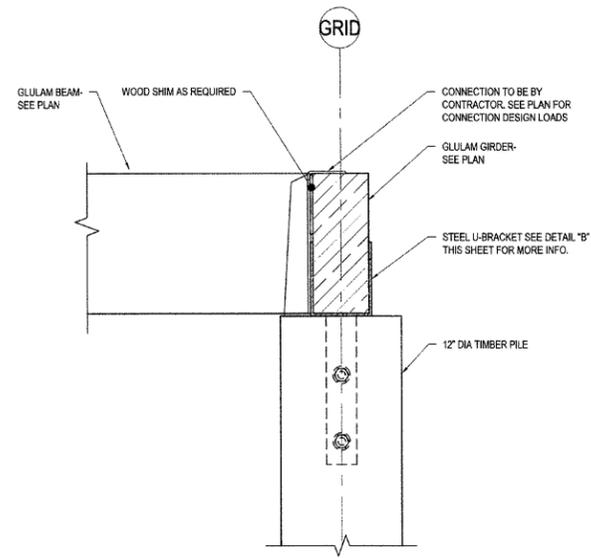
DRAWING NO. S0.01 P1000. Includes drawing number and sheet number.



A SECTION
SCALE: 1/4" = 1'-0"



C TYPICAL PILE CAP CONNECTION
SCALE: 1-1/2" = 1'-0"



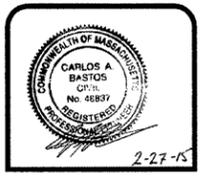
D TYPICAL GLULAM BEAM TO GLULAM GIRDER CONNECTION
SCALE: 1-1/2" = 1'-0"

© THE DENNIS GROUP

RELEASE	DATE	BY	APP.	PERMIT
A	02/27/2015	EEF		MRS

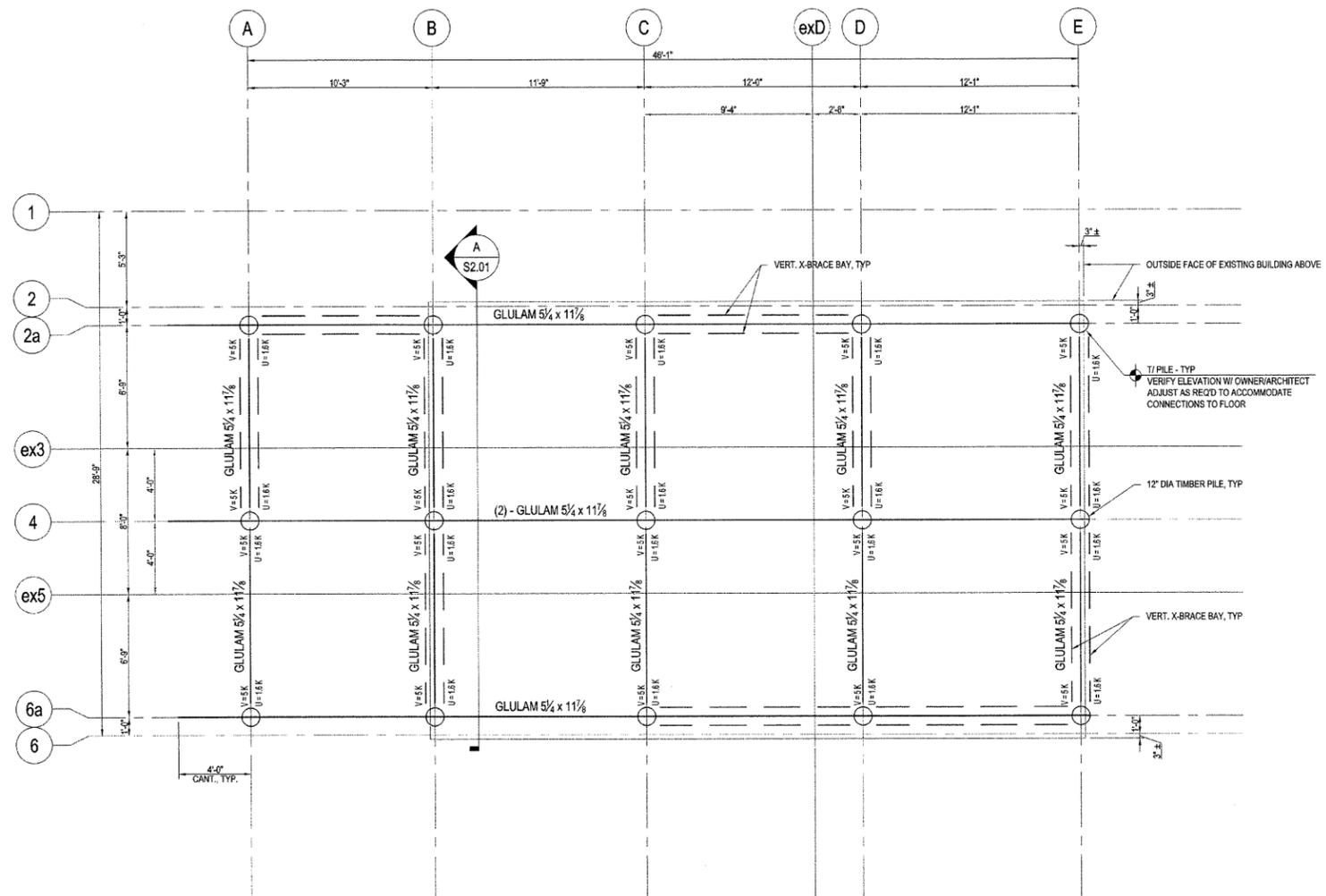
THE DENNIS GROUP, LLC
DENNIS RESIDENCE
SOUTH PAMET ROAD
TRURO, MA
SECTIONS AND DETAILS

THE DENNIS GROUP, LLC
PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT
www.dennisgrp.com
ATLANTA | SALT LAKE CITY | SAN DIEGO | SPRINGFIELD | TORONTO

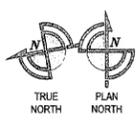


© THE DENNIS GROUP
THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION BELONGING TO THE DENNIS GROUP OR ITS AFFILIATED COMPANIES AND SHALL BE USED ONLY FOR THE PROJECT FOR WHICH IT WAS PREPARED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DENNIS GROUP.

DRAWING NO.
S2.01
P1000



1 PILE FOUNDATION & SUB-FRAMING PLAN
SCALE: 1/4"=1'-0"



FRAMING PLAN NOTES:

- FOR GENERAL NOTES, SEE DRAWING S0.01.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS LOAD RATED TO MEET LOADS INDICATED ON PLAN. CONTRACTOR SHALL SUBMIT CONNECTION DETAILS FOR REVIEW TO OWNER/STRUCTURAL ENGINEER.
- A GEO-TECHNICAL ENGINEER SHALL PERFORM A PERIODIC INSPECTION AND MONITORING OF PILE DRIVING OPERATIONS AND ALL WORK IN CONNECTION THEREWITH.
- ALL GLUED LAMINATED TIMBER SHALL BE "POWER PRESERVED GLULAM" (TREATED GLULAM) AS MANUFACTURED BY ANTHONY FOREST PRODUCTS CORPORATION.

LEGEND:

- | | | |
|------|------|------|
| V=sk | BEAM | V=sk |
| U=sk | | U=sk |
- V=sk INDICATES SHEAR REACTION (DOWNWARD) (KIPS) (UNFACTORED)
 - U=sk INDICATES UPLIFT REACTION (UPWARD) (KIPS) (UNFACTORED)

RELEASE	DATE	BY	APP.	MRS. FERMIT
A	02/27/2015			

THE DENNIS GROUP, LLC
DENNIS RESIDENCE
SOUTH PANMET ROAD
TRURO, MA

PILE FOUNDATION & SUB-FRAMING PLAN

THE DENNIS GROUP, LLC
PLANNING • ENGINEERING • CONSTRUCTION MANAGEMENT
www.dennisgrp.com
ATLANTA | SALT LAKE CITY | SAN DIEGO | SPRINGFIELD | TORONTO



© THE DENNIS GROUP
THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION BELONGING TO THE DENNIS GROUP OR ITS AFFILIATED COMPANIES AND SHALL BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS PREPARED. IT SHALL NOT BE COPIED, REPRODUCED OR OTHERWISE USED, AND SHALL BE KEPT CONFIDENTIAL. IT IS HEREBY AGREED TO BY THE USER THAT THE DENNIS GROUP SHALL BE NOTIFIED IN WRITING OF ANY UNAUTHORIZED USE OF THIS DOCUMENT. THE DENNIS GROUP SHALL BE NOTIFIED IN WRITING OF ANY UNAUTHORIZED USE OF THIS DOCUMENT. THE DENNIS GROUP SHALL BE NOTIFIED IN WRITING OF ANY UNAUTHORIZED USE OF THIS DOCUMENT.

DRAWING NO.
S1.11
P1000

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

May 20, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
P.O. Box 2012
Truro, MA 02666

Via hand delivery

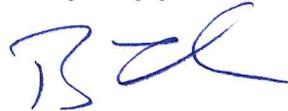
Re: New ZBA special permit application /
40 Corn Hill Road (45-118)

Dear Ms. Fullerton:

On behalf of owners Susan J. Goldstein and Jonathan A. Curtis please find enclosed for filing with the Board of Appeals one original and nine copies of a new special permit application for the property at 40 Corn Hill Road. I have also enclosed payment in the amount of \$50.00 for the filing fee.

Thank you as always for your assistance. I remain –

Very truly yours,



Benjamin E. Zehnder

Enc.
cc via email:
client
Samuel Basta
Ezra Block
Barbara Carboni
John Demarest
Elizabeth Sturdy



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date May 20, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.

Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 50.2.B.2 of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* _____ special permit to exceed Total Gross Floor Area limit to renovate garage to create guest house / studio.

Property Address 40 Corn Hill Road Map(s) and Parcel(s) 45-118

Registry of Deeds title reference: Book 33478, Page 176, or Certificate of Title Number N/A and Land Ct. Lot # N/A and Plan # N/A

Applicant's Name Susan J. Goldstein and Jonathan A. Curtis

Applicant's Legal Mailing Address 130 South 18th Street, Unit 1802, Philadelphia, PA 19103

Applicant's Phone(s), Fax and Email (952) 412-8660; suejgold@gmail.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

Owner Prospective Buyer* Other*

Owner's Name and Address _____

Representative's Name and Address Benjamin E. Zehnder 62 Route 6A, Suite B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzehnder@zehnderllc.com

2. The completed application **shall also** be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)  5/19/22

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: May 16, 2022

NAME OF APPLICANT: Susan J. Goldstein and Jonathan A. Curtis

NAME OF AGENT (if any): Benjamin E. Zehnder

MAILING ADDRESS: 62 Route 6A, Suite B, Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-7766 EMAIL bzehnder@zehnderllc.com

PROPERTY LOCATION: 40 Corn Hill Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 45 PARCEL 118 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | (Fee: Inquire with Assessors) |
- (Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 5/17/2022 Date completed: 5/17/2022
List completed by: [Signature] Date paid: 5/17/2022 Cash/Check #1115

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.
²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.
³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.
⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.
⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: May 17, 2022

To: Benjamin E. Zehnder, Agent for Susan J. Goldstein and Jonathan A. Curtis

From: Assessors Department

Certified Abutters List: 40 Corn Hill Road (Map 45, Parcel 118)

ZBA/ Special Permit

Attached is a combined list of abutters for the property located at 40 Corn Hill Road.

The current owners are Susan J. Goldstein and Jonathan A. Curtis.

The names and addresses of the abutters are as of May 13, 2022 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by:

Olga Farrell
Assessing Clerk

40 Corn Hill Road
 Map 45, Parcel 118
 ZBA/ Special Permit

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 45/118/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
2121	45-35-0-R	ROSE INVESTMENT TRUST TRS: ROSE AUSTIN L JR & MARY L	0 CORN HILL RD	PO BOX 925	TRURO	MA	02666
2147	45-49-1-R	RUMBLE JUDY M	39 CORN HILL RD	518 EAST BROADWAY	SOUTH BOSTON	MA	02127
2148	45-49-2-R	MCGIRR RICHARD H & LIDA BANDER	39 CORN HILL RD	50 CHURCH ST	CONCORD	MA	01742
2149	45-49-3-R	CORN HILL REALTY TRUST TRS: ONEIL THOMAS J III ET AL	39 CORN HILL RD	731 UNION ST	ROCKLAND BEACH	MA	02370
2150	45-49-4-R	MACIASZEK SARAH A	39 CORN HILL RD	57 BRIGHAM RD	SOUTH HADLEY	MA	01075
2151	45-49-5-R	BOOTH APRIL N REVOCABLE TRUST TRS: BOOTH APRIL N	39 CORN HILL RD	957 ROUTE 80	GUILFORD	CT	06437
2152	45-49-6-R	TENNYSON LINDA E	39 CORN HILL RD	505 MAIN ST	ACTON	MA	01720
2153	45-49-7-R	MAGUIRE MICHELLE & JOHN F	39 CORN HILL RD	5 LAUREL HILL LN	WINCHESTER	MA	01890
2154	45-49-8-R	ENTICE ENTERPRISES LLC	39 CORN HILL RD	633 ARROWHEAD DR	ORANGE	CT	06477-2306
2155	45-49-9-R	IVES DAVID & ALLISON	39 CORN HILL RD	186 MOSS HILL ROAD	JAMAICA PLAIN	MA	02130
2156	45-49-10-R	KULL DONNA M	39 CORN HILL RD	313 PARTRIDGE RUN	MOUTAINSIDE	NJ	07092
2157	45-49-11-R	CORN HILL ELEVEN LLC MGRS: RICH. CASILLI & C. AVERSA	39 CORN HILL RD	41 OCEAN ST, UNIT 2	LYNN	MA	01902
2158	45-49-12-R	MASTROBATTISTA AMY J	39 CORN HILL RD	34 CROCKER AVE	FRANKLIN	MA	02038
6959	45-49-13-E	ROSEVILLE CONDO TRUST	39 CORN HILL RD	39 CORN HILL RD	TRURO	MA	02666
2159	45-50-0-E	TOWN OF TRURO	48 CORN HILL RD	PO BOX 2030	TRURO	MA	02666-2030

