



TOWN OF TRURO

P.O. Box 2030, Truro, MA 02666
Tel: 508-349-7004 Fax: 508-349-5505

ZONING BOARD OF APPEALS

Agenda

DATE OF MEETING: Monday, April 25, 2022
TIME OF MEETING: 5:30 pm
LOCATION OF MEETING: Remote Meeting
www.truro-ma.gov

Open Meeting

This will be a remote public meeting. Citizens can view the meeting on Channel 18 in Truro and on the web on the "Truro TV Channel 18" button under "Helpful Links" on the homepage of the Town of Truro website (www.truro-ma.gov). Click on the green "Watch" button in the upper right corner of the page. Please note that there may be a slight delay (approx. 15-30 seconds) between the meeting and the television broadcast/live stream.

Citizens can join the meeting to listen and provide public comment by entering the meeting link; clicking on the Agenda's highlighted link; clicking on the meeting date in the Event Calendar; or by calling in toll free at **1-877-309-2073** and entering the access code **249-162-941#** when prompted. Citizens will be muted upon entering the meeting until the public comment portion of the hearing. If you are joining the meeting while watching the television broadcast/live stream, please lower or mute the volume on your computer or television during public comment so that you may be heard clearly. Citizens may also provide written comment via postal mail or by emailing Barbara Carboni, Town Planner and Land Use Counsel, at bcarboni@truro-ma.gov.

Meeting link: <https://meet.goto.com/249162941>

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes.

TOWN OF TRURO
3:44 pm

APR 19 2022

RECEIVED
TOWN CLERK
NS

Public Hearings – Continued

2021-006/ZBA (SP, VAR) – Cape Rental LLC and Thomas P., Jr. and Kathleen C. Dennis for property located at 127 South Pamet Road (Atlas Map 48, Parcel 12; Certificate of Title Number: 222128, Land Ct. Lot #1C, Plan #16182-E and Land Ct. Lot #1D, Plan #16182-F) and 133 South Pamet Road (Atlas Map 48, Parcel 8, Registry of Deeds title reference: Book 33550, Page 123). Application for variance and/or special permit to relocate a second dwelling unit onto lot from adjacent lot. [Original Material in 11/22/2021 packet]

2022-003/ZBA (SP) – Thomas P., Jr. and Kathleen C. Dennis, Individually and as Trustees for property located at 127 South Pamet Road (Atlas Map 48, Parcel 12; Certificate of Title Number: 228604, Land Ct. Lot #1C, Plan #16182-E and Land Ct. Lot #1D, Plan #16182-F) and 133 South Pamet Road (Atlas Map 48, Parcel 8, Registry of Deeds title reference: Book 33550, Page 123). The Applicant seeks a Special Permit under M.G.L. Ch. 40A, §6 and §30.7(A) of the Truro Zoning Bylaws to relocate structures on non-conforming lot and under 30.3.1.A.2 to exceed by right Seashore District total Gross Floor Area. [Original Material in 3/28/2022 packet]
{New material included in this packet}

Public Hearings

2022-004/ZBA (VAR) – Michelle Jaffe for property located at 9A Francis Road (Atlas Map 36, Parcel 191, Registry of Deeds title reference: Book 41209, Page 315). Applicant seeks a Variance under M.G.L. Ch. 40A §10 and §30.7 and §50.1 of the Truro Zoning Bylaw concerning a deck addition to an existing dwelling with an 8’ setback from a side lot line, where required minimum setback is 25 feet.

2022-005/ZBA (SP) – Benoit Allehaut and Elizabeth Allehaut for property located at 40 South Pamet Road (Atlas Map 51, Parcel 40, Registry of Deeds title reference: Book 33897, Page 73). Applicant seeks a Special Permit under M.G.L. Ch. 40A §6 and §30.7A of the Truro Zoning Bylaw for alteration and addition to existing dwelling, and relocation and renovation of shed on non-conforming lot (lot area) in the Seashore District.

2022-006/ZBA (SP’s) – Outer Shore Nominee Trust, Rachel Kalin, Trustee for property located at 17 Coast Guard Road (Atlas Map 34, Parcel 3, Registry of Deeds title reference: Book 34387, Page 1). Applicant seeks: (1) a Special Permit under M.G.L. Ch. 40A §6 and §30.3.1(A)2 of the Truro Zoning Bylaw to exceed total Gross Floor Area limit in the Seashore District; and (2) a Special Permit under M.G.L. Ch. 40A §6 and §30.7(A) of the Truro Zoning Bylaw to demolish 5 of 6 pre-existing, non-conforming cottages; construct new single-family dwelling; convert non-conforming cottage into accessory pool structure in the Seashore District.

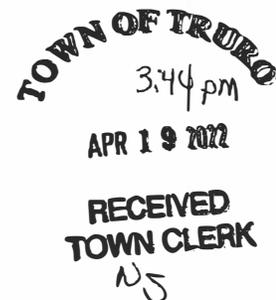
Approval of Minutes

- ◆ February 28, 2022

Next Meeting

- ◆ Monday, May 23, 2022 at 5:30 p.m.

Adjourn



To Members of the Zoning Board:

As an abutter to #127 S. Pamet Rd. I have ongoing concerns about activities on that property and about proper oversight on the part of certain Town Boards and Commissions. Abutters are presumptively aggrieved by decisions on properties next door under settled Massachusetts law, as the Board is aware.

By now no one needs reminding that this property—like my own—lies with the Cape Cod National Seashore, and as such, is subject to the special zoning rules laid out in the Town of Truro's bylaws. I have deep concerns about the way in which this case has been conducted thus far. I would like to raise the following issues with the latest version of this case:

Starting on page 3 of his letter to the Board, Atty Zehnder lists a total of 15 “additional factors that make the proposal significantly more beneficial to the Town and to the neighborhood than the existing situation”. However, most of the items listed have no real bearing on the situation.

Several outstanding examples are:

1. “...leaving the Boathouse where it is subjects it to further erosion” etc.

This is an irrelevant argument--no one is proposing that the Boathouse stay right where it is.

3. “...Removing the Boathouse...deprives Mr. and Mrs. Dennis from using the structure...” etc.

How is this a “benefit to the Town”?

5. The new proposal would result in “..a reduction in the overall use of the two properties.”

If overall use is reduced, what is the need for a new septic system?

Far from being beneficial to the Town, I maintain that there are factors that make the latest proposal significantly more **detrimental** to the Town and to the neighborhood than the existing situation, namely:

1. Whatever special permits and variances the Town grants here will establish an extraordinary precedent within the entire Seashore Zone from Provincetown to Chatham, up and down the coastline. Such action might fulfill the desires of one property owner, while being severely detrimental not only to the abutters and the neighborhood of 127 S. Pamet Road and the town of Truro, but more broadly – as both Superintendent Carlstrom and Lauren McKean of the CCNS have noted in previous submissions to the Board – to all other coastal towns within the Cape Cod Seashore Zone, from Provincetown to Chatham.

2. Removing the Boathouse entirely could be done efficiently, in one operation, so as to limit attendant trauma to the dune, the coastal bank, and the surrounding environment. But instead, the new plan proposes a total of six significant environmental disturbances to this fragile area, which would unnecessarily weaken the barrier dune, and further jeopardize abutter's properties.

1. Removing Studio off the properties
2. Relocating the Boathouse onto #127
3. Creating a new parking space on parking lot
4. Building a wooden pathway up from the parking lot
5. Putting in new septic system
6. Moving the main dwelling rearward

(May I point out that #6 is a piggyback item having nothing to do with the case in question. It seems a matter of convenience for the owners, eliminating the inevitable need for more applications to move the house in the future.)

Each of these construction projects will hasten the demise of the barrier dune, which will in turn inevitably eliminate public access to one of Truro's most treasured beaches. In particular, the creation of a new parking space right on the Ballston beach parking lot will open a can of worms that the Town had better be prepared to address. Member Shedd already raised critical concerns about this in a previous hearing.

By granting a special permit in this situation, the ZBA would be guaranteeing further complicated entanglements of this kind, further applications for special permits and variances from other property owners, and potential legal fees for the Town of Truro and everyone else involved. In closing, I ask that the Board deny the special permit and uphold the standards of the National Seashore and their own zoning bylaws.

Clyde Watson
119 South Pamet Rd
Truro MA

Benjamin E. Zehnder LLC

62 Route 6A, Suite B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

April 15, 2022

Arthur Hultin, Chairman
Truro Zoning Board of Appeals
24 Town Hall Road
Truro, MA 02666

Via hand delivery

Re: 2022-003/ZBA (SP)
Tom and Kathleen Dennis / 127 South Pamet Road

Dear Mr. Hultin and Board Members:

I am submitting herewith revised supplemental plans and information amending the above-referenced Special Permit application. Mr. and Mrs. Dennis are revising the application in the following material respects:

1. Removing the existing so-called habitable studio on 127 South Pamet Road ("127 SPR") (the "Studio") from the site.

Attached for the project file and review by the Board are the following:

1. Amended Site Plan dated 04-15-2022
2. Land Court Plan 16182-E showing the Boathouse as "United States of America Coast Guard Sta. No. 37."
3. Massachusetts Cultural Resource Information System (MACRIS) Form B Inventory for the Pamet Life Saving Station Boathouse at 133 South Pamet Road (the "Boathouse");
4. Assessor's Field Cards for 127 South Pamet Road showing the main dwelling as having been built in 1892 and the accessory studio in 2007.
5. Assessor's Field Card for 133 South Pamet Road showing the dwelling as having been built in 1850.
6. Assessor's Field Cards for 119 South Pamet Road showing the main dwelling as having been built in 1890, a second dwelling having been built in 1900.
7. Google Earth image of 119 South Pamet Road showing two dwellings and a large shed structure not measured on the Field Card.

The original proposal was to move the Boathouse to 127 SPR as an

additional habitable studio without a kitchen. The new proposal is to remove the Studio from the site, either by demolition or by donation to the Town or others for use as housing off-site. This will result in the continued use of 127 SPR for a dwelling and single habitable studio (the Boathouse) without a kitchen, uses permitted of right under the Truro Zoning Bylaw. There are no proposed changes to either the structures or their floor plans other than the removal of the Studio and relocation of the Boathouse with removal of the kitchen.

The relocated Boathouse will be dimensionally conforming with regard to height and yard setbacks. The National Seashore Total Gross Floor Area for 127 SPR will increase from 2,384 square feet to 3,199 square feet, an increase of 815 square feet, but will reduce overall National Seashore Total Gross Floor Area for the two properties by 725 square feet as follows (in feet and square feet based on Assessor records of exterior dimensions of structures):

A. EXISTING

Existing 127 SPR Main dwelling large section 29x39	1,131
Existing 127 SPR Main dwelling small section 22x24	528
<u>Existing 127 Studio 25x29</u>	<u>725</u>
Total Existing 133 SPR	2,384

Existing 133 SPR Boathouse First Floor 24x35	840
<u>Existing 133 SPR Boathouse Second Floor</u>	<u>700</u>
Total Existing 133 SPR	1,540

TOTAL EXISTING BOTH PROPERTIES 3,924

B. PROPOSED

127 SPR Main dwelling large section 29x39	1,131
127 SPR Main dwelling small section 22x24	528
Relocated Boathouse First Floor 24x35	840
<u>Relocated Boathouse Second Floor</u>	<u>700</u>
Total Proposed 127 SPR	3,199
Total Proposed 133 SPR	0

As shown on the revised site plan and noted by the Truro Assessor, total lot area for 127 SPR is 3.33 acres. Based on Truro Zoning Bylaw section 30.3.1(A), a Seashore District Total Gross Floor Area of 3,666 square feet is permissible by right. This is calculated as 3,600 square feet for three acres, plus 66 square feet for the excess .33 acres at 200 square feet per acre, prorated. The proposal at 3,199 square feet is less than the by-right allowance.

As the lot meets both minimum area (3.33 acres where 3.0 acres is required) and frontage (287.24 feet where 150 feet is required) requirements of the Zoning

Bylaw, and since the relocated Boathouse is dimensionally conforming, it is the Dennis' position that zoning relief is not required for the relocation and use of the Boathouse as a habitable studio without a kitchen. I will address this issue by way of a separate appeal of the Building Commissioner's April 5, 2022 revocation of the Building Permit to move the Boathouse to 133 SPR.

Without waiving this objection, and in order to provide the Board with sufficient information for the granting of the proposed Special Permit, the Applicant submits that if 127 SPR were a post-1987 lot, or if the earlier lot definition were applied to it, the upland area would be that above mean high water, or 75,500 square feet (1.73 acres). This would permit as of right a National Seashore Total Gross Floor Area of 3,346 square feet, calculated as 3600 square feet for three acres, less the difference of 1.27 acres times 200 square feet, or 254 square feet. Even under the prior Bylaw lot definition excluding land below mean high water, the project falls under the by-right allowable square footage. This leaves the only relief necessary a special permit for alteration on a pre-existing nonconforming lot.

Under a special permit analysis, the proposal meets the standards for the granting of a special permit set forth in Sections 30.7(A) and 30.8(C) of the Zoning Bylaw, which in pertinent parts provide: *"Lawful, pre-existing, nonconforming uses and structures may, when a variance would otherwise be required, be altered or extended with a special permit if the Board of Appeals finds that the alteration or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use or structure and that the alteration or extension will exist in harmony with the general purpose and intent of this bylaw."* Section 30.7(A)(emphasis added); and *"Special permits may be approved only after a finding by the Board of Appeals or Planning Board (as applicable, see use table) that the proposed use is in the opinion of the Board in harmony with the general public good and intent of this bylaw. The approval shall be subject to any other applicable provision of this bylaw and the Board may impose conditions, safeguards, and limitations on time and use, which in the Board's opinion are necessary to comply with the intent and purpose of this bylaw."* Section 30.8(C) (emphasis added)

The proposal to move the Boathouse approximately 150 feet southwest of its current location and remove the Studio altogether, while continuing the use of 127 SPR for a dwelling and one accessory studio cannot reasonably be seen by the Board as substantially more detrimental to the neighborhood. Similarly, the use of 127 SPR for the by-right use of the property for one dwelling and a habitable studio is in harmony with the general public good and intent of the bylaw. There is no proposed change of use and therefore no possible detrimental effects.

There are additional factors that make the proposal significantly more beneficial to the Town and to the neighborhood than the existing situation:

1. The proposal moves the Boathouse away from a dangerously eroding coastal

bank. Leaving the Boathouse where it is subjects it to further erosion rendering it uninhabitable and creating safety issues.

2. Removing the Boathouse from the properties removes it from the tax rolls of the Town, reducing tax revenue.
3. Removing the Boathouse from the properties deprives Mr. and Mrs. Dennis from using this structure, which is significantly better constructed and more attractive than the Studio, and has been their ocean-side home for many years.
4. The proposal reduces the number of structures from three to two, thereby reducing visual scale and massing in the area.
5. The proposal reduces the number of dwellings from two to one, with an attendant reduction in the overall use of the two properties.
6. The proposal reduces overall National Seashore Total Gross Floor Area by 725 square feet.
7. The proposal relocates the Boathouse at a significantly lower elevation than the old location, with a ridge height elevation of 47.33 rather than 57.95, a drop of 10.62 feet.
8. The proposal makes the Boathouse conforming as to ridge height above average grade, dropping it from 30.9 feet to 29.73 feet, eliminating a zoning nonconformity.
9. The proposal makes the Boathouse conforming as to front, side and rear yard setbacks, where it was nonconforming by variance at 10 feet from its rear line and 22 feet from the easterly side yard line.
10. The Boathouse will no longer be looming over or be visible from the beach.
11. The proposal removes the highest structure on 127 SPR, the Studio, with a ridge elevation of 65.4 feet, over seven feet higher than the 58.0 feet elevation of the main dwelling. The Studio is not only the highest structure, but is also the structure closest to the top of the dune, the only structure that is not historic, and is the least attractive structure.
12. The proposal includes the installation of a new 5 bedroom sewage disposal system at 127 SPR with no increase in septic flow and with enhanced nitrogen reduction treatment.
13. The proposal will permit the Boathouse, an historic structure as Coast Guard Station No. 37 as identified in the MACRIS inventory, to remain at the

Ballston Beach shorefront as an important part of the historical viewshed. This is consistent with the Truro Local Comprehensive Plan goals for historic preservation:

Truro's Heritage Preservation and Community Character Goals

Goal 1: Truro will seek to protect and preserve the important historic, cultural, and scenic features of the Truro landscape, recognizing that they are critical components of the town's heritage, character, and economy.

Goal 2: Truro will preserve historic areas through the establishment of Historic Districts, subject to the wishes of area residents, beginning with the Pond Village area in 131 North Truro Center. The Pamet Roads, Depot Road and Longnook Road should be considered as well.

Goal 3: Truro will work to ensure that future development and redevelopment respect the traditions and character of historic village centers and outlying residential areas so as to protect the town's characteristically rural look and feel. Truro Local Comprehensive Plan pp. 130-131 (emphasis added).

14. The proposal involves application to the Conservation Commission for immediate removal of the Studio, which is sitting on a concrete foundation in near proximity to the eroding cliff, as well as a plan for movement of the main dwelling further rearward on the property when necessary. This, combined with the location of the Boathouse on pilings for easy later removal, will constitute the most comprehensive anticipatory plan for handling coastal dune retreat in the history of Truro. This will provide a significant benefit to the neighborhood and the Town in planning for coastal retreat.
15. The Conservation Commission has already approved the new Boathouse location and the method of movement, thereby protecting the environmental interests associated with the move.

Usually, the Board looks at special permit projects in terms of their consistency with nearby developed properties. I have attached the Assessor's Field Cards for the neighboring property at 119 South Pamet Road. Based on the Field Card data, this property has the same assessed land area of 3.3 acres, but has two dwellings, carries two additional bedrooms at 7 and has site coverage of:

Main House - First Floor	1,941
Main House - Second Floor	1,186
Second Dwelling - First Floor	464
<u>Second Dwelling - Second Floor</u>	<u>256</u>
Total Site Coverage	3,847

This site coverage calculation does not include a large shed which is really the size of garage shown on the Google Earth photo. It is unclear how this structure is being used or whether it contains habitable area.

Additionally, the 119 SPR main dwelling was built in 1890, and the main dwelling and Boathouse proposed on 127 SPR were built in 1892 and 1850 respectively, meaning that the proposed structures are of similar age, design and historical importance.

Given the same lot sizes and similar historical relevance, and given that the proposal at 3,199 square feet is 648 square feet lower than that of 119 SPR, has one fewer dwelling and two fewer bedrooms, it is clear that the project is less intensive than the neighboring property, and is in keeping with the neighborhood and should be granted a special permit.

In closing, the proposal reduces the overall use and development of the two properties and provides visually, historically, and environmentally sensible and sensitive solutions for the properties and the area. As such the property is not only not substantially more detrimental than the existing structures and locations, but also more beneficial. As the project meets all dimensional and use requirements of the Zoning Bylaw, including National Seashore Total Gross Floor Area requirements, it is in harmony with the general public good and the general purpose and intent of the Bylaw. It must and should be granted a special permit.

Thank you for your attention.

Very truly yours,

A handwritten signature in black ink, appearing to read 'B. Zehnder', with a long horizontal flourish extending to the right.

Benjamin E. Zehnder

ENC.

cc via email only:

client

Barbara Carboni, Land Use Counsel and Town Planner

Elizabeth Sturdy, Zoning Coordinator

Kaci Fullerton, Town Clerk

David Michniewicz

Brian Carlstrom, CCNS Superintendent

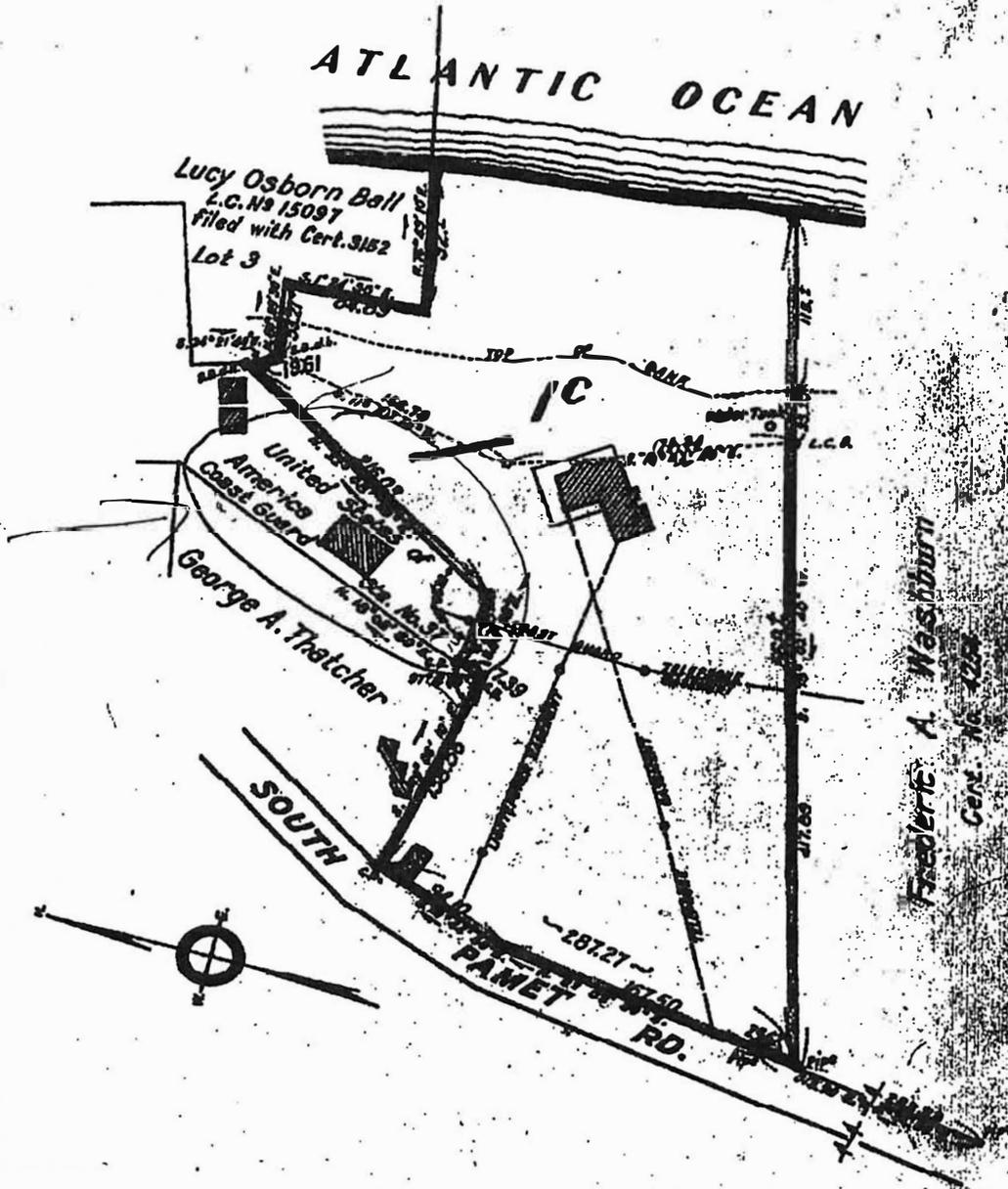
Lauren McKean, CCNS Planner

Subdivision of part of Parcel 1 shown on plan 16182^A sh.1 **16182^E**
 Filed with Cert. of Title No. 4254 Registry District of Barnstable County

LAND IN TRUST

October 1945

John R. Dyer, Civil Eng'r.



Frederic A. Washburn
 Cert. No. 1058

Frederic A. Washburn, Owner, Cert. No. 1058

Separate certificates of title may be issued
 for Lot 1C as shown herein
 By the Court

Robert F. Fosco
 Recorder

1011.8.1945

Cert. of part of plan
LAND REGISTRATION OFFICE
 NOV 9 1945
 Scale of this plan 40 feet to an inch
 C. B. Humphrey, Engineer for Court

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No: TRU.169
Historic Name: Pamet Life Saving Station
Boathouse
Common Name:
Address: 133 South Pamet Rd
Ballston Beach
City/Town: Truro
Village/Neighborhood: Truro;
Local No: 48-8;
Year Constructed: R 1885
Architectural Style(s): No style;
Use(s): Boathouse; Secondary Dwelling House; Single Family Dwelling House;
Significance: Architecture; Maritime History; Politics Government; Recreation; Transportation;
Area(s): TRU.I
Designation(s):
Building Materials: Roof: Asphalt Shingle;
Wall: Wood; Wood Shingle;
Foundation: Brick;
Demolished No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Thursday, April 14, 2022 at 2:50 PM

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

48-8

Wellfleet

TRU.I

TRU.169

Town Truro

Place The Pamets

Photograph



Address 133 South Pamet Road

Historic Name Pamet Life Saving Station Boathouse

Uses Present: Residence

Original: Boathouse

Date of Construction ca. 1880 – 1890

Source Style, 1989 form

Style/Form Vernacular/Cottage

Architect/Builder Unknown

Exterior Material

Foundation: Brick

Wall/Trim: Wood shingle

Roof: Asphalt shingle

Outbuildings/Secondary Structures

None

Major Alterations

Conversion to residence, ca. 1945

Renovations, post-1989

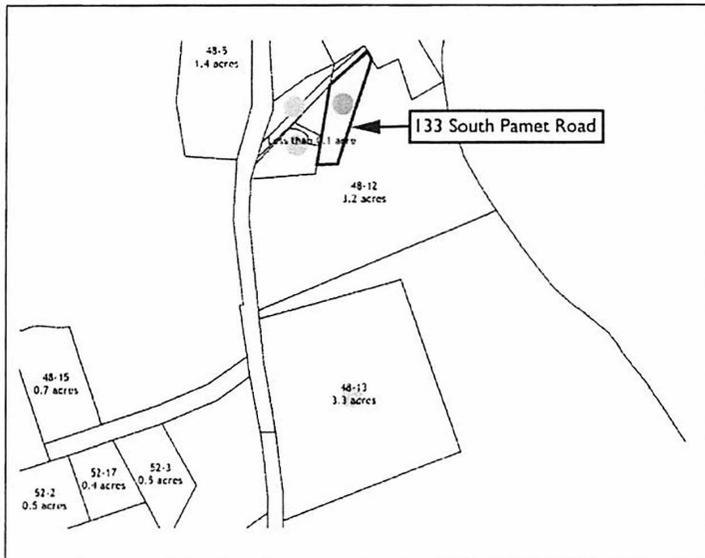
Condition Good

Moved no yes **Date**

Acres .34 acres

Setting The building sits on the top of a grassy dune overlooking the Atlantic Ocean to the east, in a small cluster of houses. The lot has no trees, and there are unobstructed views in all directions.

Topographic or Assessor's Map



Recorded by Laura Kline and Blake McDonald

Organization: PAL

Date November 2010

RECEIVED
NOV 02 2011
MASS. HIST. COMM.

INVENTORY FORM CONTINUATION SHEET

TRURO

133 South Pamet Road

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

TRU.I	TRU.169
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This updated inventory form is a supplement to the existing 1989 inventory form. PAL updated the cover sheet and architectural description in March 2011 based on a November 2010 survey.

ARCHITECTURAL DESCRIPTION

The former Pamet Life Saving Station Boathouse at 133 South Pamet Road is a one-and-one-half-story vernacular cottage, originally built ca. 1880-1890 as a boathouse and converted to a residence ca. 1945. Since it was last surveyed in 1989, the porch on the north elevation has been rebuilt, the shingles have been replaced, and two additional skylights have been added to the north slope of the roof.

PHOTOGRAPHS



Photograph 1.
View looking southeast toward house from beach path.

FORM B - BUILDING

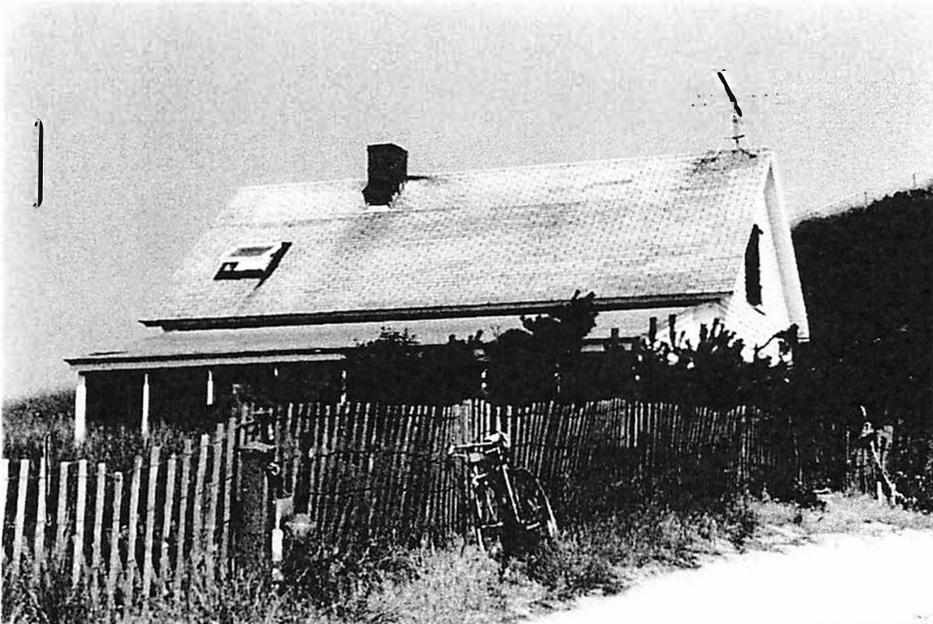
MASSACHUSETTS HISTORICAL COMMISSION
10 BOYLSTON STREET
BOSTON, MA 02116

AREA

FORM NO.

I

169



Sketch Map: Draw map showing property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection(s).
Indicate north

Truro

133

South Pamet Road (Ballston

Beach)

Name

Present residence

Original Life boat house

CONSTRUCTION

c. 1880-90

visual inspection, maps

vernacular Victorian

Architect

Exterior Wall Fabric shingles

Outbuildings

Major Alterations (with dates) Converted

from boathouse to house (c. 1945)

Condition good

Moved Date

Acreage .53

Setting Sits in dunes south of path

to beach from parking lot.

In small cluster of houses.

UTM REFERENCE

USGS QUADRANGLE Wellfleet

SCALE 1:2500

Recorded by M. Landry

Organization for Truro Hist. Comm.

Date Sept. 1989

5.

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)**ARCHITECTURAL SIGNIFICANCE** Describe important architectural features and evaluate in terms of other buildings within the community.

This was built as the boathouse for the PAMET Life Saving Station and was altered to convert it into a cottage. Originally of simple pitched roof form, it has had a porch added, its large garage type doors (for the boats) removed, changes in windows and rear eels added. It still maintains a turn of the century, vernacular character.

There were two garage doors and a ramp in front, one at the rear. This was one of several outbuildings at the station including a horse barn, for the horses used to pull the equipment (now a shed at I-170).

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

)
)
This building housed rescue boats for the Pamet Life Saving Station that was built here in 1872. The station had a full time staff to patrol the beach for wrecks. Some time after the station closed-in the 1940's, this building was converted to a cottage.

BIBLIOGRAPHY and/or REFERENCES

1901 Truro Directory
1860 census

A. Marshall "Truro, Cape Cod..."

1858 map
1880 map
1907 map



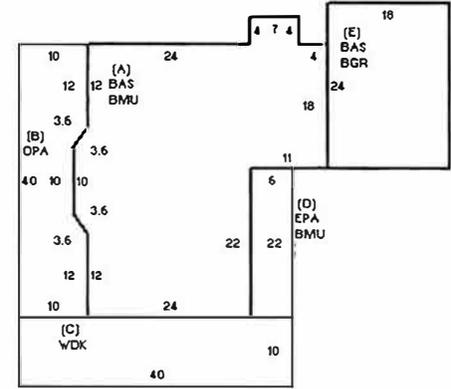
8

Key: 2749

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2.817

CURRENT OWNER		PARCEL ID		LOCATION								CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD
CAPE RENTAL LLC RES AGT: KEVIN WHITELAW 275 JACK BOOT WAY MONUMENT, CO 80132		48-12-0		127 SO PAMET RD								1010	100	SINGLE FAMILY				1	1 of 2
TRANSFER HISTORY		DOS		T	SALE PRICE		BK-PG (Cert)		PMT NO		PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %		
CAPE RENTAL LLC		03/19/2020		F	1 (222128)				19-069X		03/11/2019	3	REPAIR/REMOD	11,000	05/23/2019	LG	100 100		
WHITELAW KEVIN D		12/04/2018		A	10 (218068)				06-286		12/07/2006	10	ALL OTHERS	140,000	06/05/2008	JH	100 100		
WHITELAW JAMES G		05/31/2006		99	1 (180196)				06-287		12/07/2006	40	STUDIO	80,000	06/05/2008	JH	100 100		
CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Loi	VC	CREDIT AMT	ADJ VALUE							
100	A	0.775 16	1.00	E25	0.75	RW5 0.90	1,366,369	1.00	1	1.00	SW1 7.50	1,058,940							
300	A	2.525 16	1.00	1	1.00	1	154,500	1.00	1	1.00	SW1 7.50	390,110							
TOTAL		3.300 Acres		ZONING	NSD	FRNT	0		ASSESSED		CURRENT	PREVIOUS							
Nbhd		NAT'L SEASHORE		N ROW ADJ=PUBLIC HAS ACCESS TO BEACH (P/O O PCL) GRANTED TO ABUTTER (TOWN OF TRURO PER T DOC #113563.				E		LAND		1,449,100	1,449,100						
Infl1		EROSION								BUILDING		356,200	322,500						
Infl2		RIGHT OF WAY								DETACHED		1,800	1,800						
										OTHER		179,500	157,400						
										TOTAL		1,986,600	1,930,800						
TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO 05/23/2019											
UTB	A	1.00	D+ 0.30	12*21		252	17.80	1,300											
WDK	A	1.00	A 0.75	6*12		72	10.00	500											
BUILDING		CD	ADJ	DESC		MEASURE	9/5/2014	FC	BLDG COMMENTS										
MODEL		1		RESIDENTIAL		LIST	6/25/2010	JH											
STYLE		7	1.20	OLD STYLE [100%]		REVIEW	12/15/2010	MR											
QUALITY		+	1.10	GOOD-/AVE+ [100%]															
FRAME		1	1.00	WOOD FRAME [100%]															
YEAR BLT	1892	SIZE ADJ	1.020	ELEMENT		CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	565,412	
NET AREA	1,644	DETAIL ADJ	1.000	FOUNDATION		4	BSMT WALL	1.00	+	BMU	N	BSMT UNFINISHED	1,344		53.36	71,712	CONDITION ELEM CD		
\$NLA(RCN)	\$344	OVERALL	1.150	EXT. COVER		1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	1,644	1892	235.89	387,800			
CAPACITY		UNITS	ADJ	ROOF SHAPE		2	HIP	1.00	B	OPA	N	OPEN PORCH	374		53.30	19,935			
STORIES(FAR)		1	1.00	ROOF COVER		1	ASPHALT SHINGLE	1.00	C	WDK	N	ATT WOOD DECK	400		41.02	16,408			
ROOMS	7	1.00		FLOOR COVER		2	SOFTWOOD	1.00	D	EPA	N	ENCL PORCH	132		111.48	14,716			
BEDROOMS	4	1.00		INT. FINISH		3	WOOD PANEL	1.00	E	BGR	N	SF BSMT GARAGE	432		76.60	33,092			
BATHROOMS	2.5	1.00		HEATING/COOLING		5	ELECTRIC	0.95	WDK	N	ATT WOOD DECK	300		43.43	13,029				
FIXTURES	9	\$6,300		FUEL SOURCE		3	ELECTRIC	1.00	MST	O	MASONRY STACK	1		2,419.30	2,419				
UNITS	1	1.00							ODS	O	OUT DOOR SHOWER			0.00					
EFF. YR/AGE		1972 / 48		COND		37 37 %		FUNC		0		ECON		0		DEPR		37 % GD 63	
RCNLD		\$356,200																	

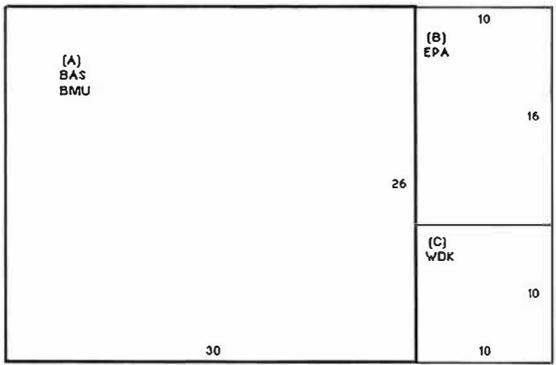


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Key: 2749

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2,818

CURRENT OWNER		PARCEL ID	LOCATION				CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD					
CAPE RENTAL LLC RES AGT: KEVIN WHITELAW 275 JACK BOOT WAY MONUMENT, CO 80132		48-12-0	127 SO PAMET RD				1010	100	SINGLE FAMILY				2	2 of 2					
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cen)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %						
CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE							
TOTAL		ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS													
Nbhd		NO T E		LAND BUILDING DETACHED OTHER TOTAL	179,500														
TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	05/23/2019										
																			
																			
BUILDING		CD	ADJ	DESC		MEASURE	9/15/2014	FC	BLDG COMMENTS										
MODEL	1			RESIDENTIAL		LIST	6/25/2010	JH	HAS KITCH BUT NO STOVE.										
STYLE	14	0.90		DET BLDG [100%]		REVIEW	12/15/2010	MR											
QUALITY	A	1.00		AVERAGE [100%]															
FRAME	1	1.00		WOOD FRAME [100%]															
YEAR BLT	2007	SIZE ADJ	1.050	ELEMENT		CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	206,325	
NET AREA	780	DETAIL ADJ	1.000	FOUNDATION		4	BSMT WALL	1.00	A	BMU	N	BSMT UNFINISHED	780		46.30	36,114	CONDITION ELEM CD		
\$NLA(RCN)	\$265	OVERALL	0.930	EXT. COVER		1	WOOD SHINGLES	1.00	A	BAS	L	BAS AREA	780	2007	184.86	144,193			
CAPACITY		UNITS	ADJ	ROOF SHAPE		1	GABLE	1.00	B	EPA	N	ENCL PORCH	160		80.15	12,824			
STORIES(FAR)		1	1.00	ROOF COVER		1	ASPHALT SHINGLE	1.00	C	WDK	N	ATT WOOD DECK	100		42.00	4,200			
ROOMS		3	1.00	FLOOR COVER		1	HARDWOOD	1.00	GFP	O		GAS FIREPLACE	1		5,493.80	5,494			
BEDROOMS		1	1.00	INT. FINISH		2	DRYWALL	1.00											
BATHROOMS		1.5	1.00	HEATING/COOLING		9	WARM/COOL AIR	1.03											
FIXTURES		5	\$3,500	FUEL SOURCE		2	GAS	1.00											
UNITS		0	1.00																
EFF.YR/AGE		2007 / 13																	
COND	13	13 %																	
FUNC	0																		
ECON	0																		
DEPR	13	% GD	87																
RCNLD	\$179,500																		

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Key: 2745

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2.812

LEGALS

LAND

DETACHED

BU

IND

CURRENT OWNER				PARCEL ID				LOCATION				
THOMAS P DENNIS JR REV TRUST & KATHLEEN C WESTHEAD-DENNIS REV C/O DENNIS GROUP 1537 MAIN ST SPRINGFIELD, MA 01103				48-8-0				133 SO PAMET RD				
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)					
THOMAS P DENNIS JR REV TR				12/08/2020	F	1	33550-123					
DENNIS THOMAS P JR & LAVIN RICHARD R & LIPMAN				03/25/2014	QS	825,000	28049-220					
				01/22/1996	K	248,140	10022-241					
CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJBASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.320 16	1.00	E50 0.50	RW5 0.90	910,913	1.85 1	1.00	SW1 7.50			538,330

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD			
1010	100	SINGLE FAMILY		1	1 of 1			
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
15-039	03/16/2015	3	REPAIR/REMOD	250,000	10/06/2015	FC	100	100
15-013	01/29/2015	5	DEMO	50,000	10/06/2015	FC	100	100
11-002	01/04/2011	90	BP NVC	14,000	03/02/2012	FC	100	100
05-157	09/20/2005	2	ADDITION	35,000	05/24/2007	JH	100	100
01-058	04/13/2001	2	ADDITION	25,000	03/14/2003	TG	100	100

TOTAL	13,939 SF	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	NOTE				LAND	538,300	538,300
Inf1	EROSION		BUILDING	247,900	224,200			
Inf2	RIGHT OF WAY		DETACHED	0	0			
			OTHER	0	0			
						TOTAL	786,200	762,500