Handwritten: 5/17/2022
 5/17/2022

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip Cd/Country
2160	45-51-0-R	ROSE INVESTMENT TRUST TRS: ROSE AUSTIN L JR & MARY L	35-A CORN HILL RD	PO BOX 925	TRURO	MA	02666
2161	45-52-0-E	TRURO CONSERVATION TRUST TRS: TOM BOW, ET AL	42 CORN HILL RD	PO BOX 327	NO TRURO	MA	02652
2179	45-70-0-E	TOWN OF TRURO	0 CORN HILL RD	PO BOX 2030	TRURO	MA	02666-2030
2180	45-71-0-R	KUCHUK FIKRI LIFE ESTATE RMNDR: KUCHUK MICHELLE & ELIZA	38 CORN HILL RD	PO BOX 1088	TRURO	MA	02666
2181	45-72-0-R	PAMET LIMITED PARTNERSHIP	3 TOMS HILL PATH	C/O BOYLE BRIAN PO BOX 786	TRURO	MA	02666-0786
2185	45-78-0-R	TOMS HILL REALTY TRUST TRS: SCHARAR ROBERT W	11 TOMS HILL PATH	C/O FCA CORP 791 TOWN N COUNTRY BLVD #250	HOUSTON	TX	77024-3925
2186	45-79-0-R	PAMET LIMITED PARTNERSHIP	34 CORN HILL RD	C/O BOYLE BRIAN PO BOX 786	TRURO	MA	02666-0786
2199	45-92-0-R	THE DAMON MAYERS AND LYNN BOWMAN REVOCABLE TRUST	37 CORN HILL RD	TRS: DAMON MAYERS, LYNN BOWMAN 172 CIRCUIT STREET	NORWELL	MA	02061
2204	45-100-0-R	PAMET LTD REALTY TR TRS: BOYLE BRIAN E	14 TOMS HILL PATH	PO BOX 786	TRURO	MA	02666-0786
2221	45-118-0-R	GOLDSTEIN SUSAN J & CURTIS JONATHAN A	40 CORN HILL RD	130 SOUTH 18TH ST, UNIT 1802	PHILADELPHIA	PA	19103
2222	45-119-0-R	BLACK KATHERINE F	36 CORN HILL RD	PO BOX 1065	TRURO	MA	02666
5599	45-126-0-R	PERRY LTD PARTNERSHIP ET AL	16 PERRY RD	PO BOX 127	TRURO	MA	02666
2753	49-1-0-E	TOWN OF TRURO	0 CORN HILL RD	PO BOX 2030	TRURO	MA	02666-2030
2754	49-2-0-R	HOLLANDER JOANNE	13 TOMS HILL PATH	PO BOX 262	TRURO	MA	02666
2768	49-17-0-E	TOWN OF TRURO	0 PAMET RIVER RR BED	PO BOX 2030	TRURO	MA	02666-2030
2781	49-31-0-E	TOWN OF TRURO	0 PAMET RIVER -NO BANK	PO BOX 2030	TRURO	MA	02666-2030
2784	49-34-0-E	TOWN OF TRURO	0 TOMS HILL RD	PO BOX 2030	TRURO	MA	02666-2030

07/25/17/2022

45-35-0-R		45-49-1-R	45-49-2-R
ROSE INVESTMENT TRUST TRS: ROSE AUSTIN L JR & MARY L PO BOX 925 TRURO, MA 02666	RUMBLE JUDY M 518 EAST BROADWAY SOUTH BOSTON, MA 02127	MCGIRR RICHARD H & LIDA BANDER 50 CHURCH ST CONCORD, MA 01742	
45-49-3-R		45-49-4-R	45-49-5-R
CORN HILL REALTY TRUST TRS: ONEIL THOMAS J III ET AL 731 UNION ST ROCKLAND BEACH, MA 02370	MACIASZEK SARAH A 57 BRIGHAM RD SOUTH HADLEY, MA 01075	BOOTH APRIL N REVOCABLE TRUST TRS: BOOTH APRIL N 957 ROUTE 80 GUILFORD, CT 06437	
45-49-6-R		45-49-7-R	45-49-8-R
TENNYSON LINDA E 505 MAIN ST ACTON, MA 01720	MAGUIRE MICHELLE & JOHN F 5 LAUREL HILL LN WINCHESTER, MA 01890	ENTICE ENTERPRISES LLC 633 ARROWHEAD DR ORANGE, CT 06477-2306	
45-49-9-R		45-49-10-R	45-49-11-R
IVES DAVID & ALLISON 186 MOSS HILL ROAD JAMAICA PLAIN, MA 02130	KULL DONNA M 313 PARTRIDGE RUN MOUTAINSIDE, NJ 07092	CORN HILL ELEVEN LLC MGRS: RICH. CASILLI & C. AVERSA 41 OCEAN ST, UNIT 2 LYNN, MA 01902	
45-49-12-R		45-49-13-E	45-50-0-E
MASTROBATTISTA AMY J 34 CROCKER AVE FRANKLIN, MA 02038	ROSEVILLE CONDO TRUST 39 CORN HILL RD TRURO, MA 02666	TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030	
45-51-0-R		45-52-0-E	45-70-0-E
ROSE INVESTMENT TRUST TRS: ROSE AUSTIN L JR & MARY L PO BOX 925 TRURO, MA 02666	TRURO CONSERVATION TRUST TRS: TOM BOW, ET AL PO BOX 327 NO TRURO, MA 02652	TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030	
45-71-0-R		45-72-0-R	45-78-0-R
KUCHUK FIKRI LIFE ESTATE RMNDR: KUCHUK MICHELLE & ELIZA PO BOX 1088 TRURO, MA 02666	PAMET LIMITED PARTNERSHIP C/O BOYLE BRIAN PO BOX 786 TRURO, MA 02666-0786	TOMS HILL REALTY TRUST TRS: SCHARAR ROBERT W C/O FCA CORP 791 TOWN N COUNTRY BLVD #250 HOUSTON, TX 77024-3925	
45-79-0-R		45-92-0-R	45-100-0-R
PAMET LIMITED PARTNERSHIP C/O BOYLE BRIAN PO BOX 786 TRURO, MA 02666-0786	THE DAMON MAYERS AND LYNN BOWMAN REVOCABLE TRUST TRS: DAMON MAYERS, LYNN BOWMAN 172 CIRCUIT STREET NORWELL, MA 02061	PAMET LTD REALTY TR TRS: BOYLE BRIAN E PO BOX 786 TRURO, MA 02666-0786	
45-118-0-R		45-119-0-R	45-126-0-R
GOLDSTEIN SUSAN J & CURTIS JONATHAN A 130 SOUTH 18TH ST, UNIT 1802 PHILADELPHIA, PA 19103	BLACK KATHERINE F PO BOX 1065 TRURO, MA 02666	PERRY LTD PARTNERSHIP ET AL PO BOX 127 TRURO, MA 02666	
49-1-0-E		49-2-0-R	49-17-0-E
TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030	HOLLANDER JOANNE PO BOX 262 TRURO, MA 02666	TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030	

49-31-0-E

49-34-0-E

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

TOWN OF TRURO
PO BOX 2030
TRURO, MA 02666-2030

Key: 2221

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2.259

LEGALS

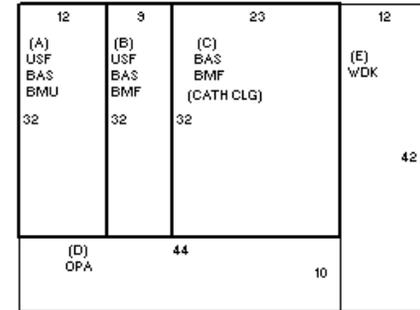
LAND

CURRENT OWNER										PARCEL ID				LOCATION					
GOLDSTEIN SUSAN J & CURTIS JONATHAN A 130 SOUTH 18TH ST, UNIT 1802 PHILADELPHIA, PA 19103										45-118-0				40 CORN HILL RD					
TRANSFER HISTORY										DOS	T	SALE PRICE	BK-PG (Cert)						
GOLDSTEIN SUSAN J & MORFIT H MASON & MORFIT H MASON & BUNKER J										11/17/2020	U	2,900,000	33478-176						
										07/24/2012	N		26524-167						
										07/13/2007	99		22185-185						
CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE							
100	A	0.775 13 1.00	1	1.00	1	1,268,530	1.00	1	1.00	V17	4.70	983,110							
300	A	0.874 13 1.00	1	1.00	1	96,820	1.00	1	1.00	V17	4.70	84,620							

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1010	100	SINGLE FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
15-159	06/15/2015	6	SHED	3,000	10/08/2015	FC	100	100
	09/02/2010	30	CHECK DATA		05/06/2011	MR	100	100
05-118	07/27/2005	1	SINGLE FAM R	300,000	06/21/2006	WL	100	100
05-103	06/30/2005	7	GARAGE	65,000	06/21/2006	WL	100	100

TOTAL	1.649 Acres				ZONING	RES	FRNT	0			ASSESSED	CURRENT	PREVIOUS		
Nbhd	CORN HILL				N	FY22 Esmt granted over lot FBO 45-71 on PL688/9.							LAND	1,067,700	795,200
Infl1	NO ADJ				O	11/17/2020 SF chng per Deed 33478-176. HAS VW							BUILDING	582,600	510,900
Infl2	NO ADJ				T	EASMNT FOR 45-071 (BK 9301/176). 2ND FLR OF							DETACHED	35,100	34,700
					E	GUS=ART STUDIO PER 9/13 M+L.							OTHER	0	0
													TOTAL	1,685,400	1,340,800

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
GUS	G	1.18 G	0.90 28*20	2005	560	67.42	34,000
SHF	A	1.00 G	0.90 8*10	2015	80	14.91	1,100



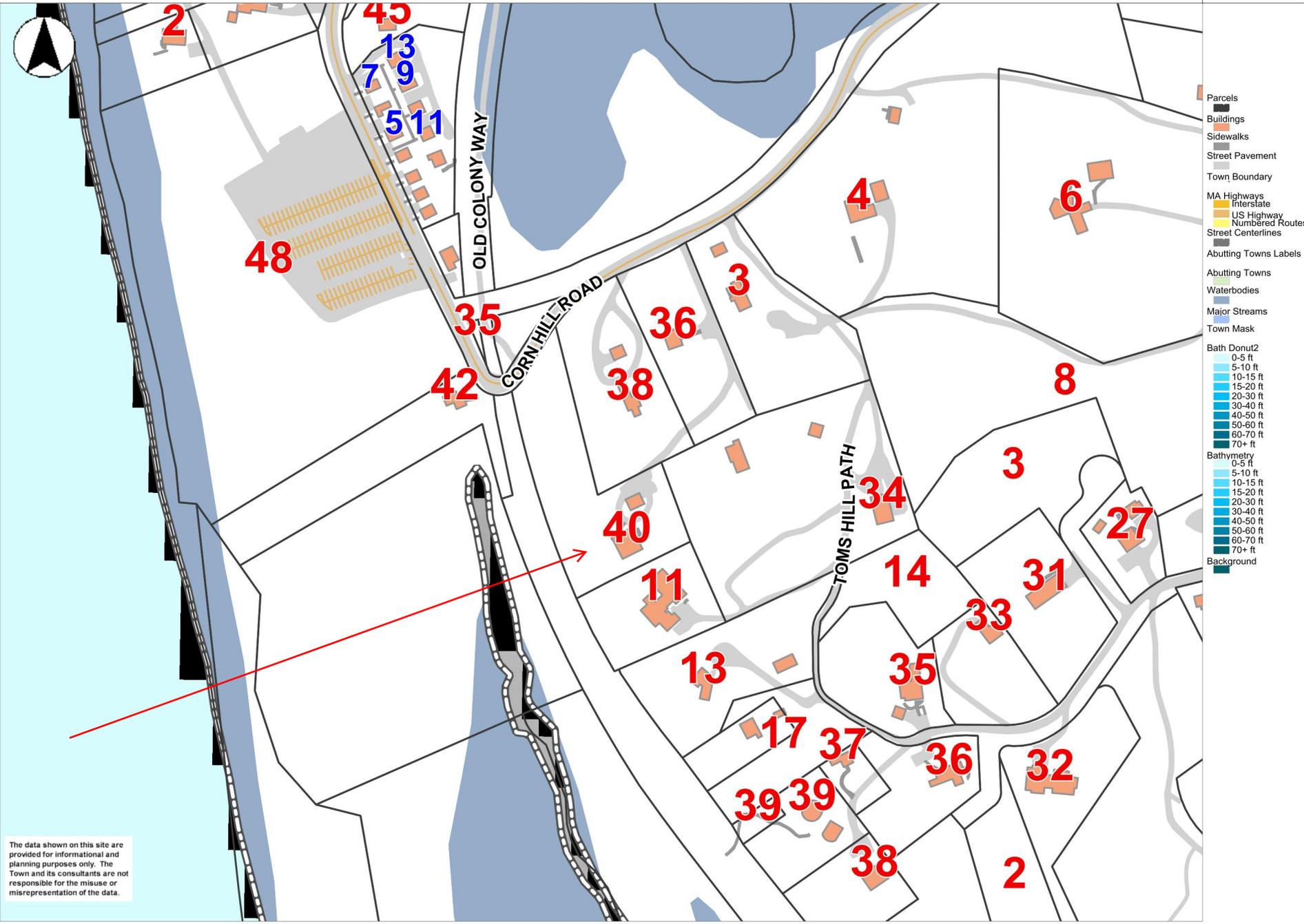
BUILDING	CD	ADJ	DESC	MEASURE	9/19/2013	FC
MODEL	1		RESIDENTIAL	LIST	9/19/2013	FC
STYLE	5	1.05	COLONIAL [100%]	REVIEW	5/25/2011	MR
QUALITY	G	1.30	GOOD [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS
BMF=OPEN EXERCISE/POOL RM+OFFICE.

DETACHED

BUILDING

YEAR BLT	2005	SIZE ADJ	1.000	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	685,445		
NET AREA	2,080	DETAIL ADJ	1.010	FOUNDATION	4	BSMT WALL	1.00	A	BMU	N	BSMT UNFINISHED	384		70.76	27,173	CONDITION ELEM CD			
\$NLA(RCN)	\$330	OVERALL	1.070	EXT. COVER	1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	672	2005	258.17	173,490				
				ROOF SHAPE	1	GABLE	1.00	+	USF	L	UP-STRY FIN	672	2005	205.16	137,866				
				ROOF COVER	1	ASPHALT SHINGLE	1.00	+	BMF	N	BSMT FINISH	1,024		104.63	107,142				
				FLOOR COVER	4	TILE	1.00	C	BAS	L	BAS AREA	736	2005	258.17	190,013				
				INT. FINISH	5	OTHER	1.00	D	OPA	N	OPEN PORCH	440		54.08	23,796				
				HEATING/COOLING	3	RADIANT	1.02	E	WDK	N	ATT WOOD DECK	504		39.02	19,665				
				FUEL SOURCE	2	GAS	1.00		ODS	O	OUT DOOR SHOWER			0.00					
																EFF.YR/AGE	2005 / 15		
																COND	15 15%		
																FUNC	0		
																ECON	0		
																DEPR	15	% GD	85
																RCNLD	\$582,600		



- Parcels
- Buildings
- Sidewalks
- Street Pavement
- Town Boundary
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Street Centerlines
- Abutting Towns Labels
- Abutting Towns
- Waterbodies
- Major Streams
- Town Mask
- Bath Donut2
 - 0-5 ft
 - 5-10 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft
- Bathymetry
 - 0-5 ft
 - 5-10 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft
- Background

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 330 660 ft

Printed on 05/16/2022 at 02:36 PM

MapsOnline - Truro, MA

MASSACHUSETTS STATE EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 11-17-2020 @ 11:39am
Ct1#: 673 Doc#: 64531
Fee: \$9,918.00 Cons: \$2,900,000.00

BARNSTABLE COUNTY EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 11-17-2020 @ 11:39am
Ct1#: 673 Doc#: 64531
Fee: \$8,874.00 Cons: \$2,900,000.00

Property address: 40 Corn Hill Road, Truro, MA 02666

QUITCLAIM DEED

We, H. Mason Morfit and Jane W. Bunker, married to each other,

in consideration of Two Million Nine Hundred Thousand and 00/100 (\$2,900,000.00) DOLLARS, paid

grant to Susan J. Goldstein and Jonathan A. Curtis, as husband and wife, tenants by the entirety, with a mailing address of 130 South 18th Street, Unit 1802, Philadelphia, PA 19103

WITH QUITCLAIM COVENANTS,

The land with the buildings thereon in the Town of Truro, Barnstable County, Massachusetts, known and numbered as 40 Corn Hill Road, more particularly described as follows:

- Northwesterly: by Corn Hill Road, one hundred fifty-one (151) feet;**
- Northeasterly: by Lot 2, on said plan, three hundred thirty-seven and 5/100 (337.05) feet;**
- Northwesterly: by Lot 2, one hundred thirty-nine and 53/100 (139.53) feet;**
- Northeasterly: by land now or formerly of Austin and Eleanor Montgomery, one hundred fifty-five (155) feet;**
- Southeasterly: by land now or formerly of Harold and Marion P. Hawkey, two hundred forty-nine and 98/100 (249.98) feet;**
- Southwesterly: by land of the Town of Truro, four hundred fifteen and 2/100 (415.02) feet;**

shown as Lot 1 on that recorded plan in the Barnstable County Registry of Deeds in Plan Book 459, Page 12 containing 1.649 acres, more or less according to said plan.

Deed of 40 Corn Hill Road
Page 2

Subject to and with the benefit of the following rights and restrictions:

1. As set forth in the deed recorded with the Barnstable County Registry of Deeds in Book 26524 Page 167.
2. With the benefit of an easement over 38 Corn Hill Road as set forth in the Easement recorded herewith. See Plan Book 688 Page 9.
3. Subject to the easement as set forth in the Pedestrian Easement recorded herewith. See Plan Book 688 Page 9.

Further subject to and together with all matters of record insofar as the same are now in force and applicable.

Meaning and intending to convey the same premises set forth in the deed recorded with the Barnstable County Registry of Deeds in Book 26524 Page 167, to which reference should be made for Grantors' title.

The Grantors hereby waive and release any and all rights of homestead in the above property that they may have or be able to claim pursuant to M.G.L. c. 188 and further certify under the pains and penalties of perjury they are married to each other and that no former spouses, partners or former partners in a civil union can claim the benefit of a homestead by court order or otherwise in said property.

-Signatures and Acknowledgement on Following Page-

Deed of 40 Corn Hill Road
Page 3

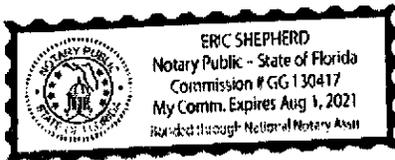
Witness our hands and seals this 10 day of November 2020.

H. Mason Morfit
H. Mason Morfit

Jane W. Bunker
Jane W. Bunker

State of Florida
County Pineellas

On this 10 day of November 2020, before me, the undersigned notary public, personally appeared H. Mason Morfit and Jane W. Bunker, each proved to me through satisfactory evidence of identification, which was a state issued driver's license containing his/her photograph and his/her signature to be the person whose name is signed on the preceding document, and acknowledged to me that he/she signed it voluntarily as his/her free act and deed and swore and affirmed that the statements as to marital status and homestead rights are true and accurate.

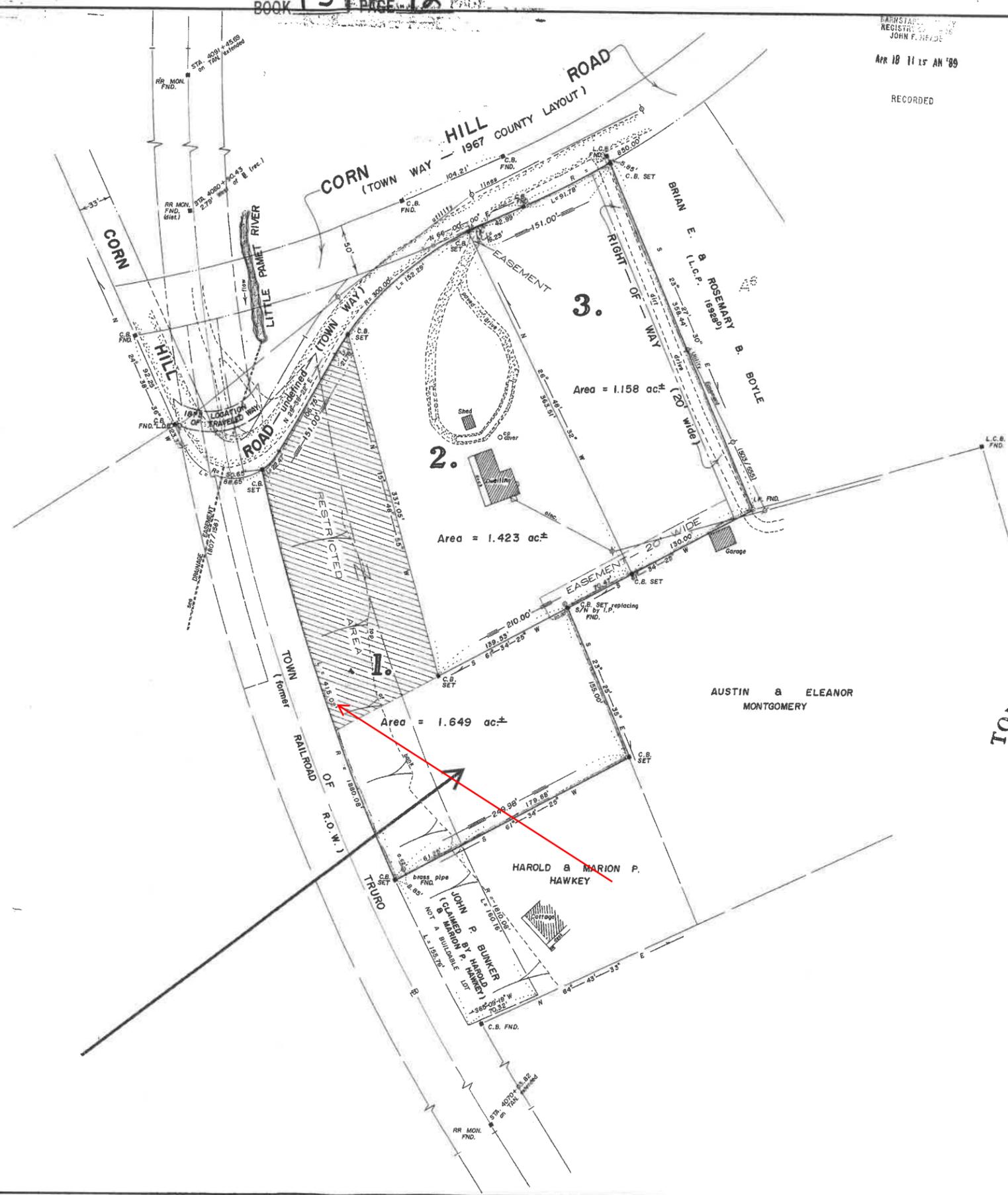


Eric Shepherd
Notary Public: Eric Shepherd
My Commission expires: August 1, 2021

SEAL

RECORDED
APR 18 11 15 AM '89

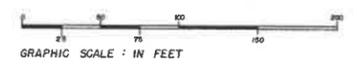
FOR REGISTRY USE



459-12

DIVISION
PLAN OF LAND IN TRURO
made for
JOHN P. BUNKER

SCALE: 1 IN. = 50 FT. FEB., 1989
SLADE ASSOCIATES, INC. REG. LAND SURVEYORS
RTE. 6 & PINE PT. RD., WELLFLEET, MA. 02667



I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.
Chester White DATE: 10 March '89
REGISTERED LAND SURVEYOR

AUSTIN & ELEANOR MONTGOMERY

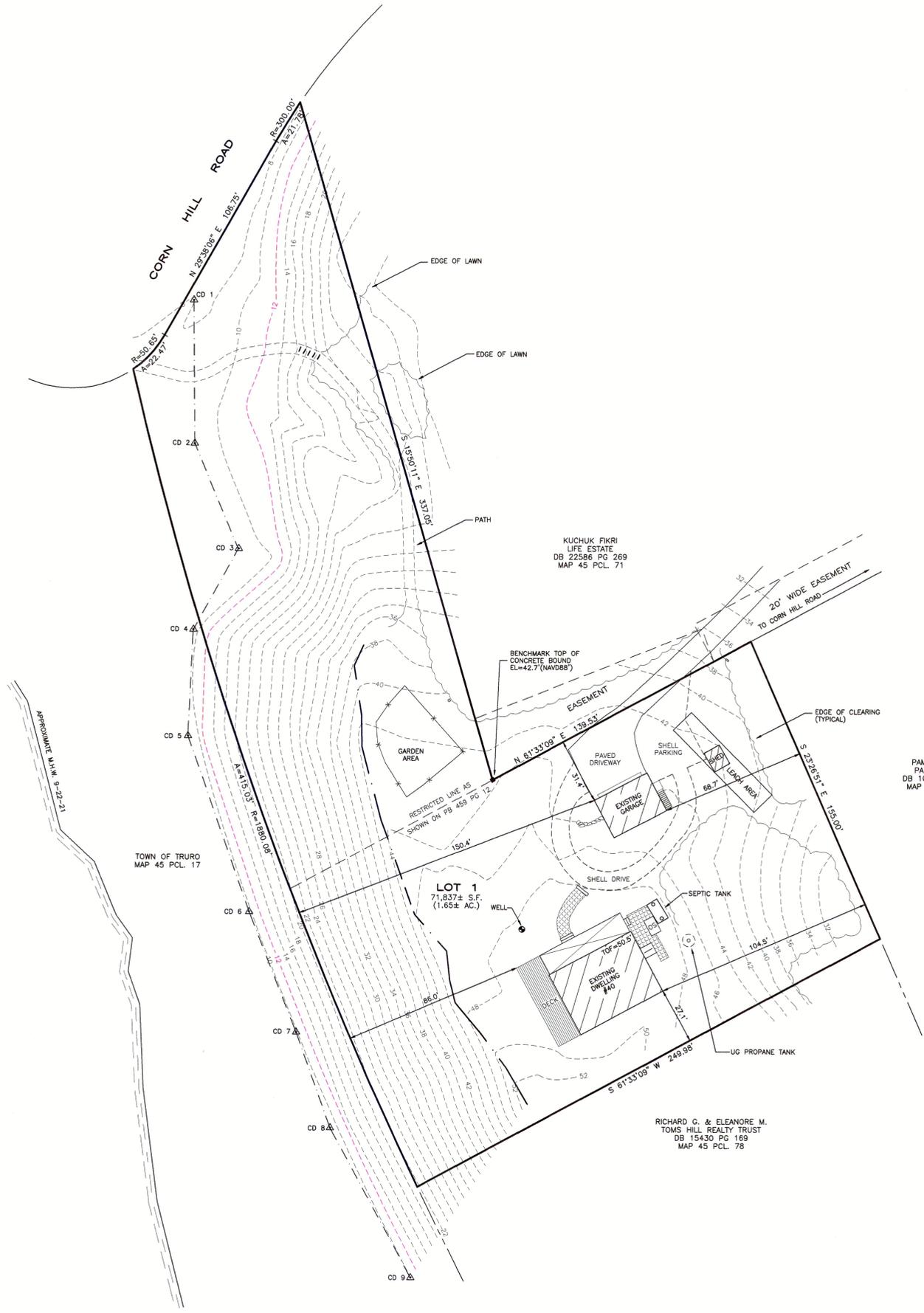
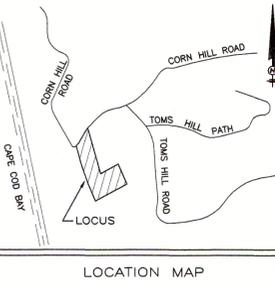
HAROLD & MARION P. HAWKEY

JOHN P. BUNKER
(OWNED BY HAROLD & MARION P. HAWKEY)
NOT A BUILDABLE LOT

TOWN OF TRURO
Robert...
MAY 23 2022
2022-011/25A
RECEIVED
TOWN CLERK
Supplemental

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW:
Robert...
Bruce A. Brown
Annella Pappert
Robert E. McKenna
John P. Bunker

TRURO PLANNING BOARD
DATE: March 15, 1989



OWNER OF RECORD:
 SUSAN J. GOLDSTEIN &
 JONATHAN A. CURTIS
 130 SOUTH 18TH STREET, UNIT 1802
 PHILADELPHIA, PA 19103

REFERENCES:
 DEED BOOK 33478 PAGE 176
 PLAN BOOK 459 PAGE 12
 ASSESSORS MAP 45 PARCEL 118
 ZONING DISTRICT: RESIDENTIAL
 HORIZONTAL DATUM: NAD 1983
 VERTICAL DATUM: NAVD 1988
 THE SEPTIC SYSTEM SHOWN IS AN
 APPROXIMATE LOCATION BASED ON
 BOARD OF HEALTH RECORDS.

EXISTING CONDITIONS PLAN
 40 CORN HILL ROAD
 TRURO, MA
 PREPARED FOR:
**SUSAN GOLDSTEIN &
 JONATHAN CURTIS**
 SCALE: 1" = 30' JUNE 16, 2022
 GRAPHIC SCALE IN FEET

DEMAREST LAND SURVEYING
 338 MAYFAIR ROAD
 SOUTH DENNIS, MA 02660
 508-364-9049



6/16/22
 DATE
 JOHN Z. DEMAREST, JR., P.L.S.