10/6/15: NO ACCESS TO MEASURE 2ND FLR REAR WOK'S

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
								10/06/2015

BUILDING	CD	ADJ	DESC	MEASURE	10/1/2013	FC	BLDG COMMENTS
MODEL	1		RESIDENTIAL	LIST	10/6/2015	EST	UC=MEASURE 2ND FLR REAR DECKS+CHECK FOR 1ST FLR FRONT DECK.
STYLE	7	1.20	OLD STYLE (100%)	REVIEW	12/15/2010	MR	
QUALITY	A	1.00	AVERAGE (100%)				
FRAME	1	1.00	WOOD FRAME (100%)				

YEAR BLT	1850	SIZE ADJ	1.020	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	364,534
NET AREA	1.512	DETAIL ADJ	1.000	FOUNDATION	4	BSMT WALL	1.00	A	BAS	L	BAS AREA	864	1850	237.51	205,210	CONDITION ELEM	CD
\$NLA(RCN)	\$241	OVERALL	1.230	EXT. COVER	1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	648	1850	185.04	119,907		
CAPACITY						ROOF SHAPE	1.00	B	OPA	N	OPEN PORCH	384		51.83	19,902		
STORIES(FAR)	1.75		1.00	ROOF COVER	1	ASPHALT SHINGLE	1.00	+	WDK	N	ATT WOOD DECK	408		37.54	15,315		
ROOMS	4		1.00	FLOOR COVER	1	HARDWOOD	1.00										
BEDROOMS	2		1.00	INT. FINISH	1	PLASTER	1.00										
BATHROOMS	1.5		1.00	HEATING/COOLING	9	WARM/COOL AIR	1.03										
FIXTURES	6	\$4,200		FUEL SOURCE	1	OIL	1.00										
UNITS	1	1.00															
																EFF.YR/AGE	1980 / 40
																COND	32 32 %
																FUNC	0 UC
																ECON	0
																DEPR	32 % GD 68
																RCNLD	\$247,900

Key: 2750

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2.819

LEGAL LAND

LAND

DETACHED

BUILDING

CURRENT OWNER		PARCEL ID		LOCATION	
WATSON CLYDE D QPR TRUST		48-13-0		119 SO PAMET RD	
TRS: WATSON CLYDE D		TRANSFER HISTORY		DOS	T
55 THREE MILE RD		WATSONCLYDE D QPR TRUST		05/31/2011	99
ETNA, NH 03750-3809		WATSON CLYDE D REV TRUST		07/18/2003	A
		WATSON NANCY DINGMAN		07/24/1975	99

CLASS	CLASS%	DESCRIPTION		BN ID	BN	CARD
1090	100	MULTIPLE HSES			1	1 of 2
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY
90-107	01/01/2004	20	NO PERMIT	600	06/29/2005	WL
	09/10/1990	6	SHED		05/08/1991	
1st	%	100	100			

CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.775	16	1.00	1	1.00	1	1.00	SV3	4.70		983,110
300	A	2.525	16	1.00	1	1.00	1	1.00	SV3	4.70		244,470

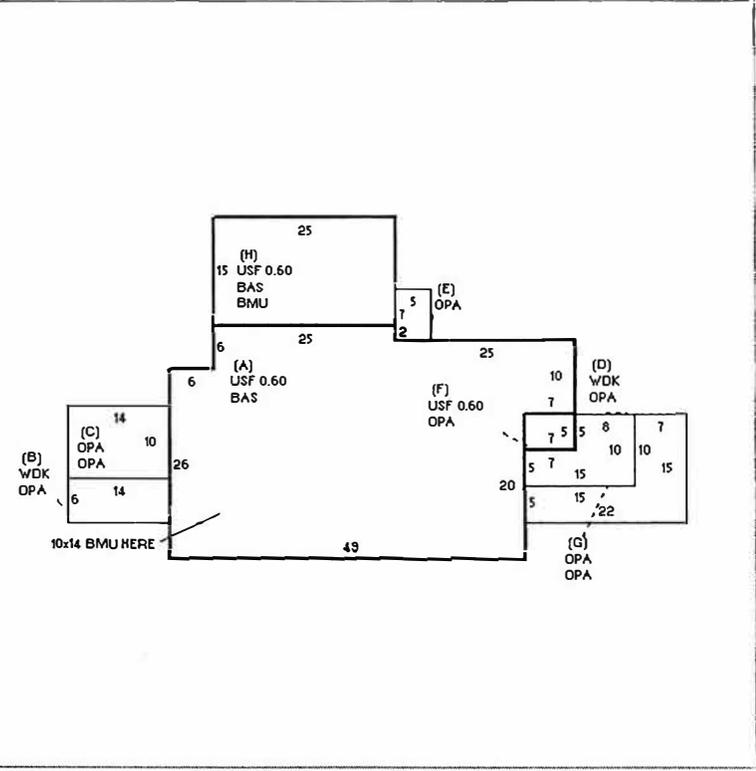
TOTAL	3.300 Acres	ZONING	NSD	FRNT	439	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	N FY04 ACRGE CHG PER REVIEW OF PLAN (NOT RECORDED).				LAND	1,227,600	600,700
Infl1	NO ADJ					BUILDING	532,900	501,600
Infl2	NO ADJ					DETACHED	7,200	7,100
						OTHER	102,800	91,300
						TOTAL	1,870,500	1,200,700

TY	QUAL	COND	QIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
DGF	A	1.00	A 0.75	14*24	336	22.90	5,800
ASH	A	1.00	A 0.75	ON DGF 8*24	192	10.05	1,400



BUILDING	CD	ADJ	DESC	MEASURE	3/10/2020	LG
MODEL	1		RESIDENTIAL	LIST	5/9/2011	LVM
STYLE	7	1.20	OLD STYLE (100%)	REVIEW	12/15/2010	MR
QUALITY	+	1.10	GOOD-AVE+ (100%)			
FRAME	1	1.00	WOODFRAME (100%)			

YEAR BLT	1890	SIZE ADJ	0.980	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	819,781
NET AREA	3,127	DETAIL ADJ	1.000	FOUNDATION	4	BSMT WALL	1.00	+	BAS	L	BAS AREA	1,941	1890	241.17	468,117	CONDITION ELEM	CD
\$NLA(RCN)	\$262	OVERALL	1.230	EXT. COVER	2	CLAPBOARD	1.00	+	USF	L	UP-STRY FIN	1,186	1890	191.57	227,204		
CAPACITY				ROOF SHAPE	1	GABLE	1.00	+	OPA	N	OPEN PORCH	844		48.33	40,791		
STORIES(FAR)	1.5	1.00		ROOF COVER	2	WOOD SHINGLES	1.01	+	WDK	N	ATT WOOD DECK	264		44.63	11,782		
ROOMS	10	1.00		FLOOR COVER	2	SOFTWOOD	1.00	H	BMU	N	BSMT UNFINISHED	375		67.45	25,295		
BEDROOMS	6	1.00		INT. FINISH	1	PLASTER	1.00		BMU	N	BSMT UNFINISHED	140		67.45	9,443		
BATHROOMS	4.5	1.00		HEATING/COOLING	2	HOT WATER	1.02		F21	O	FPL 2S 1OP	2		12,431.35	24,863		
FIXTURES	14	\$9,800		FUEL SOURCE	1	OIL	1.00		MST	O	MASONRY STACK	1		2,486.10	2,486		
UNITS	0	1.00							ODS	O	OUT DOOR SHOWER			0.00			



EFF.YR/AGE	1975 / 45
COND	34 34 %
FUNC	1 Non-Potable Wt
ECON	0
DEPR	35 % GD 65
RCNLD	\$532,900

Key: 2750

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 2.820

12.

LEGAL

LAND

DETACHED

BUILDING

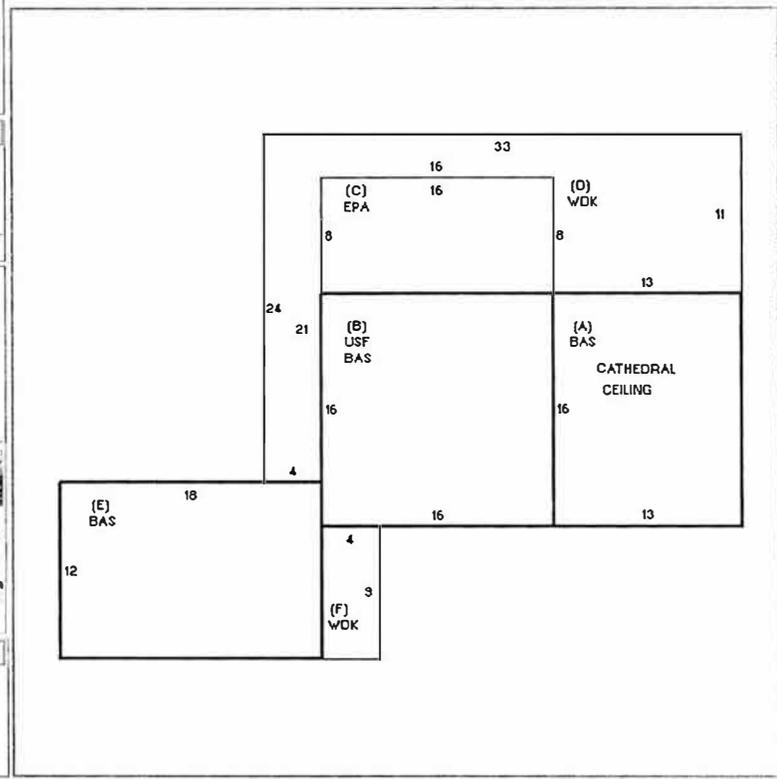
CURRENT OWNER		PARCEL ID	LOCATION		
WATSON CLYDE D QPR TRUST		48-13-0	119 SO PAMET RD		
TRS: WATSON CLYDE D		TRANSFER HISTORY	DOS	T	SALE PRICE BK-PG (Cert)
55 THREE MILE RD					
ETNA, NH 03750-3809					

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD
1090	100	MULTIPLE HSES				2	2 of 2
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %

CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	N O T E		LAND BUILDING DETACHED OTHER TOTAL	102.800	
Infl1					
Infl2					

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



BUILDING	CD	ADJ	DESC	MEASURE	3/10/2020	LG
MODEL	1		RESIDENTIAL	LIST	5/13/2013	EST
STYLE	7	1.20	OLD STYLE [100%]	REVIEW	12/15/2010	MR
QUALITY	+	1.10	GOOD-AVE+ [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

BLDG COMMENTS

YEAR BLT	1900	SIZE ADJ	1.050
NET AREA	936	DETAIL ADJ	1.010
\$NLA(RCN)	\$282	OVERALL	1.190
CAPACITY		UNITS	ADJ
STORIES(FAR)	1	1.00	
ROOMS	0	1.00	
BEDROOMS	1	1.00	
BATHROOMS	1	1.00	
FIXTURES	3	\$2,100	
UNITS	0	1.00	

ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
FOUNDATION	5	OTHER	1.00	A	BAS	L	BAS AREA	208	1900	260.20	54,122
EXT. COVER	1	WOOD SHINGLES	1.00	B	BAS	L	BAS AREA	256	1900	260.20	66,611
ROOF SHAPE	1	GABLE	1.00	B	USF	L	UP-STRY FIN	256	1900	205.82	52,690
ROOF COVER	2	WOOD SHINGLES	1.01	C	EPA	N	ENCL PORCH	128		118.75	15,200
FLOOR COVER	2	SOFTWOOD	1.00	+	WDK	N	ATT WOOD DECK	323		43.69	14,113
INT. FINISH	5	OTHER	1.00	E	BAS	L	BAS AREA	216	1900	260.20	56,203
HEATING/COOLING	7	FL/WALL FURN.	0.98	MST	O		MASONRY STACK	1		2,577.10	2,577
FUEL SOURCE	7	OTHER	1.00	ODS	O		OUT DOOR SHOWER			0.00	

TOTAL RCN	263.615
CONDITION ELEM	CD
EFF.YRAGE	1951 / 69
COND	61 61 %
FUNC	0
ECON	0
DEPR	61 % GD 39
RCNLD	\$102,800



119 S Pamet Rd,
Truro, MA 02665

S Pamet Rd

S Pamet Rd

S Pamet Rd

S Pamet Rd

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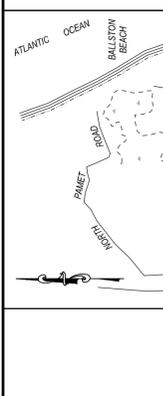
NO.	DATE	REVISION
1	09-09-2022	ADJUSTMENTS TO SEWAGE DISPOSAL SYSTEM AND SITE PLAN
2	04-15-2022	SHOWS PROPOSED DEMOLITION OF 1 BR COTTAGE

THOMAS DENNIS
127 & 133 SOUTH PAMET ROAD
TRURO, MA

SITE PLAN SHOWING BUILDING RELOCATION AND SITE IMPROVEMENTS

PROJECT: AS NOTED
DRAWING FILE: C:\7338-01-CIV.dwg
DATE: 04-14-2022
DRAWN BY: DAP
CHECKED BY: DJM

C2.1.1
1 OF 1 SHEETS
PROJECT NO. C17338.01



REFERENCE:
ASSESSORS MAP 48, PARCEL 12
L.C.P. 16'82-E & L.C.P. 16'82-F
OWNER OF RECORD:
CAPE RENTAL LLC,
CERTIFICATE #222128

FLOOD ZONE:
FLOOD ZONE AE (EL. 14), ZONE VE (EL. 17) AND FLOOD ZONE X (EL. 20) DRAWINGS ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #25001C02321 EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS PRIOR TO SITING ANY PROPOSED STRUCTURES.

DATUM:
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

AREA NOTE:
THE RECORD AREA SHOWN HEREON WAS CALCULATED TO THE ATLANTIC OCEAN LINE AS SHOWN ON LAND COURT PLAN 1682-E DATED OCTOBER 1946 AND LAND COURT PLAN 16'82-F, DATED MAY 1948.

BUILDING HEIGHT CALCULATIONS:

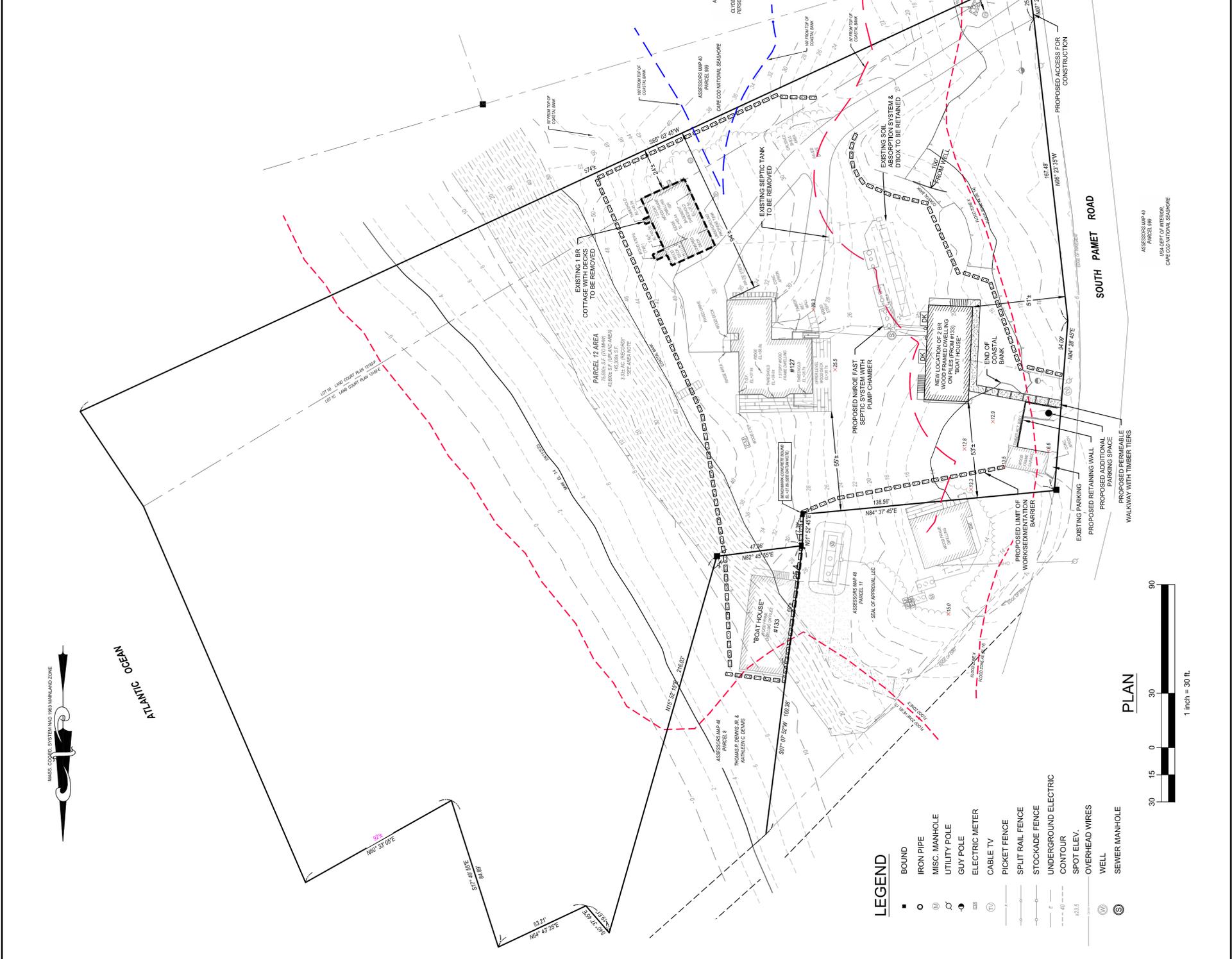
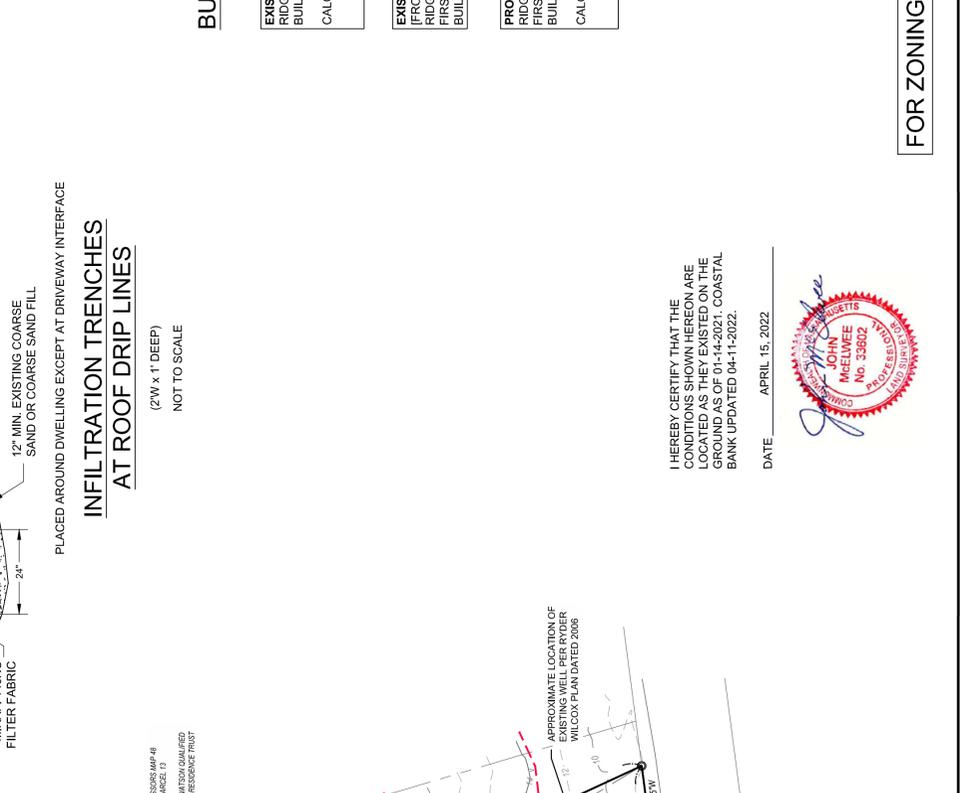
EXISTING DWELLING (#127) [NAVD 88] RIDGE EL. = 57.95 BUILDING HEIGHT = (57.95 - 30.9) = 27.05' CALCULATED AVG. GRADE PLANE = 30.9 + 30.0 (ALLOWED) MAX RIDGE EL. = 60.9'	EXISTING DWELLING (#133) [NGVD 29] RIDGE EL. = 56.3 FIRST FL. EL. = 34.5 BUILDING HEIGHT = 31.8'
PROPOSED RELOCATED DWELLING (FROM #133) [NAVD 88] RIDGE EL. = 47.33 FIRST FL. EL. = 25.00 BUILDING HEIGHT = (47.33 - 17.6) = 29.73' CALCULATED AVG. GRADE PLANE = 17.6 + 30.0 (ALLOWED) MAX RIDGE EL. = 47.6'	

ZONING TABLE

ADDRESS: ASSESSOR MAP 48, PARCEL 12
ZONING DISTRICT: SEASHORE DISTRICT
USE GROUP: SINGLE FAMILY DWELLING

SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT SIZE	130,680± S.F. (3 AC.)	145,300± S.F. (3.33 AC.) (1)(2)	NO CHANGE
FRONTAGE	150 FT.	287.24 FT.	NO CHANGE
STREET SETBACK	50 FT.	125± FT. (DWELLING #127)	51± FT. (BOAT HOUSE)
ABUTTER SETBACK (EAST)	25 FT.	24± FT. (COTTAGE TO BE REMOVED)	94± FT. (DWELLING #127)
ABUTTER SETBACK (WEST)	25 FT.	55± FT. (DWELLING #127)	53± FT. (BOAT HOUSE)
MAX BUILDING HEIGHT	2 STORIES: 30 FT	27.05 FT. (#127)	29.73 FT. (BOAT HOUSE) NO CHANGE (#127)
NUMBER OF DWELLINGS/BUILDINGS	N/A	3 (3)	3 (4)
LOT COVERAGE (IMPERVIOUS)	N/A	9.157± S.F. (6.3%)	9.581± S.F. (6.6%)
BUILDING COVERAGE (IMPERVIOUS)	N/A	3,007± S.F. (2.1%)	3,326± S.F. (2.3%)
PAVEMENT COVERAGE (IMPERVIOUS)	N/A	4,554 S.F. (3.4%)	NO CHANGE

(1) RECORD LOT AREA = 145,300± S.F. (3.33 AC.)
(2) LOT AREA ABOVE MEAN HIGH WATER = 75,500± S.F.
(3) INCLUDES DWELLING #127, COTTAGE, AND GARAGE
(4) INCLUDES DWELLING #127, BOAT HOUSE, AND GARAGE



I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE ACCURATE AND CORRECT TO THE GROUND AS OF 04-14-2022. COASTAL BANK UPDATED 04-11-2022.

DATE: APRIL 15, 2022

Elizabeth Sturdy

From: Rich Stevens
Sent: Tuesday, April 5, 2022 1:12 PM
To: Elizabeth Sturdy
Subject: RE: Review of ZBA Application - 9A Francis Road

Hi Liz,
No comment other than the need for a variance to required setbacks.
Thank You.
Rich

From: Elizabeth Sturdy <ESturdy@truro-ma.gov>
Sent: Tuesday, April 5, 2022 10:22 AM
To: Emily Beebe <EBeeBe@truro-ma.gov>; Rich Stevens <rstevens@truro-ma.gov>; Arozana Davis <ADavis@truro-ma.gov>
Cc: Barbara Carboni <bcarboni@truro-ma.gov>
Subject: Review of ZBA Application - 9A Francis Road

Emily, Rich, Zana:

The attached application for ZBA Variance will be on the April 25 Zoning Board Agenda.

Please get back to me with any comments you may have, or not. Appreciate any and all input.

Let me know if you have any questions. Thanks,

Liz

Elizabeth Sturdy

Elizabeth Sturdy, Office Assistant
Truro Town Hall
24 Town Hall Road, P.O. Box 2030
Truro, MA 02666
Tel: (508) 214-0935
Fax: (508) 349-5505
Email: esturdy@truro-ma.gov





Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date 3/10/22

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on (date) _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on (date) _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section 50.1 of the Truro Zoning Bylaw concerning (describe) an 8' x 17' deck addition to an existing dwelling that would be 8' from the property line / resource
one part are

APPLICATION FOR SPECIAL PERMIT

- Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning (describe) _____
- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section _____ of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning (describe) _____

Property Address 9A Francis Rd North Truro 02652 Map(s) and Parcel(s) 36 / 191

Registry of Deeds title reference: Book 41209, Page 315, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Michelle Jaffe

Applicant's Legal Mailing Address PO Box 839 Provincetown MA 02657

Applicant's Phone(s), Fax and Email 774-408-6135 juicebar2@yahoo.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner
- Prospective Buyer*
- Other*

Owner's Name and Address Same

Representative's Name and Address Down Cape Engineering 939 main st Yarmouth 026

Representative's Phone(s), Fax and Email 508 362 4541

2. The completed application shall also be submitted electronically to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

• The applicant is **advised** to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s)

Michelle Jaffe

Applicant(s)/Representative Printed Name(s)

Michelle Jaffe

Applicant(s)/Representative Signature

Michelle Jaffe

Owner(s) Printed Name(s) or written permission

Michelle Jaffe

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

Building Department



Town of Truro

24 Town Hall Rd.

PO Box 2030
Truro, MA 02666
Tel (508) 349-7004 x31 Fax (508) 349-5508

PERMIT DENIAL MEMO

We have reviewed the building permit application documentation for the proposed referenced below and deny issuance of the permit for the following reasons:



Permit type	<input checked="" type="checkbox"/>	Building Permit and/or Zoning Determination
	<input type="checkbox"/>	Use and Occupancy

Applicant Michelle Jaffe / Barbara Grasso
 Property Address 9A Francis Road
 Map 36 Parcel 191 Zoning District RES

Date of Review: 01-05-21

Proposed Structure/Use does not conform to the following Section(s) of the Building Code/Zoning Bylaw:

Section 30.7.A – ALTERATION / EXTENSION OF A PRE-EXISTING NON-CONFORMING STRUCTURE DUE TO SETBACKS AND MINIMUM LOT SIZE

The Proposed Structure/Use requires a Variance under the following section of the Building Code/Zoning Bylaw:

AREA AND HIEGHT REGULATIONS SECTION 50 / TABLE 50.1
DIMENSIONAL REQUIREMENTS

Comments:
ALTERATION AND EXTENSION OF PRE-EXISTING
NON-CONFORMING STRUCTURE DUE TO
SETBACKS AND LOT SIZE

Appeal of any of the above may be made in accordance with MGL Ch. 40A Section 8, by application to the Zoning Board of Appeals.

Richard Stevens, Building Commissioner/Zoning Enforcement Officer

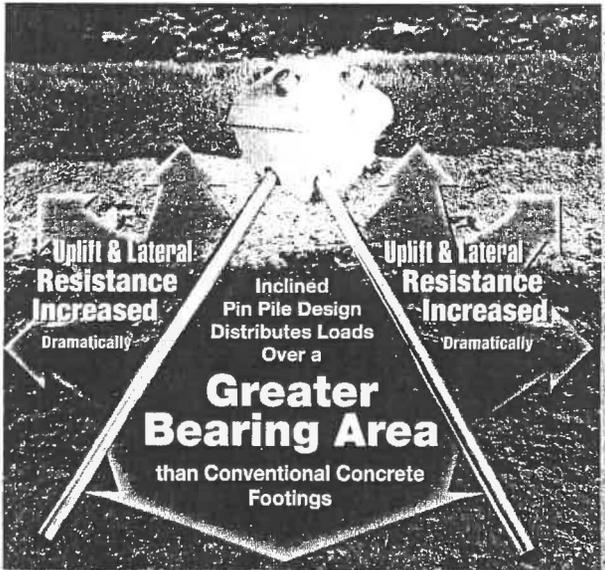
Building Beyond the Standard...

Construction without Excavation!



GreenSpec LISTED

Low Environmental Impact
Undisturbed Soil
for a Clean Job Site



Uplift & Lateral Resistance Increased Dramatically

Inclined Pin Pile Design Distributes Loads Over a

Uplift & Lateral Resistance Increased Dramatically

Greater Bearing Area than Conventional Concrete Footings

DiamondPier FOUNDATION SYSTEM

with Pin Pile Technology

© Copyright 2017 Pin Foundations, Inc. All Rights Reserved.

DiamondPier®

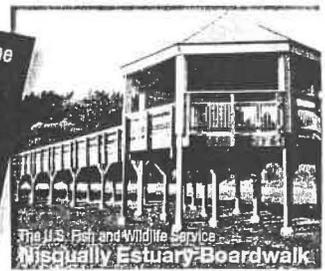
Meets or Exceeds the Performance of Conventional Concrete Footings

A Structurally Rated, Code Compliant Foundation System

- Combines Pin Pile Technology with High-Strength Concrete
- Install in Minutes... Frame Immediately
- Complete Projects 1 to 2 Days Faster
- Low Environmental Impact... a Clean Job Site
- Can be Removed and Reinstalled
- Proven Performance... Over 25-Year Track Record

...with a Lifetime Warranty *Covering Parts and Labor!*

For over 25 years, the US Department of the Interior has chosen Diamond Pier as the foundation system for some of their most demanding projects.



The U.S. Fish and Wildlife Service, Misqually Estuary Boardwalk

Silts/Clays Minimum 1500 psf (CL, ML, MH, CH)**

Model No./ Pin Length	Bearing Load Capacity	Equivalent Base Area	Cylinder Comparison	Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	2700#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 3000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	3300#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 3750#	2.5 sf	21" dia	48"	* 1400#	* 600#
DP-75/63"	4200#	2.8 sf	22" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings * Interpolated from field test values

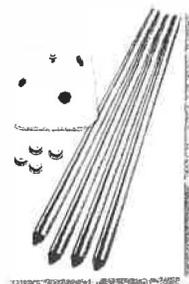
Sands/Gravels Minimum 2000 psf (SW, SP, SM, SC, GM, GC)**

Model No./ Pin Length	Bearing Load Capacity	Equivalent Base Area	Cylinder Comparison	Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	3600#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 4000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	4400#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 5600#	2.8 sf	22" dia	48"	* 1400#	* 600#
DP-75/63"	6400#	3.2 sf	24" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings * Interpolated from field test values

Load Chart to be used for Normal Soil Conditions Only. See Manufacturer's Installation Manual for definitions and additional chart notes. DP-50 and DP-75 capacities used in conjunction with Manufacturer's "Use and Applications" document. ** See IRC Table R401.4.1 (Presumptive Load Bearing Values of Foundation Materials) for a full description of applicable 1500 psf and 2000 psf soil types. For soils below 1500 psf, or soils with unknown characteristics, additional site and design analysis is required. For soils above 2000 psf, the values in this chart shall apply.

LOAD CHART



DiamondPier® FOUNDATION SYSTEM

- Pin Pile Technology combined with a High-Strength Concrete Head that Meets or Exceeds ACI 318 Standards
- Galvanized Pins Meet or Exceed ASTM Standards
- High-Impact Inspection Plugs • Pin Caps Install After Inspection
- Cast-in, Galvanized Anchor Bolt to Secure Standard Post Brackets

For all applications, refer to the manufacturer's complete Installation Manual.



MODEL **DP-50**

- Loads Up To 4400#
- 36", 42" or 50" Pins
- Use in Areas with a Frost Depth Up To 48"

MODEL **DP-75**

- Loads Up To 6400#
- 50" or 63" Pins
- Use in Areas with a Frost Depth Up To 60"

Pin Driving Bit
For use with most breaker hammers that accept a 1-1/8" hex shaft.
Available at www.DiamondPiers.com



The Diamond Pier DP-50 and DP-75 Models are recognized by the International Code Council (ICC) for residential applications. The ESR Code Compliance Document and Detail Drawings are available on our website... www.DiamondPiers.com/ESR

Documents to Submit with a Permit Application

- ESR-1895 Code Compliance Document
- Wisconsin UDC Approval Evaluation
- Detail Drawings and Load Chart

List em'd
to Michelle
Grasso



TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form

DATE: 3/8/22

NAME OF APPLICANT: Michelle Jaffe

NAME OF AGENT (if any): _____

MAILING ADDRESS: PO BOX 839

CONTACT: HOME/CELL 774 408 6135 EMAIL juicebarz@yahoo.com

PROPERTY LOCATION: 91A Francis Rd N. Truro
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 36 PARCEL 191 EXT. B
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item

(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input checked="" type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | |

(Please Specify)

(Fee: Inquire with Assessors)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: March 8, 2022 Date completed: March 8 2022

List completed by: Laura Geiges Date paid: _____ ~~Cash/Check~~ _____

Per Liz,
fee is
waived.

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE

PO Box 2012 Truro, MA 02666

Telephone: (508) 214-0921

Fax: (508) 349-5506

Date: March 8, 2022

To: Michelle Jaffe

From: Assessors Department

Certified Abutters List: 9A Francis Road, Unit B (Map 36 Parcel 191, Ext B)

Zoning Board of Appeals - Variance

Attached is a combined list of abutters for 9A Francis Road, Unit B (Map 36 Parcel 191, Ext B).
The current owners are Barbara Grasso and Michelle Jaffe.

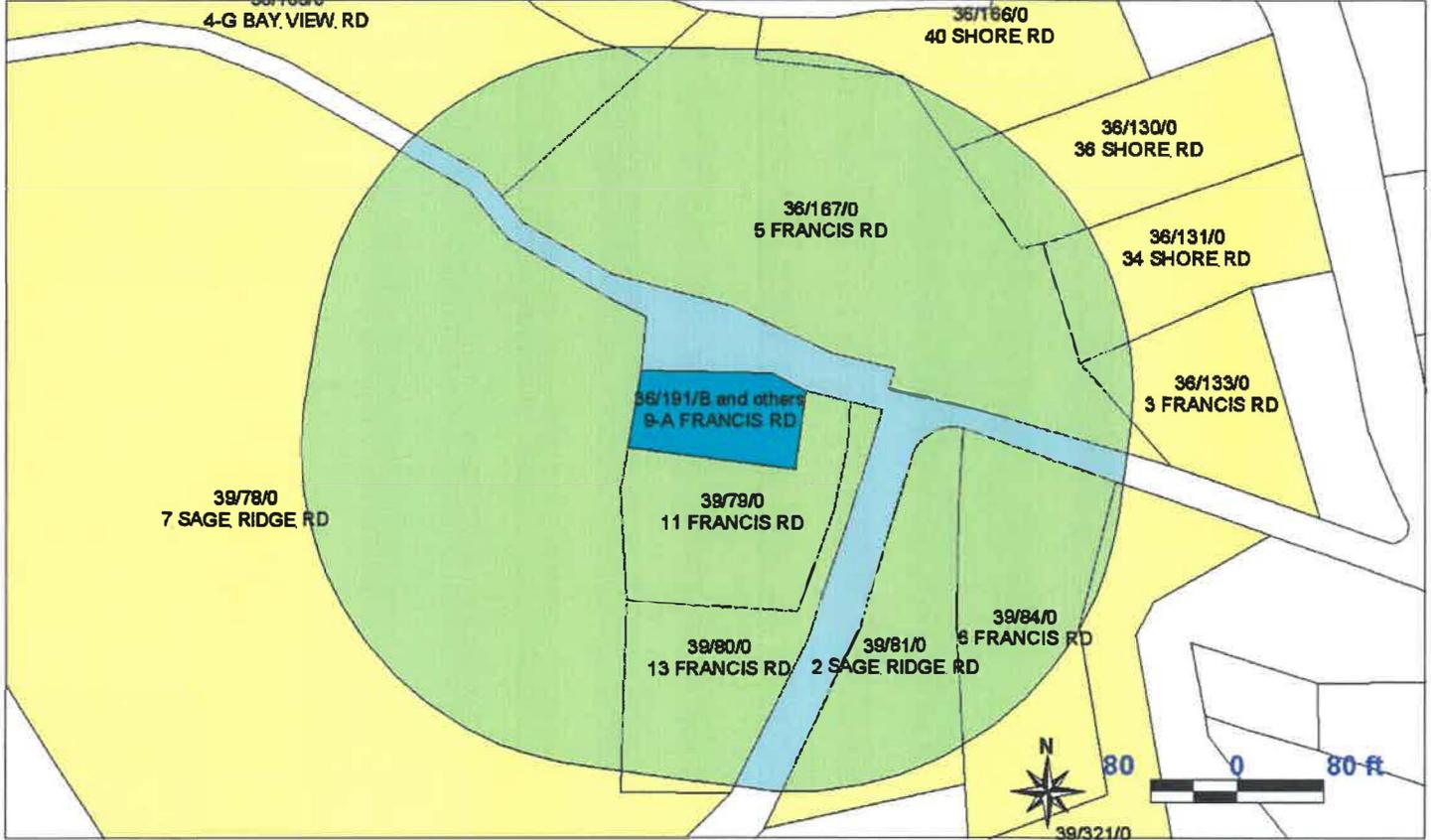
The names and addresses of the abutters are as of March 4, 2022 according to the
most recent documents received from the Barnstable County Registry of Deeds.