SURVEY BY:
DEMAREST LAND SURVEYING
338 MAYFAIR ROAD
SOUTH DENNIS, MA 02660
508-364-9049

WETLAND DELINEATION BY:
ENVIRONMENTAL CONSULTING & RESTORATION, LLC
P.O. BOX 4012
PLYMOUTH, MA
617-529-3792

SITE DETAILS		
DESCRIPTION	SQUARE FOOTAGE	ACREAGE
SITE AREA	± 71,837 SF	1.65

EXISTING ARCHITECTURE SQUARE FOOTAGE		
DESCRIPTION	TOTAL SQUARE FOOTAGE	LIVABLE SPACE SQUARE FOOTAGE
MAIN DWELLING - BASEMENT	1,427	1,040
MAIN DWELLING - FIRST FLOOR	1,408	1,408
MAIN DWELLING - SECOND FLOOR	693	693
GARAGE - FIRST FLOOR	498	0
GARAGE - SECOND FLOOR	470	470
TOTAL	4,496	3,611

*NOTE: SEE ARCHITECTURE DRAWINGS FOR PROPOSED FLOOR AREA



Revisions		
No.	Date	Description

40 CORN HILL RD
TRURO, MA
Scale: 1" = 20'-0"
Project No: 2135
Date: 5/20/22

EXISTING CONDITIONS PLAN

L0.0

EXISTING TREES IN RESOURCE AREAS

INVASIVE TREES TO BE REMOVED

Qty	Common Name
17	Locust

TREES TO REMAIN

Qty	Common Name
9	Cherry
1	Blue Spruce

GENERAL NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS PREPARED BY DEMAREST LAND SURVEY DATED 11/05/2021.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME AND COORDINATE WITH THE ARCHITECT AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- CONSULT ALL OF THE DRAWINGS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT IMMEDIATELY.

SITE PREPARATION AND DEMOLITION NOTES:

- CONTRACTOR SHALL REVIEW DRAWINGS AND DETERMINE SITE ACCESS ROUTE AND STAGING AREA. CONTRACTOR SHALL PERFORM NO DEMOLITION PRIOR TO OBTAINING WRITTEN APPROVAL FROM THE OWNER.
- ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED THROUGHOUT THE TIME OF CONSTRUCTION, AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- REMOVE AND STOCKPILE ALL EXISTING SITE IMPROVEMENTS TO BE REUSED UNLESS OTHERWISE NOTED.
- ANY MATERIAL STOCKPILED ON SITE DURING CONSTRUCTION SHALL BE SURROUNDED BY SILTATION FENCE TO PREVENT EROSION.

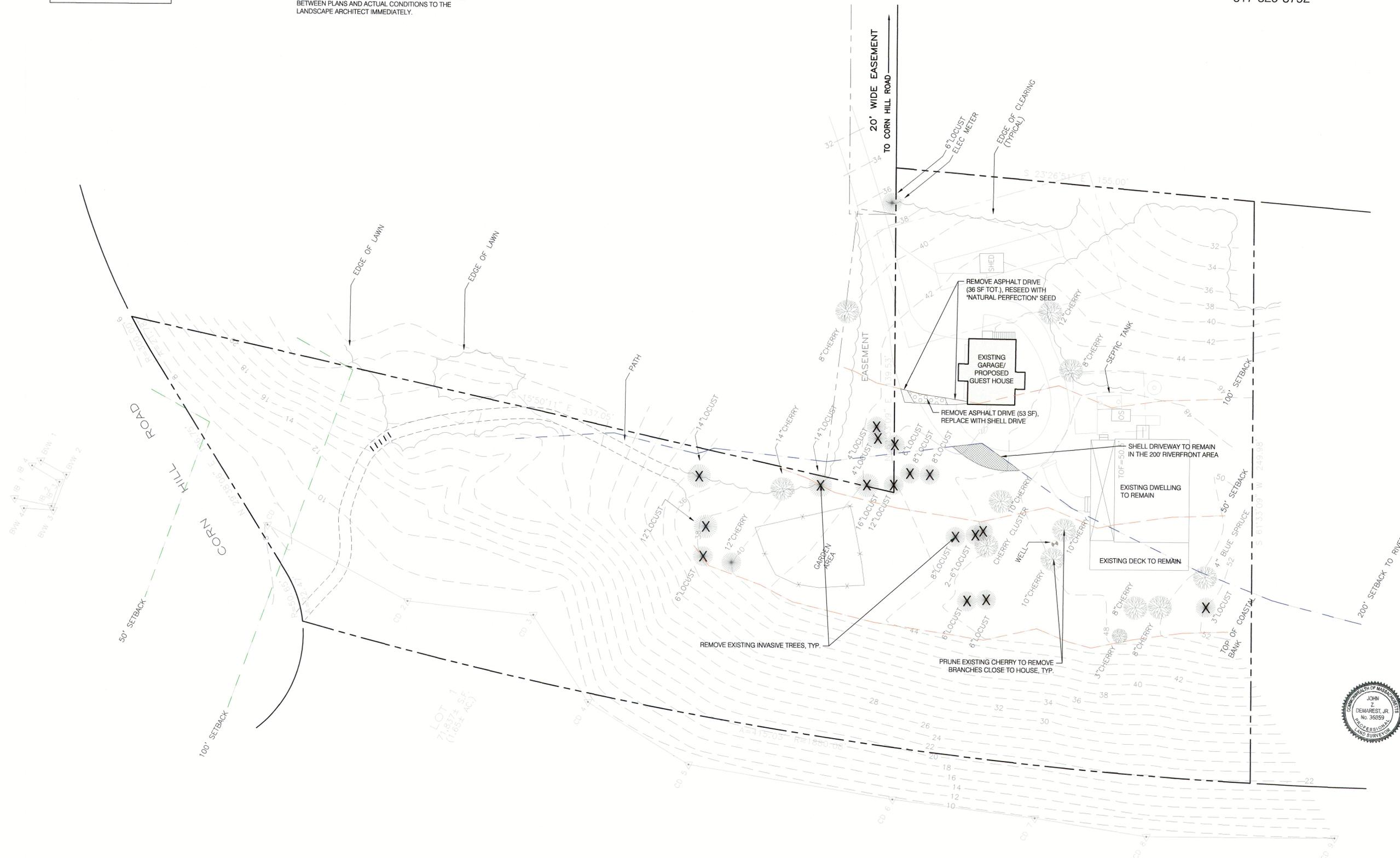
SURVEY BY:
 DEMAREST LAND SURVEYING
 338 MAYFAIR ROAD
 SOUTH DENNIS, MA 02660
 508-364-9049

WETLAND DELINEATION BY:
 ENVIRONMENTAL CONSULTING & RESTORATION, LLC
 P.O. BOX 4012
 PLYMOUTH, MA
 617-529-3792



535 Albany Street No 5A
 Boston, MA 02118
 617.426.6475
 leblancjones.com

LEBLANC JONES LANDSCAPE ARCHITECTS, INC.



Revisions

No	Date	Description
1	00-00-00	ISSUED FOR...

GOLDSTEIN CURTIS RESIDENCE
 TRURO, MA

Scale: 1"=20'
 Project No: 2135
 Date: 03/11/2022

SITE PREPARATION PLAN



L0.0

© LeBlanc Jones Landscape Architects, Inc.

GENERAL NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS PREPARED BY DEMAREST LAND SURVEYING, DATED 11/05/2021.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME AND COORDINATE WITH THE ARCHITECT AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- CONSULT ALL OF THE DRAWINGS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT IMMEDIATELY.

LAYOUT & MATERIALS NOTES:

- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FROM FACE OF WALL OR BUILDING, UNLESS OTHERWISE NOTED.
- SUBMIT FULL SHOP DRAWINGS FOR PAVING LAYOUT AND PAVING SAMPLES TO LANDSCAPE ARCHITECT SHOWING FINISHES OF HORIZONTAL AND VERTICAL FACES AND FULL RANGE OF COLORS.
- STAKE ALL PROPOSED HARDSCAPE LAYOUT AND ELEVATIONS IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
- DO NOT SCALE OFF DRAWINGS.

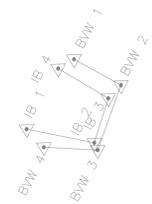
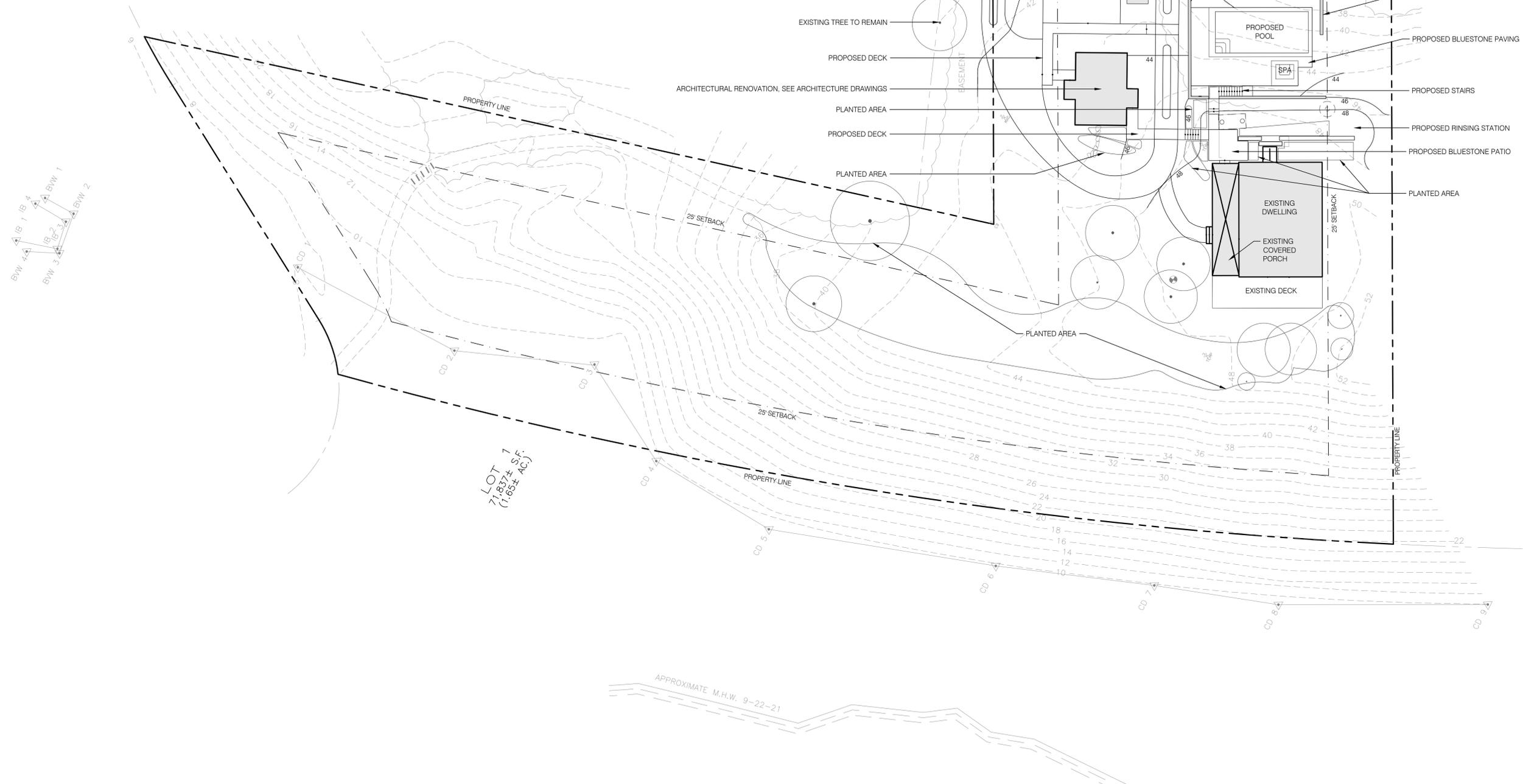
SURVEY BY:
 DEMAREST LAND SURVEYING
 338 MAYFAIR ROAD
 SOUTH DENNIS, MA 02660
 508-364-9049

WETLAND DELINEATION BY:
 ENVIRONMENTAL CONSULTING & RESTORATION, LLC
 P.O. BOX 4012
 PLYMOUTH, MA
 617-529-3792



535 Albany Street No 5A
 Boston, MA 02118
 617.426.6475
 leblancjones.com

LEBLANC JONES LANDSCAPE ARCHITECTS, INC.



LOT 7
 71,837 ± SF.
 (1,632 ± AC.)

APPROXIMATE M.H.W. 9-22-21

Revisions	No	Date	Description

40 CORN HILL RD
 TRURO, MA
 Scale: 1"=20'
 Project No: 2135
 Date: 5/20/22

OVERALL SITE PLAN

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

L1.0

© LeBlanc Jones Landscape Architects, Inc.

PROPOSED PLANTING SCHEDULE

CODE	LATIN NAME	COMMON NAME	SIZE	SPACING
TREES				
MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	10-12 ft. ht.	
NS	<i>Nyssa sylvatica</i>	Black Gum	2-3.5' cal.	
SHRUBS				
Hq	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	5 gal.	4 o.c.
Mp	<i>Myrica pensylvanica</i>	Bayberry	5 gal.	
GRASSES				
[Pattern]	<i>Panicum clandestinum</i>	Deertongue	plug	18" o.c.
[Pattern]	<i>Panicum virgatum</i>	Switchgrass	plug	18" o.c.
[Pattern]	<i>Schizachyrium scoparium</i>	Little Bluestem	plug	18" o.c.
[Pattern]	<i>Sporobolus cryptandrus</i>	Sand Dropseed	plug	18" o.c.

TOTAL SQUARE FOOTAGE OF MOWN AREA REPLACED WITH NATIVE ORNAMENTAL GRASS PLANTINGS OR NATIVE SEED MIX = 6,678 SF

[Box] EXISTING MOWN AREA TO REMAIN = 7,826 SF

GENERAL NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS PREPARED BY DEMAREST LAND SURVEY DATED 11/05/2021.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME AND COORDINATE WITH THE ARCHITECT AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- CONSULT ALL OF THE DRAWINGS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT IMMEDIATELY.

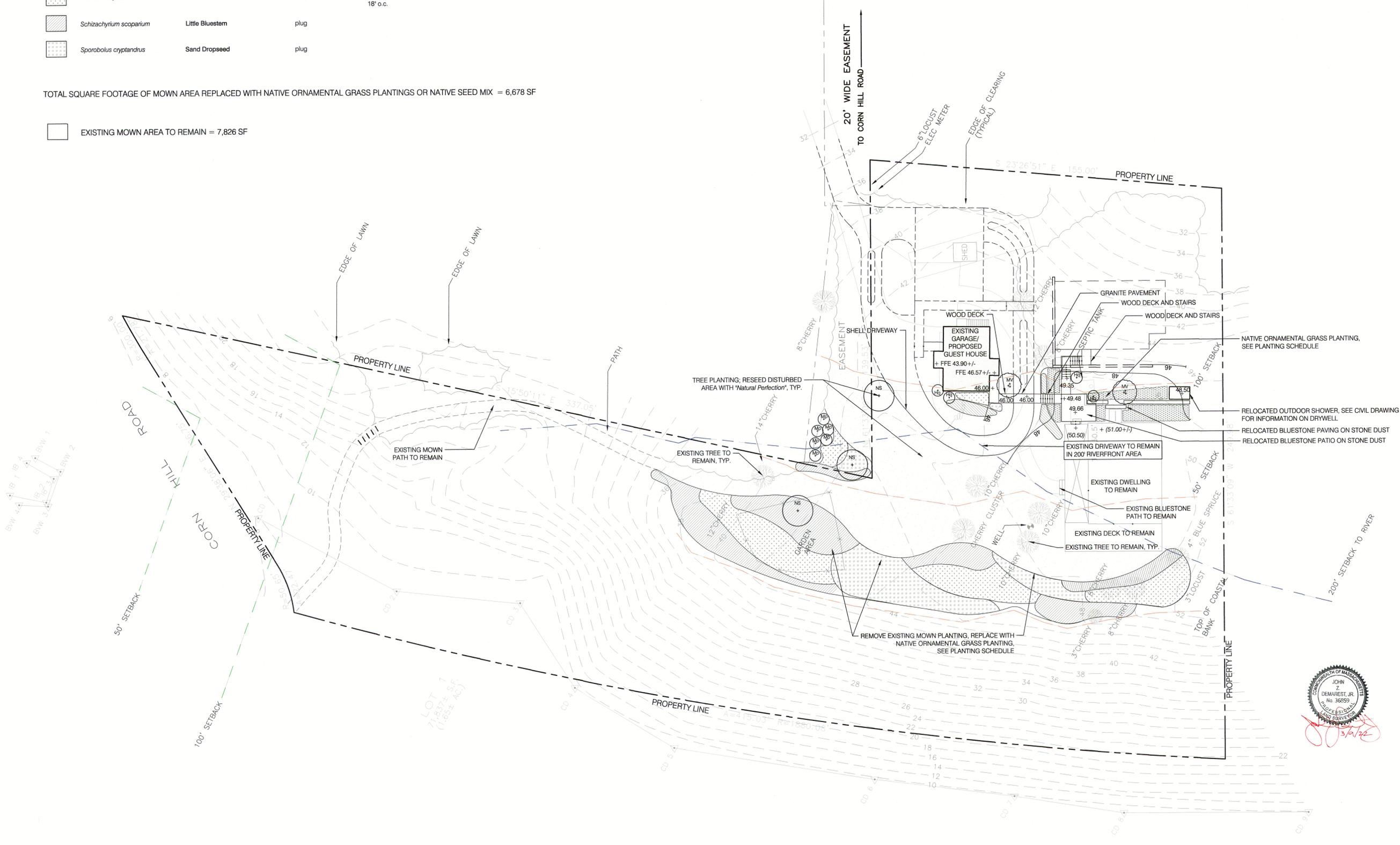
PLANTING NOTES:

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL STAKE OR LAYOUT THE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT
- CONTRACTOR SHALL MINIMIZE IMPACT ON EXISTING TREES WHEN PLANTING WITHIN EXISTING ROOT ZONES.
- IN THE EVENT THAT QUANTITY DISCREPANCIES BETWEEN THE PLANT MATERIALS LIST AND THE DRAWINGS, THE HIGHER NUMBER OF PLANTS SHALL GOVERN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

SURVEY BY:
 DEMAREST LAND SURVEYING
 338 MAYFAIR ROAD
 SOUTH DENNIS, MA 02660
 508-364-9049

WETLAND DELINEATION BY:
 ENVIRONMENTAL CONSULTING & RESTORATION, LLC
 P.O. BOX 4012
 PLYMOUTH, MA
 617-529-3792

LJ
 LEBLANC JONES LANDSCAPE ARCHITECTS, INC.
 535 Albany Street No 5A
 Boston, MA 02118
 617.426.6475
 leblancjones.com



Revisions

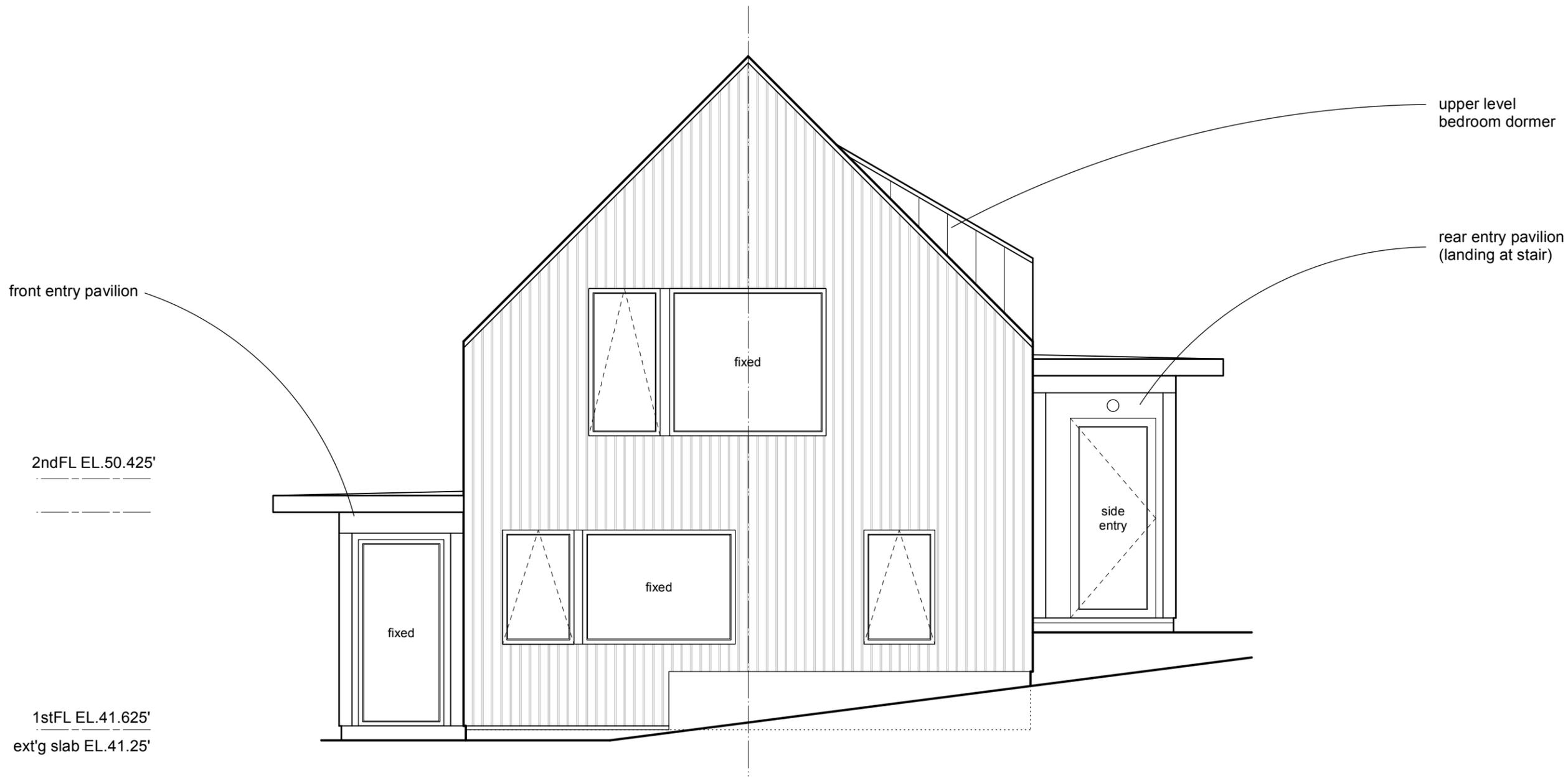
No	Date	Description

GOLDSTEIN CURTIS RESIDENCE
 TRURO, MA

Scale: 1"=20'
 Project No: 2135
 Date: 03/11/2022

MATERIALS & PLANTING





EZRA BLOCK ARCHITECT
 48 INMAN STREET
 CAMBRIDGE MA 02 139
 t. 617 899 4966

40 CORN HILL ROAD • TRURO, MASSACHUSETTS
CURTIS-GOLDSTEIN COTTAGE

ISSUED FOR:
 SCHEMATIC DESIGN

DATE:
 01.20.2022

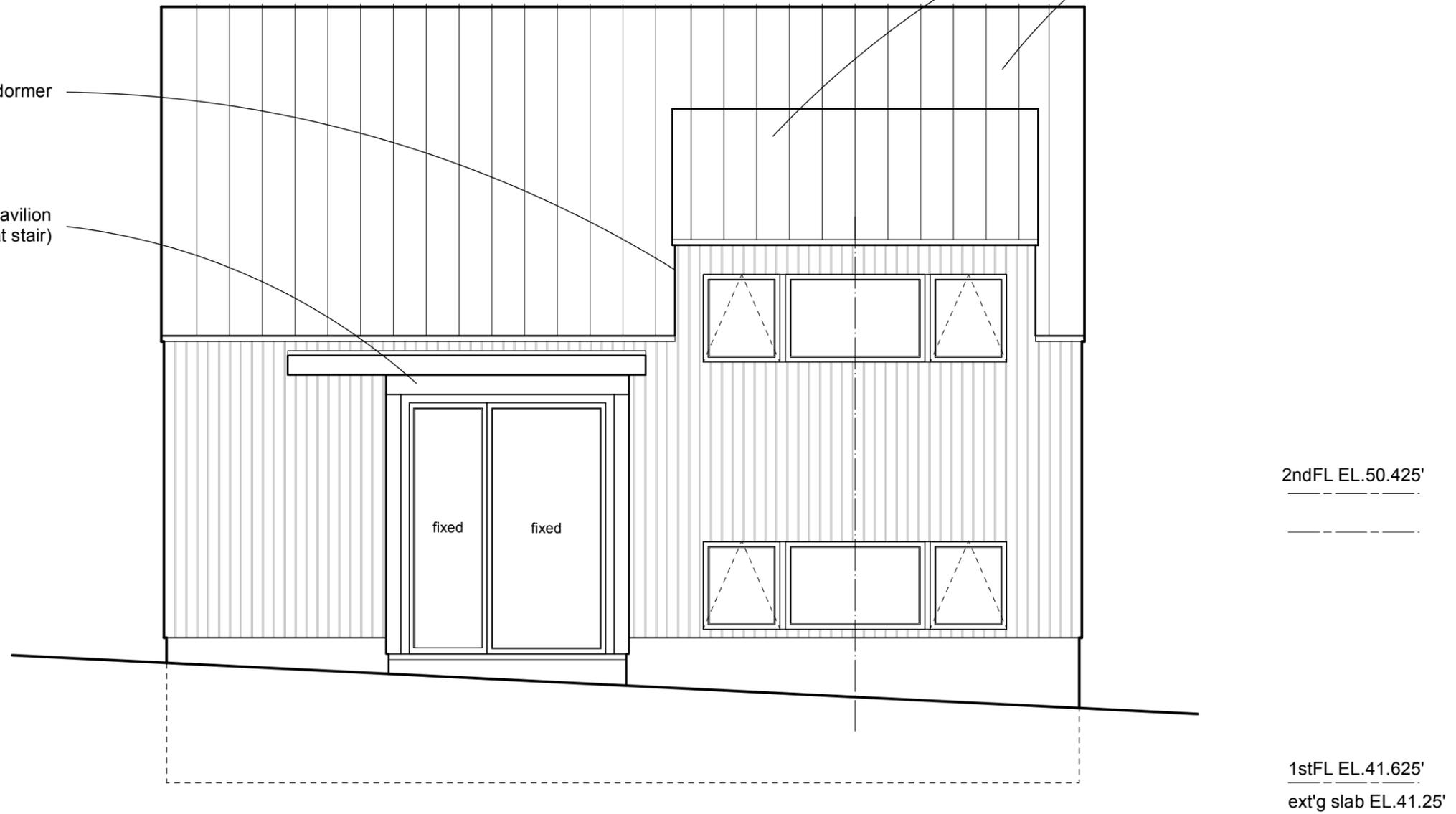
A2.1

1 WATER/WEST ELEVATION - proposed
 Scale: 1/4" = 1'-0"

upper level bedroom dormer

rear entry pavilion
(landing at stair)

standing seam metal roof



2

REAR/SOUTH ELEVATION - proposed
Scale: 1/4" = 1'-0"

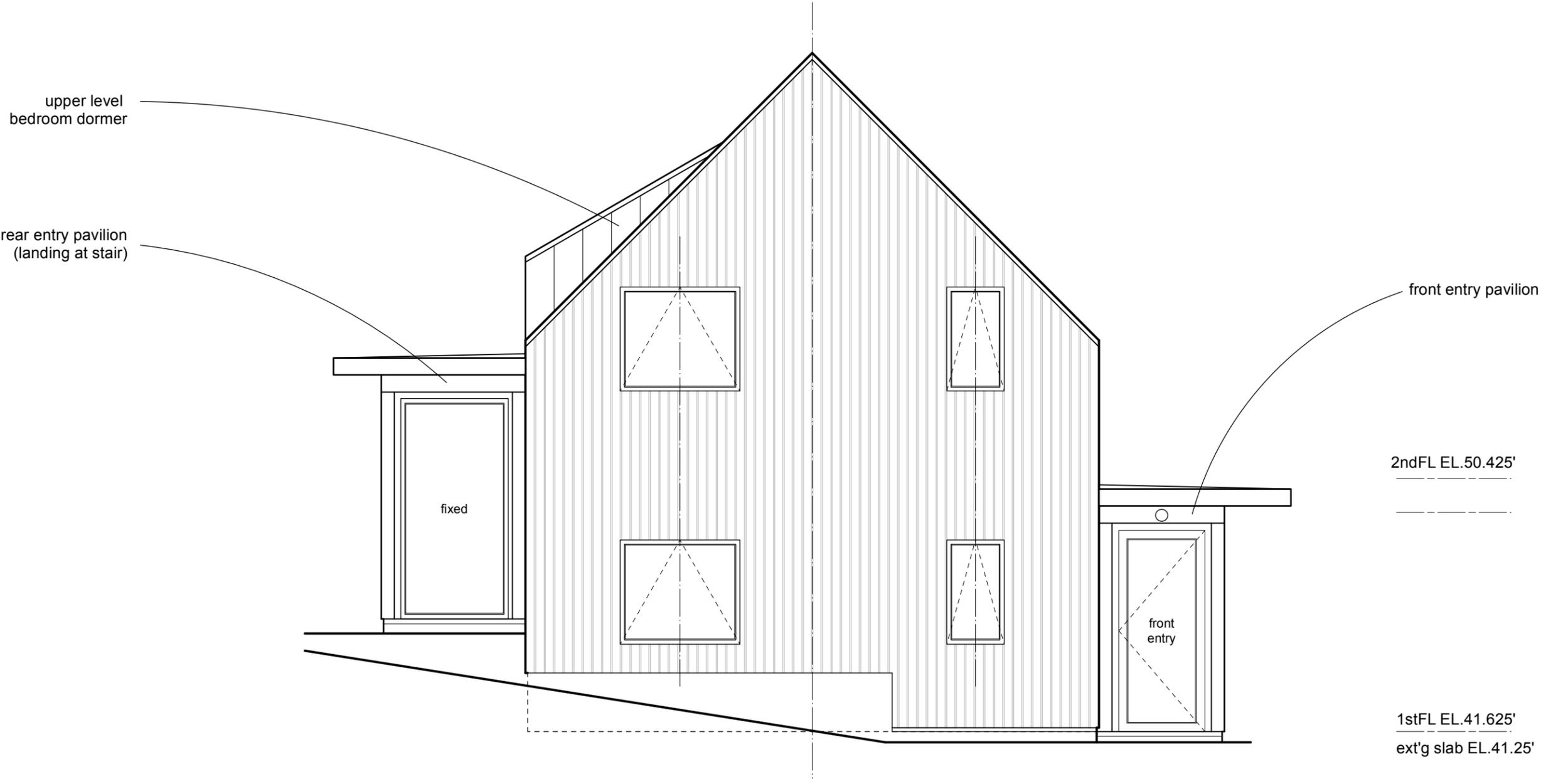
EZRA BLOCK ARCHITECT
48 INMAN STREET
CAMBRIDGE MA 02 139
t. 617 899 4966

40 CORN HILL ROAD • TRURO, MASSACHUSETTS
CURTIS - GOLDSTEIN COTTAGE

ISSUED FOR:
SCHEMATIC DESIGN

DATE:
01.20.2022

A2.2



upper level
bedroom dormer

rear entry pavilion
(landing at stair)

fixed

front
entry

front entry pavilion

2ndFL EL.50.425'