Certified by:  _____

Laura Geiges
Assistant Assessor / Data Collector

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 36/191/B and others



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1017	36-130-0-E	TOWN OF TRURO	36 SHORE RD	PO BOX 2030	TRURO	MA	02666-2030
1018	36-131-0-R	THOLEN GRETCHEN M	34 SHORE RD	2031 RYANS RUN	LANDSDALE	PA	19446
1020	36-133-0-R	HIGGINS CHRISTMAS	3 FRANCIS RD	C/O MADDEN JOAN 25 CLIFF STREET	WESTON	MA	02493
1050	36-164-0-R	THRASHER PETER H & GORN ERICA E	48-A SHORE RD	PO BOX 18	NO TRURO	MA	02652-0018
1051	36-165-0-E	TRURO CONSERVATION TRUST TRS: TOM BOW, ET AL	4-G BAY VIEW RD	PO BOX 327	NO TRURO	MA	02652
1052	36-166-0-R	HOLWAY CHARLES & MARGUERITE (LE) RMNDR: HOLWAY RUSSELL T ET AL	40 SHORE RD	5 LEAF LN	EASTHAM	MA	02642-1790
1053	36-167-0-R	PETERS THOMAS HARRISON	5 FRANCIS RD	PO BOX 910	SO WELLFLEET	MA	02663-0910
1077	36-191-0-E	FRANCIS ROAD CONDO TRUST	9 FRANCIS RD	9 FRANCIS RD	N TRURO	MA	02652
7265	36-191-A-R	COWIE ANNE D & GRAVES AMY K	9 FRANCIS RD	PO BOX 672	NORTH TRURO	MA	02652
7267	36-191-B-R	GRASSO BARBARA & JAFFE MICHELLE E	9-A FRANCIS RD	PO BOX 839	PROVINCETOWN	MA	02652
1207	39-78-0-R	PETERS DEVELOPMENT NOMINEE TR TRS: PETERS THOMAS H & ERIK A	7 SAGE RIDGE RD	PO BOX 910	SO WELLFLEET	MA	02663
1208	39-79-0-R	BYRNE JAMES M & LAUREN T	11 FRANCIS RD	PO BOX 659	N TRURO	MA	02652
1209	39-80-0-R	PERRY ANDREW KNUBEL, ET AL	13 FRANCIS RD	PO BOX 320424230	SIoux FALLS	SD	57186
1210	39-81-0-R	HUTCHINGS CHARLES S & HUTCHINGS CAROLYN C	2 SAGE RIDGE RD	PO BOX 1062	NO TRURO	MA	02652
1213	39-84-0-R	HUTCHINGS CHARLES S & HUTCHINGS JON R ET AL	6 FRANCIS RD	c/o JOAN HUTCHINGS 10 PINE ISLAND ROAD	MATTAPOISETT	MA	02739

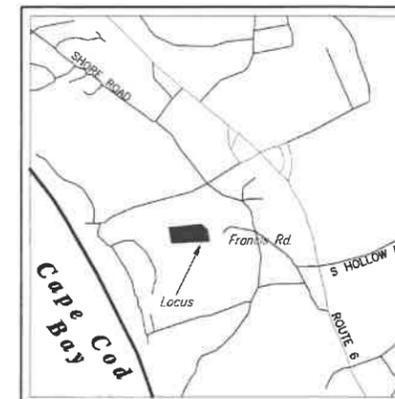
Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
6308	39-321-0-R	DAREZZO ROBERT & ROSE LE	4 FRANCIS RD	PO BOX 849	NO TRURO	MA	02652

<p>36-130-0-E</p> <p>TOWN OF TRURO PO BOX 2030 TRURO, MA 02666-2030</p>	<p>36-131-0-R</p> <p>THOLEN GRETCHEN M 2031 RYANS RUN LANDSDALE, PA 19446</p>	<p>36-133-0-R</p> <p>HIGGINS CHRISTMAS C/O MADDEN JOAN 25 CLIFF STREET WESTON, MA 02493</p>
<p>36-164-0-R</p> <p>THRASHER PETER H & GORN ERICA E PO BOX 18 NO TRURO, MA 02652-0018</p>	<p>36-165-0-E</p> <p>TRURO CONSERVATION TRUST TRS: TOM BOW, ET AL PO BOX 327 NO TRURO, MA 02652</p>	<p>36-166-0-R</p> <p>HOLWAY CHARLES&MARGUERITE (LE) RMNDR: HOLWAY RUSSELL T ET AL 5 LEAF LN EASTHAM, MA 02642-1790</p>
<p>36-167-0-R</p> <p>PETERS THOMAS HARRISON PO BOX 910 SO WELLFLEET, MA 02663-0910</p>	<p>36-191-0-E</p> <p>FRANCIS ROAD CONDO TRUST 9 FRANCIS RD N TRURO, MA 02652</p>	<p>36-191-A-R</p> <p>COWIE ANNE D & GRAVES AMY K PO BOX 672 NORTH TRURO, MA 02652</p>
<p>36-191-B-R</p> <p>GRASSO BARBARA & JAFFE MICHELLE E PO BOX 839 PROVINCETOWN, MA 02652</p>	<p>39-78-0-R</p> <p>PETERS DEVELOPMENT NOMINEE TR TRS: PETERS THOMAS H & ERIK A PO BOX 910 SO WELLFLEET, MA 02663</p>	<p>39-79-0-R</p> <p>BYRNE JAMES M & LAUREN T PO BOX 659 N TRURO, MA 02652</p>
<p>39-80-0-R</p> <p>PERRY ANDREW KNUBEL, ET AL PO BOX 320424230 SIOUX FALLS, SD 57186</p>	<p>39-81-0-R</p> <p>HUTCHINGS CHARLES S & HUTCHINGS CAROLYN C PO BOX 1062 NO TRURO, MA 02652</p>	<p>39-84-0-R</p> <p>HUTCHINGS CHARLES S & HUTCHINGS JON R ET AL c/o JOAN HUTCHINGS 10 PINE ISLAND ROAD MATTAPOISETT, MA 02739</p>
<p>39-321-0-R</p> <p>DAREZZO ROBERT & ROSE LE PO BOX 849 NO TRURO, MA 02652</p>		

LC 3/8/2022

NOTES

1. DATUM IS NAVD88
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.



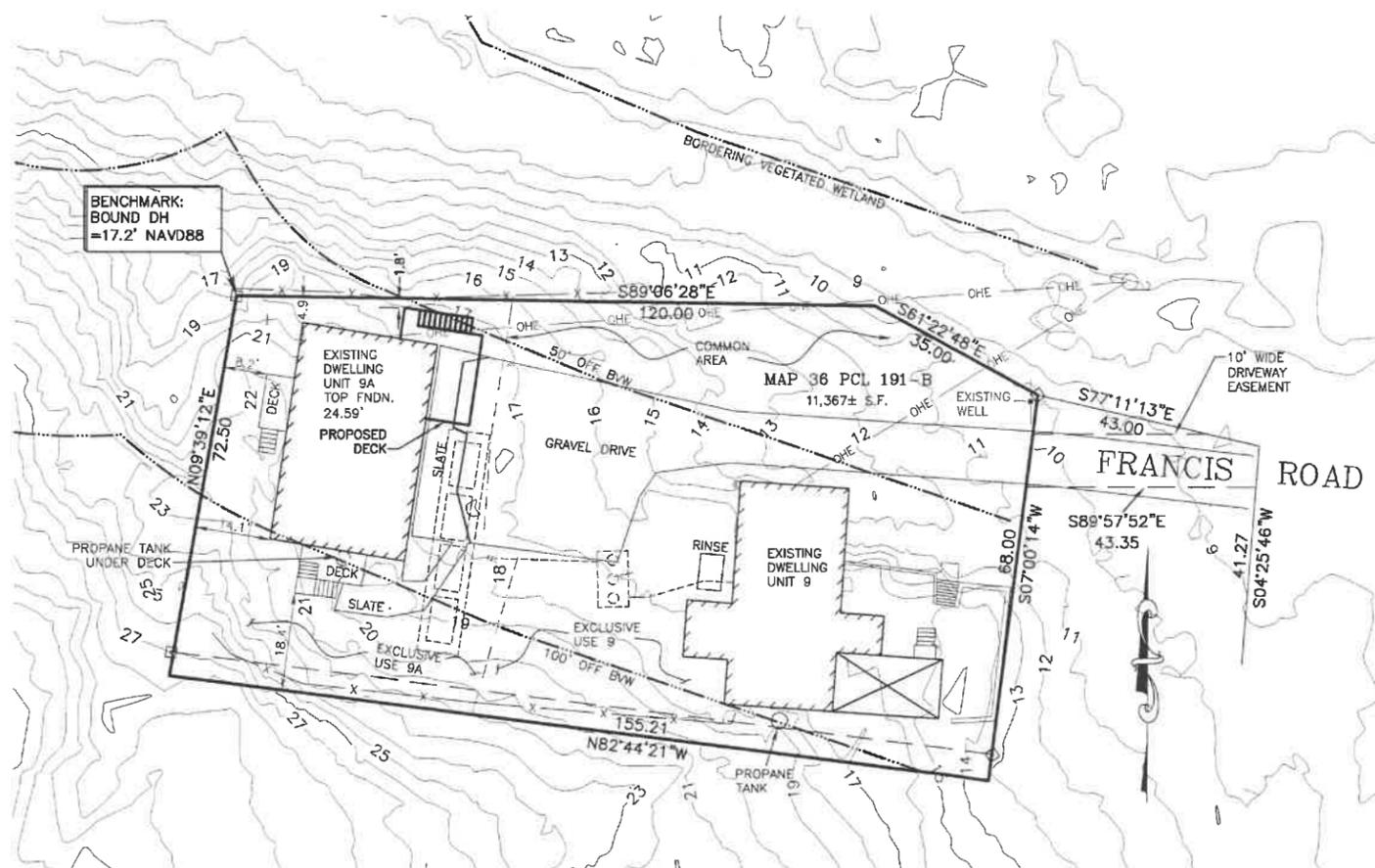
LOCUS MAP

SCALE 1"=2000'±
 ASSESSORS MAP 36 PARCEL 191-B
 LOCUS IS WITHIN FEMA FLOOD ZONE X
 (AREA OF MINIMAL FLOOD HAZARD) AS
 SHOWN ON COMMUNITY PANEL #25001C0583J
 DATED 7/16/2014

ZONING SUMMARY

ZONING DISTRICT: RESIDENTIAL

	REQUIRED
MIN. LOT SIZE	33,750 S.F.
MIN. LOT FRONTAGE	150'
MIN. FRONT SETBACK	25'
MIN. SIDE SETBACK	25'
MIN. REAR SETBACK	25'
MAX BUILDING HEIGHT	30' OR 2 STORIES

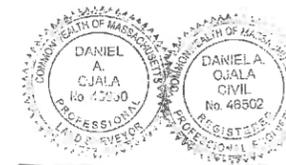


SITE PLAN
 OF
#9 FRANCIS ROAD
NORTH TRURO, MA

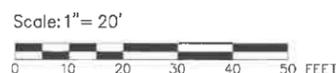
PREPARED FOR
MICHELLE JAFFE

DATE: FEBRUARY 17, 2022

off 508-362-4541
 fax 508-362-9880
 downcape.com @
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675
 21-486 JAFFE DWG

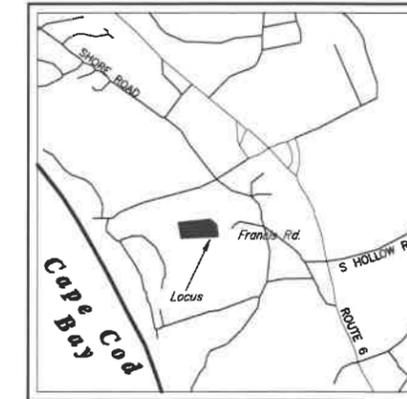


2-17-22
 DATE **DANIEL A. OJALA, P.E., P.L.S.**



NOTES

1. DATUM IS NAVD88.
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.



LOCUS MAP

SCALE 1"=2000'±

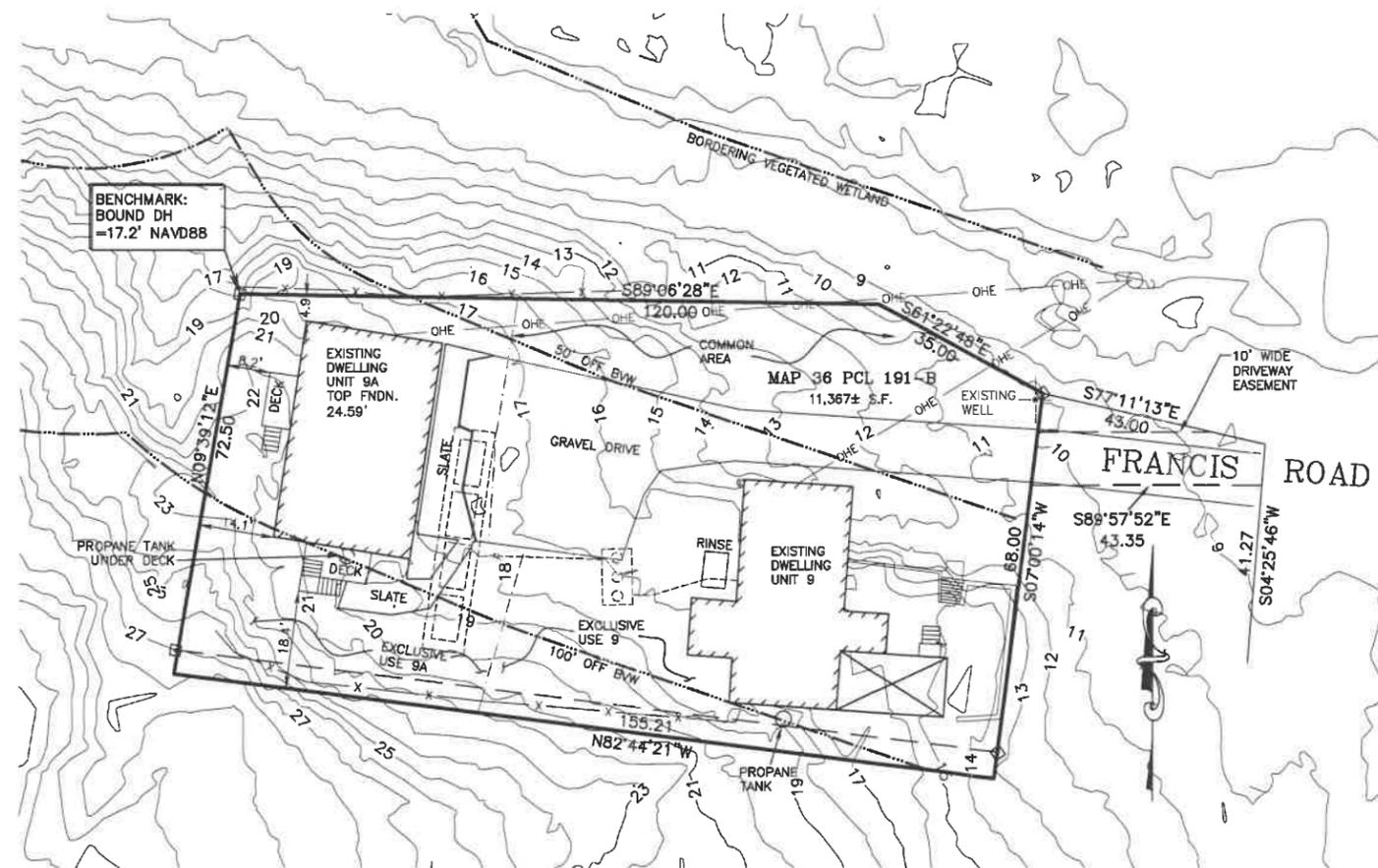
ASSESSORS MAP 36 PARCEL 191-B

LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON COMMUNITY PANEL #25001C0583J DATED 7/16/2014

ZONING SUMMARY

ZONING DISTRICT: RESIDENTIAL

	REQUIRED
MIN. LOT SIZE	33,750 S.F.
MIN. LOT FRONTAGE	150'
MIN. FRONT SETBACK	25'
MIN. SIDE SETBACK	25'
MIN. REAR SETBACK	25'
MAX BUILDING HEIGHT	30' OR 2 STORIES



**EXISTING CONDITIONS
SITE PLAN**

OF
**#9 FRANCIS ROAD
NORTH TRURO, MA**

PREPARED FOR

MICHELLE JAFFE

DATE: FEBRUARY 17, 2022

off 508-362-4541
fax 508-362-9880
downcape.com @

down cape engineering, inc.
civil engineers
land surveyors

939 Main Street (Rte 6A)
YARMOUTHPORT MA 02675

21-486 JAFFE.DWG

[FOR REVIEW]

DATE DANIEL A. OJALA, P.E., P.L.S.

Scale: 1" = 20'



Benjamin E. Zehnder LLC

62 Route 6A, Unit B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.
bzehnder@zehnderllc.com
Tel: (508) 255-7766

March 25, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
Truro, MA 02666

Re: New Zoning Board of Appeals Special Permit Application /
40 South Pamet Road (51-40) /
Benoit Allehaut and Elizabeth Allehaut

Dear Ms. Fullerton:

Please find enclosed for filing a new application to the Zoning Board of Appeals for a special permit for the property at 40 South Pamet Road. I have included an additional nine packet copies, as well as check no. 110 in the amount of \$50.00 for the filing fee. My office will email a scan of the entire application to planner1@truro-ma.gov today.

Thank you for your assistance.

Very truly yours,



Benjamin E. Zehnder

Enc.
cc via email only w/ attachments:
client
Barbara Carboni
Daniel Costa
Jeffrey Katz
Bradford Malo
David Michniewicz
Shane O'Brien
Theresa Sprague



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date March 25, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

- Applicant seeks approval and authorization of uses under Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____
- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 30.7(A) of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* Alteration and addition to existing dwelling, relocation & renovation of shed on non-conforming lot (lot area)

Property Address 40 South Pamet Road Map(s) and Parcel(s) 51-40

Registry of Deeds title reference: Book 33897, Page 73, or Certificate of Title Number N/A and Land Ct. Lot # N/A and Plan # N/A

Applicant's Name Benoit Allehaut & Elizabeth Allehaut

Applicant's Legal Mailing Address 39 East 29th Street, Apt. 26A, New York, NY 10016

Applicant's Phone(s), Fax and Email (203) 300-6014; allehaut4@gmail.com; benoit.allehaut@gmail.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application.

- Owner Prospective Buyer* Other*

Owner's Name and Address _____

Representative's Name and Address Benjamin E. Zehnder 62 Rt. 6A Unit B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzehnder@zehnderllc.com

2. The completed application shall also be submitted **electronically** to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

- The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s) [Handwritten Signature] 3/22/22

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

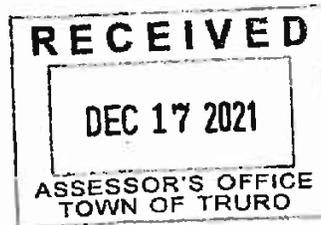
Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property



TOWN OF TRURO

Assessors Office Certified Abutters List Request Form



DATE: Dec. 14, 2021

NAME OF APPLICANT: Benoit Allehaut & Elizabeth Allehaut

NAME OF AGENT (if any): Benjamin E. Zehnder / La Tanzi, Spaulding & Landreth

MAILING ADDRESS: P.O. Box 2300 Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-2133 ext. 128 EMAIL bzehnder@latanzi.com

PROPERTY LOCATION: 40 South Pamet Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 51 PARCEL 40 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR:
(please check all applicable)

FEE: \$15.00 per checked item

(Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input checked="" type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | |

(Fee: Inquire with Assessors)

(Please Specify)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: 12/17/2021

Date completed: 12/21/2021

List completed by: [Signature]

Date paid: 12/17/2021 (as) Check #13929

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: December 21, 2021

To: Benjamin E. Zehnder, Agent for Benoit & Elizabeth Allehaut

From: Assessors Department

Certified Abutters List: 40 South Pamet Road

Zoning Board of Appeals/ Special Permit

Attached is a combined list of abutters for the property located at 40 South Pamet Road.

The current owners are Benoit & Elizabeth Allehaut.

The names and addresses of the abutters are as of December 10, 2021 according to the most recent documents received from the Barnstable County Registry of Deeds.

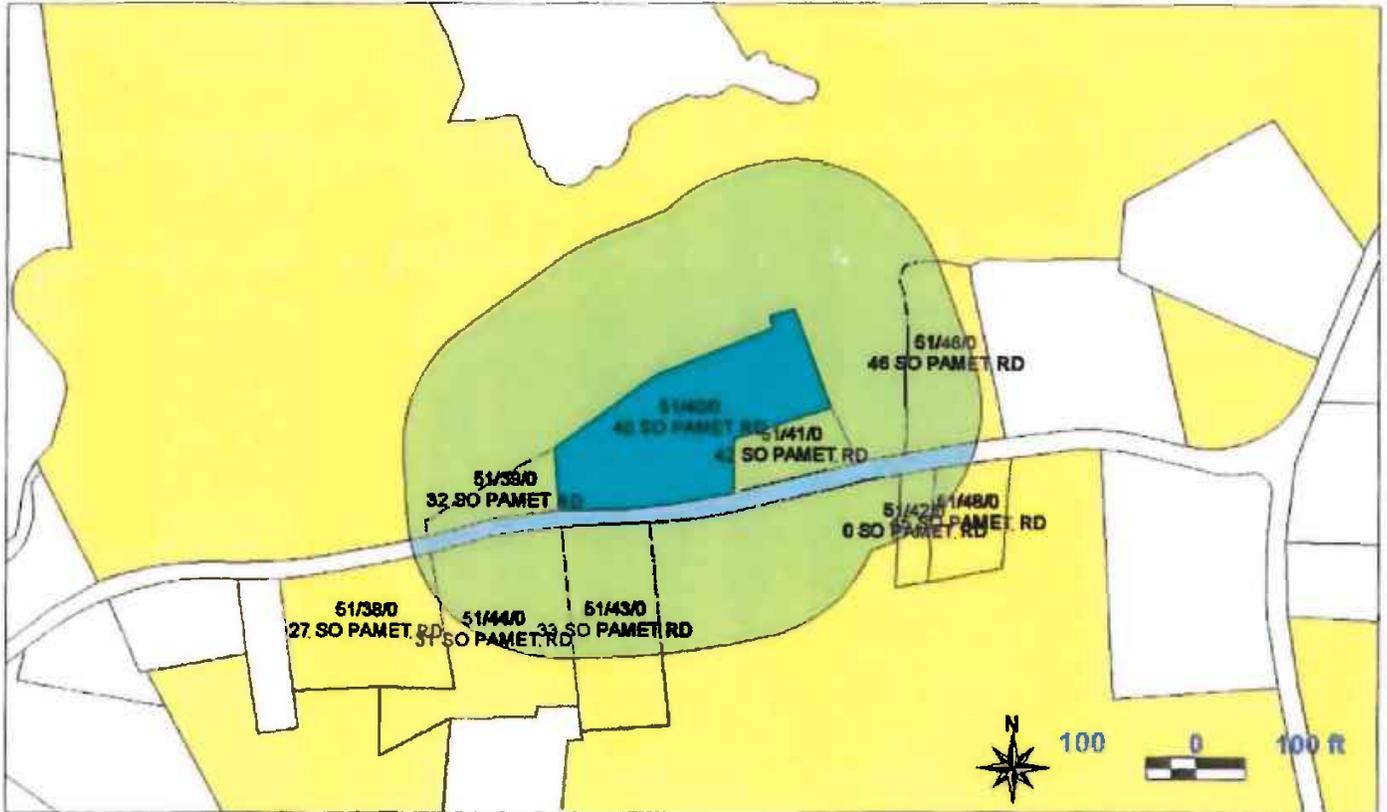
Certified by:

Olga Farrell
Assessing Clerk

40 South Pamet Road
 Map 51, Parcel 40
 ZBA- Special Permit

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 51/40/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip-Cd/Country
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667
3084	51-38-0-R	BLETHEN ROGER & KEATING PAMELA	27 SO PAMET RD	1225 TUNA COURT	NAPLES	FL	34102-1544
3085	51-39-0-R	KELLEY ANN M	32 SO PAMET RD	PO BOX 0	TRURO	MA	02666-0000
3086	51-40-0-R	ALLEHAUT BENOIT & ELIZABETH	40 SO PAMET RD	PO BOX 987	TRURO	MA	02666
3087	51-41-0-R	LARKIN RICHARD S & PERRY DAVID HENRY	42 SO PAMET RD	8 HASKELL ST SUITE#3	ALLSTON	MA	02134-1529
3088	51-42-0-E	U S A DEPT OF THE INTERIOR	0 SO PAMET RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
3089	51-43-0-R	ORMSBY SHARON B	33 SO PAMET RD	PO BOX 41	TRURO	MA	02666-0041
3090	51-44-0-R	KELLEY ANN M	31 SO PAMET RD	PO BOX 0	TRURO	MA	02666-0000
3092	51-46-0-R	MANUEL FURER QTIP NON EX TRUST & VIVIAN FURER REVOC TRUST	46 SO PAMET RD	care of: JESSICA FURER 3476 LAGUNA AVENUE	OAKLAND	CA	94602
3094	51-48-0-R	MANUEL FURER QTIP NON-EX TRUST & VIVIAN FURER REVOC TRUST	45 SO PAMET RD	care of: JESSICA FURER 3476 LAGUNA AVENUE	OAKLAND	CA	94602

JW Richardson
 12/21/2021 Page 1

40-999-0-E

USA-DEPT OF INTERIOR
Cape Cod National Seashore
99 Marconi Site Rd
Wellfleet, MA 02667

51-38-0-R

BLETHEN ROGER & KEATING PAMELA
1225 TUNA COURT
NAPLES, FL 34102-1544

51-39-0-R

KELLEY ANN M
PO BOX 0
TRURO, MA 02666-0000

51-40-0-R

ALLEHAUT BENOIT & ELIZABETH
PO BOX 967
TRURO, MA 02666

51-41-0-R

LARKIN RICHARD S &
PERRY DAVID HENRY
8 HASKELL ST SUITE#3
ALLSTON, MA 02134-1529

51-42-0-E

U S A
DEPT OF THE INTERIOR
CAPE COD NATIONAL SEASHORE
99 MARCONI SITE RD
WELLFLEET, MA 02667

51-43-0-R

ORMSBY SHARON B
PO BOX 41
TRURO, MA 02666-0041

51-44-0-R

KELLEY ANN M
PO BOX 0
TRURO, MA 02666-0000

51-46-0-R

MANUEL FURER QTIP NON EX TRUST
& VIVIAN FURER REVOC TRUST
care of: JESSICA FURER
3476 LAGUNA AVENUE
OAKLAND, CA 94602

51-48-0-R

MANUEL FURER QTIP NON-EX TRUST
& VIVIAN FURER REVOC TRUST
care of: JESSICA FURER
3476 LAGUNA AVENUE
OAKLAND, CA 94602

Key: 3086

Town of TRURO - Fiscal Year 2022 Preliminary

6/15/2021 5:05 pm SEQ #: 3.186

LEGALS

CURRENT OWNER				PARCEL ID				LOCATION			
KELSO ALEXANDER S JR C/O ALLEHAUT BENOIT & ELIZABET PO BOX 967 TRURO, MA 02666				51-40-0				40 SO PAMET RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				
ALLEHAUT BENOIT & ELIZABE				03/15/2021	QS	1,049,500	33897-73				
KELSO ALEXANDER S JR				11/30/1990	QS	275,000	7367-213				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
1010	100	SINGLE FAMILY				1	1 of 1	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
07-132	06/26/2007	10	ALL OTHERS	101,300	06/05/2008	JH	100	100
07-061	04/06/2007	10	ALL OTHERS	10,000	06/05/2008	JH	100	100
96-160	10/01/1996	2	ADDITION	60,000	06/01/1997		100	100
89-184	12/01/1989	2	ADDITION	50,000	12/31/1990		100	100

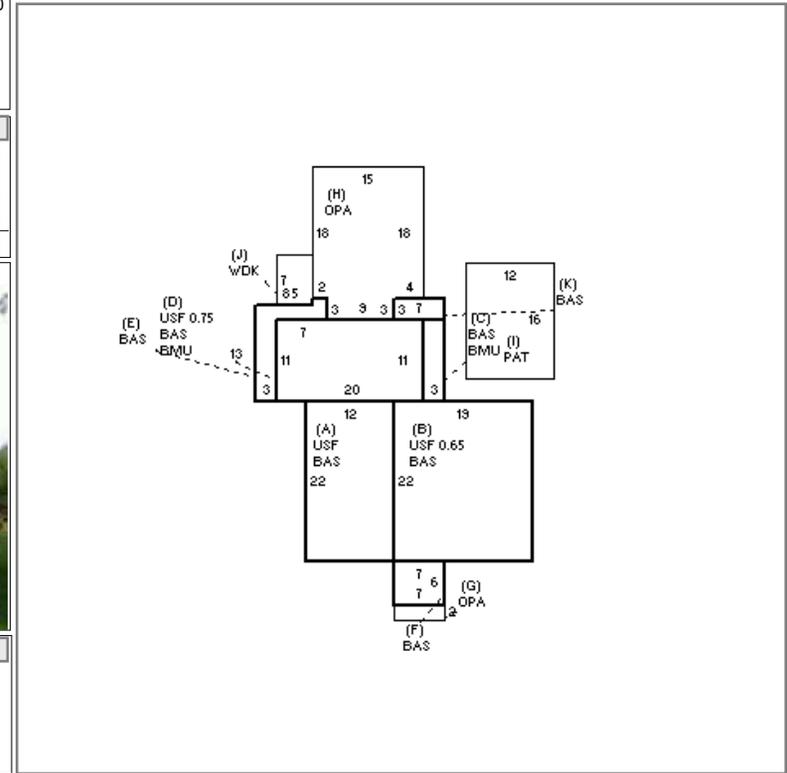
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.775	16	1.00	1	1.00	1	1.00	SR4	2.30		481,100
300	A	1.925	16	1.00	1	1.00	1	1.00	SR4	2.30		91,210

DETACHED

TOTAL	2.700 Acres		ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE		NOTE FBN=N/V (IN STATE OF DISREPAIR).	LAND	572,300	572,300			
Inf1	NO ADJ			BUILDING	322,500	290,100			
Inf2	NO ADJ			DETACHED	0	0			
				OTHER	0	0			
				TOTAL	894,800	862,400			

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
FBN	SV	1.00	SV 1.00 17*16			0.00		07/17/2014



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	7/7/2014	FC
MODEL	1		RESIDENTIAL	LIST	7/7/2014	FC
STYLE	7	1.20	OLD STYLE [100%]	REVIEW	12/15/2010	MR
QUALITY	+	1.10	GOOD-AVE+ [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

YEAR BLT	1840	SIZE ADJ	1.010	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	467,368
NET AREA	1,754	DETAIL ADJ	1.000	FOUNDATION	4	BSMT WALL	1.00	+	BAS	L	BAS AREA	1,053	1840	256.60	270,198	CONDITION ELEM	CD
\$NLA(RCN)	\$266	OVERALL	1.220	EXT. COVER	1	WOOD SHINGLES	1.00	+	USF	L	UP-STRY FIN	701	1840	199.91	140,137		
				ROOF SHAPE	1	GABLE	1.00	+	BMU	N	BSMT UNFINISHED	253		68.95	17,446		
				ROOF COVER	1	ASPHALT SHINGLE	1.00	+	OPA	N	OPEN PORCH	311		55.99	17,413		
				FLOOR COVER	2	SOFTWOOD	1.00	I	PAT	N	PATIO	192		14.03	2,695		
				INT. FINISH	1	PLASTER	1.00	J	WDK	N	ATT WOOD DECK	35		73.50	2,573		
				HEATING/COOLING	2	HOT WATER	1.02	F21	O		FPL 2S 1OP	1		12,707.10	12,707		
				FUEL SOURCE	1	OIL	1.00										

EFF. YR/AGE	1984 / 36	
COND	31	31 %
FUNC	0	
ECON	0	
DEPR	31	% GD 69
RCNLD	\$322,500	



51_16_0

40_999_0

40

51_46_0

46

51_40_0

42

51_41_0

32

SOUTH PAMET ROAD

SOUTH PAMET ROAD

51_42_0

51_48_0

33

31

51_44_0

51_43_0

27

51_38_0

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

- Parcels
- Buildings
- Sidewalks
- Street Pavement
- Town Boundary
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Street Centerlines
- Abutting Towns Labels
- Abutting Towns
- Major Streams
- Town Mask
- Bath Donut2
 - 0-5 ft
 - 5-10 ft
 - 10-15 ft
 - 15-20 ft
 - 20-30 ft
 - 30-40 ft
 - 40-50 ft
 - 50-60 ft
 - 60-70 ft
 - 70+ ft
 - Background

0 200 400 ft

Printed on 09/14/2021 at 01:13 PM

MapsOnline - Truro, MA

MASSACHUSETTS STATE EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 03-15-2021 @ 01:27pm
Ct1#: 1005 Doc#: 17854
Fee: \$3,589.29 Cons: \$1,049,500.00

BARNSTABLE COUNTY EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 03-15-2021 @ 01:27pm
Ct1#: 1005 Doc#: 17854
Fee: \$3,211.47 Cons: \$1,049,500.00

QUITCLAIM DEED

Property Address: 40 South Pamet Road, Truro, MA 02666

ALEXANDER S. KELSO, JR., an Individual, with an address of 842 Washington Avenue, New Orleans, LA 70130

in consideration of **ONE MILLION FORTY-NINE THOUSAND FIVE HUNDRED and no/100 (\$1,049,500.00) DOLLARS**, paid

grants to **BENOIT ALLEHAUT and ELIZABETH ALLEHAUT**, Husband and Wife, as Tenants by the Entirety, with an address of 39 East 29th Street, Apt. 26A, New York, NY 10016

with **QUITCLAIM COVENANTS**,

The land in Truro, Barnstable County, Massachusetts, together with the buildings thereon, located on the north side of South Pamet Road (on the south side of the Pamet River at Head Pamet, so-called),, bounded and described as follows:

Beginning at the Southwest corner at a stake and stone by the Town Road and running:

- NORTHERLY by land formerly of the Estate of Antoine Fratus, 127.8 feet to a post and stones at the edge of the meadow;
- EASTERLY along the bank by the meadow of Fratus, 241.3 feet to a post and stone in range of the ditch which separates the meadow of said Fratus and the cranberry land of Frederick A. Meier;
- EASTERLY along the bank by the meadow and cranberry land of said Meier, 254.2 feet to a post and stones;
- NORTHERLY down the bank by land of said Meier, 27.1 feet to a post and stones in the meadow in range of the ditch which separates the cranberry land of said Meier from the former meadow of Peter Morris;
- EASTERLY by the Meier meadow, 47.3 feet to a post and stones;
- SOUTHERLY in a straight line by land of Meier, five tenths (.05) of a foot from the west end of the barn as it stood when deeded to me, 229.3 feet to a post and stones by the west side of the old Proprietor's Road in range of Antoine S. Gray;
- WESTERLY by said Gray, 193.9 feet to a post and stones;

Locus: 40 South Pamet Road, Truro

SOUTHERLY by said Gray, 101.3 feet to a stake and stone by the Town Road; and

WESTERLY by the Town Road, 356.8 feet to the point of the beginning.

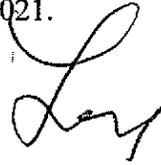
The whole contains about two and seven tenths (2.7) acres, more or less, and is part of the land conveyed to said Meier in 1922 in Book 380, Page 84.

For Grantor's title see deed of Eugene P. Kinkead et ux, dated November 8, 1990, recorded with the Barnstable County Registry of Deeds in Book 7367, Page 213.

REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

SIGNATURE PAGE TO IMMEDIATELY FOLLOW

WITNESS my hand and seal this 11TH day of March, 2021.



Alexander S. Kelso, Jr.

COMMONWEALTH OF MASSACHUSETTS

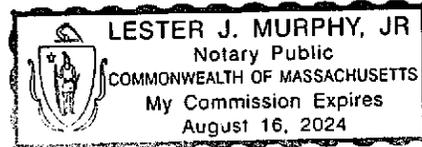
County of Barnstable

On this 11TH day of March, 2021, before me, the undersigned notary public, personally appeared Alexander S. Kelso, Jr., proved to me through satisfactory evidence of identification, which was Louisiana Drivers License, proved to be the person whose name is signed on the preceding or attached document as his free act and deed in my presence, and who swore and affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.



Lester J. Murphy, Jr. Notary Public

My commission expires: July 16, 2024



The classic silhouette of this sleek LED wall sconce makes it suitable for both indoor and outdoor applications. The Bowman's die-cast aluminum body houses a powerful, long-lasting LED light source tightly controlled for down light only, yet supplying significant illumination for even the darkest nights. Available in two sizes and five finishes.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	1163
WATTS	47.2
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight
CCT	2700K**, 3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	3.2 lbs.

* Visit techlighting.com for specific warranty limitations and details.
 ** Available in Black and Bronze finish only.



BOWMAN 6
shown in black



BOWMAN 6
shown in bronze



BOWMAN 6
shown in charcoal



BOWMAN 6
shown in silver



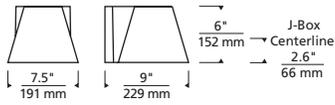
BOWMAN 6
shown in white

ORDERING INFORMATION

PRODUCT	LENGTH	FINISH	LAMP
700WSBOW	6 6"	B BLACK	-LED827 LED 80 CRI, 2700K 120V*
		Z BRONZE	-LED827277 LED 80 CRI, 2700K 277V*
		H CHARCOAL	-LED830 LED 80 CRI, 3000K 120V
		I SILVER	-LED830277 LED 80 CRI, 3000K 277V
		W WHITE	

*AVAILABLE IN BLACK AND BRONZE FINISH ONLY

BOWMAN 6 WALL SCONCE



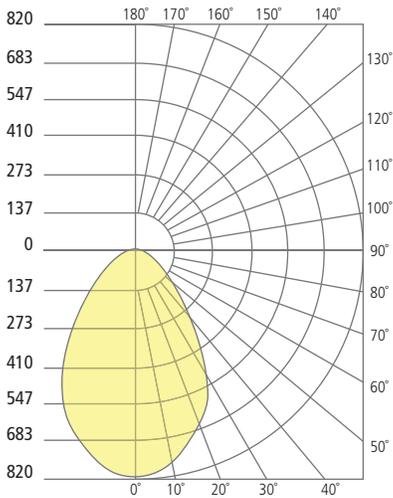
Bowman 6

PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

BOWMAN 6

Total Lumen Output: 1163
 Total Power: 47.2
 Luminaire Efficacy: 24.6
 Color Temp: 3000K
 CRI: 80+
 BUG Rating: B1-U0-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES





GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: NA

COVER SHEET

C



DRAWING INDEX

- C1.2.1 EXISTING PLOT PLAN
- C1.2.2 PROPOSED PLOT PLAN
- XX.XX LANDSCAPE PLAN
- A-00 EXISTING FIRST & SECOND FLOOR
- A-01 FIRST FLOOR PLAN
- A-02 SECOND FLOOR PLAN
- A-20 EXISTING WEST & SOUTH ELEVATIONS
- A-21 EXISTING EAST & NORTH ELEVATIONS
- A-22 PROPOSED WEST & SOUTH ELEVATIONS
- A-23 PROPOSED EAST & NORTH ELEVATIONS
- A-24 EXISTING SHED ELEVATIONS
- A-25 PROPOSED SHED ELEVATIONS
- A-30 LONG SECTION

AREA CALCULATION

EXISTING:

FIRST FLOOR	1324 SQFT
SECOND FLOOR	871 SQFT
SHED	330 SQFT

TOTAL: 2559 SQFT

PROPOSED:

FIRST FLOOR	1341 SQFT
SECOND FLOOR	1298 SQFT
SHED	642 SQFT

TOTAL: 3281 SQFT

ALLEHAUT RESIDENCE

40 South Pamet Road
Truro, MA

STRUCTURAL ENGINEER

COASTAL ENGINEERING CO.
260 Cranberry Hwy
Orleans, MA
508-255-6511

CIVIL ENGINEER

COASTAL ENGINEERING CO.
260 Cranberry Hwy
Orleans, MA
508-255-6511

LANDSCAPE DESIGN

BLUE FLAX DESIGN
815 Route MA 28
Harwich Port, MA
774-408-7718



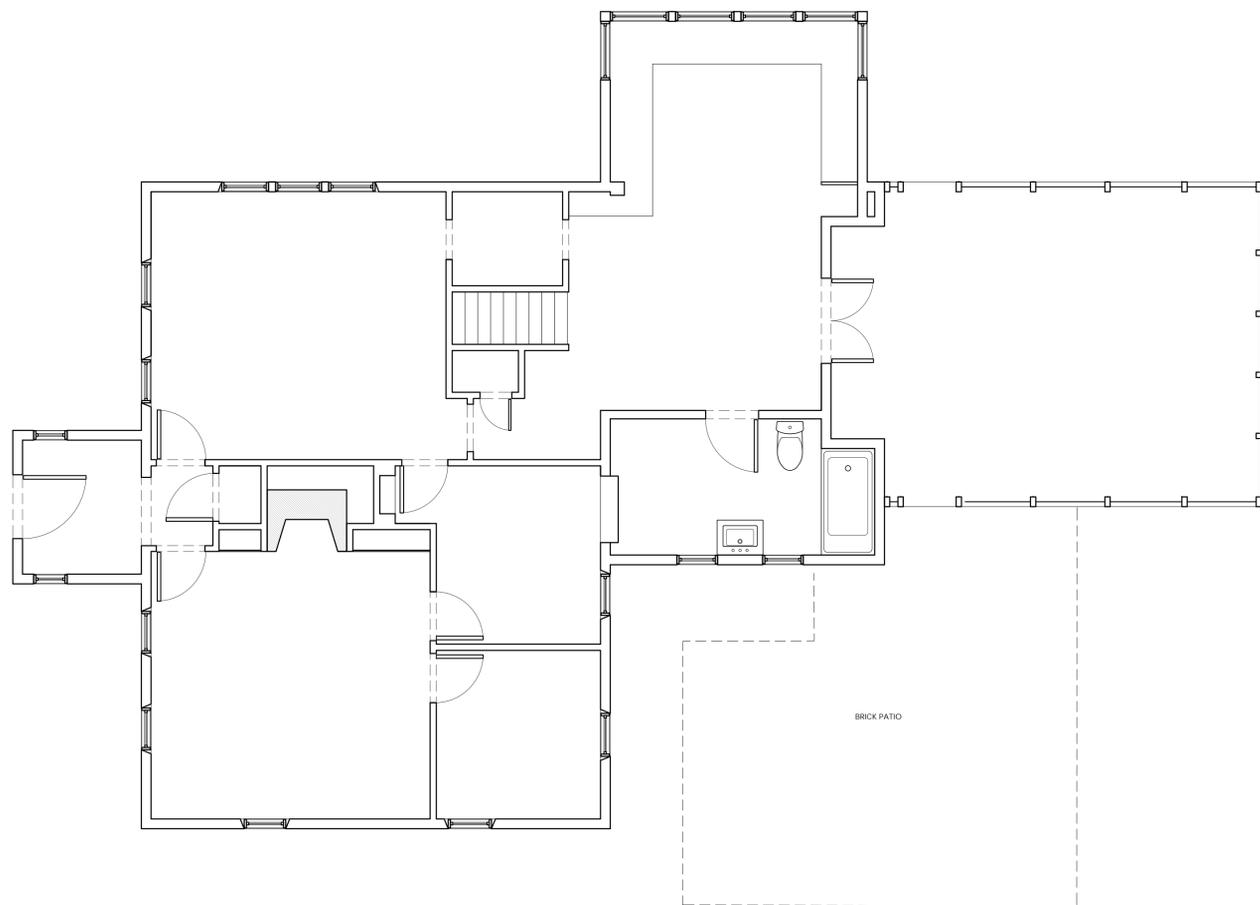
GENERAL NOTES:

DATE: Jan 7, 2022

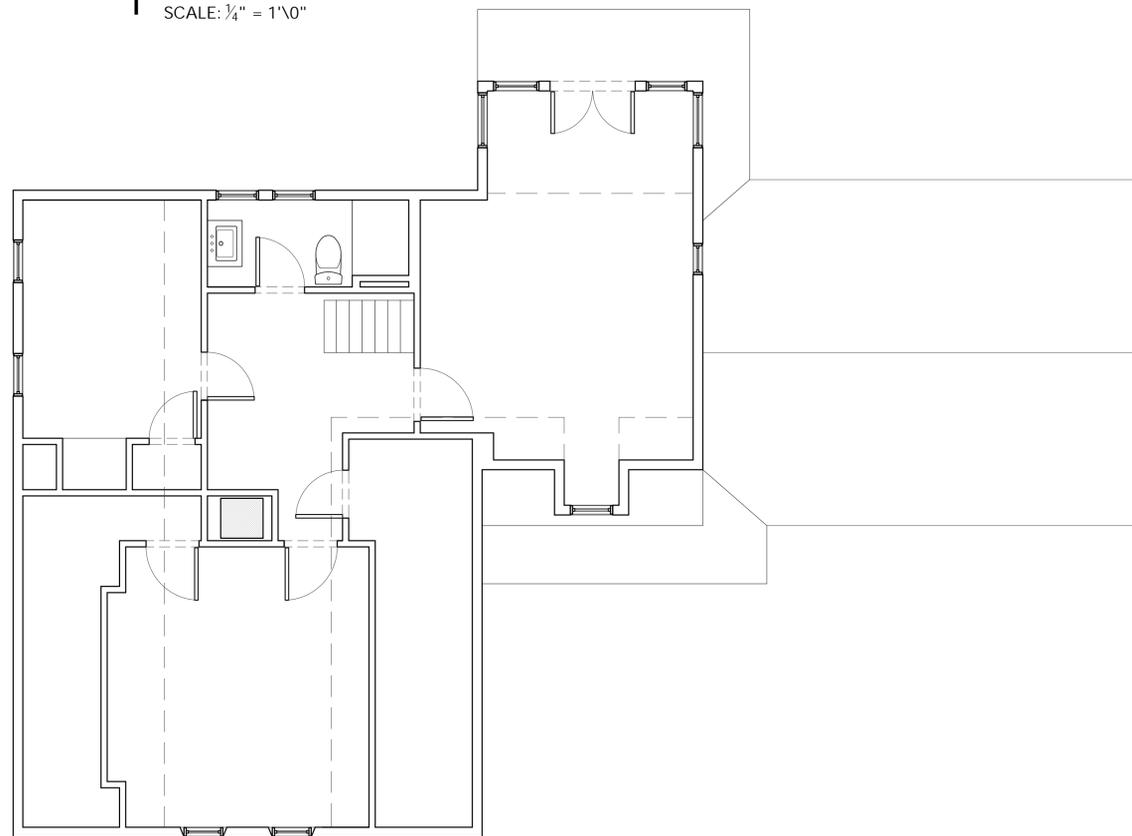
SCALE: 1/4" = 1'-0"

EXISTING PLANS

A-00



1 FIRST FLOOR EXISTING PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR EXISTING PLAN
SCALE: 1/4" = 1'-0"



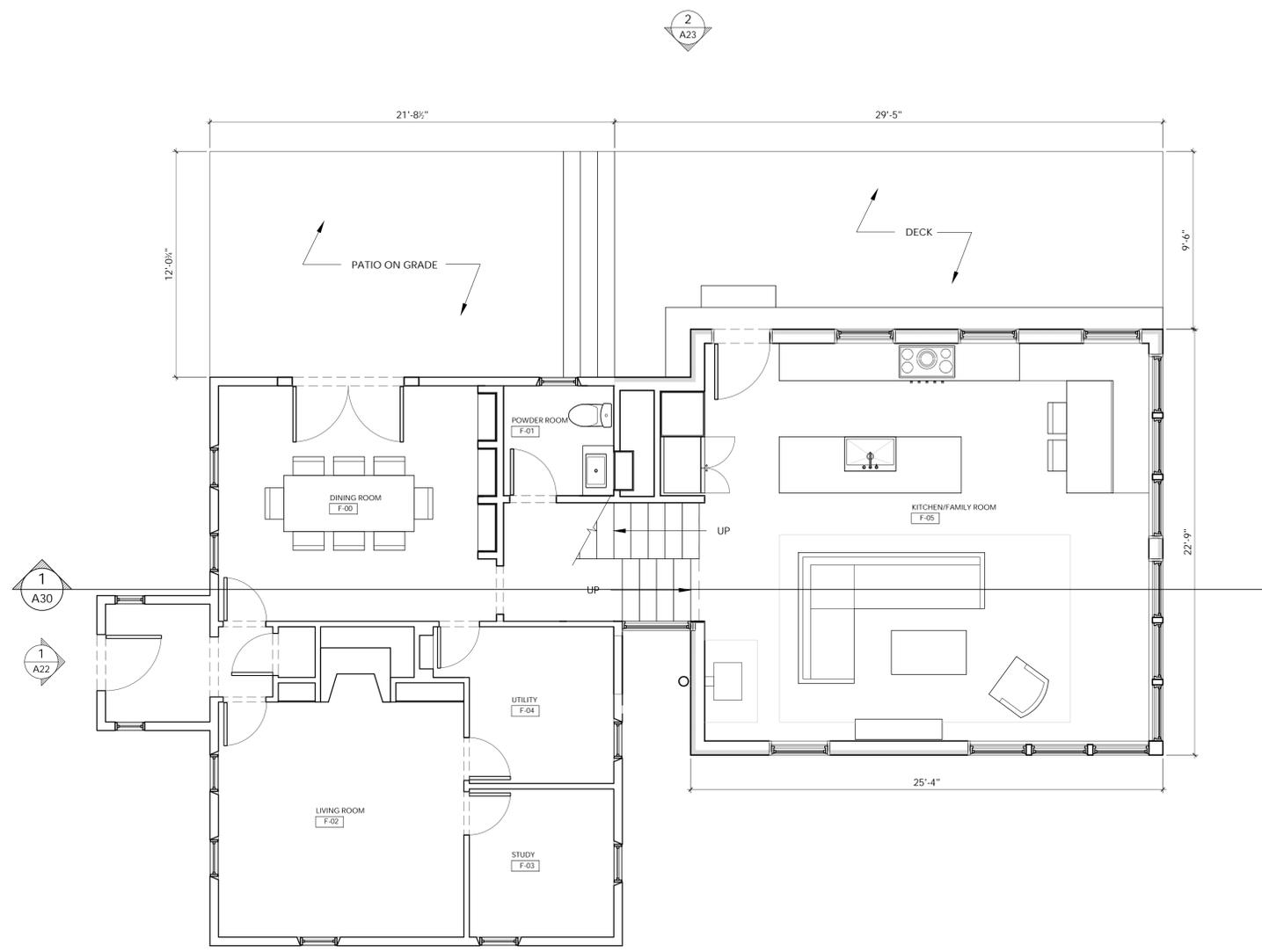
GENERAL NOTES:

DATE: Jan 7, 2022

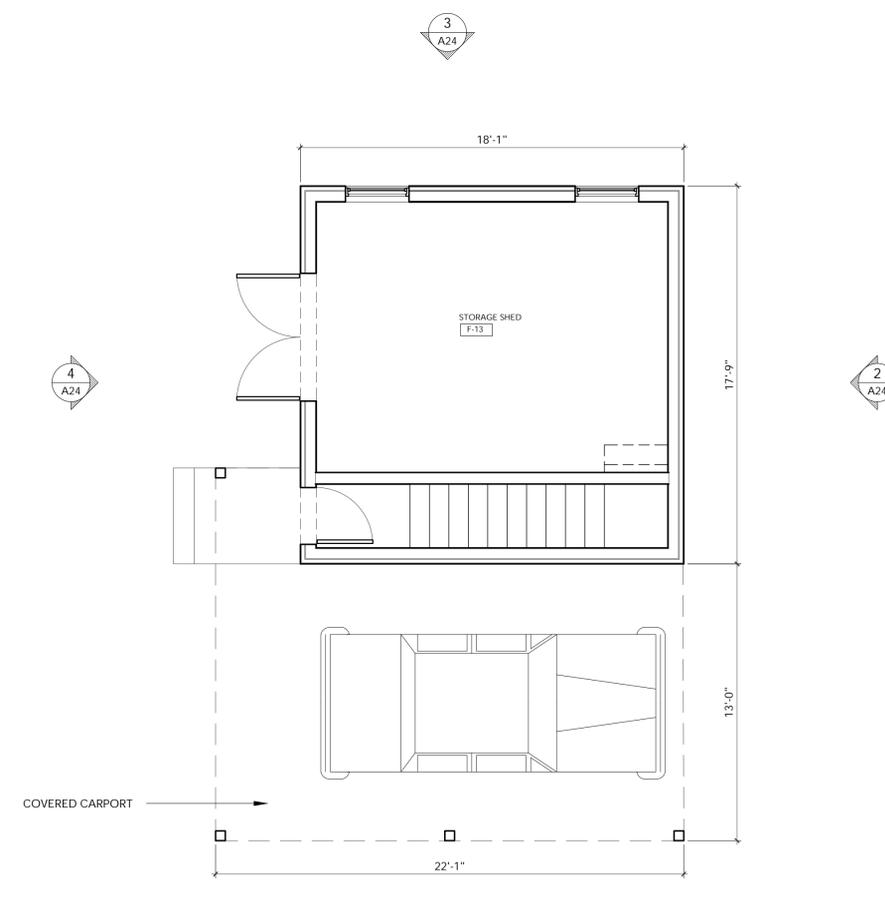
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN

A-01



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SHED PLAN- FIRST FLOOR
SCALE: 1/4" = 1'-0"



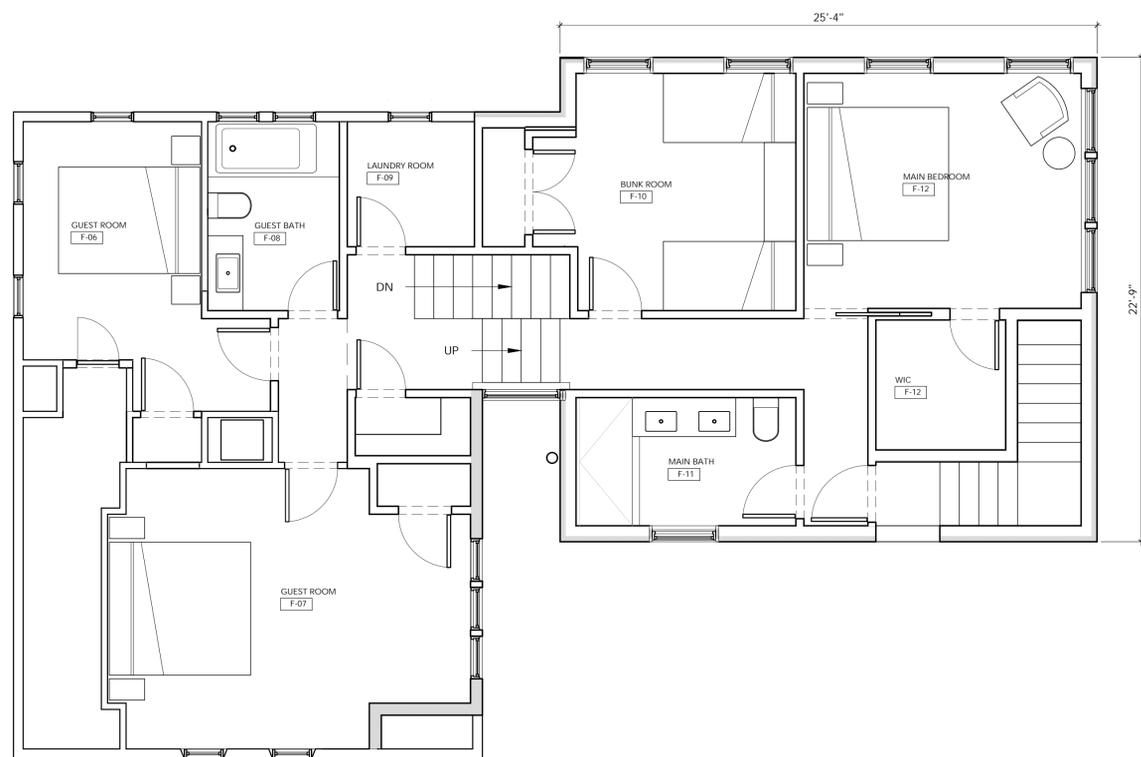
GENERAL NOTES:

DATE: Jan 7, 2022

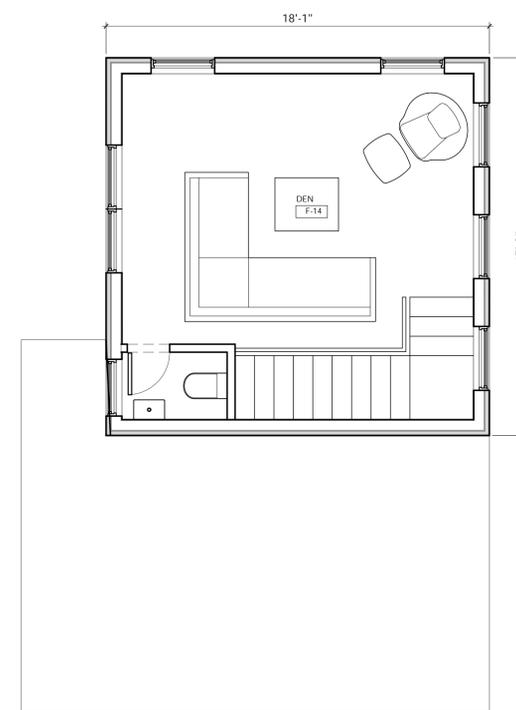
SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

A-02



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SHED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: $\frac{3}{8}" = 1'0"$

EXISTING WEST &
SOUTH ELEVATIONS

A-20



1 EXISTING WEST ELEVATION
SCALE: $\frac{3}{8}" = 1'0"$



2 EXISTING SOUTH ELEVATION
SCALE: $\frac{3}{8}" = 1'0"$

GENERAL NOTES:



1 EXISTING EAST ELEVATION
SCALE: $\frac{3}{8}'' = 1'-0''$



2 EXISTING NORTH ELEVATION
SCALE: $\frac{3}{8}'' = 1'-0''$

DATE: Jan 7, 2022

SCALE: $\frac{3}{8}'' = 1'-0''$

EXISTING EAST &
NORTH ELEVATIONS

A-21

GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: 3/8" = 1'-0"

NEW WEST & SOUTH
ELEVATIONS

A-22



1 NEW WEST ELEVATION
SCALE: 3/8" = 1'-0"



2 NEW SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: $\frac{3}{8}" = 1'0"$

NEW EAST & NORTH
ELEVATIONS

A-23



1 NEW EAST ELEVATION
SCALE: $\frac{3}{8}" = 1'0"$



2 NEW NORTH ELEVATION
SCALE: $\frac{3}{8}" = 1'0"$

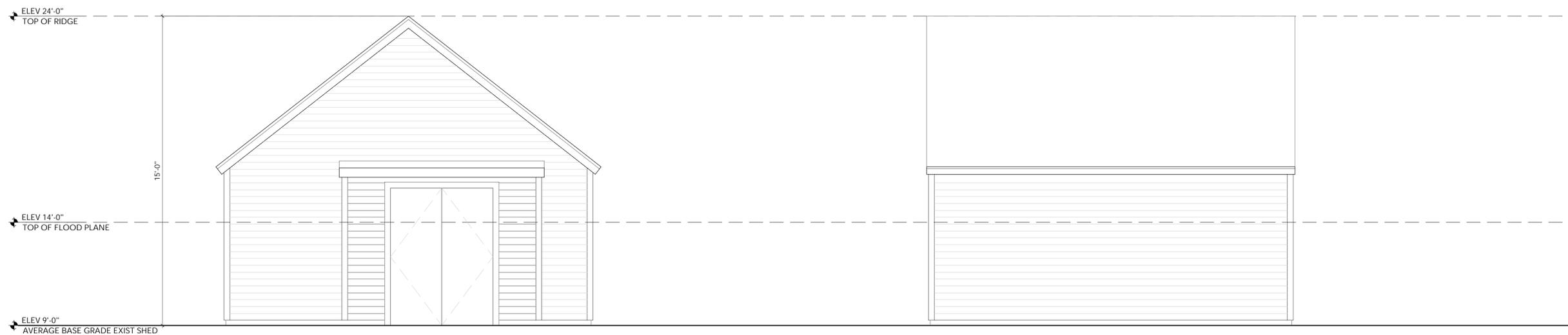
GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: 3/8" = 1'0"

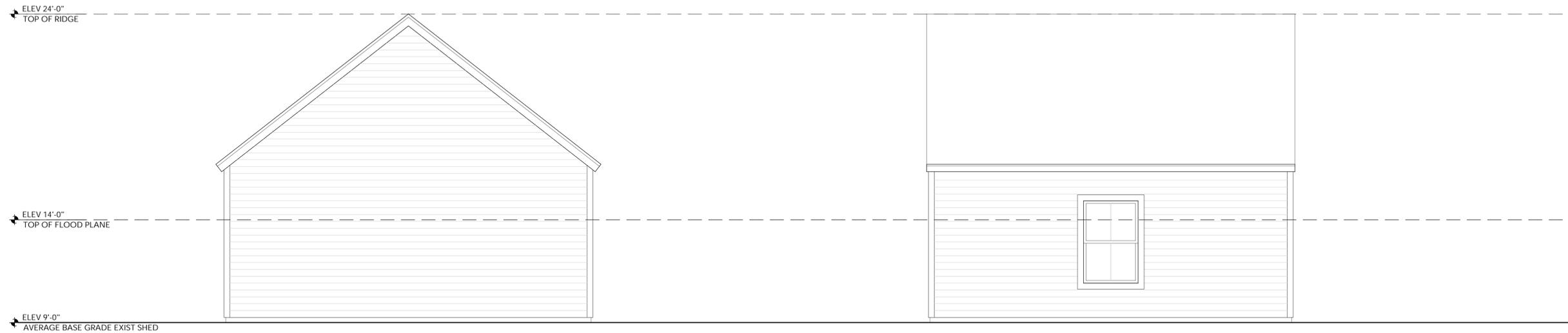
EXISTING SHED
ELEVATIONS

A-24



1 SHED SOUTH ELEVATION
SCALE: 3/8" = 1'0"

2 SHED EAST ELEVATION
SCALE: 3/8" = 1'0"



3 SHED NORTH ELEVATION
SCALE: 3/8" = 1'0"

4 SHED WEST ELEVATION
SCALE: 3/8" = 1'0"

ALLEHAUT RESIDENCE
40 South Pamet Rd
Truro, MA

ARCHITECT
NAME
Street Address
City, State
Phone Number

CONTRACTOR
NAME
Street Address
City, State
Phone Number



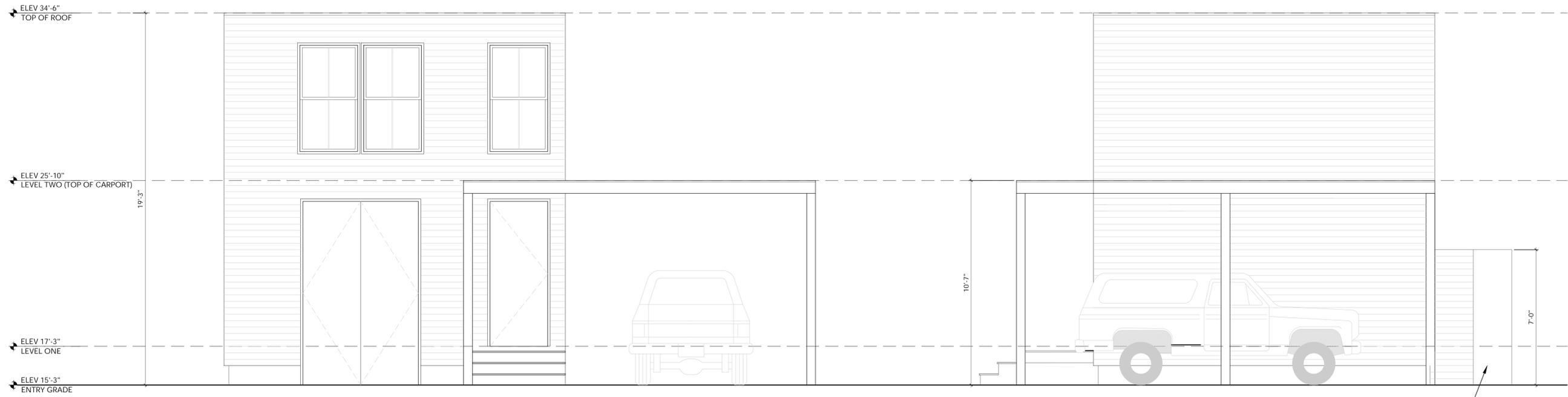
GENERAL NOTES:

DATE: FEB 9, 2022

SCALE: 3/8" = 1'-0"

SHED ELEVATIONS

A-25

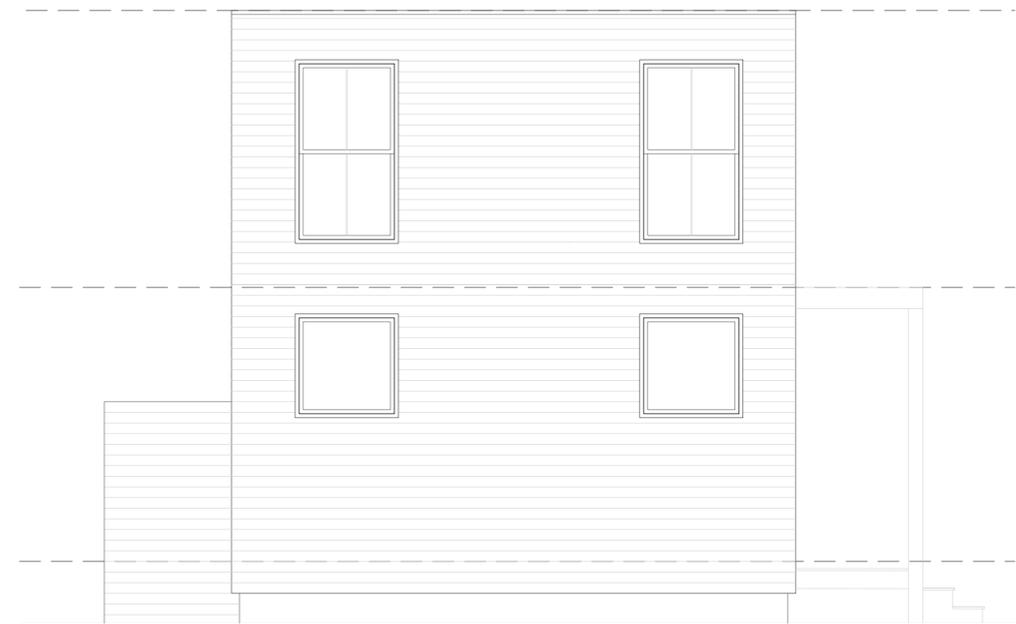


1 SHED WEST ELEVATION
SCALE: 3/8" = 1'-0"

2 SHED SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



3 SHED EAST ELEVATION
SCALE: 3/8" = 1'-0"



4 SHED NORTH ELEVATION
SCALE: 3/8" = 1'-0"

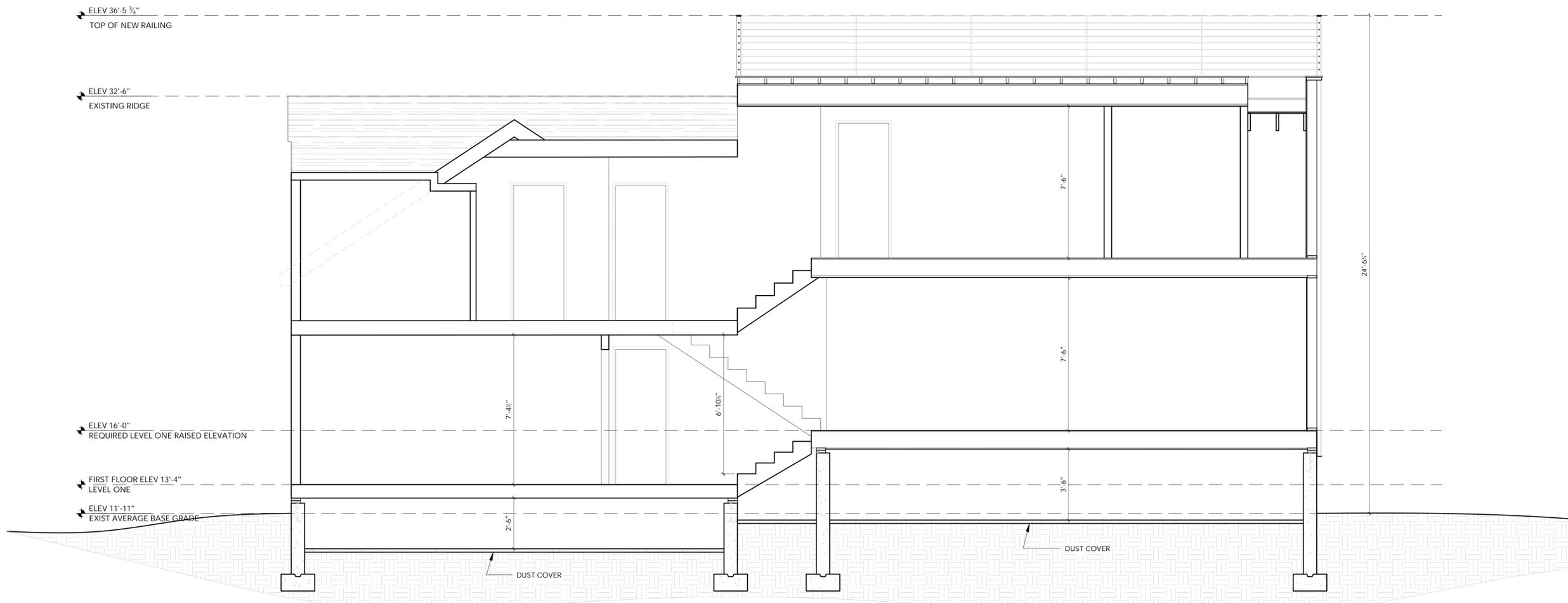
GENERAL NOTES:

DATE: Jan 7, 2022

SCALE: $\frac{3}{8}$ " = 1'-0"

LONG SECTION

A-30



1 LONG SECTION
SCALE: $\frac{3}{8}$ " = 1'-0"



BlueFlax Design llc
fine landscape design with nature in mind

LAND MANAGEMENT PLAN

.....

FEBRUARY 28 2022
 ALLEHAUT RESIDENCE
 40 SOUTH PAMET RD,
 TRURO, MASSACHUSETTS

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INTRODUCTION

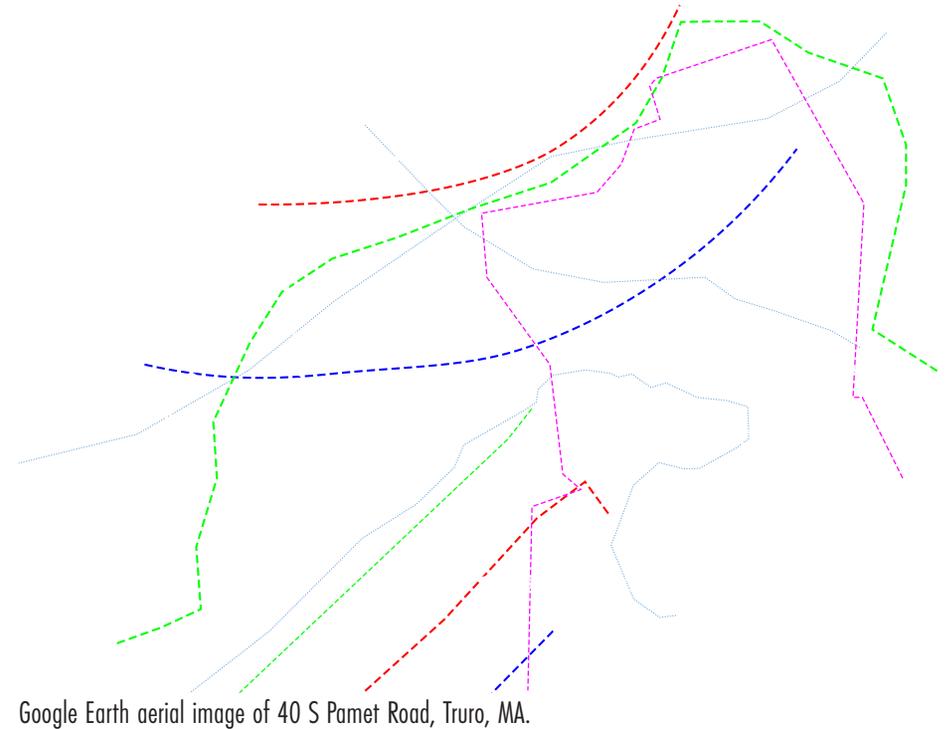
This Plan is written to accompany the Restoration/Planting Plan for 40 South Pamet Road, Truro, MA, dated February 28, 2022. This Plan describes the project in detail, clearly defining the main goals and objectives, outcomes and benefits, and outlines the steps and time-line for management procedures.

The property at 40 S Pamet Road in Truro, Massachusetts, is owned by the Allehaut family. The main goal of this Plan is to provide mitigation for a proposed new structure, expansion of driveway, and proposed addition to the dwelling in the form of restoration in portions of the resource areas and buffer zones that have been heavily colonized by invasive vegetation or have been maintained as lawn, and replanting native vegetation. The restoration area will include approximately 17,750 square feet of invasive species management, and 9,610 square feet of lawn removal and native plantings.

BlueFlax Design LLC was contracted by the Allehaut family to prepare a plan addressing their mitigation and land management goals, supporting the following interests of the Massachusetts Wetlands Protection Act (sections 10.30 and 10.37, 10.57, 10.58) and the Town of Truro Wetland Protection Regulations (2.01, 2.03, 2.04, 2.05.:

- Storm Damage Prevention
- Flood Control
- Protection of Wildlife Habitat
- Protection of Public and Private Water Supply
- Protection of Groundwater Supply
- Prevention of Pollution
- Erosion and Sedimentation Control

PROJECT AREA



EXISTING CONDITIONS

The property at 40 S Pamet Road is an approximately 117,600 square foot lot developed with a single family dwelling and shed located south of the Pamet River. Resource areas on the property include a coastal bank, riverfront protection area, bordering vegetated wetland (BVW), AE 14' and VE 16' flood zones, NHESP priority habitat, and all associated buffer zones. A gravel driveway and parking area are located on the southern side of the lot following the contour of the coastal bank. The entire dwelling exists within the outer buffer to the riverfront protection area and partially within the 50' buffer to the bordering vegetated wetland.

The BVW to the Pamet River begins just north of the driveway on the western side of the property and arcs over the dwelling ending on the eastern side. Lawn extends outward on all sides of the house. The lawn is punctuated with black locust (*Robinia pseudoacacia*), sprawling black cherry (*Prunus serotina*) and crabapple (*Malus* spp) trees. The western portion of the lawn area has two large beech (*Fagus* sp) trees. Canopy trees outside the lawn area include oaks (*Quercus* spp), pitch pine (*Pinus rigida*), eastern redcedar (*Juniperus virginiana*), spruce (*Picea* spp), black cherry, red maple (*Acer rubrum*) and black locust. Many snags, which benefit wildlife habitat and ecological health, stand in the BVW and buffer zones.

Native understory species in the wooded area include arrowwood viburnum (*Viburnum dentatum*), winterberry (*Ilex verticillata*), rhododendron spp, goldenrod (*Solidago* spp), greenbrier (*Smilax rotundifolia*), and brambles (*Rubus* spp). Invasive species observed throughout the property include vine honeysuckle (*Lonicera japonica*), shrub honeysuckle (*Lonicera morrowii/bella*), garlic mustard (*Alliaria petiolata*), periwinkle (*Vinca minor*), English ivy (*Hedera helix*), bittersweet (*Celastrus orbiculatus*), multiflora rose (*Rosa multiflora*), privet (*Ligustrum* spp), and non native butterfly bush (*Buddleia* spp) and *Forsythia*.

The south side of the driveway consists of canopy pines and oaks with a reduced shrub layer and an established groundcover layer of Pennsylvania sedge and goldenrods that are consistent with a Cape Cod heath ecosystem. This area steeply slopes upward going east, and invasive species are present in about 40% cover directly west of the existing parking area.

According to Natural Heritage and Endangered Species Program, Estimated and Priority Habitats of Rare Species on this property exist predominately on the western side of the site. There are no Areas of Critical Environmental Concern (ACEC) on the site.



View looking west from path at stand of forsythia and rhododendron lining the lawn



Looking north at large locust trees in the lawn



EXISTING CONDITIONS PHOTOGRAPHS



Beech and eastern red cedar trees with an understory of mixed invasive and native vegetation



Viburnum, forsythia and shrub honeysuckle growing in the lawn edges



Looking west at the edge of lawn at vine honeysuckle growing over native shrubs



View looking northeast at bittersweet and vine honeysuckle dominating vegetation in the BVW



GOALS AND OBJECTIVES

GOAL 1: Provide mitigation for the increase in structure in the outer riparian area, flood plain, and 50' and 100' buffers to the BVW

- Provide mitigation in the form of intensive invasive species removal in 16,700 square feet, light invasive species management in 1,050 sf, and 9,610 sf of lawn removal and restoration.

GOAL 2: Increase protection of the resource areas by enhancing the integrity of the vegetation makeup in the buffer zones to the BVW and Riverfront and increasing the vegetated buffer.

- Restore the vegetated buffer by removing and managing invasive vegetation and replanting native vegetation appropriate to the site's conditions and intended ecological services.
- Black locust trees that are within the lawn and hazard trees elsewhere will be removed, those that are not a hazard will remain.
- Increase the buffer zone and restore native plant species within restoration areas that provide high value cover, forage and breeding habitat.
- Revitalize existing native vegetation including oaks and viburnums uncovered during invasive species management with selective pruning or flush cutting as necessary to regenerate vigorous growth during initial removal

GOAL 3: Improve wildlife habitat function and value within the buffer zone.

- Manage invasive plant species within the resource areas to reduce their competition with species that provide native habitat while minimizing disturbance.
- Restore native plant species within restoration areas that provide high value cover, forage and breeding habitat.

This project will result in an overall improvement to the ecological function of the resource area. The restoration of a healthy and robust vegetated buffer to the BVW and riverfront through removing/managing invasive vegetation and planting diverse, vertical layers of native vegetation will further protect the resource areas. The vegetation proposed in the Restoration/Planting Plan (see page 6) is composed of a variety of species well adapted to the site conditions and will increase structural and biological diversity, and expand/improve habitat on the property. Wildlife habitat will be improved by introducing an array of native plant species with various vegetative structure, fruits, and flowers thereby providing high-quality forage, cover, and breeding habitat (see Appendix B).

VEGETATION RESTORATION PROCESS

The invasive plant management project will begin with removal of invasive vines and shrubs using a selective cut and wipe method, applying an EPA approved systemic herbicide to the cut vines and shrubs allowing the herbicide to translocate to root systems to avoid soil disturbance and damage to non-target native species. It is expected that some root material not destroyed by the initial herbicide application will be left behind and re-sprout, and that there is a substantial invasive species seed bank throughout the area. Therefore, follow-up treatments beginning the first growing season after the initial intensive management, and continuing through summer and fall for the next three to five growing seasons will be necessary.

This will likely reveal native shrubs and trees that have been damaged by the invasive plants. This vegetation will benefit from selective pruning or flush cutting to support vigorous future growth. The Restoration/Planting Plan proposes restoring this area with diverse native vegetation, and allowing existing vegetation not damaged by invasive vegetation to mature in place. The invasive plant management project will enhance and protect the functions of the resource areas and buffer zones, and the stated interests of the State Wetlands Protection Act and the Town of Truro Wetlands Regulations. Please see Appendix C of this document for information regarding State and Local Performance Standards.

Once invasive vegetation has been removed, bare areas will be seeded with a native grass and wildflower seed mix. Steep slopes will be covered with a biodegradable erosion control blanket. Woody vegetation will be planted in the following growing season after the initial intensive invasive plant management phase is complete. The areas proposed for management will be replanted with 9 native trees and 527 native shrubs including eastern redbud (*Cercis canadensis*), American holly (*Ilex opaca*), tupelo (*Nyssa sylvatica*), red chokeberry (*Aronia arbutifolia*), black chokeberry (*Aronia melanocarpa*), sweet fern (*Comptonia peregrina*), summersweet (*Clethra alnifolia*), inkberry (*Ilex glabra*), winterberry (*Ilex verticillata*), coastal leucothoe (*Leucothoe axillaris*), beach plum (*Prunus maritima*), swamp azalea (*Rhododendron viscosum*), fragrant sumac (*Rhus aromatica*), Carolina rose (*Rosa carolina*), lowbush blueberry (*Vaccinium angustifolium*), and highbush cranberry (*Viburnum trilobum*), arrowwood viburnum (*Viburnum dentatum*). Additional plants will be installed including lady fern (*Athyrium filix-femina*), switchgrass (*Panicum virgatum*), prairie dropseed (*Sporobolus heterolepis*), butterfly milkweed (*Asclepias tuberosa*), fall aster (*Aster oblongifolius*), wild quinine (*Parthenium integrifolium*) Joe pye weed (*Eupatorium dubium*), bergamot (*Monarda fistulosa*), mountain mint (*Pycnanthemum muticum*) and coneflower (*Rudbeckia* spp). Temporary irrigation will be required for the first two to three growing seasons while plants establish. Once plants are established irrigation will be removed.



RESTORATION/PLANTING PLAN

PROJECT AREA



Google Earth aerial image of 40 S Pamet Road, Truro, MA

PLAN NOTES

- Site plan provided by Coastal Engineering of Cape Cod.
- This plan proposes mitigation for a proposed dike/carpport, raise station, driveway expansion, and addition to the existing house in the form of intensive invasive species removal in 16,700 of heavily invaded areas throughout the property. High invasive species management areas to 1,150 of minimally invaded area along the driveway and 9,610 of lawn removal and native planting to provide a larger and more robust vegetated buffer strip to better protect all resource areas on the property.
- Invasive species on site that will be managed/removed include vine honeysuckle (*Lonicera japonica*), shrub honeysuckle (*Lonicera maackii*), garlic mustard (*Alliaria petiolata*), periwinkle (*Vincetoxicum*), English ivy (*Hedera helix*), bittersweet (*Celastrus orbiculatus*), multiflora rose (*Rosa multiflora*), and poison ivy (*Toxicaria spp.*). Black locust (*Robinia pseudoacacia*) trees within the lawn and hazard trees will be removed.
- Greenhouse (*Stauder vinoidifolia*) and brambles (*Rubus spp.*), aggressive natives, will be selectively managed in the intensive invasive species management area to reduce competition with newly planted and regenerating native species. Non-native plants (butterfly bush and foxtail) located within the restoration area will be removed.
- The minimally disturbed area between the driveway and 81'W flag is a portion of mainly healthy, native vegetation that provides excellent wildlife cover and forage value. This area will remain unmanaged. Live and dead standing (snag) locust trees within this area will remain to minimize disturbance that could open this area to other invasive plant colonization.
- Invasive plants will be selectively treated with an EPA-approved systemic herbicide and removed mechanically or by hand.
- The project area will be planted with 9 native trees, 527 native shrubs, and 536 native ferns, grasses, and perennials.
- After invasive species removal, management areas will be seeded and any steep slopes blanketed with a 100% biodegradable coconut/moss erosion control blanket.
- Native shrubs may be regeneratively pruned using best management practices to promote healthy regeneration and vigorous growth.
- All vegetation debris will be removed from the site and brought to an off-site disposal area.
- Temporary irrigation will be required for the first two to three growing seasons while plants establish. Once plants are established irrigation will be removed.
- Follow up invasive species management will be ongoing over the next three growing seasons to ensure proper management and successful restoration.
- Please see the accompanying Land Management Plan for a detailed time line for invasive species/vegetation management.