1stFL EL.41.625'

ext'g slab EL.41.25'

3 **SIDE/EAST ELEVATION - proposed**
Scale: 1/4" = 1'-0"

EZRA BLOCK ARCHITECT
48 INMAN STREET
CAMBRIDGE MA 02 139
t. 617 899 4966

40 CORN HILL ROAD • TRURO, MASSACHUSETTS
CURTIS - GOLDSTEIN COTTAGE

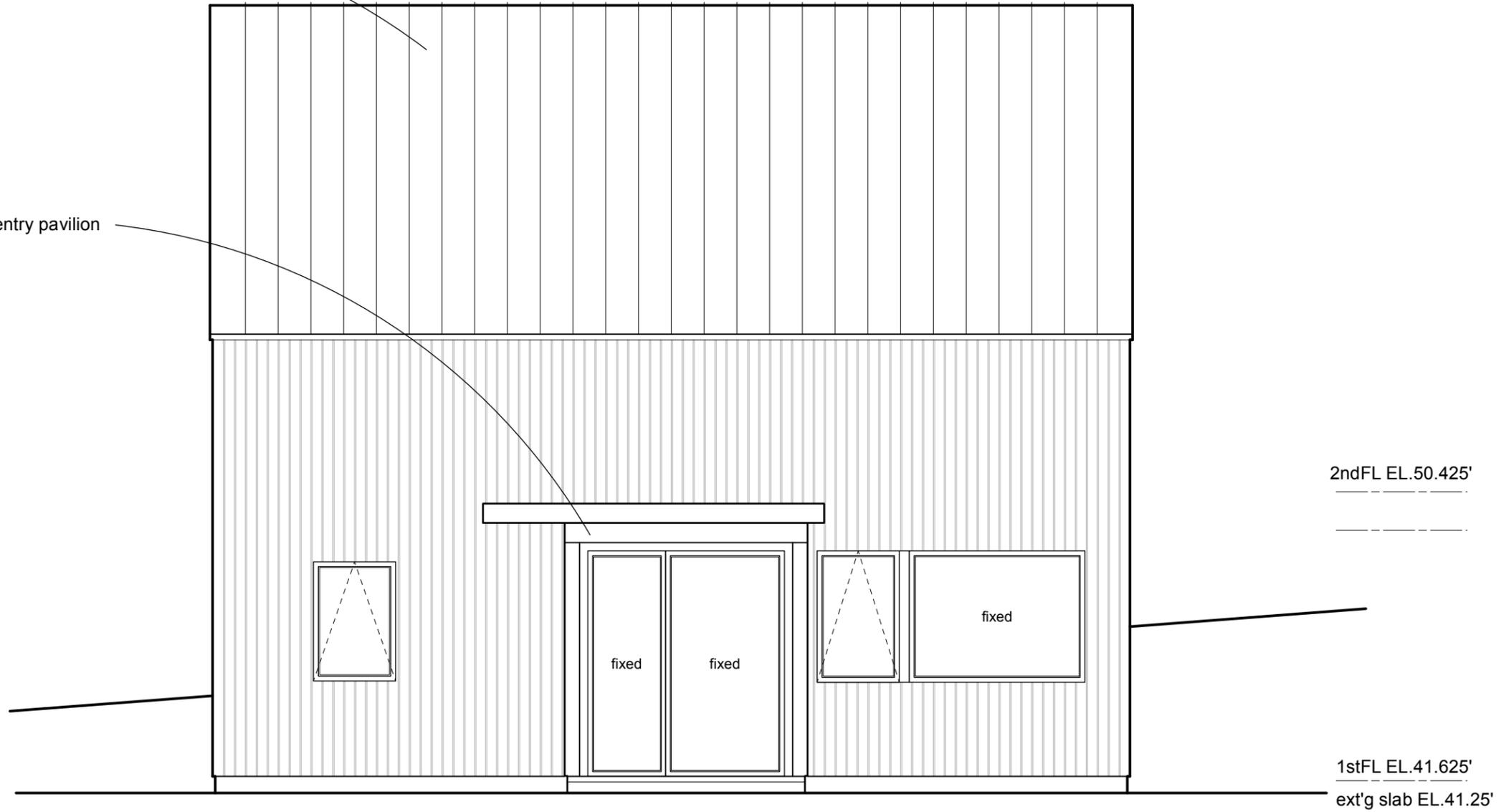
ISSUED FOR:
SCHEMATIC DESIGN

DATE:
01.20.2022

A2.3

standing seam metal roof

front entry pavilion



4

FRONT/NORTH ELEVATION - proposed
Scale: 1/4" = 1'-0"

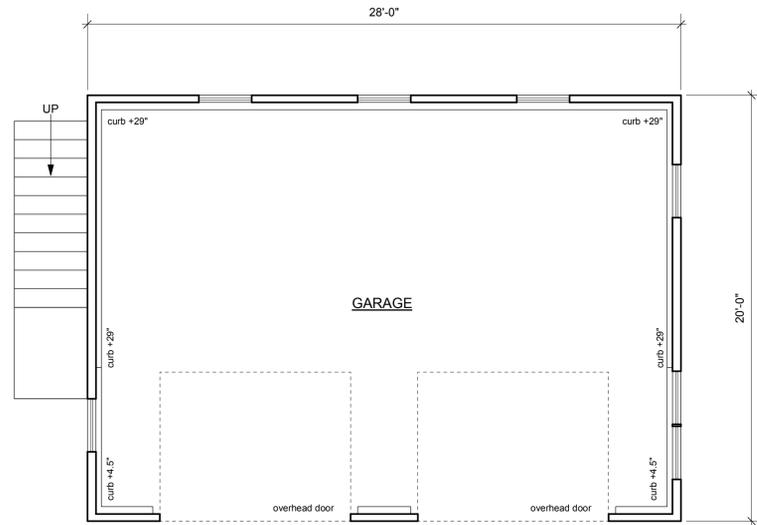
EZRA BLOCK ARCHITECT
48 INMAN STREET
CAMBRIDGE MA 02 139
t. 617 899 4966

40 CORN HILL ROAD • TRURO, MASSACHUSETTS
CURTIS - GOLDSTEIN COTTAGE

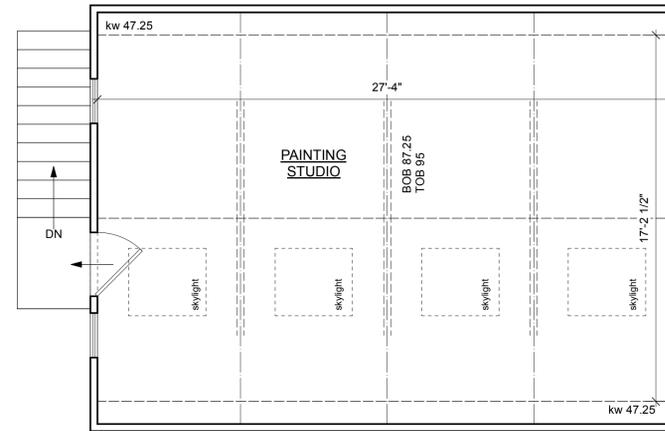
ISSUED FOR:
SCHEMATIC DESIGN

DATE:
01.20.2022

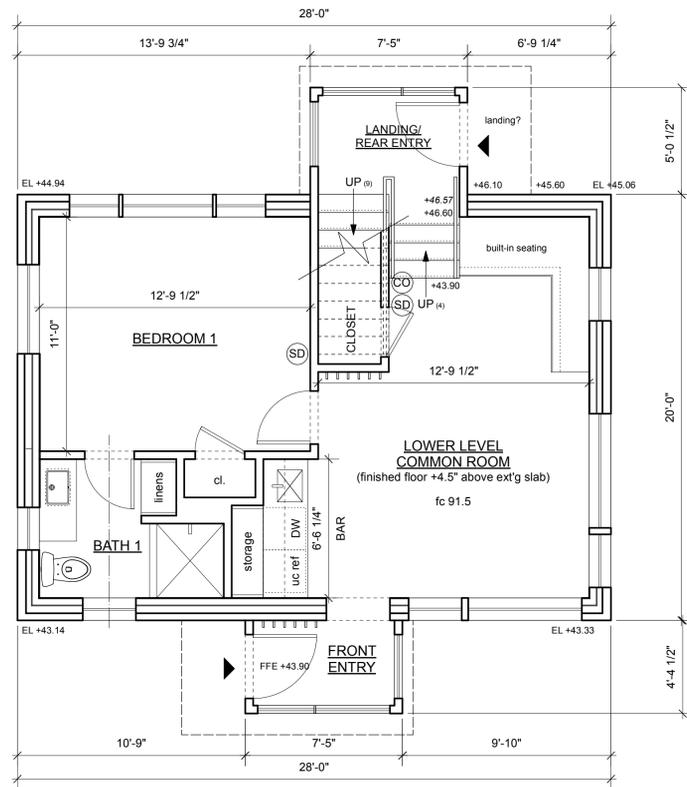
A2.4



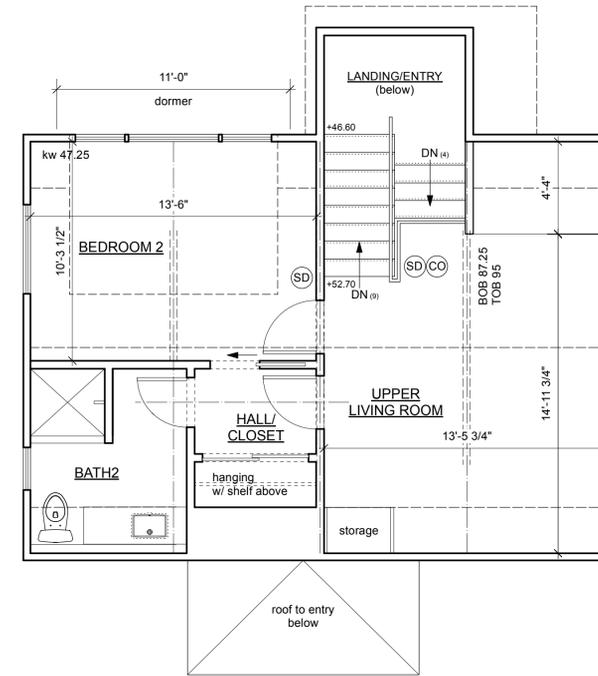
EC1 LOWER LEVEL - existing plan
Scale: 1/4" = 1'-0"



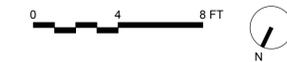
EC2 UPPER LEVEL - existing plan
Scale: 1/4" = 1'-0"



1 LOWER LEVEL - proposed plan option
Scale: 1/4" = 1'-0"



2 UPPER LEVEL - proposed plan option
Scale: 1/4" = 1'-0"



40 Corn Hill Road • Truro			
	EXISTING (sqft)		PROPOSED (sqft)
	Garage/Studio	Livable Space	Cottage Livable Space
First Floor	498	0	480
Second Floor	470	470	514
TOTAL	968	470	994