PLANTING SCHEDULE

PLANT SCHEDULE	QUANTITY	DATE	BY
TREES			
<i>Cercis canadensis</i> / Common Redbud	217	04	1
<i>Ilex opaca</i> / American Holly	176	04	1
<i>Yucca spicata</i> / Yucca	127	04	1
SHRUBS			
<i>Artemisia arbuscula</i> / Field Chrysanthemum	3	04	01
<i>Artemisia melanocarpa</i> / Black Chrysanthemum	3	04	01
<i>Celastrus albidiflorus</i> / Summerhoney	3	04	01
<i>Celastrus albidiflorus</i> / Summerhoney	3	04	01
<i>Composita pennsylvanica</i> / Sweet Fern	1	04	01
<i>Hydrangea arborescens</i> / Annabelle Hydrangea	10	04	01
<i>Ilex glabra</i> / Highberry Holly	3	04	01
<i>Ilex verticillata</i> / Winterberry	3	04	01
<i>Leucothoe axillaris</i> / Coastal Leucothoe	3	04	01
<i>Prunus maritima</i> / Beach Plum	2	04	01
<i>Rhododendron viscosum</i> / Swamp Azalea	3	04	01
<i>Rhus aromatica</i> / Fragrant Sumac	3	04	01
<i>Rosa carolina</i> / Carolina Rose	1	04	01
<i>Vaccinium angustifolium</i> / Lowbush Blueberry	1	04	01
<i>Viburnum berlandieri</i> / Viburnum	1	04	01
<i>Viburnum trilobum</i> / American Cranberrybush	3	04	01
FERNS			
<i>Adiantum bicoloratum</i> / Common Lady Fern	1	04	01
GRASSES			
<i>Panicum virgatum</i> / Switch Grass	1	04	01
<i>Sporobolus heterolepis</i> / Prairie Dropseed	1	04	01
PERENNIALS			
<i>Agastache</i> / Anise Hyssop	1	04	01
<i>Aster tuberosus</i> / Butterfly Milkweed	1	04	01
<i>Aster oblongifolius</i> / Ragwort's Favorite / Ragwort's Favorite Fall Aster	1	04	01
<i>Eupatorium dubium</i> / Joe-Pye Weed	1	04	01
<i>Eupatorium dubium</i> / Joe-Pye Weed	2	04	01
<i>Novae-Englandiae</i> / Bergamot	1	04	01
<i>Parthenocissus vitacea</i> / Wild Quince	1	04	01
<i>Pyrola asarifolia</i> / Mountain Mint	1	04	01
<i>Rudbeckia hirta</i> / Black-eyed Susan	1	04	01

- Invasive Species Management and Restoration Planting
- Lawn Removal and Restoration Planting
- Invasive Species <20% Manage and Let Renaturalize

GRASS & WOOD COVER SEED MIX
 Agrostis spiciformis / Autumn Broomgrass
 Asclepias tuberosa / Butterfly Milkweed
 Echinacea purpurea / Purple Coneflower
 Festuca ovina / Sheep Fescue
 Penstemon sp. / Field Penstemon
 Junonia tenax / Path Rush
 Rudbeckia hirta / Black-eyed Susan
 Schizanthus scaberrimus / Little Bluestem Grass

NATURALIZED AREA CONTAINING OAK, BLACK CHERRY, CEDAR, SWEET GUM, AND GREEN BERRY TO REMAIN UNTOUCHED

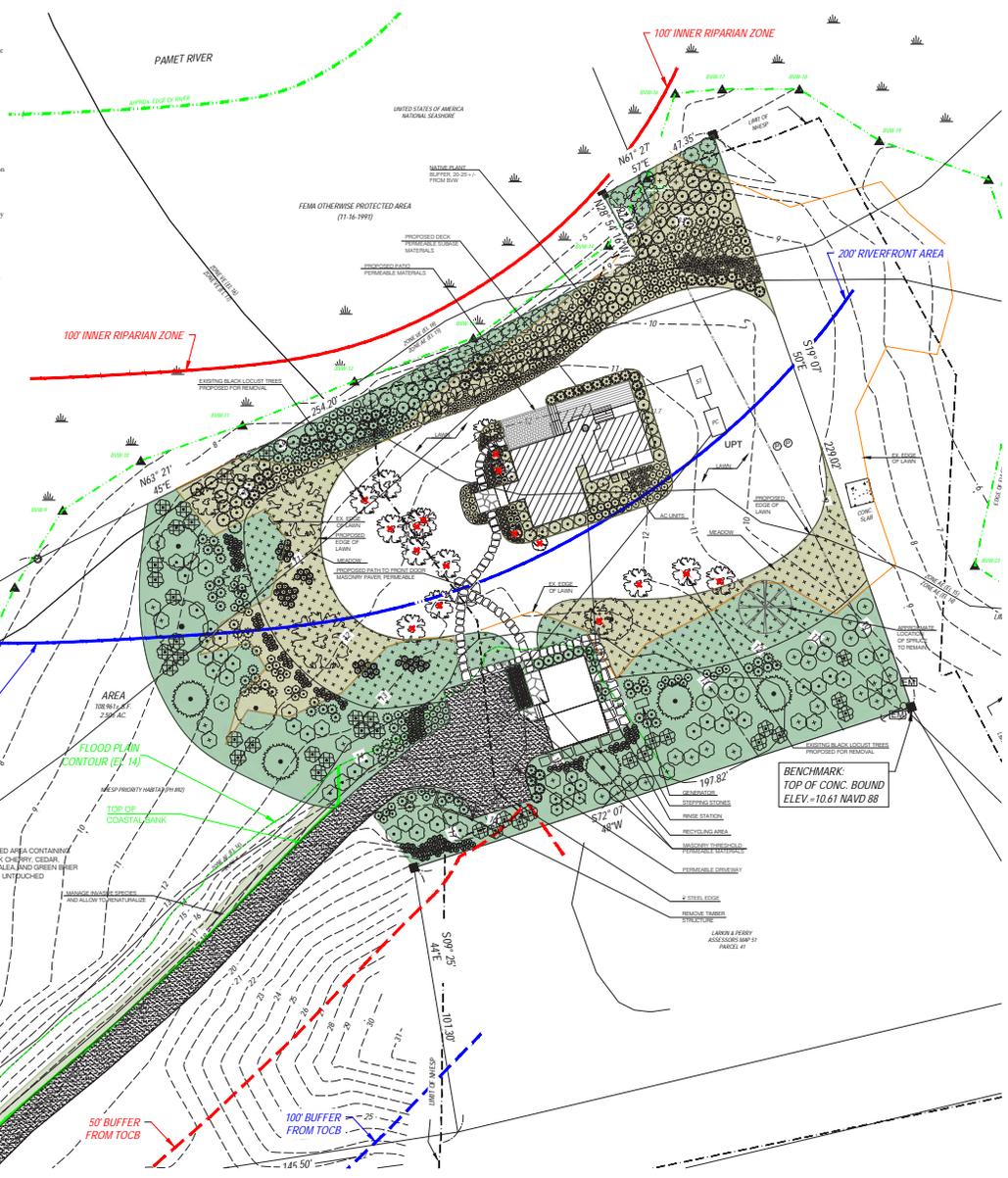
MANAGED WOODLANDS WITH HIGH VALUE TO REMAIN UNTOUCHED

AREA TO BE PLANTED WITH 2,300 AC.

TOP OF COASTAL SINK

50' BUFFER FROM TOCB

100' BUFFER FROM TOCB



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 774-408-1778 | www.blueflaxdesign.com

PLANTING PLAN

02/28/2022
 ALLEHAUT RESIDENCE NAME
 40 SOUTH PAMET ROAD
 TRURO, MA

0 20 40 60
 1 inch = 20 feet

N

DATE	REVISION	INITIALS

SHEET 00

INVASIVE PLANT MANAGEMENT

Invasive plants, also known as noxious weeds, are any plants whose introduction does or is likely to cause economic or environmental harm or harm to human health. In this case, these invasive plants reproduce rapidly and displace native species. According to the National Invasive Species Council (NISC) “Invasive species may prey upon, displace or otherwise harm native species. Some invasive species also alter ecosystem processes, transport disease, interfere with crop production, or cause illnesses in animals and humans; affecting both aquatic and terrestrial habitats.” Invasive plants threaten natural communities by reducing habitat and food for native insects, birds, and other wildlife. These invasive plants have a competitive advantage because they are no longer controlled by their natural predators, and can quickly spread out of control. For these reasons, invasive species are of national and global concern. NISC’s recommendations for invasive species management includes 5 Strategic Goals for managing invasive species nationwide:

1. **Prevention**
2. **Early Detection and Rapid Response**
3. **Control and Management**
4. **Restoration**
5. **Organizational Collaboration**

While we recognize that prevention is the best and most important management strategy, it is often too late to prevent invasive species colonization of our landscapes, including our most sensitive resource areas. Whenever land disturbance occurs, whether for development or simply for planting, we recommend a monitoring program to ensure that invasive vegetation does not expand into these disturbed areas, preparing a plan for Early Detection and Rapid Response.

On project sites where invasive species have been identified, BlueFlax Design LLC follows NISC’s guidelines for **Control and Management**; containing and reducing the spread of invasive populations to minimize their harmful impacts. **Restoration**; restoration of high-value ecosystems to meet resource conservation goals and **Organizational Collaboration** maximizing management effectiveness through collaboration with property owners, experienced land management professionals, and local Conservation Commissions (for project sites within Conservation Jurisdiction).

Using objectives developed by the National Invasive Species Council for **Control and Management, Restoration and Organizational Collaboration** as our guide, BlueFlax Design LLC proposes the following methods and techniques for managing the invasive species listed above within the resource areas and adjacent upland resource area at 40 S Pamet Road:

Control and Management Objectives:

- Identify and evaluate appropriate invasive species control methods; create action plan
- Reduce the spread and harm caused by invasive species using the identified methods of control
- Perform control and management activities according to the outlined action plan. Invasive species management objectives within the project area are as follows:

Celastrus orbiculatus, Lonicera japonica, Alliaria petiolata - Reduce these species by approximately 85% in management year one, approximately 90% in management year two and reach and maintain 95%+ reduction in year three and ongoing.

Hedera helix, Vinca minor, Robinia pseudoacacia, Ligustrum spp, Rosa multiflora, Lonicera morowwi/bella - Reduce these species by approximately 90% in management year one, 95%+ in management year two, and reach and maintain 100% reduction in management year three and on going.

Smilax rotundifolia, Rubus spp- Reduce these by 80% in management year one and ongoing in specified management areas only

Appendix A lists and describes invasive plant species (as documented by the Massachusetts Invasive Plant Advisory Group) identified to be managed in the proposed project area.

MONITORING PLAN

The site will be visited and assessed for plant health, mortality, resprouting invasive species, and overall project success once to twice per year. Documentation in the form of photos will be taken before and after management activities. Photo points will provide a time lapse of visual success. Vegetation will be analyzed by percent cover in subjectively located plots after initial management is complete. This information will be used to adapt the management plan for the specific site needs and increase the chance for success. One annual report will be written and submitted to the conservation commission unless the order of conditions states more specific requirements for monitoring upon approval.



LAND MANAGEMENT TIME-LINE

Herbicides used are to be applied by insured, licensed, and trained individuals only.

Action	Year 1				Year 2				Year 3			
	Fall 1	Winter 1	Spring 1	Summer 1	Fall 2	Winter 2	Spring 2	Summer 2	Fall 3	Winter 3	Spring 3	Summer 3
Cut invasive species at the stump and immediately apply an EPA wetland approved systemic herbicide by wiping directly onto the cut surface	■											
Seed bare ground after invasive species removal with native seed mix to establish vegetative cover. Apply biodegradable erosion control blanket to steep slopes where necessary	■											
Assess native vegetation after invasive species removal and regeneratively prune or flush cut to promote healthy regeneration and growth where needed.	■											
Remove all vegetation debris from the site for proper disposal	■											
Selectively treat invasive resprouts using a cut & wipe application of an EPA approved systemic herbicide beginning in June.			■	■			■	■			■	■
Plan irrigation needs for upcoming growing season			■			■				■		
If 80% control of invasive species has been achieved, begin planting of woody vegetation as specified in the Restoration/Planting Plan				■								
Adjust temporary irrigation as necessary while using the least amount of water necessary to support plant establishment				■			■	■			■	■
Prepare and submit monitoring report to Conservation Commission			■				■				■	
Monitor the site for success, assess health of restored vegetation, replace any vegetation that may have died			■		■		■		■		■	
Continue invasive plant management using a selective, foliar spot application							■				■	



ONGOING INVASIVE SPECIES MAINTENANCE: After the third management season, invasive species should be under control. Annual hand removal and selective herbicide treatment will suffice to keep them out of the naturalized areas. (This will vary depending on carbohydrate stores in the roots and environmental conditions.) Invasive plants generally take a minimum of three to five years of active management to reach successful control. Annual monitoring and minimal maintenance for invasive species should be ongoing throughout the restoration area.



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APPENDIX A. AGGRESSIVE NATIVE SPECIES DESCRIPTIONS

Raspberry (*Rubus* spp.) Raspberry spreads via seed and vegetatively, forming dense thickets. It can establish well in disturbed areas and can help to stabilize erosion-prone sites. It provides both forage and habitat to wildlife, but can become dominant in open, early succession areas.

Greenbrier (*Smilax rotundifolia*) Greenbrier occurs in wooded understories and old fields with other pioneering species that occur in depleted soils. Though native, it can be aggressive, regenerating from an extensive rhizome system and by seed. It is also able to outcompete or smother other native understory species by climbing. Its berries, flower, and thickets offer wildlife value, so selective management rather than total elimination is recommended.



APPENDIX A. INVASIVE SPECIES DESCRIPTIONS

Asiatic Bittersweet (*Celastrus orbiculatus*): Asiatic bittersweet is a woody vine capable of climbing up to 60 feet in trees and can cover all plant layers, eliminating native species. Vines constrict trees and shrubs, killing them by shading and girdling. Bittersweet poses a serious threat because it spreads rapidly through underground root systems that form new stems, reproduces prolifically by seed, and is shade tolerant.



Asiatic bittersweet fruit

Asiatic bittersweet vines

Black Locust (*Robinia pseudoacacia*) spreads rapidly by seed and also re-sprouts vigorously after cutting. Substantial root sucker growth should be expected from the remaining root material within 60 days of the initial removal. Re-sprouting can be minimized with the application of an herbicide applied directly to the cut stem.



Black locust leaf

Black locust bark

Garlic Mustard (*Alliaria petiolata*) is an herbaceous biennial native to Europe and parts of Asia. It thrives in moist, shaded areas, making it one of the few invasives that can dominate a forest understory. Garlic mustard can outcompete native herbaceous plants and produce allelopathic compounds that reduce germination of other species. Winter treatments of a Glyphosate-based herbicide should be applied when other plants have gone dormant.



Garlic mustard on ground layer

Garlic mustard flowering

Border Privet (*Ligustrum* spp.) Introduced as a hedge plant in the US, border privet easily escapes cultivated areas and can form dense, monospecific thickets, limiting native vegetation. It can grow into a small tree and several *Ligustrum* species are commonly found in disturbed landscapes as well as wildlands.



Border privet leaves and flowers

Border privet hedge



APPENDIX A. INVASIVE SPECIES DESCRIPTIONS

English Ivy (*Hedera helix*) is an aggressive evergreen vine that is often used as an ornamental groundcover and for covering fences and walls. It has the potential to completely cover the ground, killing all low-growing vegetation. English ivy can grow into trees, covering the trunk and branches, blocking light from the leaves and killing the branches. The trees can become susceptible to blow over from the added weight of the vine. Winter treatments of a Triclopyr-based herbicide should be applied when other plants



English ivy leaves

English ivy spreading across the ground and onto trees.

Multiflora rose (*Rosa multiflora*) Initially introduced from Japan to provide erosion control, this prolific species, which reproduces both by seed and vegetatively, can create impenetrable thickets that out compete native plants species. Multiflora rose can tolerate a wide range of site conditions, including salt and wind, and can be found throughout coastal areas on Cape Cod.



Multiflora rose growing in understory

Multiflora rose flowers and leaves

Common Periwinkle (*Vinca minor*) is an evergreen to semi-evergreen trailing vine. It invades open to shady forests often areas that were formerly developed. It forms dense and extensive mats along forest floors that exclude native vegetation. It is native to Europe and was first introduced into North America in the 1700s as an ornamental.



Common periwinkle flowers and leaves

Common periwinkle leaves

Vine Honeysuckle (*Lonicera japonica*) is an evergreen to semi-evergreen vine that can be found either trailing or climbing to over 80 ft. (24 m) in length. This species invades a variety of habitats including forest floors, canopies, roadsides, wetlands, and disturbed areas. *Lonicera japonica* can girdle saplings by twining around them, and can form dense mats in the canopies of trees, shading everything below.



Close up of vine honeysuckle flowers and leaves

Vine honeysuckle aggressively climbing a tree



APPENDIX B. PLANT GUIDE

Botanical Name	Common Name	Height	Bloom Period	Characteristics	Plant Notes
SHRUBS					
<i>Aronia arbutifolia</i>	Red chokeberry	6-10'	May	       	
<i>Aronia melanocarpa</i>	Black chokeberry	4-6'	May	      	
<i>Comptonia peregrina</i>	Sweet fern	2-4'	N/A	   	Fixes nitrogen in soil
<i>Clethra alnifolia</i>	Summersweet	5-8'	July-Aug	      	
<i>Ilex glabra</i>	Inkberry holly	5-8'	N/A	     	Evergreen
<i>Ilex verticillata</i>	Winterberry holly	3-12'	June-July	        	Red berries persist in winter
<i>Prunus maritima</i>	Beach plum	4-7'	Apr-May	     	
<i>Rhus aromatica</i>	Fragrant sumac	2-6'	March	      	
<i>Rosa carolina</i>	Carolina rose	3-5'	June-July	  	Good fall foliage color, fragrant
<i>Rhododendron viscosum</i>	Swamp azalea	3-5'	May-Jul	 	Good fall foliage color
<i>Viburnum trilobum</i>	Cranberry viburnum	8-12'	April-May	        	Red fall foliage
<i>Vaccinium angustifolium</i>	Lowbush blueberry	1-2'	May	     	Red fall foliage
<i>Viburnum dentatum</i>	Arrowwood viburnum	6-12'	May	    	
TREES					
<i>Cercis canadensis</i>	Redbud	20-30'	April	  	Early spring source of pollen and nectar
<i>Ilex opaca</i>	American holly	45-50'	Mar-Jun	      	Evergreen, fruit important winter source
<i>Nyssa sylvatica</i>	Tupelo	50-75'	May-Jun	        	Red fall foliage, fruit important winter source



Pollen and/or nectar producer



Shelter/cover for wildlife



Food for caterpillars



Salt tolerant



Flood tolerant



Food for birds



Nesting sites for wildlife



Food for mammals



Prevents erosion



Winter food

PLANT GUIDE REFERENCES

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APPENDIX C: STATE AND LOCAL PERFORMANCE STANDARDS

The proposed project must meet the following state performance standard for work undertaken in resource areas, as set forth in the Massachusetts Wetlands Protection Act 310 CMR 10.30, 10.55, 10.57, and 10.58 and Truro Wetlands Regulations 2.01, 2.03, 2.04, and 2.05

310 CMR 10.30: COASTAL BANKS

WHEN A COASTAL BANK IS DETERMINED TO BE SIGNIFICANT TO STORM DAMAGE PREVENTION OR FLOOD CONTROL BECAUSE IT IS A VERTICAL BUFFER TO STORM WATERS, 310 CMR 10.30(6) THROUGH (8) SHALL APPLY:

(6) Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank. (7) Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches. (8) Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

310 CMR 10.55: BORDERING VEGETATED WETLANDS

Where the presumption set forth in 310 CMR 10.55(3) is not overcome, any proposed work in a Bordering Vegetated Wetland shall not destroy or otherwise impair any portion of said area. (b) Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of up to 5000 square feet of Bordering Vegetated Wetland when said area is replaced in accordance with the following general conditions and any additional, specific conditions the issuing authority deems necessary to ensure that the replacement area will function in a manner similar to the area that will be lost: 1. the surface of the replacement area to be created ("the replacement area") shall be equal to that of the area that will be lost ("the lost area"); 2. the ground water and surface elevation of the replacement area shall be approximately equal to that of the lost area; 3. The overall horizontal configuration and location of the replacement area with respect to the bank shall be similar to that of the lost area; 4. the replacement area shall have an unrestricted hydraulic connection to the same water body or waterway associated with the lost area; 5. the replacement area shall be located within the same general area of the water body or reach of the waterway as the lost area; 6. at least 75% of the surface of the replacement area shall be reestablished with indigenous wetland plant species within two growing seasons, and prior to said vegetative reestablishment any exposed soil in the replacement area shall be temporarily stabilized to prevent erosion in accordance with standard U.S. Soil Conservation Service methods; and 7. the replacement area shall be provided in a manner which is consistent with all other General Performance Standards for each resource area in Part III of 310 CMR

10.00. In the exercise of this discretion, the issuing authority shall consider the magnitude of the alteration and the significance of the project site to the interests identified in M.G.L. c. 131, § 40, the extent to which adverse impacts can be avoided, the extent to which adverse 2.01: Buffer Zone (including the 50-foot vegetated buffer strip): impacts are minimized, and the extent to which mitigation measures, including replication or restoration, are provided to contribute to the protection of the interests identified in M.G.L. c. 131, § 40. (c) Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of a portion of Bordering Vegetated Wetland when; 1. said portion has a surface area less than 500 square feet; 2. said portion extends in a distinct linear configuration ("finger-like") into adjacent uplands; and 3. in the judgment of the issuing authority it is not reasonable to scale down, redesign or otherwise change the proposed work so that it could be completed without loss of said wetland. (d) Notwithstanding the provisions of 310 CMR 10.55(4)(a), (b) and (c), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59. (e) Any proposed work shall not destroy or otherwise impair any portion of a Bordering Vegetated Wetland that is within an Area of Critical Environmental Concern designated by the Secretary of Energy and Environmental Affairs under M.G.L. c. 21A, § 2(7) and 301 CMR 12.00: Areas of Critical Environmental Concern. 310 CMR 10.55(4)(e): 1. supersedes the provisions of 310 CMR 10.55(4)(b) and (c); 2. shall not apply if the presumption set forth at 310 CMR 10.55(3) is overcome; 3. shall not apply to work proposed under 310 CMR 10.53(3)(1); and 4. shall not apply to maintenance of stormwater detention, retention, or sedimentation ponds, or to maintenance of stormwater energy dissipating structures, that have been constructed in accordance with a valid order of conditions.

310 CMR 10.57: BORDERING LAND SUBJECT TO FLOODING.

1. Compensatory storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek. 2. Work within Bordering Land Subject to Flooding, including that work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood



APPENDIX C: STATE AND LOCAL PERFORMANCE STANDARDS (CONT.)

stage or velocity. 3. Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.

310 CMR 10.58: RIVERFRONT AREA

General Performance Standard. Where the presumption set forth in 310 CMR 10.58(3) is not overcome, the applicant shall prove by a preponderance of the evidence that there are no practicable and substantially equivalent economic alternatives to the proposed project with less adverse effects on the interests identified in M.G.L. c.131 § 40 and that the work, including proposed mitigation, will have no significant adverse impact on the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. In the event that the presumption is partially overcome, the issuing authority shall make a written determination setting forth its grounds in the Order of Conditions and the partial rebuttal shall be taken into account in the application of 310 CMR 10.58 (4)(d)1.a. and c.; the issuing authority shall impose conditions in the Order that contribute to the protection of interests for which the riverfront area is significant. (a) Protection of Other Resource Areas. The work shall meet the performance standards for all other resource areas within the riverfront area, as identified in 310 CMR 10.30 (Coastal Bank), 10.32 (Salt Marsh), 10.55 (Bordering Vegetated Wetland), and 10.57 (Land Subject to Flooding). When work in the riverfront area is also within the buffer zone to another resource area, the performance standards for the riverfront area shall contribute to the protection of the interests of M.G.L. c. 131, § 40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the riverfront area. (b) Protection of Rare Species. No project may be permitted within the riverfront area which will have any adverse effect on specified habitat sites of rare wetland or upland, vertebrate or invertebrate species, as identified by the procedures established under 310 CMR 10.59 or 10.37, or which will have any adverse effect on vernal pool habitat certified prior to the filing of the Notice of Intent. (c) Practicable and Substantially Equivalent Economic Alternatives. There must be no practicable and substantially equivalent economic alternative to the proposed project with less adverse effects on the interests identified in M.G.L. c. 131 § 40.

TWR: 2.01 BUFFER ZONES

General Performance Standards 1. Where the presumption set forth above is not overcome, any proposed work in the Buffer Zone shall not adversely impact or otherwise impair any portion of said area. 2. Where the Buffer Zone overlays other resource areas subject to protection under the Bylaw, the applicable performance standards for each resource area shall be independently and collectively applied and the project appropriately conditioned to protect all stated interests. 3. The Commission may issue an Order of Conditions permitting work in the Buffer Zone provided that the applicant has submitted a written alternatives analysis that examines all practicable alternatives to the project which would further minimize impacts to the Buffer Zone and demonstrates that all impacts can be properly mitigated. The alternatives analysis shall be submitted to the Commission in writing. i. Activities within the Buffer Zone shall avoid, minimize and mitigate adverse impacts. The purpose of evaluating project alternatives is to locate activities so that impacts to the buffer and resource areas are avoided to the extent practicable. As much of a project as feasible shall be sited outside the buffer zone. If locating a project entirely outside the Buffer Zone is not practicable, the alternatives shall be evaluated in order to locate the project as far as possible from present Areas Subject to Protection and thereby minimize impacts to the Buffer Zone. ii. An alternative shall be considered practicable if it is available and capable of being done. Practicable alternatives may include realignment, reconfiguration or re-sizing of project components to minimize impacts to the Buffer Zone. Projects involving demolition of an existing structure and reconstruction of a new dwelling shall be subject to an alternative analysis. 4. Where no practicable alternatives are available or capable of being done which would otherwise avoid or minimize adverse impacts to the Buffer Zone, the following standards shall apply: No Significant Adverse Impact: Within the 100-foot Buffer Zone, the Commission may allow the total alteration of up to 5000 square feet subject to the following: i. total alteration of the land area within the Buffer Zone shall be calculated in square feet to describe what is currently altered or developed, and what is proposed. Total alteration shall include disturbed areas such as (but not limited to) building footprint, driveways, pathways, yard areas and lawns. ii. The alteration calculations shall describe the amount and types of alterations between 0-50-feet, and 50-100-feet of the buffer. Any area where vegetation is to be removed or where soils will be disturbed shall be included in this calculation. iii. The area within the limit of work will reflect the limit of the altered area and shall be shown clearly and accurately on all plans submitted to the Conservation Commission at the time of filing. iv.

At a minimum, a 50-foot-wide area of undisturbed vegetation (the vegetated buffer strip) shall be provided between the wetland resource area and the work. v. If there is no 50-foot-wide area of undisturbed vegetation within the Buffer Zone, the existing vegetative cover shall be preserved and/or extended beyond 50-feet in some areas by re-vegetating with native plants to the maximum amount feasible in order to approximate a 50-foot-wide corridor of native vegetation. vi. On previously developed or disturbed sites, all work proposed within the buffer



APPENDIX C: STATE AND LOCAL PERFORMANCE STANDARDS (CONT.)

zone shall result in an improvement of the existing conditions and an enhanced capacity of the resource area(s) and Buffer Zone to protect the public interests and values protected under the Bylaw. vii. The Conservation Commission may require, as mitigation for new alteration within the Buffer Zone: re-vegetation and restoration of areas previously altered or disturbed within the buffer zone; rerouting existing roof runoff through gutters and roof drains which direct roof drainage into dry wells or leaching pits; and may require drainage improvements and/or other mitigating measures. 6.5. Expansion of existing structures within the Buffer Zone may be allowed provided that: i. No new structure or addition to an existing structure shall be located closer to a wetland resource area than existing conditions. ii. The area of the proposed disturbance and all previously disturbed areas shall not, cumulatively, exceed the 5,000-squarefoot threshold for allowable disturbance within the Buffer Zone. 7.6. Projects which include substantial demolition (i.e. removal of more than one exterior wall) and subsequent reconstruction of a dwelling shall be considered a new building and shall site as much of the project as possible outside of the Buffer Zone. Projects for expansion of existing homes greater than 25% of the existing size, as measured in square footage of the foundation or cubic footage of the structure, shall be considered a new building and shall site as much of the project as possible outside of the Buffer Zone.

7. All new construction projects within the Buffer Zone shall address how storm water drainage will be managed. The project must ensure that runoff from built and developed areas will drain directly into the soil on the subject site and will not runoff onto neighboring properties or streets. Methods to address drainage shall include but are not limited to vegetated swales, rainwater gardens, catch basins, use of gutters and roof drains, drip lines with crushed stone; and pervious and dry-laid stone.

8. Driveways within the Buffer Zone shall be constructed with pervious materials such as crushed stone. Permeable pavers with a void space of less than 30% are not considered compliant with this requirement. 9. Cutting, pruning, lifting the canopy, limbing or other destruction of above ground vegetation shall be limited. View clearing or vista pruning will not be permitted without a specific view corridor identified. i. When pruning is permitted, it shall be for the removal of dead, diseased, obstructing and weak branches as well as thinning of branches to lessen wind resistance. Shrubs must retain their natural shape and features such as fruits and flowers by selecting the optimum height and pruning different branches in alternate years. ii. When vista cutting is the only viable option in a heavily vegetated lot, the Commission may allow the removal of no more than 20% of the tree canopy. iii. All trees proposed for removal must be clearly flagged on site and shown on a site plan. iv. When vista pruning, and cutting is proposed, specific windows of view (containing top, sides, and bottom and not devoid of one species) shall be identified and shown on a site plan. Filtered vistas are encouraged and can be accomplished through pruning and lifting. v. Topping is not

permitted. vi. Clear cutting and cutting from property line to property line is prohibited. Violations may be assessed using a count of trees cut. vii. When lifting is proposed, the health of the tree must be considered as well as the impact to wildlife. In no instance, shall more than 1/3 of the above ground trunk be pruned. viii. Dead and diseased trees may be removed if they endanger a structure or live vegetation. ix. The Commission shall require the replacement planting of native shrubs and trees in areas proposed for tree removal. A 3:1 replacement of shrubs for mature trees (6" dbh or greater) and a 2:1 replacement for sapling trees (less than 6" dbh) is desired. 10. For lots and subdivisions recorded after May 6, 2019, the alternatives analysis shall include all alternatives available prior to subdivision of the lot(s) and all work shall be located outside the 100-foot Buffer Zone. 11. Within the 50-foot vegetated buffer strip, the Commission may issue an Order of Conditions allowing the following activities i. Pruning to reduce a hazard, to improve tree or plant structure, to provide a reasonable vista, or to improve the health of trees and shrubs. ii. Selective Cutting of vegetation iii. Removal of invasive species iv. Planting of native vegetation v. Habitat management activities designed to enhance the values protected by the Bylaw; vi. Construction and maintenance of unpaved pedestrian access paths not more than 4-feet in width; vii. Maintenance of existing structures, utilities, storm water management structures;

TWR 2.03 FRESHWATER WETLANDS

1. Removing, filling, dredging or draining of freshwater wetlands, whether they are bordering or not, is prohibited. 2. The Buffer Zone of freshwater wetlands often provides critical habitat for wetland and upland species of wildlife. Permanent alteration of wildlife habitat in the buffer of a freshwater wetland is prohibited.

TWR 2.04 COASTAL BANKS

Coastal banks along the bay side of Truro have experienced accelerated rates of erosion, at times from a single storm event. The Commission will allow an "erosion control" project only as an interim measure, and in all cases shall require the property owner to submit plans to move or remove threatened structures as a condition of allowing such projects. 2. The Truro Conservation Commission is of the opinion that coir tube installations, and similar structures, are "coastal engineering structures" within the meaning of the DEP Regulations 310 C.M.R. 10.30 (3), and that, as such, installation of coir tubes and similar projects are prohibited for the protection of buildings constructed after 1978. However, by letter dated February 18, 2011, and incorporated herein by this reference, the Truro Conservation Commission was informed by DEP that the Department views this type of structure as a "soft solution" to stabilize eroding banks, which is a permitted structure under the cited regulation. In the event that DEP reconsiders its interpretation of 310 C.M.R. 10.30 (3) the Truro Conservation Commission reserves the right to rescind these regulations and to



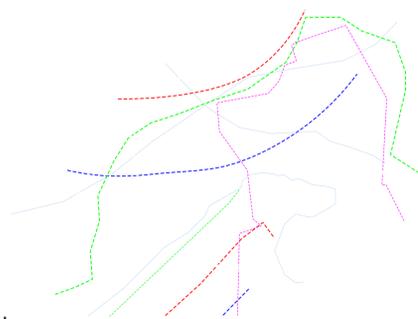
APPENDIX C: STATE AND LOCAL PERFORMANCE STANDARDS (CONT.)

prohibit installation and maintenance of coir tube projects and similar structures within the Town of Truro. 3. When a Coastal Bank is determined to be significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes or barrier beaches the following performance standards shall apply: i. A well vegetated bank provides significant resistance to storm damage; therefore, the Commission requires extensive planting of the coastal bank as part of any erosion control project, including re-planting as on-going maintenance in all projects. In the case of an “erosion control” project permitted under these regulations, these standards must be met by a showing, by substantial evidence, that a sufficient quantity of beach nourishment and “sacrificial” sand will be provided as part of the project to ensure that the movement of sediment and sediment supply will not be adversely affected by the project. iii. Projects shall fully comply with the “sample order of conditions for coir tube projects” in order to be permitted on the bay side of Truro as set forth. iv. In no event shall an engineered structure or “coir tube” project be permitted as an erosion control project on the Ocean side of Truro. v. In all “coir tube” projects, only one row of drift or serpentine fencing may be installed or utilized at the property. Layered Drift fencing shall only be permitted under special circumstances and in limited areas and shall be sought by application for a waiver. vi. Serpentine Fencing with Coir Tube Project: A single installation of Serpentine fencing may be incorporated in a coir tube project. No additional serpentine fencing shall be permitted except on clear and convincing proof of extraordinary circumstances. vii. Hardened fencing, seawalls, revetments, bulkheads and other “coastal engineering structures” shall not be allowed, except as specifically provided in 310C.M.R. 10.30 (3) to protect structures constructed prior to 1978. In addition to the requirements on such projects imposed by 310 C.M.R. 10.30(3), no such project shall be permitted on the Bay Side of Truro unless a “coir tube” project has been previously approved and installed and has failed, where such failure is not solely attributed to failure to maintain sand cover and vegetation. viii. Maintenance or repair of existing bulkheads and revetments shall only be by prior approval of the Truro Conservation Commission and may include the requirement for sand nourishment to the beach as required. ix. A model order of conditions is attached to these regulations and incorporated herein. No waivers from these required orders shall be allowed except upon clear and convincing scientific proof that the proposed waiver will improve the ability of the coastal bank to provide storm damage protection, prevent flooding and contribute sediment to the littoral system. x. Escrow agreement: Every erosion control project shall include a requirement that the property owner establish an escrow account with the Town of Truro in accordance with the requirements of the Model Escrow Agreement attached to these regulations and incorporated herein. This agreement allows the Conservation Commission to remove any project as to which the owner fails to perform ongoing maintenance as required by the Commission. xi. No variance or waiver of this requirement shall be granted by the Commission. Remaining escrow funds, if any, may be returned to the property owner when the erosion control project is removed.

TWR 2.05 LAND SUBJECT TO COASTAL STORM FLOWAGE

1. In addition to the interests and values set forth above in Sections 2.05(a) and (b), the following standards shall also be applied to work within LSCSF: Any activity subject to jurisdiction, and proposed on LSCSF shall not: i. Reduce the ability of the resource to absorb and contain flood waters; ii. Reduce the ability of the resource to buffer more inland areas from flooding and wave damage; iii. Displace or divert flood waters to other areas; iv. Cause or create the likelihood of damage by debris to other structures on land within the flood plain (collateral damage); built structures such as stairs or walkways shall be seasonally removable, v. Cause ground or surface pollution triggered by coastal storm flowage; and vi. Reduce the ability of the resource to serve as a wildlife habitat and migration corridor through activities such as, but not limited to the removal of vegetative cover and/or installation of fencing and other similar structures. vii. Any activity proposed in the floodplain may require mitigation to enhance or restore natural functions of the floodplain.





Google Earth aerial image of 40 S Pamet Road, Truro, MA.

Site plan provided by Coastal Engineering of Cape Cod.

This plan proposes mitigation for a proposed shed/carpport, rinse station, driveway expansion, and addition to the existing home in the form of intensive invasive species removal in 16,700 sf of heavily invaded areas throughout the property, light invasive species management in a 1,050 sf minimally invaded area along the driveway, and 9,610 sf of lawn removal and native planting to provide a larger and more robust vegetated buffer strip to better protect all resource areas on the property.

Invasive species on site that will be managed/removed include vine honeysuckle (*Lonicera japonica*), shrub honeysuckle (*Lonicera morrowii/bella*), garlic mustard (*Alliaria petiolata*), periwinkle (*Vinca minor*), English ivy (*Hedera helix*), bittersweet (*Celastrus orbiculatus*), multiflora rose (*Rosa multiflora*), and privet (*Ligustrum spp.*). Black locust (*Robinia pseudoacacia*) trees within the lawn and hazard trees will be removed.

Greenbrier (*Smilax rotundifolia*) and brambles (*Rubus spp.*), aggressive natives, will be selectively managed in the intensive invasive species management area to reduce competition with newly planted and regenerating native species. Non-native plants (butterfly bush and forsythia) located within the restoration area will be removed.

The minimally disturbed area between the driveway and BVW flags 1-9 consists of mainly healthy, native vegetation that provides excellent wildlife cover and forage value. This area will remain unmanaged. Live and dead, standing (snag) locust trees within this area will remain to minimize disturbance that could open this area to other invasive plant colonization.

Invasive plants will be selectively treated with an EPA-approved systemic herbicide and removed mechanically or by hand.

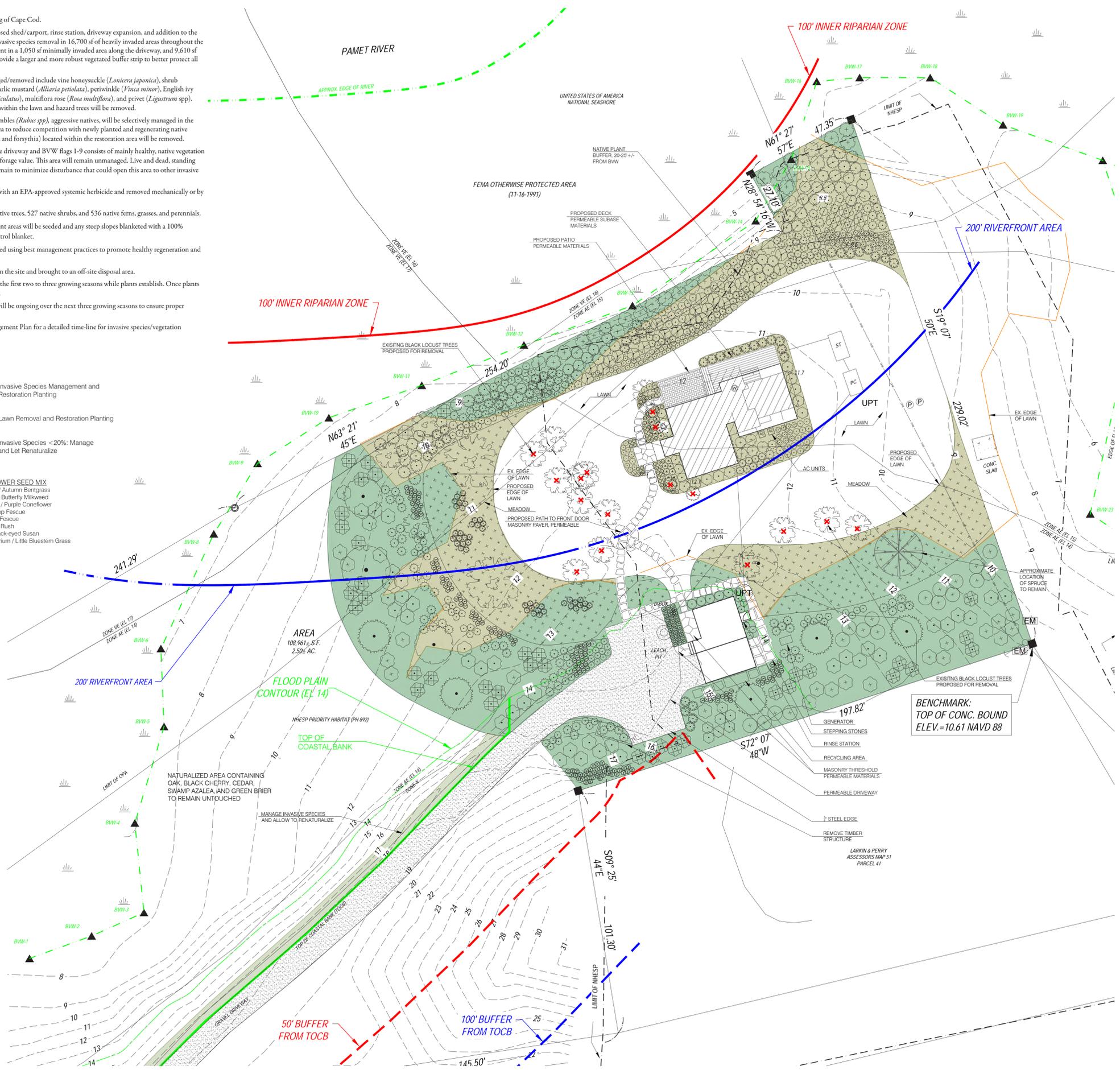
- The project area will be planted with 9 native trees, 527 native shrubs, and 536 native ferns, grasses, and perennials.
- After invasive species removal, management areas will be seeded and any steep slopes blanketed with a 100% biodegradable coconut/straw erosion control blanket.
- Native shrubs may be regeneratively pruned using best management practices to promote healthy regeneration and vigorous growth.
- All vegetation debris will be removed from the site and brought to an off-site disposal area.
- Temporary irrigation will be required for the first two to three growing seasons while plants establish. Once plants are established irrigation will be removed.
- Follow up invasive species management will be ongoing over the next three growing seasons to ensure proper management and successful restoration.
- Please see the accompanying Land Management Plan for a detailed time-line for invasive species/vegetation management.