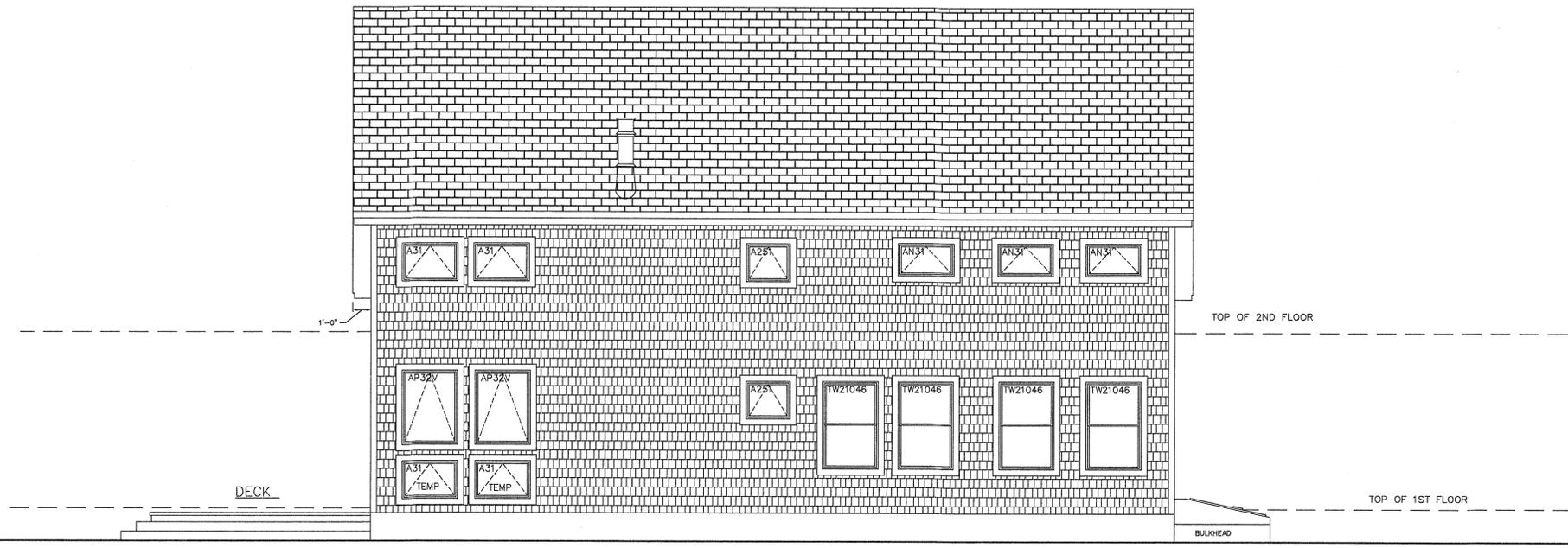
EZRA BLOCK ARCHITECT
48 INMAN STREET
CAMBRIDGE MA 02139
t. 617 899 4966

40 CORN HILL ROAD • TRURO, MASSACHUSETTS
CURTIS-GOLDSTEIN COTTAGE

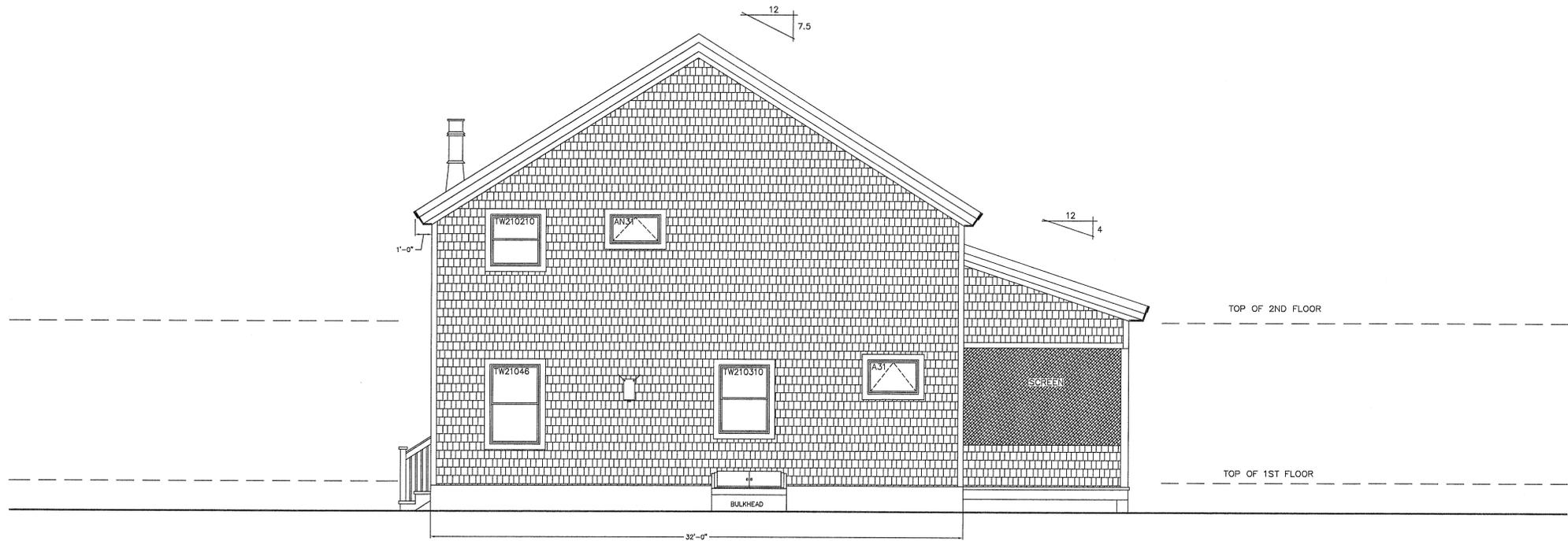
ISSUED FOR:
CONSERVATION COMM.

DATE:
03.06.2022

A1.1



SOUTH ELEVATION



EAST ELEVATION

COPYRIGHT LAWS PROHIBIT REPRODUCTION OR USE OF THIS DRAWING, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DW TIMBER FRAME DESIGN, LLC KEENE, NEW HAMPSHIRE

FRONT ELEV.

REVISIONS	
DATE	NUMBER & DESCRIPTION
8/22/05	

SCALE: 1/4" = 1'-0"

DATE: 4/20/05

DRAWN BY: DEW

CHECKED BY:

JOB NAME:
MORFIT RESIDENCE
TRURO, MA

DW TIMBER FRAME DESIGN, LLC
 TIMBER FRAME & PANEL HOME DESIGN

76 HOWARD STREET, KEENE, N.H. 03431
 PHONE: (603)357-9744 FAX: (603)358-6216

TOP OF 2ND FLOOR

TOP OF 1ST FLOOR

BULKHEAD

DECK



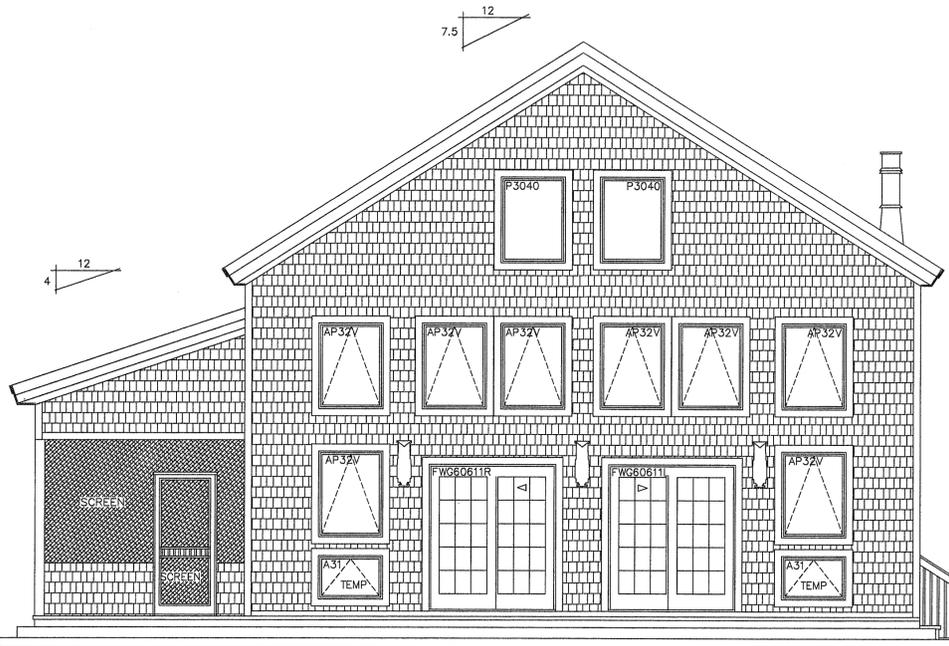
NORTH ELEVATION

12
7.5

12
4

TOP OF 2ND FLOOR

TOP OF 1ST FLOOR



WEST ELEVATION

EXTERIOR LIGHT

COPYRIGHT LAWS PROHIBIT REPRODUCTION OR USE OF THIS DRAWING, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DW TIMBER FRAME DESIGN, LLC KEENE, NEW HAMPSHIRE

R. SIDE ELEV

REVISIONS

DATE: NUMBER & DESCRIPTION

8/22/05

SCALE: 1/4" = 1'-0"

DATE: 4/20/05

DRAWN BY: DEW

CHECKED BY:

JOB NAME:

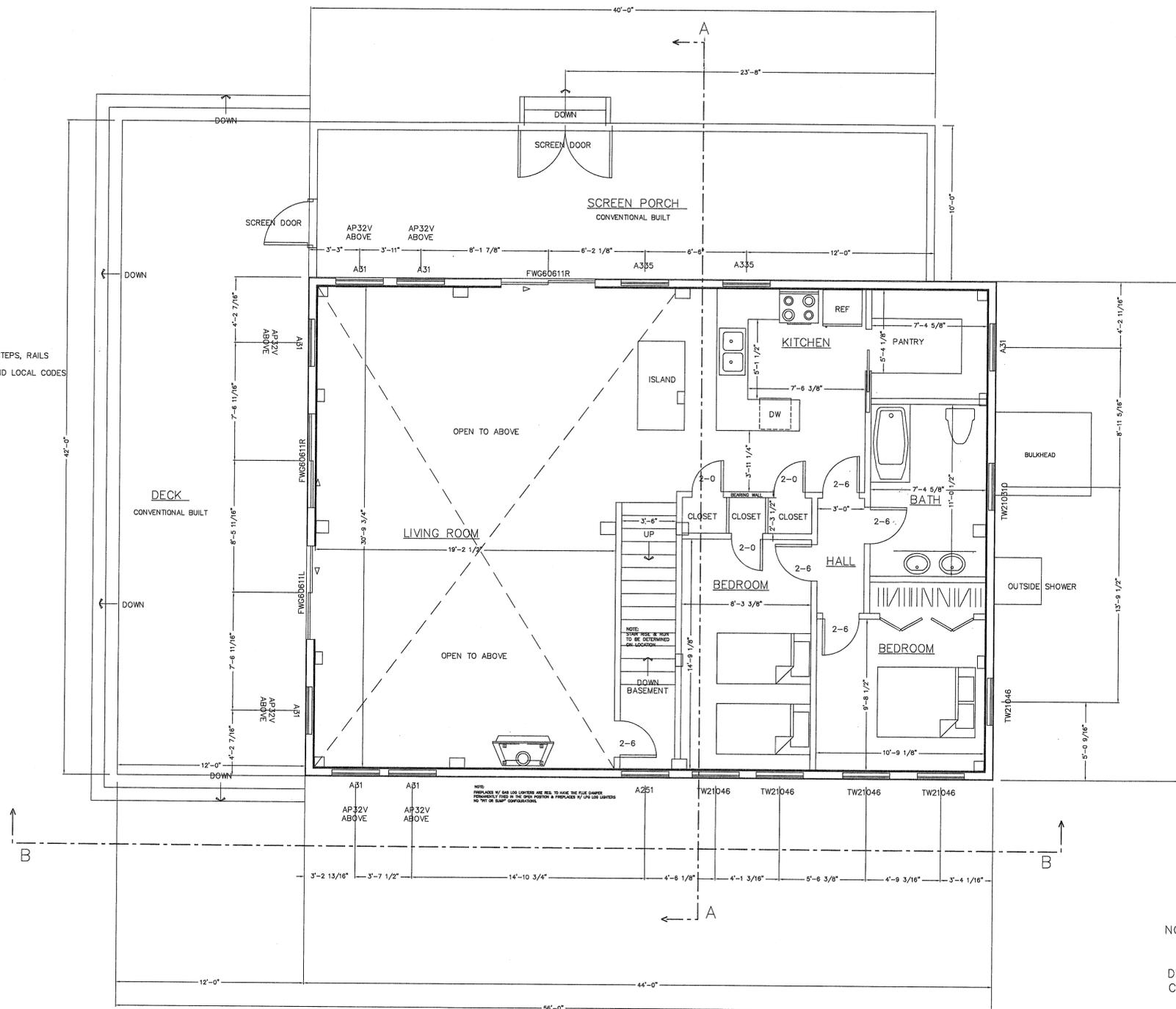
MORFIT RESIDENCE
TRURO, MA

DW TIMBER FRAME DESIGN, LLC
TIMBER FRAME & PANEL HOME DESIGN

76 HOWARD STREET, KEENE, N.H. 03431
PHONE: (603)357-9744 FAX: (603)358-6216

FIRST FLOOR

ALL EXTERIOR DECKS, STEPS, RAILS AND SUPPORTS SHOULD MEET STATE AND LOCAL CODES



FIRST FLOOR PLAN

PROJECT NORTH

COPYRIGHT LAWS PROHIBIT REPRODUCTION OR USE OF THIS DRAWING, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DW TIMBER FRAME DESIGN, LLC KEENE, NEW HAMPSHIRE

NOTE:

DIMENSIONS TO BE CONFIRMED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.

PRIOR TO CONSTRUCTION OF TIMBER FRAME, ALL 1st FLOOR FRAMING MUST BE IN PLACE AND LEVEL

SOLID BLOCKING REQ'D UNDER ALL TIMBER POSTS: BLOCKING TO BE VERTICAL GRAIN TO MINIMIZE COMPRESSION

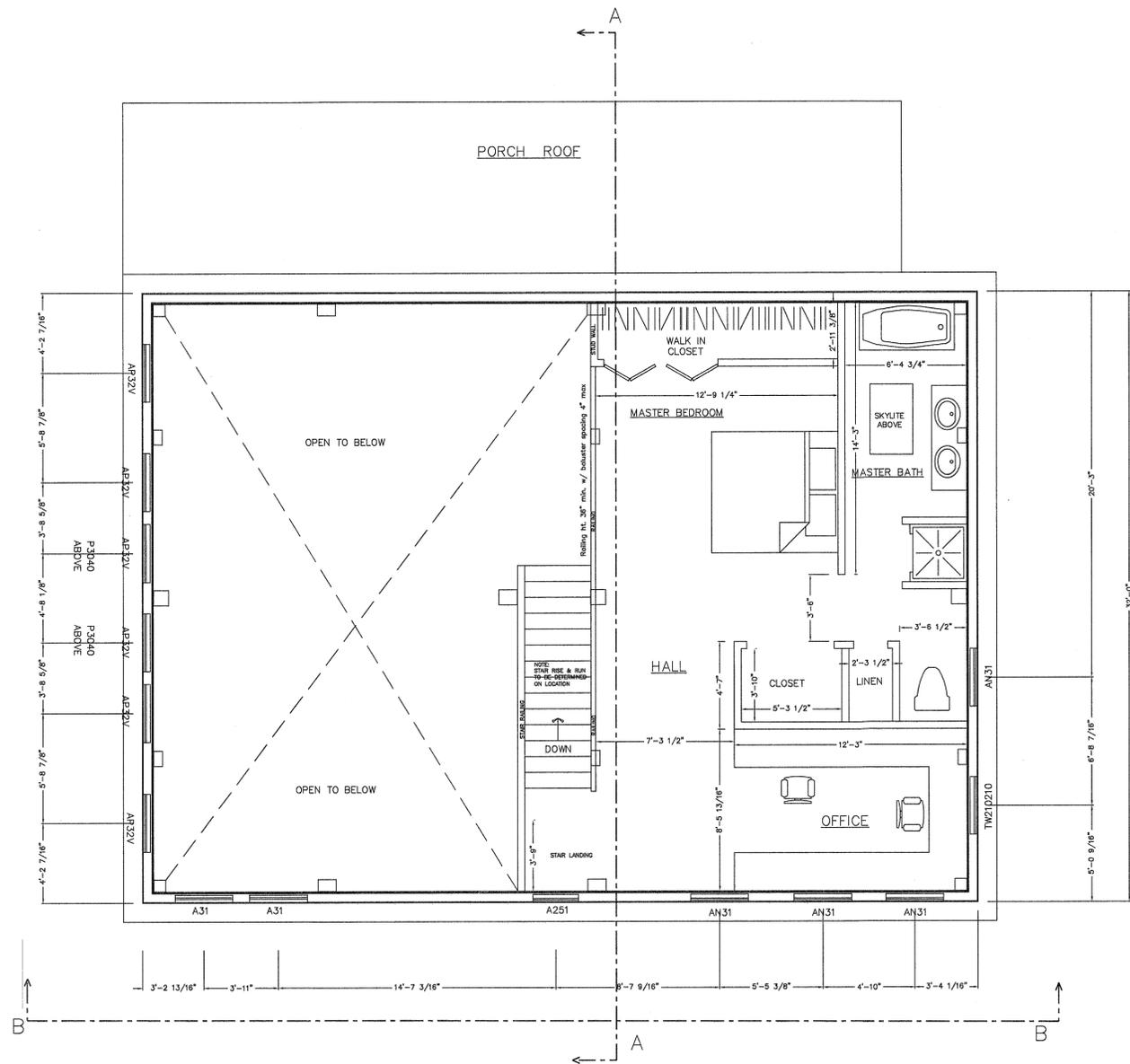
FINAL LOCATION OF ALL INTERIOR PARTITIONS TO BE DETERMINED AT SITE.