PLANTING SCHEDULE

PLANT SCHEDULE			
TREES	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Cercis canadensis</i> / Eastern Redbud	2/3' cal	3
	<i>Ilex opaca</i> / American Holly	5/6' B&B	5
	<i>Nyssa sylvatica</i> / Tupelo	2/3' cal	1
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Aronia arbutifolia</i> / Red Chokeberry	3 gal	20
	<i>Aronia melanocarpa</i> / Black Chokeberry	3 gal	17
	<i>Clethra alnifolia</i> / Summersweet	3 gal	5
	<i>Clethra alnifolia</i> / Summersweet	5 gal	18
	<i>Comptonia peregrina</i> / Sweet Fern	1 gal	117
	<i>Hydrangea arborescens</i> / Annabelle Hydrangea	10 gal	6
	<i>Ilex glabra</i> / Inkberry Holly	3 gal	80
	<i>Ilex verticillata</i> / Winterberry	3 gal	39
	<i>Leucothoe axillaris</i> / Coastal Leucothoe	3 gal	5
	<i>Prunus maritima</i> / Beach Plum	3 gal	41
	<i>Rhododendron viscosum</i> / Swamp Azalea	3 gal	30
	<i>Rhus aromatica</i> / Fragrant Sumac	3 gal	50
	<i>Rosa carolina</i> / Carolina Rose	1 gal	23
	<i>Vaccinium angustifolium</i> / Lowbush Blueberry	1 gal	13
	<i>Viburnum dentatum</i> / Viburnum	3 gal	42
	<i>Viburnum trilobum</i> / American Cranberrybush	3 gal	21
FERNS	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Athyrium filix-femina</i> / Common Lady Fern	1 gal	179
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Panicum virgatum</i> / Switch Grass	1 gal	52
	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	50
PERENNIALS	BOTANICAL / COMMON NAME	CONT	QTY
	<i>Agastache</i> / Anise Hyssop	1 gal	14
	<i>Asclepias tuberosa</i> / Butterfly Milkweed	1 gal	76
	<i>Aster oblongifolius</i> 'Raydon's Favorite' / Raydon's Favorite Fall Aster	1 gal	47
	<i>Eupatorium dubium</i> / Joe-Pye Weed	1 gal	30
	<i>Eupatorium dubium</i> / Joe-Pye Weed	2 gal	3
	<i>Monarda fistulosa</i> / Bergamot	1 gal	23
	<i>Parthenium integrifolium</i> / Wild Quinine	1 gal	9
	<i>Pycnanthemum virginianum</i> / Mountain Mint	1 gal	45
	<i>Rudbeckia fulgida sultivanti</i> 'Goldsturm' / Goldsturm Coneflower	1 gal	8

- Invasive Species Management and Restoration Planting
- Lawn Removal and Restoration Planting
- Invasive Species <20%: Manage and Let Renaturalize

GRASS & WILDFLOWER SEED MIX
 Agrostis patens / Autumn Bonitgrass
 Asclepias tuberosa / Butterfly Milkweed
 Echinacea purpurea / Purple Coneflower
 Festuca ovina / Sheep Fescue
 Festuca rubra / Red Fescue
 Junco tenuis / Path Rush
 Rudbeckia hirta / Black-eyed Susan
 Schizanthus scapularis / Little Bluestem Grass



PLANTING PLAN

02/28/2022
 ALLEHAUT RESIDENCE NAME
 40 SOUTH PAMET ROAD
 TRURO, MA



DATE	REVISION	INITIALS

ZONING TABLE			
ZONING DISTRICT: SEASHORE DISTRICT USE GROUP: SINGLE FAMILY DWELLING			
SUBJECT	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	130,680± S.F. (3 ACRES)	108,961± S.F.	NO CHANGE
FRONTAGE	150 FT.	356.8 FT.	NO CHANGE
STREET SETBACK	50 FT.	N/A	N/A
ABUTTER SETBACK (SOUTH)	25 FT.	109± FT. (DWELLING) 181± FT. (SHED)	NO CHANGE (DWELLING) 26± FT. (SHED/CARPORT)
ABUTTER SETBACK (EAST)	25 FT.	59± FT. (DWELLING) 7.4± FT. (SHED)	61± FT. (DWELLING) 111± FT. (SHED/CARPORT)
ABUTTER SETBACK (NORTH)	25 FT.	39.1± FT. (DWELLING) 16.3± FT. (SHED)	35± FT. (DWELLING) 123± FT. (SHED/CARPORT)
ABUTTER SETBACK (WEST)	25 FT.	413± FT. (DWELLING) 509± FT. (SHED)	NO CHANGE (DWELLING) 404± FT. (SHED/CARPORT)
GROSS FLOOR AREA*	3,500 SF. (MAX)	1,754 ± S.F.	3,280 ± S.F.
MAX BUILDING HEIGHT	2 STORIES, 30 FT	2 STORIES, 20.6 FT (DWELLING)	2 STORIES; 24.6± FT. (DWELLING) 2 STORIES; 19.6± FT. (SHED/CARPORT)
NUMBER OF DWELLINGS/BUILDINGS	N/A	2	2
LOT COVERAGE (IMPERVIOUS)	N/A	2,318± S.F. (2.1%)	1,994± S.F. (1.83%)
BUILDING COVERAGE (IMPERVIOUS)	N/A	1,710± S.F. (1.5%)	1,966± S.F. (1.8%)
PAVEMENT COVERAGE (IMPERVIOUS)	N/A	0 S.F.	NO CHANGE
LANDSCAPE COVERAGE (IMPERVIOUS)	N/A	608± S.F. (0.6%)	28± S.F. (0.02%)

* GROSS FLOOR AREA CONSISTS THE SUM OF ALL HORIZONTAL FLOOR AREAS OF THE DWELLING AND TWO STORY SHED BEGINNING FROM THE EXTERIOR FACES. EXCLUDES CELLAR/BASEMENT AREAS, GARAGES, PORCHES, DECKS, ATTICS, BARN, SHEDS, GREENHOUSES, AND AGRICULTURAL BUILDINGS (TRURO ZONING BY-LAW DEFINITION, APRIL 2019)

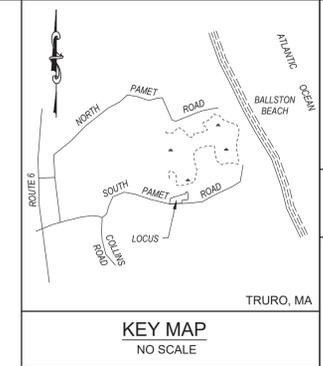
EXISTING GROSS FLOOR AREA
 FIRST FLOOR (DWELLING): 1,053 S.F.
 SECOND FLOOR (DWELLING): 701 S.F.
 TOTAL: 1,754 S.F.

PROPOSED GROSS FLOOR AREA
 FIRST FLOOR (DWELLING): 1,341 S.F.
 SECOND FLOOR (DWELLING): 1,297 S.F.
 FIRST FLOOR (SHED): 321 S.F.
 SECOND FLOOR (SHED): 321 S.F.
 TOTAL: 3,280 S.F.

BUILDING HEIGHT CALCULATIONS:

DWELLING:
 AVERAGE EXISTING GRADE:
 $= (12.0 + 12.1 + 11.9 + 11.7 + 11.8 + 11.8) / 6 = 11.9 \pm$ FT.
 EXISTING RIDGE ELEVATION = 32.5 FT.
 EXISTING BUILDING HEIGHT:
 $= 32.5 - 11.9 = 20.6 \pm$ FT.
 PROPOSED RIDGE ELEVATION = 36.5 FT. (SEE ARCH PLANS)
 PROPOSED BUILDING HEIGHT:
 $= 36.5 - 11.9 = 24.6 \pm$ FT.

SHED/CARPORT:
 PROPOSED EXISTING GRADE:
 $= (15.3 + 15.3 + 15.3 + 14.1 + 14.3) / 5 = 14.9 \pm$ FT.
 PROPOSED TOP OF ROOF = 34.5 FT. (SEE ARCH PLANS)
 PROPOSED BUILDING HEIGHT:
 $= 34.5 - 14.9 = 19.6 \pm$ FT.



REFERENCE:

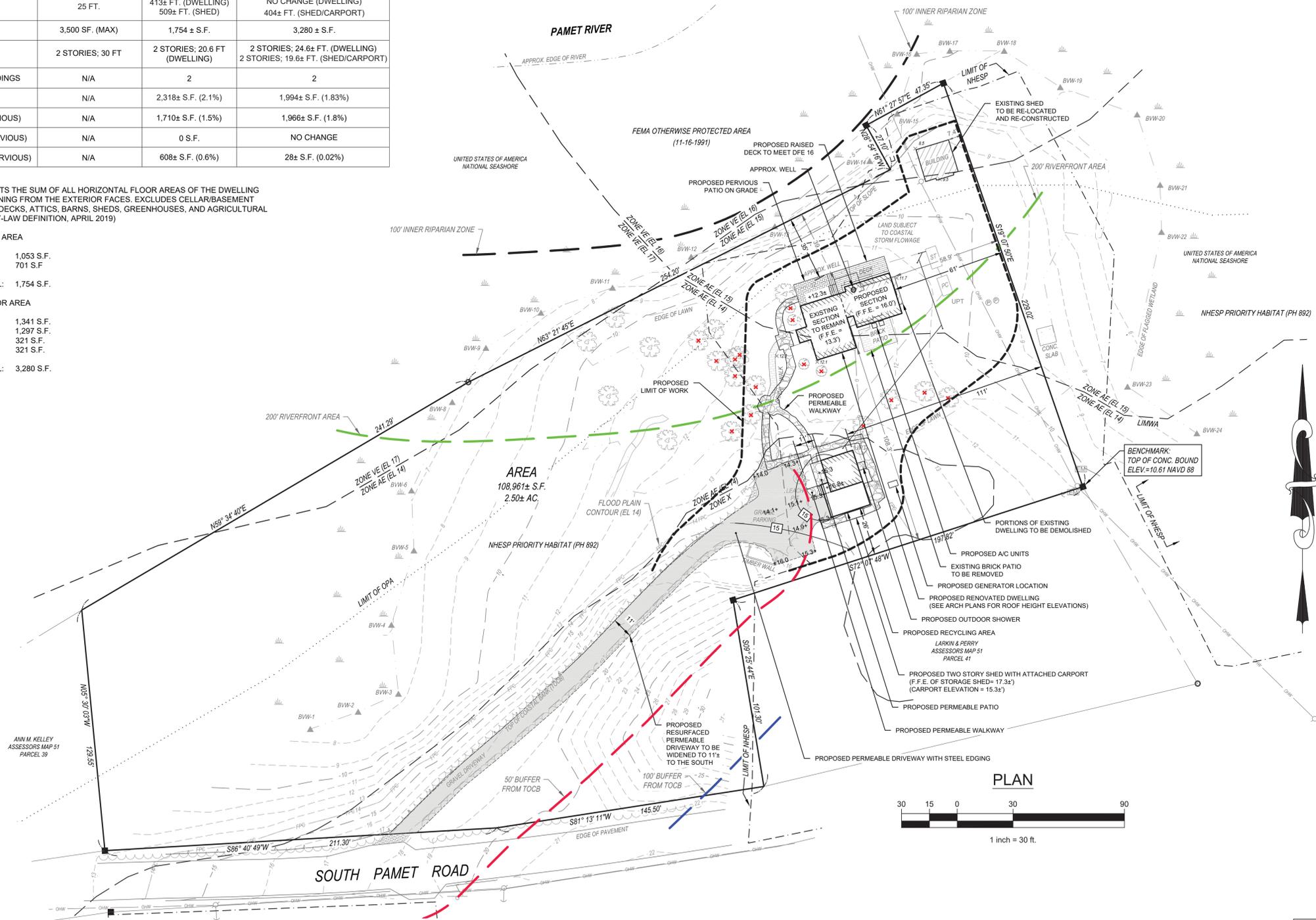
ASSESSORS MAP 51, PARCEL 40
 DEED BOOK 33897, PAGE 73

LEGEND

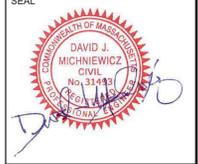
- EXISTING**
- BOUND
 - IRON PIPE
 - ⊙ SEPTIC MANHOLE
 - ⊕ UTILITY POLE
 - GUY WIRE
 - ⊞ ELECTRIC METER
 - OVERHEAD WIRES
 - UNDERGROUND PROPANE SERVICE (APPROX)
 - ⊙ UPT UNDERGROUND PROPANE TANK (APPROX)
 - ⊙ MISC. SHRUB
 - ⊙ DECIDUOUS TREE
 - CONTOUR
 - x23.5 SPOT ELEV.
 - TOCB TOP OF COASTAL BANK
 - LIMMA LIMIT OF MODERATE WAVE ACTION
 - OPA OTHERWISE PROTECTED AREA (FEMA)
 - NHESP NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM
- PROPOSED**
- +12.3± SPOT GRADE
 - ✗ EXISTING VEGETATION TO BE REMOVED (SEE BLUE FLAX PLANS DATED 02-23-2022)
 - LIMIT OF WORK

NOTES:

- SEE PLANS BY BLUE FLAX DESIGN, LLC FOR PROPOSED SITE MODIFICATIONS.
- SEE PLANS BY C&J KATZ STUDIO FOR ARCHITECTURAL DRAWINGS & LIGHTING PLAN.



NO.	DATE	REVISION	BY



PROJECT: BENOIT & ELIZABETH ALLEHAUT
 40 SOUTH PAMET ROAD
 SHEET TITLE: PLAN SHOWING PROPOSED BUILDING AND SITE MODIFICATIONS

SCALE: AS NOTED
 DRAWING FILE: C191717-01-CIV.dwg
 DATE: 03-18-2022
 DRAWN BY: DAP
 CHECKED BY: BPM

C2.1.3
 1 OF 1 SHEETS
 PROJECT NO. C19177.01

THIS PLAN IS ISSUED FOR ZBA REVIEW

Benjamin E. Zehnder LLC

62 Route 6A, Unit B
Orleans, Massachusetts 02653

Benjamin E. Zehnder, Esq.

bzehnder@zehnderllc.com

Tel: (508) 255-7766

March 25, 2022

Town Clerk Kaci Fullerton
Truro Town Hall
24 Town Hall Road
Truro, MA 02666

Re: New Zoning Board of Appeals Special Permit Application /
17 Coast Guard Road (34-3) /
Outer Shore Nominee Trust

Dear Ms. Fullerton:

Please find enclosed for filing a new application to the Zoning Board of Appeals for a special permit for the property at 17 Coast Guard Road. I have included an additional nine packet copies, as well as check no. /// in the amount of \$50.00 for the filing fee. My office will email a scan of the entire application to planner1@truro-ma.gov today.

Thank you for your assistance.

Very truly yours,



Benjamin E. Zehnder

Enc.
cc via email only w/ attachments:
client
Jim Cappuccino
Barbara Carboni
Bryan Weiner
Seth Wilkinson



Town of Truro Zoning Board of Appeals

P.O. Box 2030, Truro, MA 02666

APPLICATION FOR HEARING

To the Town Clerk of the Town of Truro, MA

Date March 25, 2022

The undersigned hereby files with specific grounds for this application: *(check all that apply)*

1. GENERAL INFORMATION

NOTICE OF APPEAL

- Applicant is aggrieved by his/her inability to obtain a permit or enforcement action from the Building Commissioner on *(date)* _____.
- Applicant is aggrieved by order or decision of the Building Commissioner on *(date)* _____ which he/she believes to be a violation of the Truro Zoning Bylaw or the *Massachusetts Zoning Act*.

PETITION FOR VARIANCE – Applicant requests a variance from the terms Section _____ of the Truro Zoning Bylaw concerning *(describe)* _____

APPLICATION FOR SPECIAL PERMIT

- Applicant seeks approval and authorization of uses under Section 30.3 1(A)2 of the Truro Zoning Bylaw concerning *(describe)* Special Permit to exceed the Seashore District Total Gross Floor Area limit.
- Applicant seeks approval for a continuation, change, or extension of a nonconforming structure or use under Section 30.7(A) of the Truro Zoning Bylaw and M.G.L. Ch. 40A, §6 concerning *(describe)* Demolish 5 of 6 exist. cottages, construct single fam. dwlg., convert non-conf. cottage into acc. pool structure.

Property Address 17 Coast Guard Road Map(s) and Parcel(s) 34-3

Registry of Deeds title reference: Book _____, Page _____, or Certificate of Title Number _____ and Land Ct. Lot # _____ and Plan # _____

Applicant's Name Outer Shore Nominee Trust, Rachel Kalin, Trustee

Applicant's Legal Mailing Address 40 Soldiers Field Place, Boston, MA 02135

Applicant's Phone(s), Fax and Email (617) 787-9848; (617) 787-4963; rkalin@bassdoherty.com

Applicant is one of the following: *(please check appropriate box)*

*Written Permission of the owner is required for submittal of this application

- Owner Prospective Buyer* Other*

Owner's Name and Address _____ (same)

Representative's Name and Address Benjamin E. Zehnder 62 Rt. 6A, Unit B, Orleans, MA 02653

Representative's Phone(s), Fax and Email (508) 255-7766; bzehnder@zehnderllc.com

2. The completed application shall also be submitted electronically to the Town Planner at planner1@truro-ma.gov in its entirety (including all plans and attachments).

• The applicant is *advised* to consult with the Building Commissioner, Planning Department, Conservation Department, Health Department, and/or Historic Commission, as applicable, prior to submitting this application.

Signature(s) 

Applicant(s)/Representative Printed Name(s)

Owner(s) Printed Name(s) or written permission

Applicant(s)/Representative Signature

Owner(s) Signature or written permission

Your signature on this application authorizes the Members of the Zoning Board of Appeals and town staff to visit and enter upon the subject property

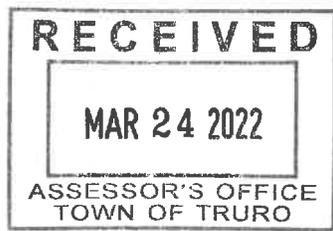


TOWN OF TRURO

Assessors Office

Certified Abutters List

Request Form



DATE: March 24, 2022

NAME OF APPLICANT: Outer Shore Nominee Trust, Rachel Kalin, Trustee

NAME OF AGENT (if any): Benjamin E. Zehnder

MAILING ADDRESS: 62 Rte. 6A, Unit B, Orleans, MA 02653

CONTACT: HOME/CELL (508) 255-7766 EMAIL bzehnder@zehnderllc.com

PROPERTY LOCATION: 17 Coast Guard Road
(street address)

PROPERTY IDENTIFICATION NUMBER: MAP 34 PARCEL 3 EXT. _____
(if condominium)

ABUTTERS LIST NEEDED FOR: **FEE: \$15.00 per checked item**
(please check all applicable) (Fee must accompany the application unless other arrangements are made)

- | | | |
|---|---|---|
| <input type="checkbox"/> Board of Health ⁵ | <input type="checkbox"/> Planning Board (PB) | <input type="checkbox"/> Zoning Board of Appeals (ZBA) |
| <input type="checkbox"/> Cape Cod Commission | <input type="checkbox"/> Special Permit ¹ | <input checked="" type="checkbox"/> Special Permit ¹ |
| <input type="checkbox"/> Conservation Commission ⁴ | <input type="checkbox"/> Site Plan ² | <input type="checkbox"/> Variance ¹ |
| <input type="checkbox"/> Licensing | <input type="checkbox"/> Preliminary Subdivision ³ | |
| Type: _____ | <input type="checkbox"/> Definitive Subdivision ³ | |
| | <input type="checkbox"/> Accessory Dwelling Unit (ADU) ² | |
| <input type="checkbox"/> Other _____ | | |
- (Please Specify) (Fee: Inquire with Assessors)

Note: Per M.G.L., processing may take up to 10 calendar days. Please plan accordingly.

THIS SECTION FOR ASSESSORS OFFICE USE ONLY

Date request received by Assessors: March 24, 2022 Date completed: March 24, 2022
List completed by: Laura Geiges Date paid: _____ Cash/Check _____

¹Abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within 300 feet of the property line.

²Abutters to the subject property, abutters to the abutters, and owners of properties across the street from the subject property.

³Landowners immediately bordering the proposed subdivision, landowners immediately bordering the immediate abutters, and landowners located across the streets and ways bordering the proposed subdivision. **Note:** For Definitive Subdivision only, responsibility of applicant to notify abutters and produce evidence as required.

⁴All abutters within 300 feet of parcel, except Beach Point between Knowles Heights Road and Provincetown border, in which case it is all abutters within 100 feet. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.

⁵Abutters sharing any boundary or corner in any direction – including land across a street, river or stream. **Note:** Responsibility of applicant to notify abutters and produce evidence as required.



TRURO ASSESSORS OFFICE
PO Box 2012 Truro, MA 02666
Telephone: (508) 214-0921
Fax: (508) 349-5506

Date: March 24, 2022

To: Atty Benjamin Zehnder

From: Assessors Department

Certified Abutters List: 17 Coast Guard Road (Map 34 Parcel 3)

ZBA Special Permit

Attached is a combined list of abutters for 17 Coast Guard Road (Map 34 Parcel 3).

The current owner is the Outer Shore Nominee Trust.

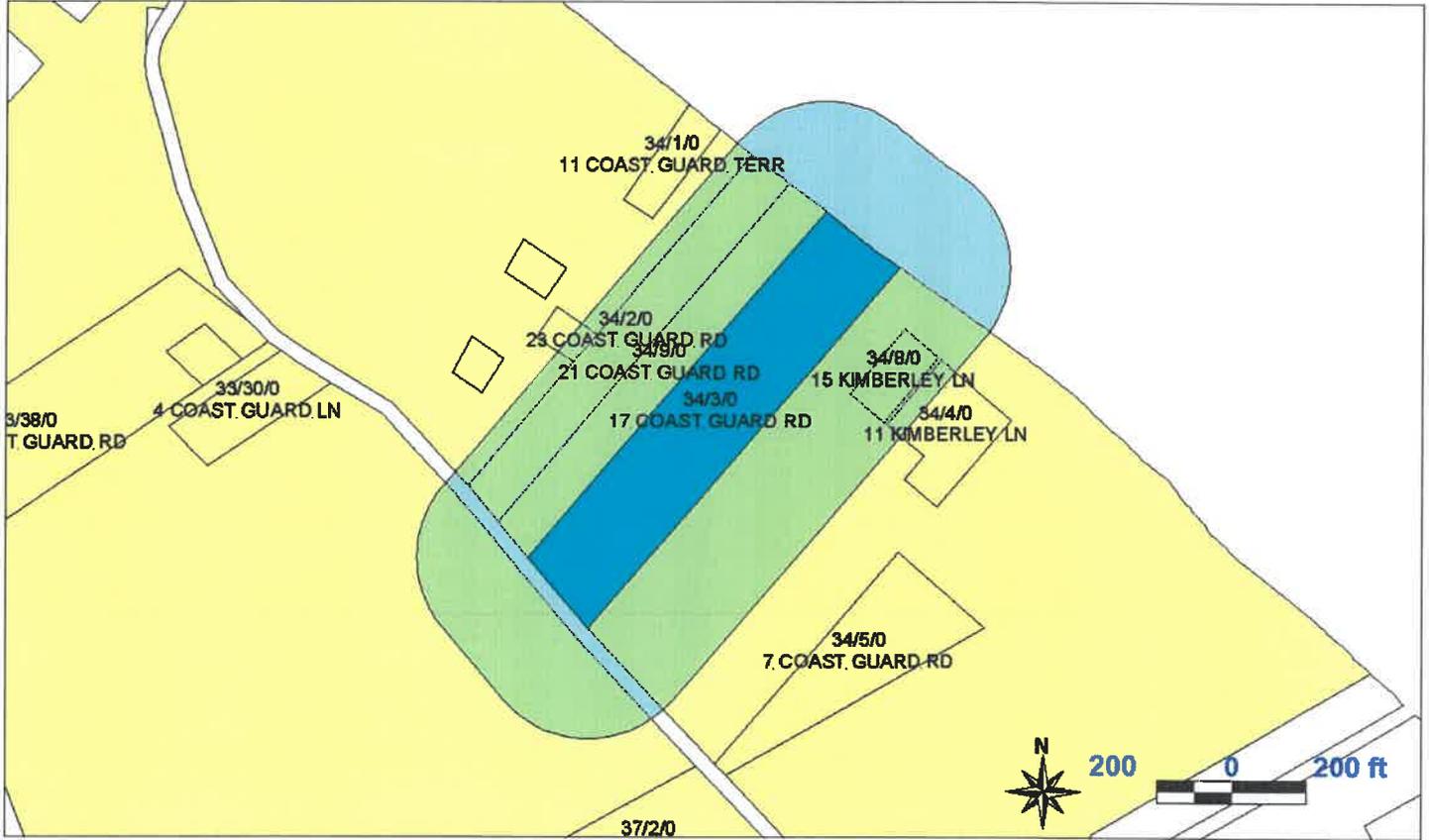
The names and addresses of the abutters are as of March 18, 2022 according to the most recent documents received from the Barnstable County Registry of Deeds.

Certified by: _____

Laura Geiges
Assistant Assessor / Data Collector

TOWN OF TRURO, MA
 BOARD OF ASSESSORS
 P.O. BOX 2012, TRURO MA 02666

Abutters List Within 300 feet of Parcel 34/3/0



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	Zip Cd/Country
729	33-29-0-R	VASILOS REVOCABLE TRUST ET AL TRS: VASILOS THOMAS	3 COAST GUARD LN	92 BARTLETT RD	WINTHROP	MA	02152
730	33-30-0-R	GARVEY JOHN PETER & SEAN J T	4 COAST GUARD LN	C/O GARVEY SEAN 112 HUNTER LN	QUEENSBURY	NY	12804
5795	33-38-0-E	U S A DEPT OF THE INTERIOR	32 COAST GUARD RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
738	34-1-0-R	ROBINSON INVESTMENT LLC	11 COAST GUARD TERR	85 BARNES ROAD, #201	WALLINGFORD	CT	06492
739	34-2-0-R	OUTER SHORE NOMINEE TRUST TRS: RACHEL LYNN KALIN	23 COAST GUARD RD	care of: BASS,DOHERTY&FINKS PC 1380 SOLDIERS FIELD ROAD	BOSTON	MA	02135-1023
740	34-3-0-R	OUTER SHORE NOMINEE TRUST TRS: RACHEL KALIN	17 COAST GUARD RD	care of: BASS,DOHERTY&FINKS PC 1380 SOLDIERS FIELD ROAD	BOSTON	MA	02135-1023
741	34-4-0-R	REZNIKOFF JOHN M	11 KIMBERLEY LN	83 BELDEN HILL RD	WILTON	CT	06897
742	34-5-0-R	ROCHE DANIEL F JR	7 COAST GUARD RD	287 DEDHAM STREET	DOVER	MA	02030
743	34-6-0-E	U S A DEPT OF THE INTERIOR	4 COAST GUARD TERR	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
744	34-7-0-E	U S A DEPT OF THE INTERIOR	8 COAST GUARD TERR	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
745	34-8-0-E	U S A DEPT OF THE INTERIOR	15 KIMBERLEY LN	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
5797	34-9-0-E	U S A DEPT OF THE INTERIOR	21 COAST GUARD RD	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
5798	34-10-0-E	U S A DEPT OF THE INTERIOR	7 COAST GUARD TERR	CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD	WELLFLEET	MA	02667
1108	37-2-0-R	ANDREWS JANE A	8 COAST GUARD RD	PO BOX 761	NO TRURO	MA	02652-0761
7292	40-999-0-E	USA-DEPT OF INTERIOR Cape Cod National Seashore	0 CAPE COD NATIONAL SEASHORE	99 Marconi Site Rd	Wellfleet	MA	02667

LG 3/24/2022

<p>33-29-0-R</p> <p>VASILOS REVOCABLE TRUST ET AL TRS: VASILOS THOMAS 92 BARTLETT RD WINTHROP, MA 02152</p>	<p>33-30-0-R</p> <p>GARVEY JOHN PETER & SEAN J T C/O GARVEY SEAN 112 HUNTER LN QUEENSBURY, NY 12804</p>	<p>33-38-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>
<p>34-1-0-R</p> <p>ROBINSON INVESTMENT LLC 85 BARNES ROAD, #201 WALLINGFORD, CT 06492</p>	<p>34-2-0-R</p> <p>OUTER SHORE NOMINEE TRUST TRS: RACHEL LYNN KALIN care of: BASS,DOHERTY&FINKS PC 1380 SOLDIERS FIELD ROAD BOSTON, MA 02135-1023</p>	<p>34-3-0-R</p> <p>OUTER SHORE NOMINEE TRUST TRS: RACHEL KALIN care of: BASS,DOHERTY&FINKS PC 1380 SOLDIERS FIELD ROAD BOSTON, MA 02135-1023</p>
<p>34-4-0-R</p> <p>REZNIKOFF JOHN M 83 BELDEN HILL RD WILTON, CT 06897</p>	<p>34-5-0-R</p> <p>ROCHE DANIEL F JR 287 DEDHAM STREET DOVER, MA 02030</p>	<p>34-6-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>
<p>34-7-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>	<p>34-8-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>	<p>34-9-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>
<p>34-10-0-E</p> <p>U S A DEPT OF THE INTERIOR CAPE COD NATIONAL SEASHORE 99 MARCONI SITE RD WELLFLEET, MA 02667</p>	<p>37-2-0-R</p> <p>ANDREWS JANE A PO BOX 761 NO TRURO, MA 02652-0761</p>	<p>40-999-0-E</p> <p>USA-DEPT OF INTERIOR Cape Cod National Seashore 99 Marconi Site Rd Wellfleet, MA 02667</p>

LG 3/24/2022

Key: 740

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 653

LEGALS

CURRENT OWNER		PARCEL ID		LOCATION	
DAVID JACQUELINE A C/O OUTER SHORE NOMINEE TRUST 40 SOLDIERS FIELD PLACE BOSTON, MA 02135		34-3-0		17 COAST GUARD RD	
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cert)
OUTER SHORE NOMINEE TRUST		08/16/2021	QS	5,000,000	34387-1
DAVID JACQUELINE A		08/06/2019	F	1 32207-105	
DAVID JAMES H & JACQUELIN		02/28/2017	F	1 30321-69	

CLASS	CLASS%	DESCRIPTION		BN ID	BN	CARD	
3010	100	MOTELS			1	1 of 6	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %
09-062	07/18/2012	30	CHECK DATA		06/13/2017	RJM	100 100
	04/13/2009	30	CHECK DATA		05/08/2013	TRL	100 100
		10	ALL OTHERS	3,400	07/23/2012	DF	100 100

LAND

CD	T	AC/SF/UN	Nbhd	Infl1	Infl2	ADJ BASE	SAF	Infl3	Lpi	VC	CREDIT AMT	ADJ VALUE
103	S	33,750	NSP	1.00	1 1.00	1,360,000	1.00	1 1.00	C04	4.00		1,053,930
303	A	6,505	NSP	1.00	80 0.80	74,240	1.00	1 1.00	C04	4.00		482,930

TOTAL	7.280 Acres	ZONING	NSD	FRNT	0	ASSESSED	CURRENT	PREVIOUS
Nbhd	NAT'L SEASHORE	N O T E	INFL-1=SIZE/SHAPE/USE			LAND	1,536,900	1,505,700
Infl1	NO ADJ		BUILDING	62,600	48,700			
Infl2	NO ADJ		DETACHED	3,400	3,400			
			OTHER	183,800	150,500			
			TOTAL	1,786,700	1,708,300			

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TRL	A	1.00	A 0.75 METAL 8X27	1940	216	0.00	
TRL	A	1.00	A 0.75 METAL 12X50	1966	600	0.00	
SHF	A	1.00	A 0.75 8X16		128	14.49	1,400
SHC	A	1.00	A 0.75 8X12		96	19.03	1,400
SHF	A	1.00	A 0.75 4X12		48	15.54	600

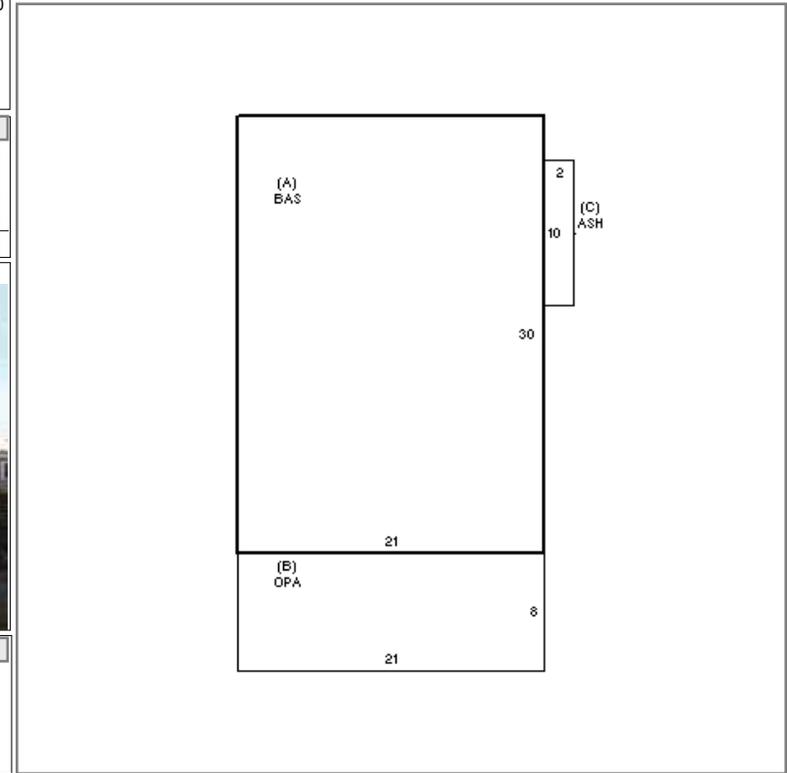


BUILDING	CD	ADJ	DESC	MEASURE	11/3/2011	DF
MODEL	1		RESIDENTIAL			
STYLE	6	0.90	COTTAGE/BUNG [100%]	LIST	6/13/2017	RJM
QUALITY	A	1.00	AVERAGE [100%]	REVIEW	6/19/2017	RJM
FRAME	1	1.00	WOOD FRAME [100%]			

ELEMENT	CD	DESCRIPTION	ADJ
FOUNDATION	1	PIER	1.00
EXT. COVER	1	WOOD SHINGLES	1.00
ROOF SHAPE	1	GABLE	1.00
ROOF COVER	1	ASPHALT SHINGLE	1.00
FLOOR COVER	5	VINYL	1.00
INT. FINISH	2	DRYWALL	1.00
HEATING/COOLING	7	FL./WALL FURN.	0.98
FUEL SOURCE	2	GAS	1.00

BUILDING

YEAR BLT	1960	SIZE ADJ	1.060
NET AREA	630	DETAIL ADJ	1.000
\$NLA(RCN)	\$195	OVERALL	0.880
CAPACITY		UNITS	ADJ
STORIES(FAR)		1	1.00
ROOMS		4	1.00
BEDROOMS		2	1.00
BATHROOMS		1	1.00
FIXTURES		3	\$2,100
UNITS		1	1.00



S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	122,824
A	BAS	L	BAS AREA	630	1960	176.59	111,252		
B	OPA	N	OPEN PORCH	168		43.07	7,236		
C	ASH	N	ATT SHED	20		24.35	487		
	MST	O	MASONRY STACK	1		1,749.00	1,749		

CONDITION ELEM	CD
EFF.YR/AGE	1962 / 58
COND	49 49 %
FUNC	0
ECON	0
DEPR	49 % GD 51
RCNLD	\$62,600

Key: 740

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 654

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
DAVID JACQUELINE A C/O OUTER SHORE NOMINEE TRUST 40 SOLDIERS FIELD PLACE BOSTON, MA 02135				34-3-0				17 COAST GUARD RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION				BN ID	BN	CARD	
3010	100	MOTELS					2	2 of 6	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%	

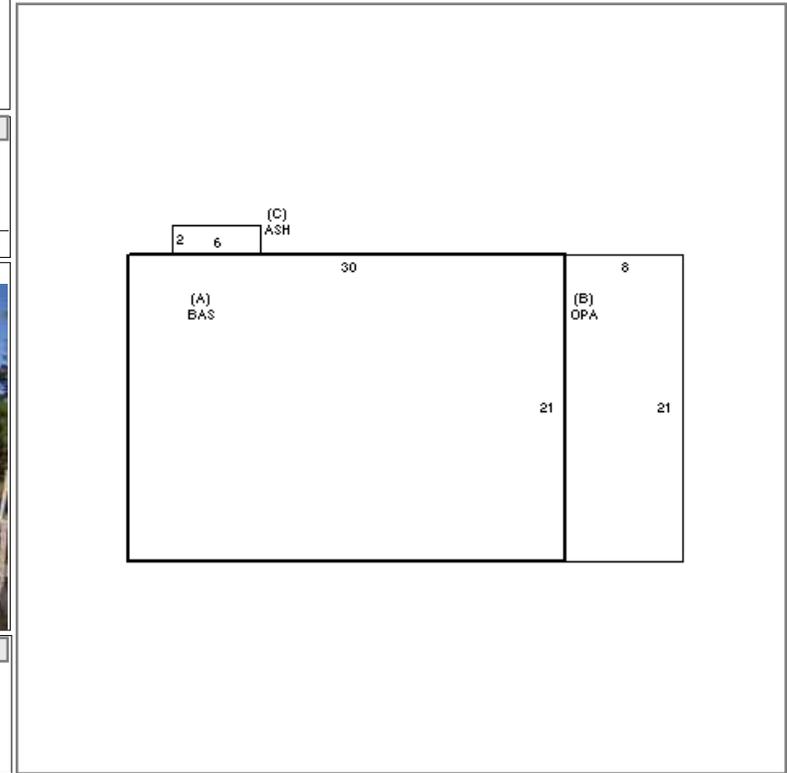
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	62,500	
Inf1		BUILDING			
Inf2		DETACHED			
			OTHER		
			TOTAL		

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
								11/03/2011
								



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	11/3/2011	DF
MODEL	1		RESIDENTIAL	LIST	6/13/2017	RJM
STYLE	6	0.90	COTTAGE/BUNG [100%]	REVIEW	6/19/2017	RJM
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	1	1.00	WOOD FRAME [100%]			

YEAR BLT	1960	SIZE ADJ	1.060	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
NET AREA	630	DETAIL ADJ	1.000	FOUNDATION	1	PIER	1.00	A	BAS	L	BAS AREA	630	1960	176.59	111,252
\$NLA(RCN)	\$195	OVERALL	0.880	EXT. COVER	1	WOOD SHINGLES	1.00	B	OPA	N	OPEN PORCH	168		43.07	7,236
				ROOF SHAPE	1	GABLE	1.00	C	ASH	N	ATT SHED	12		24.33	292
				ROOF COVER	1	ASPHALT SHINGLE	1.00		MST	O	MASONRY STACK	1		1,749.00	1,749
				FLOOR COVER	5	VINYL	1.00								
				INT. FINISH	2	DRYWALL	1.00								
				HEATING/COOLING	7	FL./WALL FURN.	0.98								
				FUEL SOURCE	2	GAS	1.00								

TOTAL RCN	122,629
CONDITION ELEM	CD
EFF.YR/AGE	1962 / 58
COND	49 49 %
FUNC	0
ECON	0
DEPR	49 % GD 51
RCNLD	\$62,500

Key: 740

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 655

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
DAVID JACQUELINE A C/O OUTER SHORE NOMINEE TRUST 40 SOLDIERS FIELD PLACE BOSTON, MA 02135				34-3-0				17 COAST GUARD RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION				BN ID	BN	CARD	
3010	100	MOTELS					3	3 of 6	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%	