FIREPLACE AND/OR WOODSTOVE INSTALLATION IS TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL FIRE SAFETY CODES AND REGULATIONS.

SCALE: 1/4" = 1'-0"	REVISIONS
DATE: 4/20/05	NUMBER & DESCRIPTION
DRAWN BY: DEW	
CHECKED BY:	

JOB NAME: MORFIT RESIDENCE TRURO, MA

DW TIMBER FRAME DESIGN, LLC
 TIMBER FRAME & PANEL HOME DESIGN
 76 HOWARD STREET, KEENE, N.H. 03431
 PHONE: (603)357-9744 FAX: (603)358-6216



SECOND FLOOR PLAN

PROJECT NORTH

COPYRIGHT LAWS PROHIBIT REPRODUCTION OR USE OF THIS DRAWING, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DW TIMBER FRAME DESIGN, LLC, KEENE, NEW HAMPSHIRE

NOTE:

DIMENSIONS TO BE CONFIRMED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.

PRIOR TO CONSTRUCTION OF TIMBER FRAME, ALL 1st FLOOR FRAMING MUST BE IN PLACE AND LEVEL

SOLID BLOCKING REQ'D UNDER ALL TIMBER POSTS; BLOCKING TO BE VERTICAL GRAIN TO MINIMIZE COMPRESSION

FINAL LOCATION OF ALL INTERIOR PARTITIONS TO BE DETERMINED AT SITE.

FIREPLACE AND/OR WOODSTOVE INSTALLATION IS TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL FIRE SAFETY CODES AND REGULATIONS.

REVISIONS

DATE	NUMBER	DISCUSSION
9/22/05		

SCALE: 1/4" = 1'-0"

DATE: 4/20/05

DRAWN BY: DEW

CHECKED BY:

JOB NAME:

MORFIT RESIDENCE
TRURO, MA

DW TIMBER FRAME DESIGN, LLC
TIMBER FRAME & PANEL HOME DESIGN

76 HOWARD STREET, KEENE, N.H. 03431
PHONE: (603)357-9744 FAX: (603)358-6216

CONCRETE NOTES:

- MINIMUM SOIL BEARING CAPACITY OF 2000 PSF.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW FROST LINE.

SOILS NOTES:

- PLACE FOOTINGS ON UNDISTURBED SOIL.
- BACK FILL SHALL BE PLACED IN 12" LOOSE LIFTS AND COMPACTED TO 95% ASTM DD 1557 INSIDE BUILDING AND 90% OUTSIDE.
- BACK FILL SHALL BE PLACED SIMULTANEOUSLY ON EACH SIDE OF THE WALL.

GENERAL NOTES:

- DOOR AND WINDOW OPENINGS PER OWNER.
- G.C. IS RESPONSIBLE TO MAKE ALL WINDOW WELLS MEET LOCAL & APPLICABLE CODES.

LEGEND:

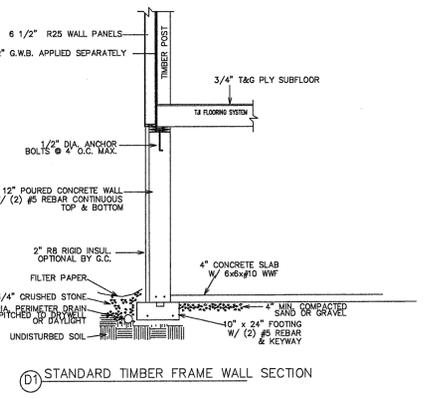
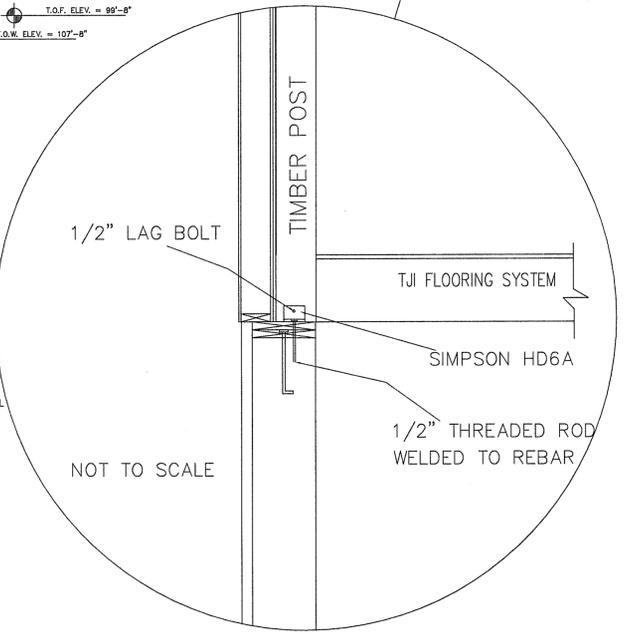
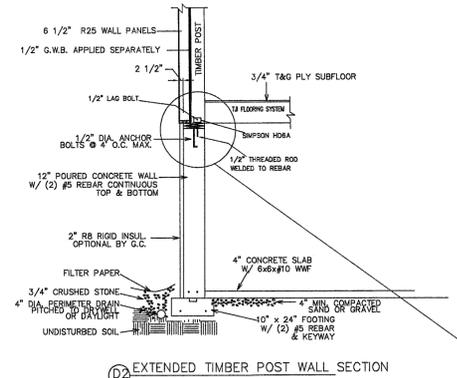
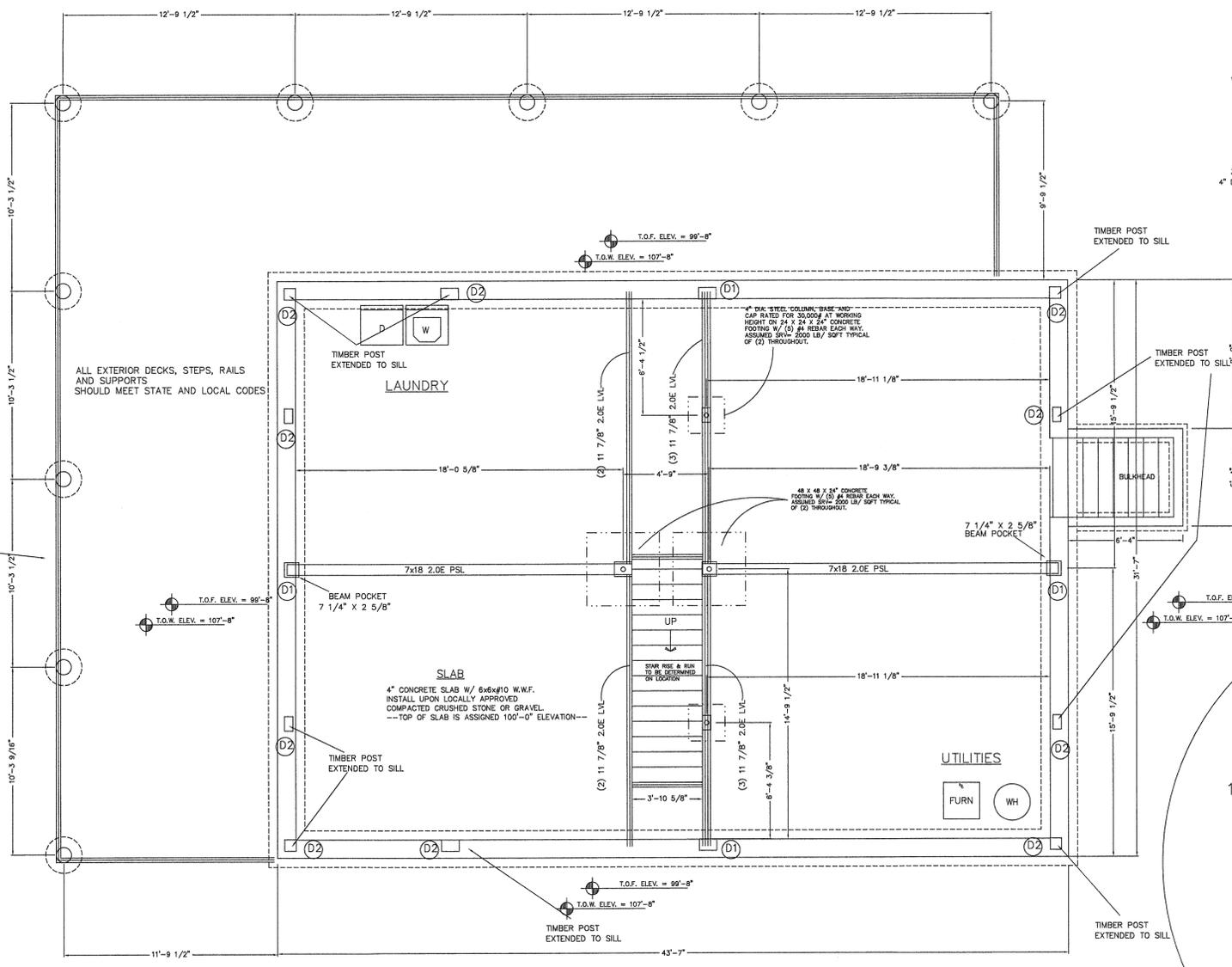
- T.O.F. = TOP OF FOOTING
- T.O.S. = TOP OF SLAB
- T.O.W. = TOP OF WALL
- T.B.V. = TO BE VERIFIED
- T.B.D. = TO BE DETERMINED

□ OUTLINE OF TIMBER POST ABOVE

FLOOR FRAMING NOTES:

- DIMENSIONS TO BE CONFIRMED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- VERIFY PT SILL OVERHANG OUTSIDE OF CONCRETE PER DETAIL(S). VERIFY RIM JOIST OFFSET FROM EDGE OF PT SILL PER DETAIL(S).
- DIMENSIONAL RIM JOIST TO BE KD SPF#2 OR BETTER.
- EXTERIOR DIMENSIONS SHOWN ARE TO OUTSIDE OF RIM JOISTS.
- REFER TO FOUNDATION DETAILS FOR MORE INFORMATION.
- PROVIDE SOLID BLOCKING & CONTINUOUS SUPPORT BELOW ALL TIMBER POSTS. LOCATIONS ARE INDICATED ON THE TIMBER FRAMING PLAN.
- ALL COLUMNS MUST BE IN PLACE PRIOR TO GIRDER INSTALLATION.
- CROSS BRIDGING WHERE REQUIRED BY CODE.
- HEARTH FRAMING TO BE DETERMINED BY BUILDER & MASON.
- REFER TO JOIST/BEAM MANUFACTURER'S LITERATURE FOR PROPER FRAMING DETAILS & SPECIFICATIONS, INSTALLING BLOCKING, SQUASH BLOCKS, WEB STIFFENERS, ETC. AS REQUIRED.
- REFER TO JOIST MANUF. LITERATURE FOR SPECIFICATIONS FOR CUTTING HOLES IN JOIST WEB.
- FASTEN ALL MANUFACTURED FLOOR FRAMING MATERIALS PER MANUF. SPECIFICATIONS.

(3 TYP) 10" DIA. PIER ON TOP OF FTG W/ 3-#4 VERTICAL DWLS INTO FOOTING, PROVIDE STD HOOK
 END OF DOWEL IN FTG. EXTEND PIER 6" MIN. ABOVE FINISH GRADE.
 FOOTINGS TO BE 4"-0" BELOW GRADE



FOUNDATION PLAN PROJECT NORTH

12" CONCRETE FOUNDATION WALL ON AN 10" x 24" CONTINUOUS CONCRETE FOOTING. FOOTING TO BE BELOW FROST LINE AND REINFORCED AS REQUIRED.

COPYRIGHT LAWS PROHIBIT REPRODUCTION OR USE OF THIS DRAWING, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DW TIMBER FRAME DESIGN, LLC KEENE, NEW HAMPSHIRE

NOTE:

DIMENSIONS TO BE CONFIRMED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.

PRIOR TO CONSTRUCTION OF TIMBER FRAME, ALL 1st FLOOR FRAMING MUST BE IN PLACE AND LEVEL

SOLID BLOCKING REQ'D UNDER ALL TIMBER POSTS: BLOCKING TO BE VERTICAL GRAIN TO MINIMIZE COMPRESSION

NOTE: THE PURPOSE OF THIS DRAWING IS TO SUPPLY THE FOUNDATION CONTRACTOR WITH THE DIMENSIONS NEEDED TO SUPPORT THE STRUCTURE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT THE FOUNDATION IS CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES AND/OR PRACTICES. THE SIZE, DEPTH, AND MATERIALS USED SHOULD BE DESIGNED BY A LICENSED ENGINEER

A1

REVISIONS	
DATE:	NUMBER & DESCRIPTION
9/22/05	
SCALE: 1/4" = 1'-0"	
DATE: 4/20/05	
DRAWN BY: DEW	
CHECKED BY:	

JOB NAME: MORFIT RESIDENCE TRURO, MA

DW TIMBER FRAME DESIGN, LLC
 TIMBER FRAME & PANEL HOME DESIGN
 76 HOWARD STREET, KEENE, N.H. 03431
 PHONE: (603)357-9744 FAX: (603)358-6216