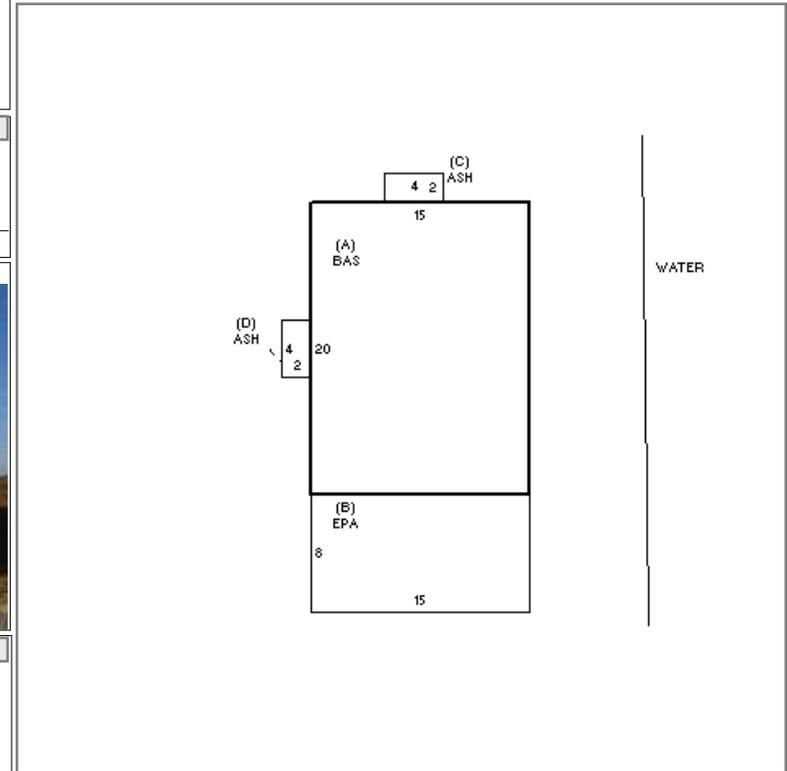
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
----	---	----------	------	------	------	----------	-----	------	-----	----	------------	-----------

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	31,400	
Inf1		BUILDING			
Inf2		DETACHED			
TOTAL			OTHER		

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
----	------	------	----------	----	-------	-----------	-------



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	11/3/2011	DF
MODEL	1		RESIDENTIAL	LIST	6/13/2017	RJM
STYLE	6	0.90	COTTAGE/BUNG [100%]	REVIEW	6/19/2017	RJM
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	2	1.15	MASONRY WALL [100%]			

BLDG COMMENTS
COTTAGE 2/OCEANFRONT ACCESS/EXT=CC
BLOCK

YEAR BLT	1955	SIZE ADJ	1.000	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	68,328
NET AREA	300	DETAIL ADJ	1.000	FOUNDATION	2	SLAB	0.95	A	BAS	L	BAS AREA	300	1955	185.53	55,658	CONDITION ELEM	CD
\$NLA(RCN)	\$228	OVERALL	0.980	EXT. COVER	14	OTHER	1.00	B	EPA	N	ENCL PORCH	120		84.67	10,161		
CAPACITY		UNITS	ADJ	ROOF SHAPE	4	FLAT/SHED	1.00	+	ASH	N	ATT SHED	16		25.60	410		
STORIES(FAR)	1	1.00		ROOF COVER	1	ASPHALT SHINGLE	1.00										
ROOMS	3	1.00		FLOOR COVER	5	VINYL	1.00										
BEDROOMS	1	1.00		INT. FINISH	2	DRYWALL	1.00										
BATHROOMS	1	1.00		HEATING/COOLING	7	FL./WALL FURN.	0.98										
FIXTURES	3	\$2,100		FUEL SOURCE	2	GAS	1.00										
UNITS	1	1.00															
																EFF.YR/AGE	1957 / 63
																COND	54 54 %
																FUNC	0
																ECON	0
																DEPR	54 % GD 46
																RCNLD	\$31,400

Key: 740

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 656

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
DAVID JACQUELINE A C/O OUTER SHORE NOMINEE TRUST 40 SOLDIERS FIELD PLACE BOSTON, MA 02135				34-3-0				17 COAST GUARD RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD	
3010	100	MOTELS				4	4 of 6	
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%

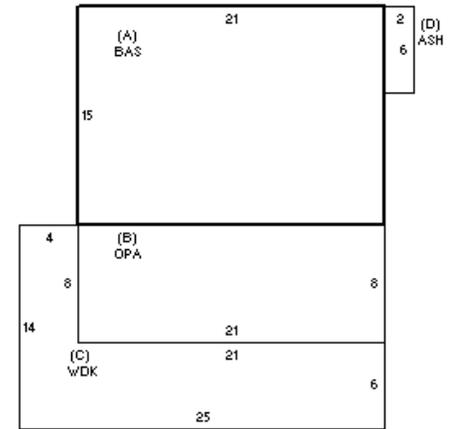
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE
----	---	----------	------	------	------	----------	-----	------	-----	----	------------	-----------

DETACHED

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	38,100	
Inf1		BUILDING			
Inf2		DETACHED			
		TOTAL			

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
----	------	------	----------	----	-------	-----------	-------



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	11/3/2011	DF
MODEL	1		RESIDENTIAL	LIST	6/13/2017	RJM
STYLE	6	0.90	COTTAGE/BUNG [100%]	REVIEW	6/19/2017	RJM
QUALITY	A	1.00	AVERAGE [100%]			
FRAME	2	1.15	MASONRY WALL [100%]			

BLDG COMMENTS
COTTAGE 4/OCEANFRONT ACCESS/ EXT=CC BLOCK

YEAR BLT	1955	SIZE ADJ	1.000	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	74,786		
NET AREA	315	DETAIL ADJ	1.000	FOUNDATION	2	SLAB	0.95	A	BAS	L	BAS AREA	315	1955	185.52	58,440	CONDITION ELEM	CD		
\$NLA(RCN)	\$237	OVERALL	0.980	EXT. COVER	14	OTHER	1.00	B	OPA	N	OPEN PORCH	168		45.25	7,602				
				ROOF SHAPE	4	FLAT/SHED	1.00	C	WDK	N	ATT WOOD DECK	182		34.82	6,337				
				ROOF COVER	1	ASPHALT SHINGLE	1.00	D	ASH	N	ATT SHED	12		25.56	307				
				FLOOR COVER	5	VINYL	1.00												
				INT. FINISH	2	DRYWALL	1.00												
				HEATING/COOLING	7	FL./WALL FURN.	0.98												
				FUEL SOURCE	2	GAS	1.00												
																		EFF.YR/AGE	1962 / 58
																		COND	49 49 %
																		FUNC	0
																		ECON	0
																		DEPR	49 % GD 51
																		RCNLD	\$38,100

Key: 740

Town of TRURO - Fiscal Year 2022

9/15/2021 10:15 am SEQ #: 658

LEGAL

CURRENT OWNER				PARCEL ID				LOCATION			
DAVID JACQUELINE A C/O OUTER SHORE NOMINEE TRUST 40 SOLDIERS FIELD PLACE BOSTON, MA 02135				34-3-0				17 COAST GUARD RD			
TRANSFER HISTORY				DOS	T	SALE PRICE	BK-PG (Cert)				

CLASS	CLASS%	DESCRIPTION			BN ID	BN	CARD
3010	100	MOTELS				6	6 of 6
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st %

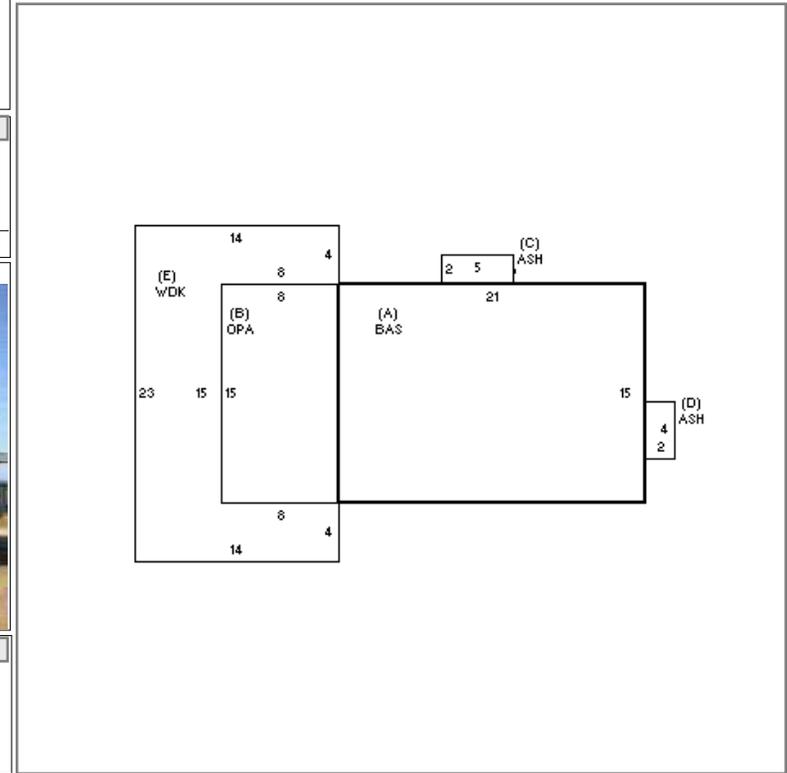
LAND

CD	T	AC/SF/UN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Inf3	Lpi	VC	CREDIT AMT	ADJ VALUE

TOTAL	ZONING	FRNT	ASSESSED	CURRENT	PREVIOUS
Nbhd	NOTE		LAND	25,600	
Inf1		BUILDING			
Inf2		DETACHED			
			OTHER		
			TOTAL		

DETACHED

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



BUILDING

BUILDING	CD	ADJ	DESC	MEASURE	11/3/2011	DF
MODEL	1		RESIDENTIAL	LIST	6/13/2017	RJM
STYLE	6	0.90	COTTAGE/BUNG [100%]	REVIEW	6/19/2017	RJM
QUALITY	-	0.75	AVE-/LOW+ [100%]			
FRAME	2	1.15	MASONRY WALL [100%]			

BLDG COMMENTS
COTTAGE 1/EXT=CC BLOCK

YEAR BLT	1955	SIZE ADJ	1.000
NET AREA	315	DETAIL ADJ	1.000
\$NLA(RCN)	\$176	OVERALL	0.980
CAPACITY		UNITS	ADJ
STORIES(FAR)		1	1.00
ROOMS		4	1.00
BEDROOMS		2	1.00
BATHROOMS		1	1.00
FIXTURES		3	\$2,100
UNITS		1	1.00

ELEMENT	CD	DESCRIPTION	ADJ
FOUNDATION	2	SLAB	0.95
EXT. COVER	14	OTHER	1.00
ROOF SHAPE	4	FLAT/SHED	1.00
ROOF COVER	1	ASPHALT SHINGLE	1.00
FLOOR COVER	5	VINYL	1.00
INT. FINISH	2	DRYWALL	1.00
HEATING/COOLING	7	FL./WALL FURN.	0.98
FUEL SOURCE	2	GAS	1.00

S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
A	BAS	L	BAS AREA	315	1955	139.14	43,830
B	OPA	N	OPEN PORCH	120		35.72	4,287
+	ASH	N	ATT SHED	18		19.19	346
E	WDK	N	ATT WOOD DECK	202		24.74	4,997

TOTAL RCN	55,560
CONDITION ELEM	CD
EFF.YR/AGE	1957 / 63
COND	54 54 %
FUNC	0
ECON	0
DEPR	54 % GD 46
RCNLD	\$25,600

QUITCLAIM DEED

Property Address: 17 Coast Guard Road, North Truro, MA 02652

JACQUELINE A. DAVID, holder of an 37/64 percent interest, and **JAMES F. DAVID**, holder of a 9/64 percent interest, both with an address of c/o 43 Country Corners Road, Amherst, MA 01002 **LISA C. DAVID**, holder of a 9/64 percent interest, with a mailing address of P.O. Box 233, Chimney Rock, NC 28720 and **DEANNA D. PIOTROWSKI a/k/a DEANNA B. DAVID**, holder of a 9/64 percent interest, with an address of 11 Cedarwood Drive, Ellington, CT 06029, all as Tenants in Common

for consideration in the amount of **FIVE MILLION and no/100 (\$5,000,000.00) DOLLARS**, paid

grants to **RACHEL KALIN**, Trustee of Outer Shore Nominee Trust, u/d/t dated June 18, 2020, a Declaration for which is recorded with the Barnstable County Registry of Deeds in Book 34181, Page 184, with an address of 40 Soldiers Field Place, Boston, MA 02135

with QUITCLAIM COVENANTS

The land together with the buildings thereon situated in Truro (North), Barnstable County, Commonwealth of Massachusetts, bounded and described as follows:

SOUTHWESTERLY by Highland Coast Guard Road, two hundred fifty-three and 51/100 (253.51) feet;

NORTHWESTERLY by Lot 7 (seven), as shown on a plan of lands titles "Plan of Land in Truro owned by Scheel Corporation, April 16, 1952, Frances J. Alves, C.E.", recorded in the Barnstable County Registry of Deeds in Plan Book 103, Page 99, twelve hundred forty-seven (1247) feet, more or less;

NORTHEASTERLY by the Atlantic Ocean, two hundred fifty (250) feet, more or less; and

SOUTHEASTERLY by Lot 5 (five) as shown on the said plan, twelve hundred eighty-seven (1,287) feet, more or less.

The above parcel contains 7.28 acres, more or less, and is shown as Lot 6 (six) on the said plan of lands.

The above-described real property does not constitute the homestead of any party or individual.

For grantors title see the following:

1. Deed of Clara L. David, dated April 9, 1986, recorded with the Barnstable County Registry of Deeds in Book 5020, Page 133.

2. Deed of Clara L. David, dated January 29, 1987, recorded with said Registry in Book 5566,

Page 23.

3. Deed of James H. David, dated December 30, 1992, recorded with said Registry in Book 8416, Page 87.

4. Deed of James H. David, dated March 18, 1993, recorded with said Registry in Book 8493, Page 314.

4. Deed of James H. David, dated April 1, 1994, recorded with said Registry in Book 9140, Page 204

5. Deed of Kenneth H. David, dated April 9, 2012, recorded with said Registry in Book 26261, Page 286.

6. Deed of Jacqueline A. David and James H. David, dated July 25, 2019, recorded with said Registry in Book 32207, Page 105.

{Remainder of Page Intentionally Left Blank – Signature Page to Immediately Follow}

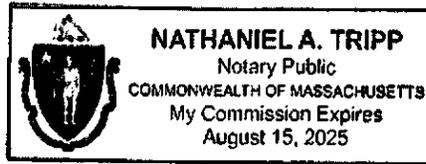
Witness my hand and seal this 6th day of July, 2021.

Jacqueline A. David
JACQUELINE A. DAVID

STATE/Commonwealth of MA

County of FRANKLIN

On this 6th day of July, 2021, before me, the undersigned notary public, personally appeared **JACQUELINE A. DAVID**, proved to me through satisfactory evidence of identification, which was valid Photo ID, to be the person whose name is signed on the preceding or attached document, and who swore and affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief, and acknowledged to me that she signed it as her free act and deed.



Nathaniel A. Tripp
Notary Public,

My commission expires:

Witness my hand and seal this 6 day of July, 2021.

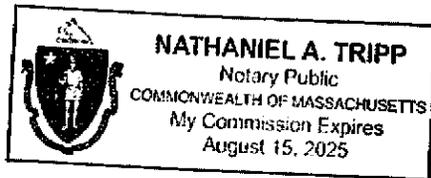
James F. David
JAMES F. DAVID

STATE/COMMONWEALTH OF Massachusetts

County of Franklin

On this 6th day of July, 2021, before me, the undersigned notary public, personally appeared **JAMES F. DAVID**, proved to me through satisfactory evidence of identification, which was valid Photo ID, to be the person whose name is signed on the preceding or attached document, and who swore and affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief, and acknowledged to me that he signed it as his free act and deed.

N. A. Tripp
Notary Public,



My commission expires:

Witness my hand and seal this 9th day of August, 2021.

Lisa C. David
LISA C. DAVID

STATE/Commonwealth of Virginia
City
County of Richmond

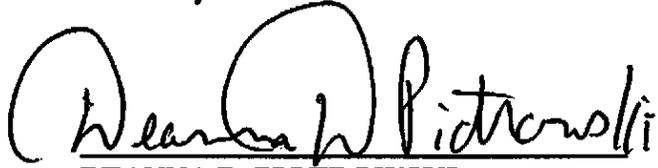
On this 9 day of August, 2021, before me, the undersigned notary public, personally appeared **LISA C. DAVID**, proved to me through satisfactory evidence of identification, which was North Carolina Drivers License, to be the person whose name is signed on the preceding or attached document, and who swore and affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief, and acknowledged to me that she signed it as her free act and deed.

CHRISTENA MARIE RULLI-PETERS
NOTARY PUBLIC
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES NOV. 30, 2023
COMMISSION #7820486

Christena Marie Rulli-Peters
Notary Public,

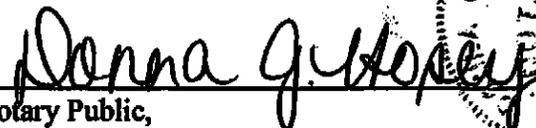
My commission expires: November 30, 2023

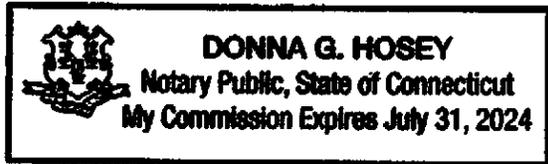
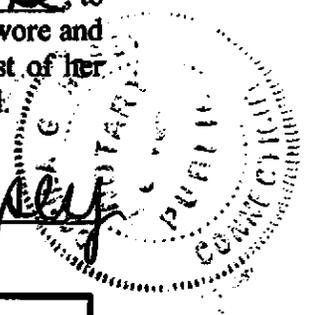
Witness my hand and seal this 7th day of July, 2021.


DEANNA D. PIOTROWSKI
a/k/a DEANNA B. DAVID

STATE COMMONWEALTH OF CT ss: Ellington
County of Tolland

On this 7th day of July, 2021, before me, the undersigned notary public, personally appeared **DEANNA D. PIOTROWSKI a/k/a Deanna B. David**, proved to me through satisfactory evidence of identification, which was CT. Driver License, to be the person whose name is signed on the preceding or attached document, and who swore and affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief, and acknowledged to me that she signed it as her free act and deed.


Notary Public,



My commission expires:



MASSWILDLIFE

DIVISION OF FISHERIES & WILDLIFE

1 Rabbit Hill Road, Westborough, MA 01581

p: (508) 389-6300 | f: (508) 389-7890

MASS.GOV/MASSWILDLIFE

March 9, 2022

Truro Conservation Commission
P.O. Box 203
Truro MA 02666

Rachel Kalin, Trustee
Outer Shore Nominee Trust
c/o Bass, Doherty & Finks P.C.,
1380 Soldiers Field Road, Suite 2100
Boston MA 02135-1023

RE: Applicant: Rachel Kalin
 Project Location: 17 Coast Guard Road, North Truro
 Project Description: Remove Existing Cottages, Construct a Single Family Dwelling with Pool,
 Out-buildings, Septic, Walkway and Stairs, and Landscaping
 DEP Wetlands File No.: 075-1135
 NHESP Tracking No.: 21-40474

Dear Commissioners & Applicant:

The Natural Heritage & Endangered Species Program of the Massachusetts Division of Fisheries & Wildlife (the "Division") received a Notice of Intent with site plans (dated 2/1/2022, signed 2/10/22) in compliance with the rare wildlife species section of the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.37). The Division also received the MESA Review Checklist and supporting documentation for review pursuant to the MA Endangered Species Act Regulations (321 CMR 10.18).

Based on the Massachusetts Natural Heritage Atlas, 15th Edition, portions of this property are delineated as *Priority Habitat* and *Estimated Habitat* for state-listed species. Portions of the proposed project will occur within the **actual** habitat of the Piping Plover (*Charadrius melodus*) and Least Tern (*Sternula antillarum*), species state-listed as Threatened and Special Concern, respectively. These species and their habitats are protected in accordance with the rare species provisions of the WPA and the MESA. The Piping Plover is federally protected as "Threatened" pursuant to the U.S. Endangered Species Act (ESA, 50 CFR 17.11). Fact sheets for state-listed species can be found at www.mass.gov/nhesp. In Massachusetts, generally, these coastal birds can be found from April – September. Piping Plovers and Least Terns are ground-nesting shorebirds that will establish nests on sparsely vegetated, sandy areas of coastal beaches and dunes. Their nests are comprised of shallow depressions in the sand that may be lined with shell fragments or pebbles. Piping Plovers, terns and their nests are particularly vulnerable to predators, unleashed pets, and inadvertent human disturbance. After hatching, Piping Plover and Least Tern chicks are not capable of flight for up to 30 days.

The purpose of the Division's review of the proposed project under the WPA regulations is to determine whether the project will have any adverse effects on the Resource Areas Habitats of state-listed

MASSWILDLIFE

species. The purpose of the Division's review under the MESA regulations is to determine whether a Take of state-listed species will result from the proposed project.

WETLANDS PROTECTION ACT (WPA) & MASSACHUSETTS ENDANGERED SPECIES ACT (MESA)

Based on the information provided and the information contained in our database, it is the opinion of the Division that this project, as currently proposed, **must be conditioned in order to avoid adverse effects to the Resource Area Habitats of state-listed wildlife species (310 CMR 10.37, 10.58(4)(b), 10.59) and must be conditioned in order to avoid a prohibited Take of state-listed species (321 CMR 10.18(2)(a))**. To avoid adverse effects to the Resource Area Habitats of state-listed species and to avoid a prohibited Take the following conditions must be implemented:

1. **Time of Year Restriction:** Installation or maintenance of the beach access stairs shall not occur during the shorebird breeding period **April 1 – August 31**.
2. **State-listed Species Protection.** The property owner(s) have the responsibility of protecting breeding Piping Plovers and state-listed species of terns that may be on this section of beach. Therefore, the property owner must allow regular monitoring for the presence of Piping Plovers and terns by a qualified shorebird monitor, as determined by the Division, during the period April 1 – August 31 and shall allow any nests, scrapes, or unfledged chicks to be protected with symbolic fencing (warning signs and twine fencing).
3. **Authorization Duration.** This authorization is valid for 5 years from the date of issuance. Work may be completed at any time during this 5-year period in compliance with the conditions herein. Thereafter, the applicant shall re-file under the MESA.
4. **Notice.** Upon filing for renewal, extension, or amendment of the Orders of Conditions, the applicant shall contact the Division for written response regarding impacts to Resource Area habitat of state-listed wildlife.

Provided these conditions are included in any approving Orders of Conditions issued by the Conservation Commission, and the applicant complies with all the above noted conditions, the project **will not result in an adverse impact to the resource area habitats of state-listed wildlife species pursuant to the WPA and will not result in a prohibited Take pursuant to the MESA**. A copy of the final Order of Conditions shall be sent to the NHESP simultaneously with the applicant as stated in the Procedures section of the WPA (310 CMR 10.05(6)(e)).

This determination is a final decision of the Division of Fisheries and Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the MESA. This project may be subject to further review if no physical work is commenced within five years from the date of issuance of this determination, or if there is a change to the project.

Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions regarding this determination please contact Amy Hoenig, Endangered Species Review Biologist, at Amy.Hoenig@mass.gov or (508) 389-6364.

Sincerely,

A handwritten signature in black ink, reading "Everose Schlüter". The signature is written in a cursive style with a large, prominent initial 'E'.

Everose Schlüter, Ph.D.
Assistant Director

cc: Bryan J. Weiner, Coastal Engineering Co., Inc.
MA DEP Southeast Region

LAND MANAGEMENT PLAN

17 Coast Guard Road | Truro, MA

January 28, 2022



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INTRODUCTION

This Land Management Plan (LMP) accompanies a Notice of Intent (NOI) for construction activity to remove the existing structures on the property and construct a new residence. This LMP describes proposed vegetation management to remove State listed invasive and non-native plant species to conserve existing Maritime Heathland/Shrubland plant communities that are currently degraded by the invasion, and the planting of native plant species to restore and enhance additional Maritime Heathland/Shrubland. The resource areas within the project area include Coastal Bank and NHESP Priority and Estimated Habitat of Rare Species. Proposed vegetation management and planting activities will occur on the Coastal Bank, within the buffers to the Coastal Bank, and within NHESP Priority and Estimated Habitat of Rare Species.

PROJECT GOALS

The two primary goals are to:

1. Conserve and restore a native Maritime Heathland/Shrubland plant community to virtually all jurisdictional areas as well as much of the non-jurisdictional area south of the project area.
2. Re-vegetate the face of the Coastal Bank with native grasses.

Restoring this native plant community will increase native plant diversity and improve the quality of wildlife habitat within the project area. This plan will serve the wetland interests identified under the Massachusetts Wetlands Protection Act and the Truro Wetland Protection Regulations.

EXISTING CONDITIONS

17 Coast Guard Road contains multiple small structures in the northern half of the property. Only two structures and associated driveways, wooden walkways, and an existing stairway leading down the Coastal Bank are within the jurisdictional area of the property. Areas of naturalized vegetation exist just outside the developed areas of the property. This vegetative cover can generally be described as a mosaic of Maritime Shrubland/Heathland that are degraded by invasive plant species pressure. The vegetation will be separated into three distinct categories for this description, and for the invasive management proposed later in this document. The color overlays on the Project Area Diagram on page five correspond with the photo descriptions below.

AREA 1



Areas colored with orange represent a degraded Maritime Shrubland/Heathland. They contain a dense cover of native plant species like beach plum, scrub oak, and in most cases, native grasses like Pennsylvania sedge and crinkle hair grass. Asiatic bittersweet has invaded the dense native vegetation as seen in the photo above. Japanese knotweed is another extremely aggressive invasive species that has been spreading into these degraded Maritime Shrubland/Heathlands.

AREA 2

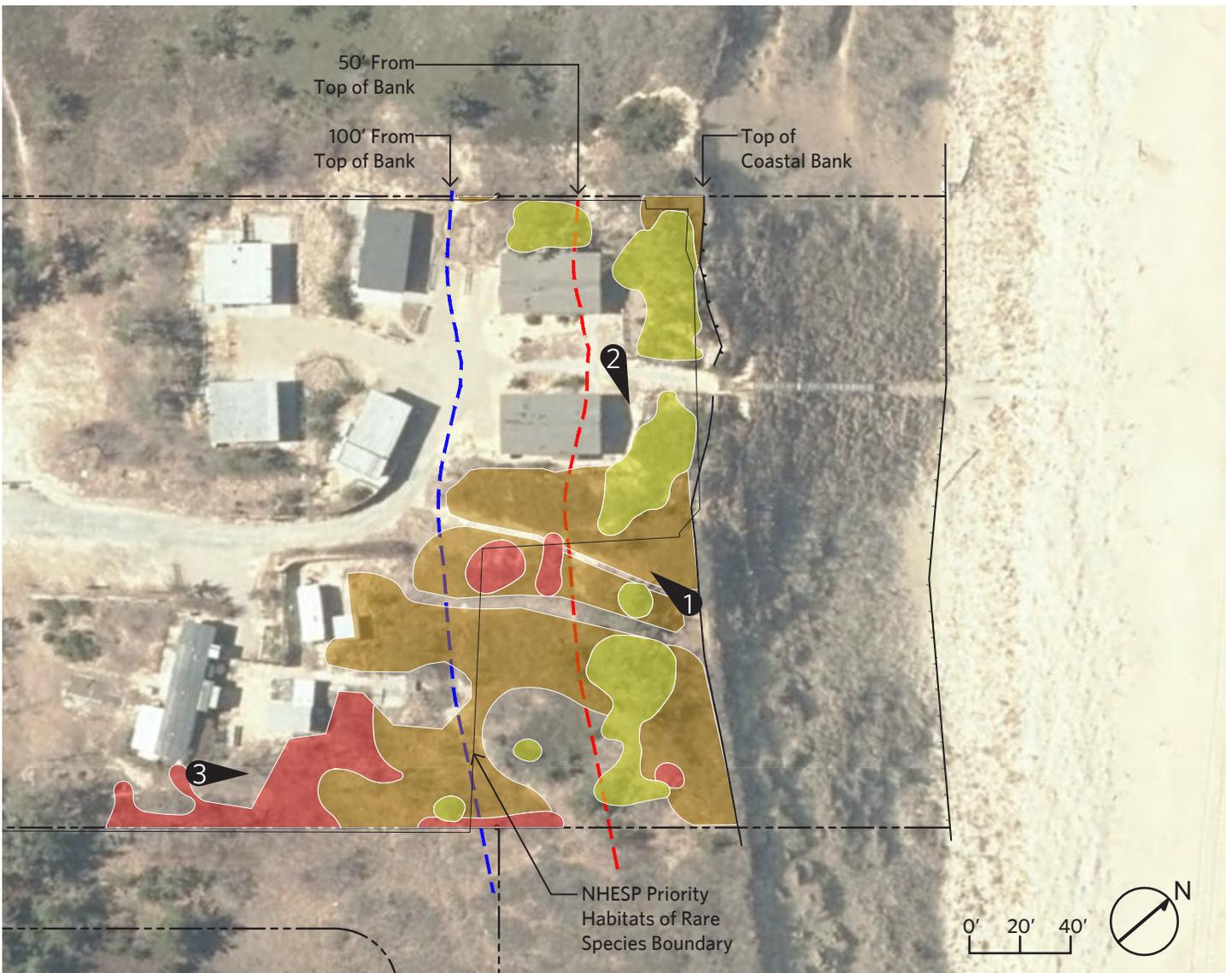


Areas colored with yellow are dense colonies of Japanese black pine. The high density of non-native pines has limited the ability of native plant species to establish. Some of the pine colonies do have sparse Pennsylvania sedge and crinkle hair grass ground cover, but no native shrubs exist within the non-native pines. This is likely due to a combination of the shady conditions and possible allelopathy from Japanese black pines. Allelopathy is a biological phenomenon where one plant inhibits the growth of another. These factors will allow Japanese black pine to spread beyond the existing colonies and displace more native vegetation throughout the property.

AREA 3



Areas colored with red represent dense colonies of Japanese knotweed that has become established across the property. The largest colony of knotweed, accompanied by invasive black locust, is seen in the image above.



PROJECT AREA DIAGRAM

PROPOSED PROJECT ACTIVITIES

For the goals to be carried out successfully, the following work activities are proposed:

- Invasive plant management to remove plant species that threaten the native plant community conservation and restoration efforts, including the invasive plant species outside of Truro Conservation Commission's jurisdiction.
- Diverse native planting to restore the targeted native plant communities.

INVASIVE PLANT MANAGEMENT

Invasive plant management will target Asiatic bittersweet, shrub honeysuckle, autumn olive, Japanese knotweed, Japanese black pine, and other invasive plant species proposed for removal, including the invasive plants located outside of Truro Conservation Commission's jurisdiction.

Asiatic bittersweet poses a serious threat to restoration efforts due to its high reproductive rate, long-range dispersal mechanisms, and the ability to root-sucker. Vines of this plant species also have the ability to aggressively wrap around and grow over other vegetation strangling mature trees. Even entire plant communities can be over-topped and shaded out by the vine's rapid growth.

Japanese black pine is a non-native species from Japan that is well adapted to harsh conditions found at sites like 17 Coast Guard Road. Its resiliency to coastal conditions combined with the high amount of seed production allows this pine to displace more beneficial native vegetation found in Maritime Shrublands/Heathlands. Japanese black pine is also a relatively short-lived tree species. In most American gardens these trees seldom survive more than 20 years, according to University of Arkansas Division of Agriculture. To replace the Japanese black pine biomass the planting of scrub oak, pitch pines, and eastern red cedar is proposed along with a high density of native shrubs.

Japanese knotweed is an invasive species of particular concern for the ecological restoration efforts. This aggressive invasive plant has already created colonies throughout the property. If no management occurs these colonies will spread vigorously and further displace native vegetation.

PLANT REMOVAL METHODS BY AREAS:

AREA 1 - Degraded Maritime Shrubland/Heathland: No machine removal is proposed. Methods will include a "cut and wipe" herbicide treatment to treat individual stems of the targeted species and hand removal of the debris. On species like vine honeysuckle, low-volume targeted foliar method is proposed only as needed to treat stems that are too small to allow for effective "cut and wipe". These very targeted and effective methods are carried out using small quantities of herbicide. Poison ivy will only be managed in areas where it can



Beach plum



Bayberry



Lowbush blueberry



Bearberry

Images of shrub and herbaceous species proposed to be planted for the restoration of the targeted native plant community.



Pennsylvania sedge



Stiff aster



Little bluestem



Butterfly weed



Crinkle hair grass



Poverty grass



Hyssop-leaf bonset

come into contact with people near the existing foot paths.

AREA 2 - Dense colonies of Japanese black pine: Methods will include a “cut and wipe” herbicide treatment and hand removal of the debris. Smaller seedlings of the pines will be hand pulled. If Astatic bittersweet or other invasive vines are discovered within the colonies of Japanese black pine they will also be treated with a “cut and wipe” method. No machine removal is proposed.

AREA 3 - Japanese knotweed: The management method will include an herbicide injection directly into each stem of the Japanese knotweed. A low-volume targeted foliar method will only be proposed to treat knotweed stems too small for the injection method to be effective.

All herbicide applications will be performed by Massachusetts licensed pesticide applicators. See the Three-year Timeline on pages eight and nine and the Invasive Plant Management Protocols on pages ten and eleven for more details regarding management protocols and species-specific information. Invasive plant management protocols are designed to maximize the effectiveness of management treatments and minimize disturbance to natural resources and non-target plants by using selective herbicide application methods combined with hand removal methods.

Immediately following vegetation management, all bare soils will be seeded with the native species listed on the Restoration Plan and covered in a biodegradable mulch product. Biodegradable erosion control blanketing will be installed, only where needed, to protect against erosion and temporarily hold mineral soils in place until the root systems of native grasses can establish and stabilize soils.

NATIVE PLANT RESTORATION

To allow for the successful restoration of the target plant communities, native shrubs will be planted after invasive plant management has reached approximately 85% eradication. Restoration of the native plant communities on this site is based on the existing soils, landform, position on the landscape, relationship to the coastal conditions, and observations of nearby plant associations. An existing Maritime Shrubland/Heathland located on the abutting property to the north is a model of the plant community restoration efforts on 17 Coast Guard Road. An image of the existing Maritime Shrubland/Heathland can be seen below. The restoration efforts will extend beyond the 100’ buffer from the top of Coastal Bank, into areas of the property that are not in the jurisdiction of the Truro Conservation Commission, as shown on the Restoration Plan.

In addition, all un-vegetated portions of the Coastal Bank on the property are proposed to be planted with bare root American beachgrass. Refer to the Restoration Plan for a complete listing of all proposed native species to be planted.

Image of existing Maritime Shrubland/Heathland on abutting property. This photos shows a visual example of the target plant community restoration goal for the project.



THREE YEAR LAND MANAGEMENT TIMELINE

2022

Summer/Fall

- Pre-treat plant species approved for removal with an herbicide appropriate to the plant species. Treatment methods, depending on species, size, and environmental conditions, will consist of “cut and wipe” or low-volume targeted foliar applications if the stems are too small for effective “cut and wipe” treatment, on species such as vine honeysuckle .
- Cover managed areas with a biodegradable mulch product or install biodegradable erosion control blankets, where necessary, on sloping areas to facilitate rapid colonization of exposed mineral soils where necessary.
- To limit re-establishment of invasive plant species within the restoration area, selectively treat re-sprouting invasive and non-native plant species using “cut and wipe” applications, only if necessary, otherwise hand-pull small quantities.
- **General Note:** Herbicides used are to be applied by knowledgeable, Massachusetts licensed applicators. All herbicide applications will avoid non-target native species.

2023

WINTER/SPRING

- After most other deciduous plants have gone dormant, conduct a low-volume foliar application of herbicide to any persistent targeted species (only if necessary, otherwise hand-pull small quantities).
- Mow or string-trim newly seeded restoration area in spring to limit establishment of cool-season grasses.
- When invasive plants have been reduced by 85%, commence planting of the areas according to the Restoration Plan and install an automated, temporary, above ground irrigation system to help establish new plants to the growing conditions.

SUMMER/FALL

- Monitor plant response to earlier management treatments and calibrate follow-up treatments accordingly.
- To limit re-establishment of invasive plant species within the restoration area, selectively treat re-sprouting invasive and non-native plant species using “cut and wipe” applications, only if necessary, otherwise hand-pull small quantities.

2024

Ongoing Maintenance

WINTER/SPRING

- After most other deciduous plants have gone dormant, conduct a low-volume foliar application of herbicide to any persistent targeted species (only if necessary, otherwise hand-pull small quantities).
- Mow or string-trim newly seeded restoration area in spring to limit establishment of cool-season grasses.

SUMMER/FALL

- Monitor plant response to earlier management treatments and calibrate follow-up treatments accordingly.
- To limit re-establishment of invasive plant species within the restoration area, selectively treat re-sprouting invasive and non-native plant species using “cut and wipe” applications, only if necessary, otherwise hand-pull small quantities.

After the treatments of the third season, the management plan should be assessed and re-evaluated. If land management treatments have been successful, only monitoring and hand removal will be required to keep non-native, invasive, and aggressive species from being reintroduced (this will vary depending on actual carbohydrate stores in the roots and environmental conditions throughout the treatment period). Invasive plants generally take a minimum of three to five years of active management to reach a level of successful control.

Invasive plant removal is recommended to be an ongoing condition in the Certificate of Compliance for this project to maintain the restored plant communities. Ongoing invasive plant removal is typically carried out three to five times per year depending on the site conditions and client preference. We ask that this condition be incorporated into the Certificate of Compliance as an ongoing condition.

INVASIVE PLANT MANAGEMENT PROTOCOL

Invasive Plant Management Protocols are designed to maximize the effectiveness of treatments and minimize disturbance to natural resources through mechanical removal, hand removal or selective herbicide application where necessary.

Appropriately timed treatments are based on individual plant life cycles, growing seasons and levels of infestation. A program of selective herbicide application will be instituted during time periods when the plants will translocate the herbicide most efficiently to destroy root materials. As the carbohydrate transfer is dictated primarily by weather, the management timeline is specified by season only, necessitating field expertise to initiate timely management procedures. Please reference the Three Year Land Management Timeline for specific treatment times. All plant species listed in the protocol include the invasive status as defined by the Massachusetts Invasive Plant Advisory Group (MIPAG).

Autumn Olive (*Elaeagnus umbellata*) is a deciduous shrub or small tree that has the ability to fix atmospheric nitrogen, allowing the species to readily out-compete native species and amending the surrounding soils with nitrogen that is available for other invasive plants as well. A cut-stump herbicide application with glyphosate-based herbicide is most effective treatment for this species. (MIPAG Listed Invasive).

Asiatic Bittersweet (*Celastrus orbiculatus*) poses a threat to the preservation of native plant communities because it has the ability to form dense stands in open fields and forests alike. It is most effectively controlled using a "cut and wipe" method of herbicide application with an ultra-low volume Triclopyr-based herbicide. (MIPAG Listed Invasive).

Black Locust (*Robinia pseudoacacia*) is a tree species capable of rapidly colonizing nutrient poor soils and has been documented to produce allelopathic effects on the soil which can inhibit the growth of other plant species in the surrounding area. A cut and wipe application of Glyphosate-based herbicide is recommended to eradicate this species. Black Locust can re-sprout vigorously after initial treatment and follow-up treatment on the resprouts should be conducted using the cut and wipe method of herbicide application. (MIPAG Listed Invasive, Massachusetts Prohibited Plant List).

Poison Ivy (*Toxicodendron radicans*), although a nuisance to people, is a native plant with high wildlife value. The berries which appear in late summer persist into the winter months and provide many songbirds and other wildlife with food in a time when other foods are scarce. Nonetheless Poison ivy can be an aggressive plant of woodlands and wetlands, and spreading tenaciously in landscapes that have been disturbed. Selective management of this species within the areas of invasive plant

removal is important so that it does not overwhelm the area and impede other native plants from becoming established. (Not a State-Listed invasive).

Japanese Black Pine (*Pinus thunbergii*) Japanese Black Pine is a trees native to coastal areas of Japan and South Korea. , It has become a popular horticultural tree for wind breaks and use in coastal landscapes in America. This species can be managed by mechanical removal if soil disturbance is of minimal concern. A cut and wipe application of Glyphosate-based herbicide can also be utilized to minimize soil disturbance. Follow-up management of newly germinating pines should be conducted using the cut and wipe method of herbicide application or hand removal, if limiting the use of herbicides is preferred. (Not a State-Listed invasive).

Japanese Knotweed (*Fallopia japonica*) Japanese knotweed is originally from eastern Asia and was introduced to the United States as an ornamental plant in the early 1800's. It is a particularly aggressive herbaceous plant that has the ability to colonize large areas by spreading vigorously through underground rhizomes and forming dense thickets that exclude native vegetation. Japanese knotweed thrives in wetland habitats as well as disturbed areas such as roadsides. It is also tolerant of shade, salt, high temperatures, and drought. Although difficult to eradicate, Japanese knotweed can be successfully controlled by injecting a Glyphosate-based herbicide, approved for use in or near wetlands, directly into the cut stems. Mechanical management is not recommended due knotweed's ability to re-sprout from small root pieces left in the ground after mechanical removal. Japanese knotweed may also produce allelopathic chemicals leaving ground barren after removal. Most stands take 3-4 years to successfully control (MIPAG Listed Invasive, Massachusetts Prohibited Plant List).

Shrub Honeysuckle (*Lonicera morrowii & bella*) poses a major threat to native habitats. These species aggressively outcompete other native shrubs in the edge habitat and woodland understory. Shrub honeysuckle will invade a wide variety of native habitats, with or without any previous disturbance. According to vegetation management guidelines published by the University of Illinois at Urbana-Champaign, shrub honeysuckle is suspected of producing allelopathic chemicals that inhibit the growth of other plants and allows the honeysuckle to outcompete native plants. Honeysuckle should be mechanically uprooted if conditions allow, where this is not possible a "cut and wipe" herbicide treatment should be used. Regular hand pulling of juvenile plants and spot herbicide treatments are also recommended for persistent re-sprouts. (MIPAG Listed Invasive, Massachusetts Prohibited Plant List).

Rugosa Rose (*Rosa rugosa*) is native to coastal regions of eastern Asia. In Massachusetts, rugosa rose has been widely planted due to its large showy flowers, salt tolerance, and perception as an effective erosion control plant. Rugosa rose

has been found to be less effective than native coastal plants at preventing erosion, as its prolific growth habit tends to shades out more effective erosion control plants. Rugosa rose should be mechanically uprooted if conditions allow; where this is not possible, a cut and wipe or low-volume foliar treatment with a Triclopyr-based herbicide should be used. Regular hand pulling of juvenile plants and spot herbicide treatments are also recommended for persistent re-sprouts. (not a State-Listed invasive).

Vine Honeysuckle (*Lonicera japonica*) is an aggressive perennial vine that can thrive in a range of habitats. It grows in full sun to full shade and can form dense mats that out-compete native vegetation. It produces many seeds that are dispersed by birds and mammals. Vine honeysuckle is semi-evergreen and will continue to photosynthesize after surrounding deciduous vegetation is dormant. Taking advantage of its persistent leaves, control should consist of a late fall application of glyphosate-based herbicide to eradicate. (MIPAG Listed Invasive). Plant Inventory

Native species: Tree and Shrub

Bayberry	<i>Morella caroliniensis</i>
Beach Plum	<i>Prunus maritima</i>
Bearberry	<i>Arctostaphylos uva-ursi</i>
Black Cherry	<i>Prunus serotina</i>
Eastern Red Cedar	<i>Juniperus virginiana</i>
Scrub Oak	<i>Quercus ilicifolia</i>

Native species: Vine and Herbaceous

American Beachgrass	<i>Ammophila breviligulata</i>
Crinkle Hairgrass	<i>Deschampsia flexuosa</i>
Goldenrod	<i>Solidago spp.</i>
Little Bluestem	<i>Schizachyrium scoparium</i>
Pennsylvania sedge	<i>Carex pensylvanica</i>
Poison-Ivy	<i>Toxicodendron radicans</i>

Invasive and Non-Native species: Tree and Shrub

Autumn Olive	<i>Elaeagnus umbellata</i>
Black Locust	<i>Robinia pseudoacacia</i>
Japanese Black Pine	<i>Pinus thunbergii</i>
Rugosa Rose	<i>Rosa rugosa</i>
Shrub Honeysuckle	<i>Lonicera morrowii & bella</i>

Invasive and Non-Native species: Vine and Herbaceous

Asiatic Bittersweet	<i>Celastrus orbiculatus</i>
Vine Honeysuckle	<i>Lonicera japonica</i>

DEFINITIONS

1. Native plants:

A native (indigenous) species is one that occurs in a particular region, ecosystem, and habitat without direct or indirect human actions. Native plants suited for our coastal areas bind sediments with their fibrous roots. Grasses and forbs create a groundcover that not only stabilize sediments, but improve the quality of wildlife habitat and slow water runoff. Many invasive plants lack fibrous root systems and often have allelopathic chemicals which inhibit the growth of surrounding vegetation, thus creating areas of bare earth which lead to faster rates of erosion, decreased wildlife habitat quality, and increased storm water runoff. The loss of native vegetation to invasive plant species degrades wetlands and public interests (as stated below), and decreases the diversity of the biological community.

2. Invasive Plants:

As defined by the Massachusetts Invasive Plant Advisory Group, invasive plants are non-native species that have spread into native plant systems, causing economic or environmental harm by developing self-sustaining populations and dominating and/or disrupting those native systems. Invasive plant's biology and physiology equip them with the means to out-compete native plants, disrupting native plant communities, and compromising the integrity of that ecosystem. Invasive plant species can alter hydrological patterns, soil chemistry, moisture holding capacity and can accelerate erosion.

3. Sapling (tree):

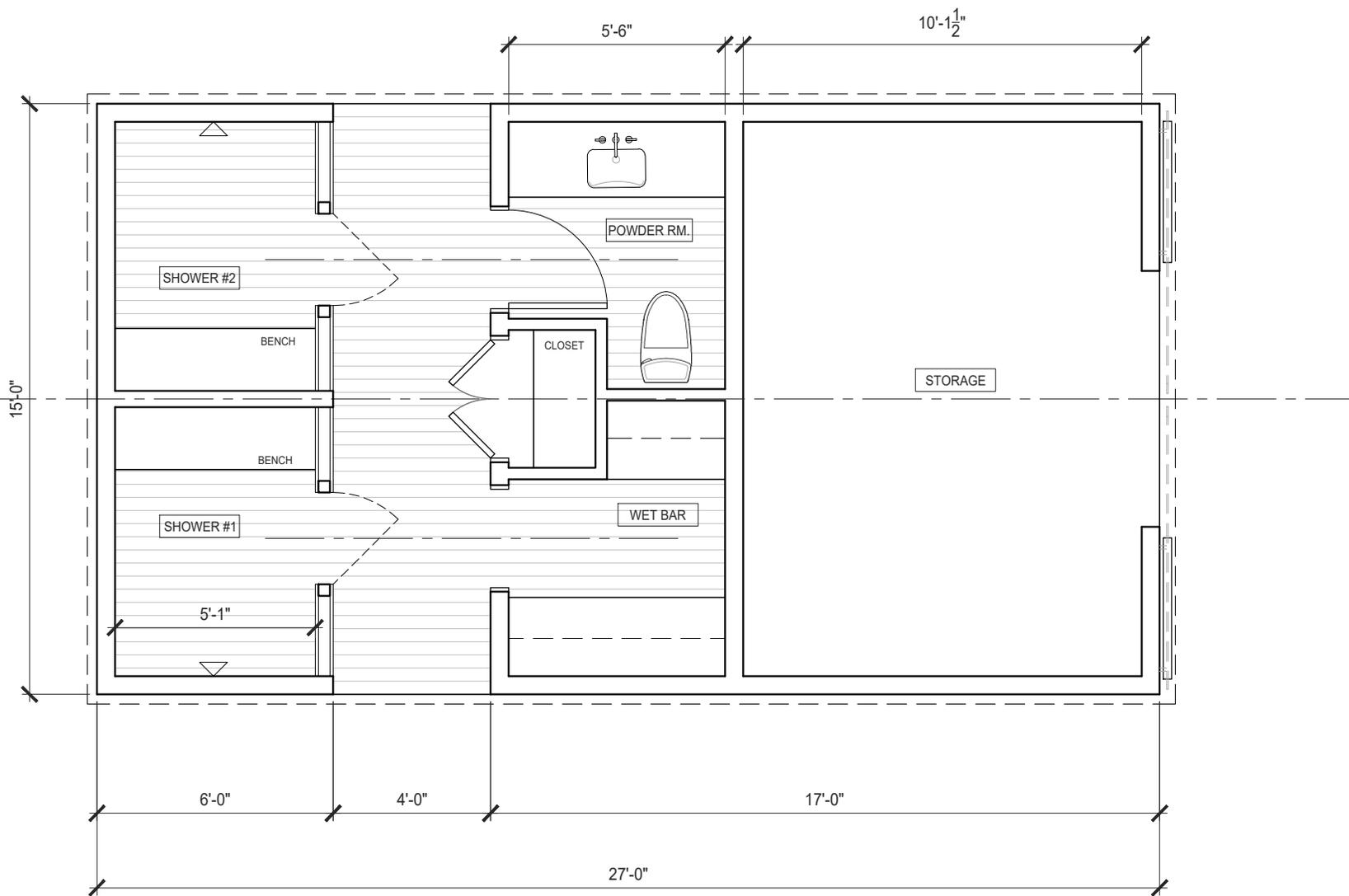
The Massachusetts Department of Environmental Protection Division (DEP), in their handbook entitled, "Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act", defines sapling as woody vegetation under 20 feet in height with a diameter at breast height (dbh) greater than or equal to 0.4 inches to less than 5 inches.

4. Tree:

Massachusetts DEP defines tree as woody plants with a dbh of 5 inches or greater and a height of 20 feet or more in their handbook entitled, "Delineating Bordering Vegetated Wetlands: Under the Massachusetts Wetlands Protection Act".

5. Restorative pruning

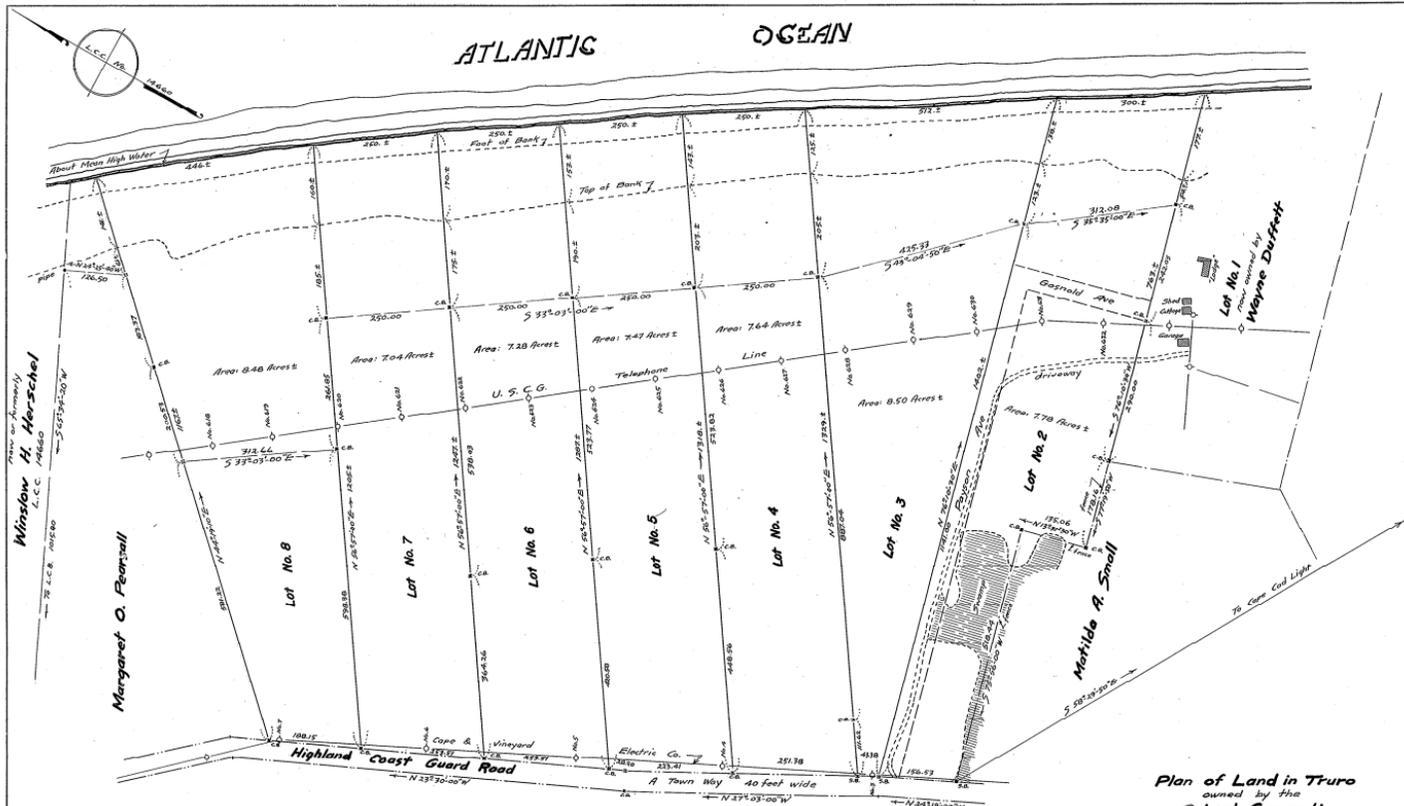
Restorative pruning is a process of pruning older and/or damaged branches, over time, to allow for the regrowth of new healthy branching. During the first season, one third of the improperly pruned or topped branches are proposed to be pruned, which will promote young vigorous growth from the base. In the second season, if necessary, an additional one third of the previously topped branches will be pruned to promote additional new growth. Following the restorative pruning of the shrub in the second season, the native shrubs will be allowed to grow to their natural heights.



1 17CG POOL STRUCTURE- FLOOR PLAN

SCALE: 1/4" = 1'-0"

ATLANTIC OCEAN



own or interest
 Winslow H. Herschel
 L.C.C. MEAD

Margaret O. Fearshall

Lot No. 1
 owned by
 Wayne Durrett

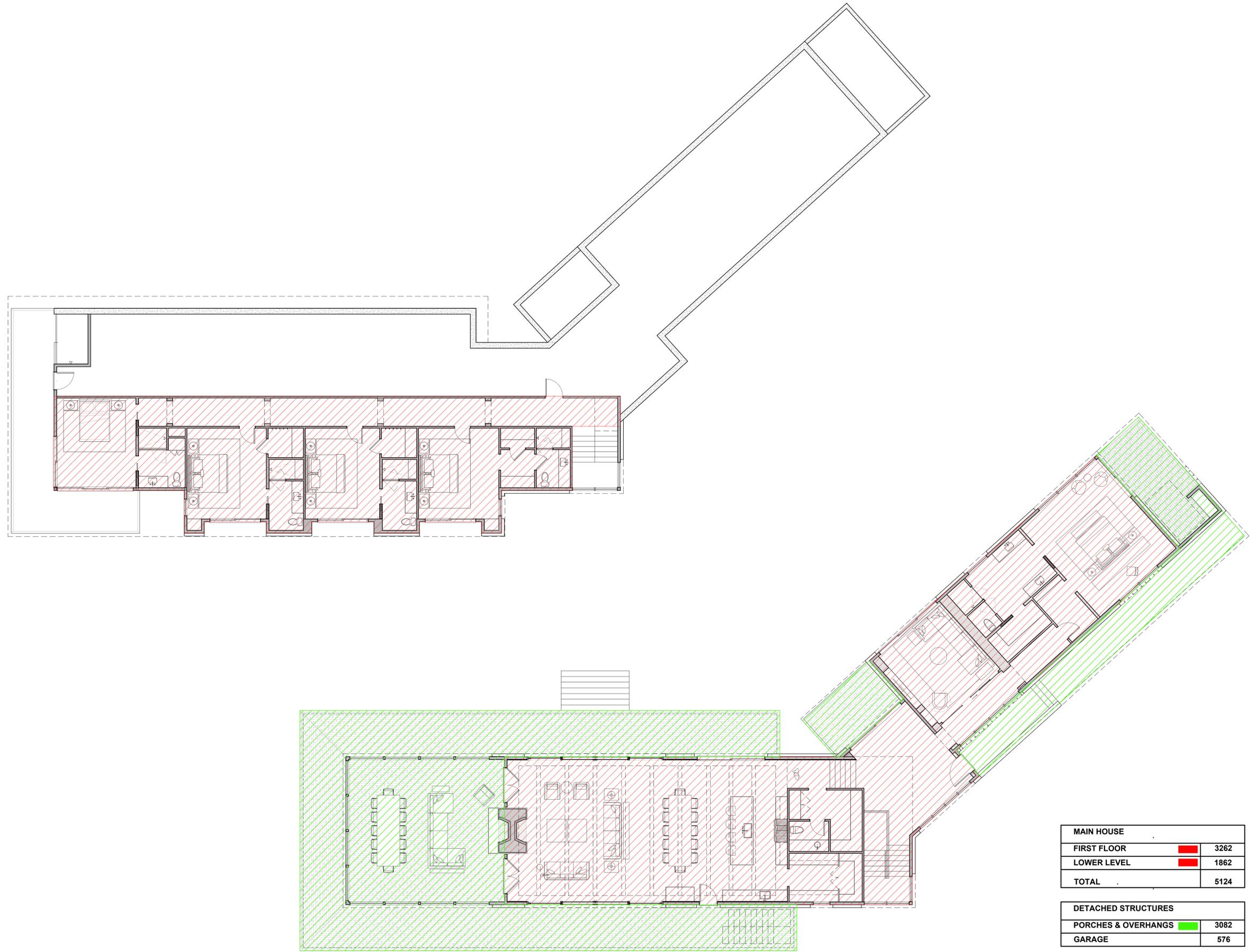
Note: Gosnell and Gosnell Avenues are located as per Plan of Cape Cod Land Co. filed 1978 recorded in Plan Book 1 Page 27 of Barnstable Registry of Deeds. Lot No. 1 owned by Wayne Durrett has a right-of-way in the above named avenues.

Plan of Land in Truro
 owned by the
Scheel Corporation
 Scale 1"=100' April 16, 1952.
 Francis J. Alras C.E. Practitioner, Mass.

BARNSTABLE
 REGISTRY OF DEEDS
 APR 18 1952
 F. H. B. M. A. M.
 RECORDED



PLAN BOOK 103 - PAGE 99



MAIN HOUSE		
FIRST FLOOR	3262	
LOWER LEVEL	1862	
TOTAL	5124	

DETACHED STRUCTURES		
PORCHES & OVERHANGS	3082	
GARAGE	576	

HUTKER
ARCHITECTS

NOT FOR
CONSTRUCTION

OUTER SHORE
NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

ZONING

A001

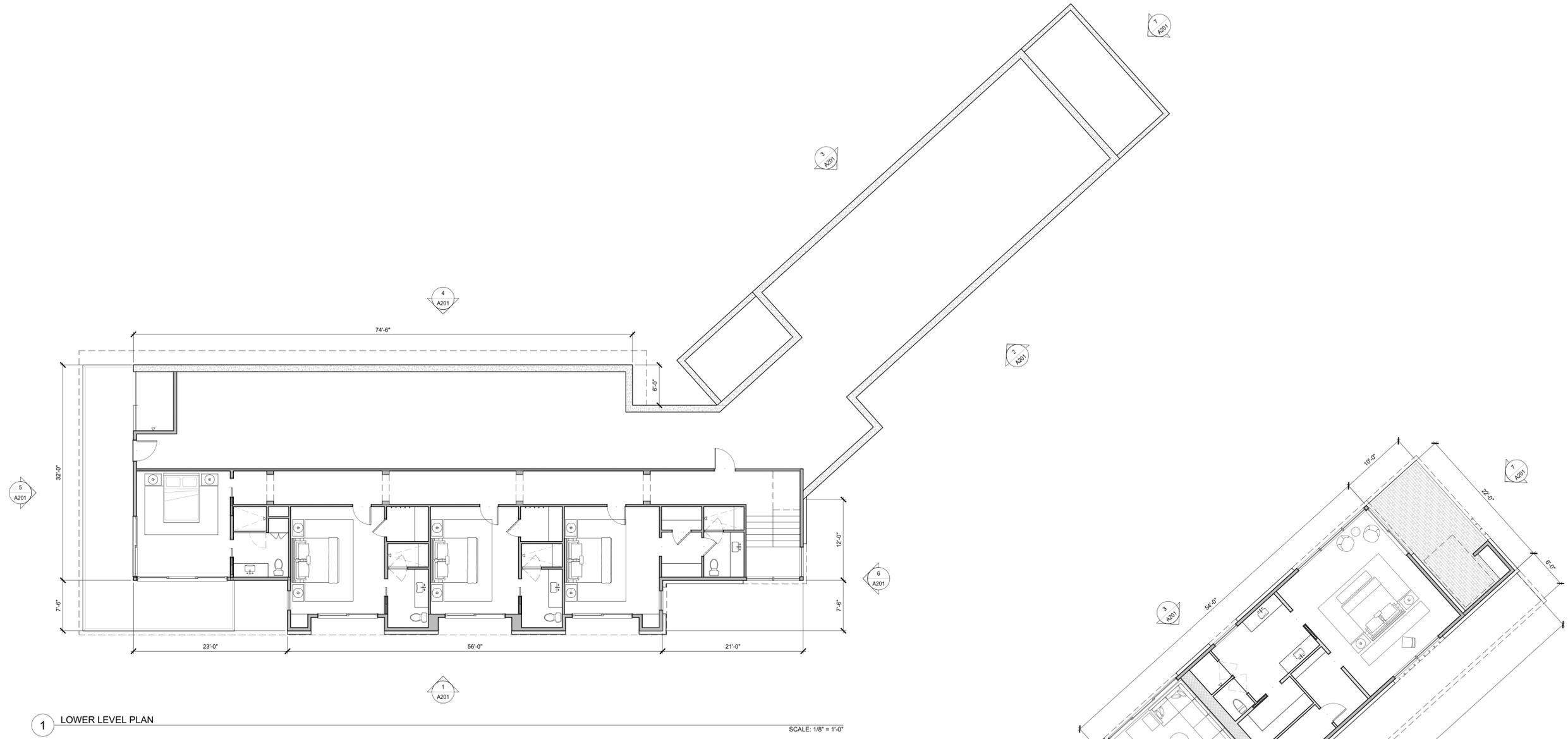
2021.05.24 INTERIOR ELEVATIONS

2022.01.05 PROGRESS FLOOR PLAN

2022.02.02 PROGRESS FLOOR PLAN

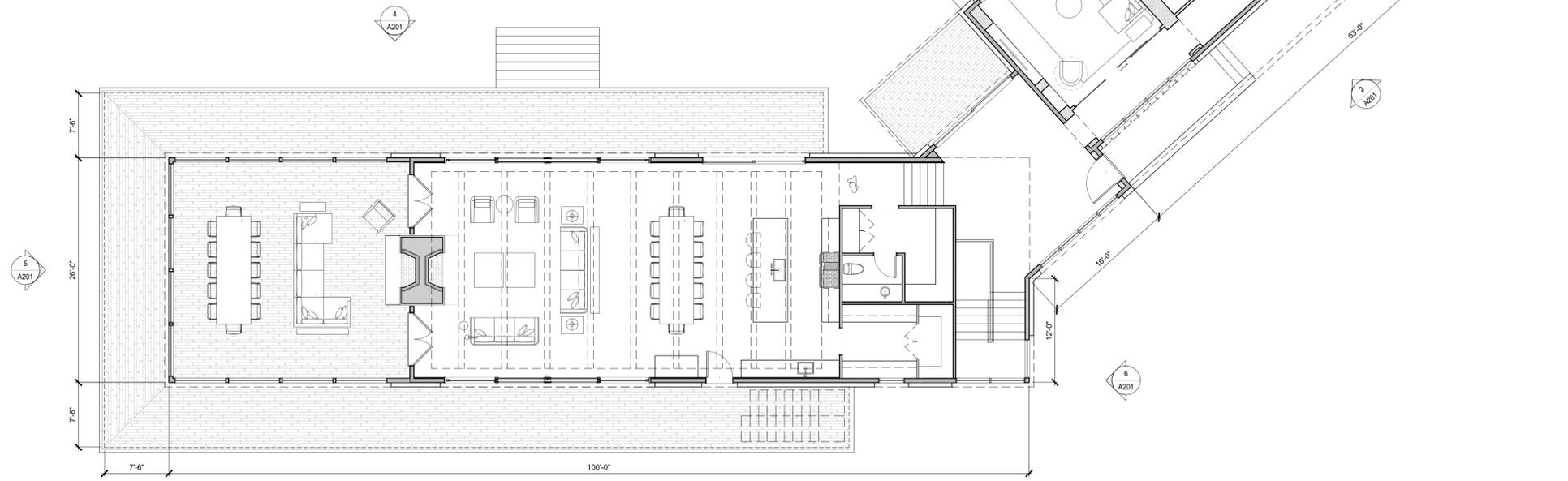
2022.02.03 ZONING REVIEW

2022.03.17 PLANNING BOARD



1 LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

2021.05.24 INTERIOR ELEVATIONS

2022.01.05 PROGRESS FLOOR PLAN

2022.02.02 PROGRESS FLOOR PLAN

2022.02.03 ZONING REVIEW

2022.03.17 PLANNING BOARD

HUTKER
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OUTER SHORE
NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

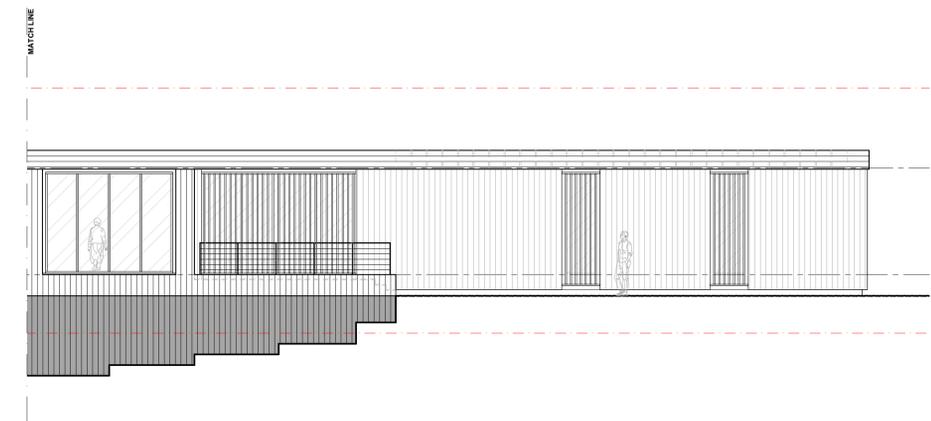
ZONING FLOOR
PLANS

A101



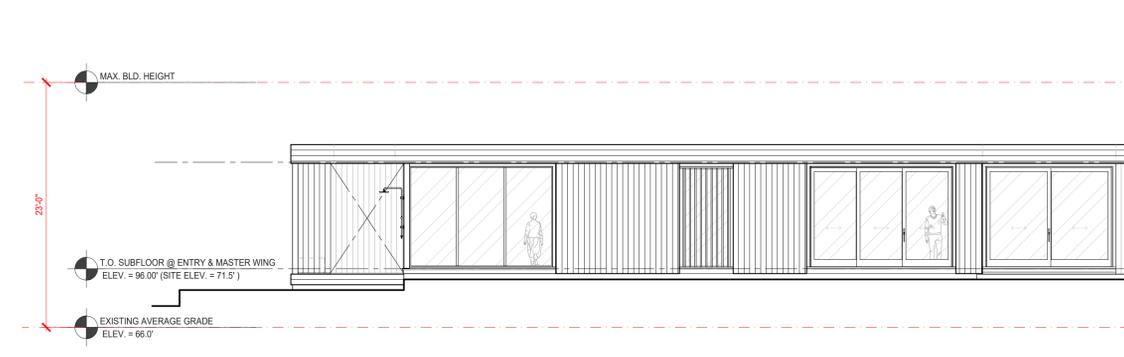
1 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



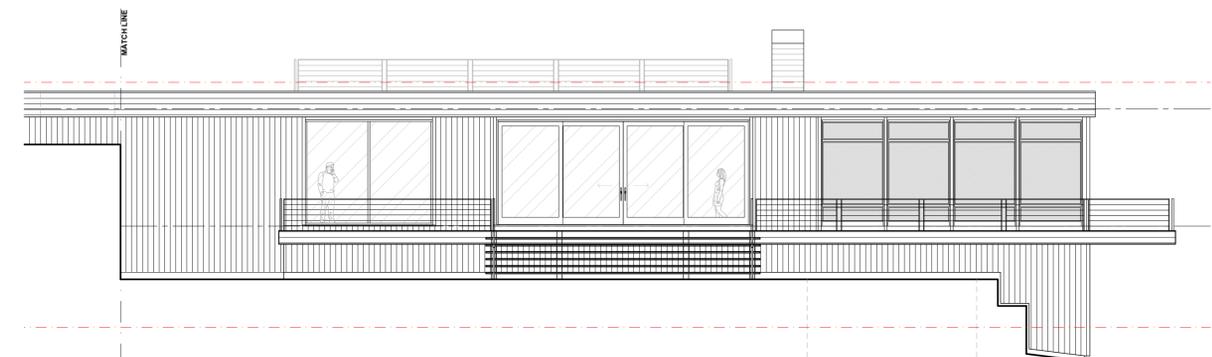
2 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



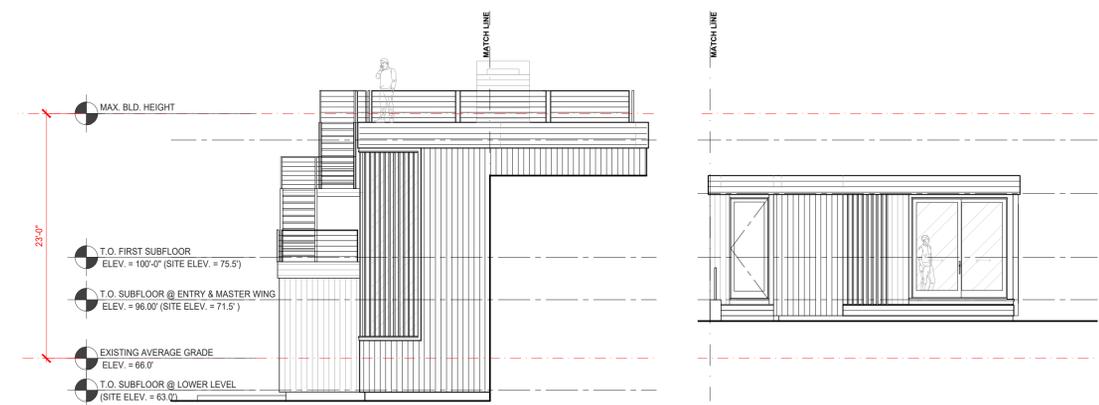
4 PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



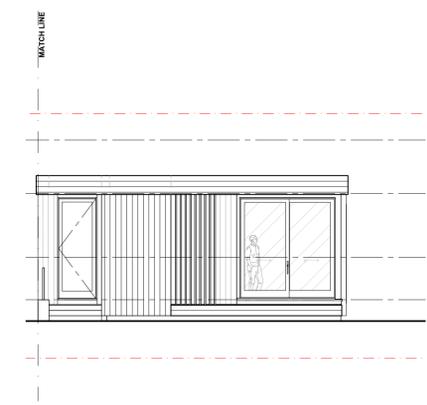
5 WEST ELEVATION

SCALE: 1/8" = 1'-0"



6 PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"



7 PARTIAL EAST ELEVATION

SCALE: 1/8" = 1'-0"







Wall luminaires
with light emissions on one or two sides

A series of wall mounted luminaires with light emission on one or two sides. The narrow beam light distribution of the luminaires is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

BEGA 19 537 small opening wiring box (included) required for proper installation.

Die-cast aluminum · Safety glass
Reflector made of pure anodized aluminum

LED color temperatures: 2700 K, 3000 K, 3500 K, 4000 K

BEGA luminaires offer a minimum service life of 60,000 hours, with suitable LED replacement modules guaranteed for up to 20 years after date of purchase. Further LED technical data including luminous flux, CRI, dimming and electrical characteristics are provided on the individual luminaire specification sheets, available at www.bega-us.com

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder.

NRTL listed to North American standards · Suitable for wet locations
Protection class IP 65



Light emission on **one-side**

	LED	β	A	B	C	D	Required wiring box
66 655	7.9 W	21°	4 3/8"	9 1/8"	6 1/4"	1 1/8"	19 537
24 034	12.1 W	17°	4 3/8"	9 1/8"	6 1/4"	1 1/8"	19 537
66 698	12.5 W	18°	5 7/8"	11"	7 3/4"	1 1/8"	19 537
24 035	18.1 W	15°	5 7/8"	11"	7 3/4"	1 1/8"	19 537



Light emission on **two-sides**

	LED	β	A	B	C	D	Required wiring box
66 516	15.8 W	21°	4 3/8"	9 1/8"	6 1/4"	1 1/8"	19 537
24 008	24.2 W	18°	4 3/8"	9 1/8"	6 1/4"	1 1/8"	19 537
66 519	25.0 W	17°	5 7/8"	11"	7 3/4"	1 1/8"	19 537
24 009	36.2 W	13°	5 7/8"	11"	7 3/4"	1 1/8"	19 537

β = Beam angle

SURVEY PROVIDED BY:

COASTAL ENGINEERING CO.
260 CRANBERRY HWY.
ORLEANS, MA 02653
508-255-6511

LANDSCAPE ARCHITECT:

HORIUCHI SOLIEN INC.
P.O. BOX 914 - 200 MAIN STREET
FALMOUTH, MA 02541
508-540-5320

ARCHITECT:

HUTKER ARCHITECTS
533 PALMER AVENUE
FALMOUTH, MA 02540
508-540-0048

NOTES:

- APPROXIMATELY THREE GROWING SEASONS WILL BE REQUIRED TO CONTROL AND/OR ERADICATE INVASIVE PLANT SPECIES. AFTER THREE GROWING SEASONS, MONITORING AND MINIMAL MAINTENANCE WILL BE ONGOING.
- HERBICIDES ARE TO BE APPLIED BY LICENSED INDIVIDUALS ONLY.
- A TEMPORARY, AUTOMATED ABOVE-GROUND IRRIGATION SYSTEM WILL BE REQUIRED FOR THE FIRST TWO/THREE GROWING SEASONS WHILE NEW PLANTS ARE ESTABLISHING. ONCE PLANTS ARE ESTABLISHED IRRIGATION WILL BE REMOVED.
- ALL RESTORATION PLANTINGS WILL INCORPORATE EXISTING NATIVE SPECIES UNLESS OTHERWISE SPECIFIED IN THE APPROVED DOCUMENTS.
- ANY DISCREPANCIES BETWEEN THE PLANTING SPECIFICATION AND THE PLAN, THE PLAN SHALL TAKE PRECEDENCE.
- HAND-WEEDING AND SELECTIVE HERBICIDE TREATMENTS WILL BE REQUESTED AS AN ONGOING CONDITION TO STOP REINTRODUCTION OF INVASIVE AND AGGRESSIVE PLANT SPECIES INTO THE PROJECT AREA.
- ALL EXPOSED SOILS WILL BE SEEDED WITH NATIVE CAPE COD MEADOW MIX UNLESS OTHERWISE SPECIFIED.
- IMPLEMENTATION OF THE RESTORATION MEASURES SHOWN ON THIS DOCUMENT TO BE OVERSEEN BY A CERTIFIED ECOLOGICAL RESTORATION PRACTITIONER.



REV	DATE	DESCRIPTION
1	3/18/22	Revised to include labeling for existing footpaths and revisions to cottage 6.

**OUTER SHORE
NOMINEE TRUST**
17 COAST GUARD ROAD
TRURO, MA

DATE: 1/27/2022	SCALE: 1" = 20'
DRAWN BY: JS	CHECKED BY: IP

FOR PERMITTING PURPOSES ONLY
THIS DRAWING IS NOT INTENDED FOR
CONSTRUCTION

EXISTING VEGETATION COVER AND VEGETATION MANAGEMENT (13,730 SQFT*)

*Areas of invasive plant management outside of Conservation Jurisdiction have not been included in the square foot totals.



AREA 1: EXISTING NATIVE SHRUBLAND/HEATHLAND DEGRADED BY INVASIVE PLANT SPECIES (8,130 SQFT*)

Methods will include a "cut and wipe" herbicide treatment to treat individual stems of the targeted species and hand removal of the debris. On species like vine honeysuckle a low-volume targeted foliar method is proposed to treat stems that are too small to allow for effective "cut and wipe" treatments. No machine removal is proposed. Poison ivy will only be managed in areas where it can come into contact with people near the existing foot paths.



AREA 2: JAPANESE BLACK PINE MANAGEMENT (4,770 SQFT*)

Methods will include a "cut and wipe" herbicide treatment and hand removal of the debris. Pine seedlings will be hand pulled. If Asiatic bittersweet or other invasive vines are discovered within the colonies of Japanese black pine they will also be treated with a "cut and wipe" method. No machine removal is proposed.



AREA 3: JAPANESE KNOTWEED MANAGEMENT (830 SQFT*)

The management method will include an herbicide injection directly into each stem of the Japanese knotweed. A low-volume targeted foliar method is proposed to treat knotweed stems too small for the injection method to be effective.

CAPE COD MEADOW MIX TO BE SEEDED ON BARE SOILS FROM INVASIVE PLANT MANAGEMENT OR PROPOSED GRADING FOR CONSTRUCTION ACTIVITIES:

common name	scientific name
Broom Sedge	<i>Andropogon virginicus</i>
Creeping Red Fescue	<i>Festuca rubra</i>
Crinkle Hair Grass	<i>Deschampsia flexuosa</i>
Fox Sedge	<i>Carex vulpinoidea</i>
Little Bluestem	<i>Schizachyrium scoparium</i>
Purple Lovegrass	<i>Eragrostis spectabilis</i>
Upland Bentgrass	<i>Agrostis perennans</i>



1 EXISTING CONDITIONS AND VEGETATION MANAGEMENT

Scale: 1"= 40'

MARITIME SHRUBLAND/HEATHLAND PLANT COMMUNITY RESTORATION (18,360*)

*Areas of restoration planting shown on this plan outside of Conservation Jurisdiction have not been included in the square foot totals or planting quantities.



278 native shrubs to be planted from the following list (6,960 SQFT* @ 5' on center):

common name	scientific name
Bayberry	<i>Morella carolinensis</i>
Beach Plum	<i>Prunus maritima</i>
Bearberry	<i>Arctostaphylos uva-ursi</i>
Black Huckleberry	<i>Gaylussacia baccata</i>
Lowbush Blueberry	<i>Vaccinium angustifolium</i>
Sweetfern	<i>Comptonia peregrina</i>



Woody heathland species to be planted from the following list (3,000 SQFT*)

common name	scientific name
Bearberry	<i>Arctostaphylos uva-ursi</i>
Lowbush Blueberry	<i>Vaccinium angustifolium</i>



2,400 Native grasses and forbs to be restored within the Heathland (5,370 SQFT* @ 18" on center)

common name	scientific name
American Beachgrass	<i>Ammophila breviflora</i>
Butterfly Weed	<i>Asclepias tuberosa</i>
Crinkle Hair Grass	<i>Deschampsia flexuosa</i>
Little Bluestem	<i>Schizachyrium scoparium</i>
Pennsylvania Sedge	<i>Carex pensylvanica</i>
Stiff Aster	<i>Ionactis linatifolia</i>



35 Native tree species to replace the non-native Japanese black pines proposed for removal:

common name	scientific name
Eastern Red Cedar	<i>Juniperus virginiana</i>
Pitch Pine	<i>Pinus rigida</i>
Scrub Oak	<i>Quercus ilicifolia</i>

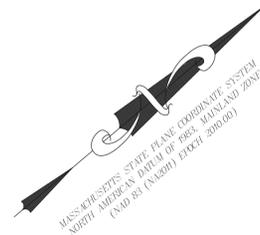


Existing native shrubs to be conserved (6,000 SQFT)



2 RESTORATION PLAN

Scale: 1"= 30'



LEGEND

- BOUND
- IRON PIPE
- ⊗ SEPTIC MANHOLE
- ⊕ WATER GATE
- ⊖ IRRIGATION
- ⊙ UTILITY POLE
- GUY WIRE
- ⊞ ELECTRIC METER
- ⊚ PROPANE TANK
- ⊙ POST
- ⊙ MISC. SIGN
- WIRE/SNOW FENCE
- SPLIT RAIL FENCE
- STOCKADE FENCE
- UNDERGROUND ELECTRIC SERVICE
- ⊙ ELECTRIC SERVICE
- CONTOUR
- ⊙ SPOT ELEV.
- ⊙ CONIFER TREE
- ⊙ DECIDUOUS TREE

REFERENCE:

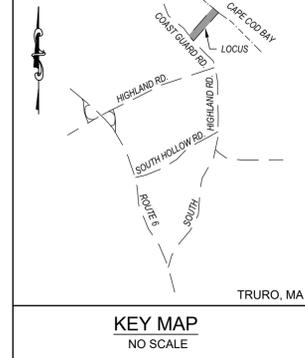
ASSESSORS MAP 34, PARCEL 3
 PLAN BOOK 103, PAGE 99
 PLAN BOOK 143, PAGE 51

FLOOD ZONE:

FLOOD ZONE VE (EL 16) AND ZONE X SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #25001C0137J EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS AND/OR FEMA PRIOR TO SITING ANY PROPOSED STRUCTURES.

DATUM:

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

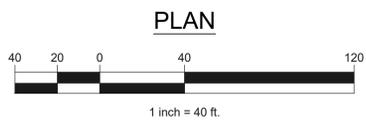
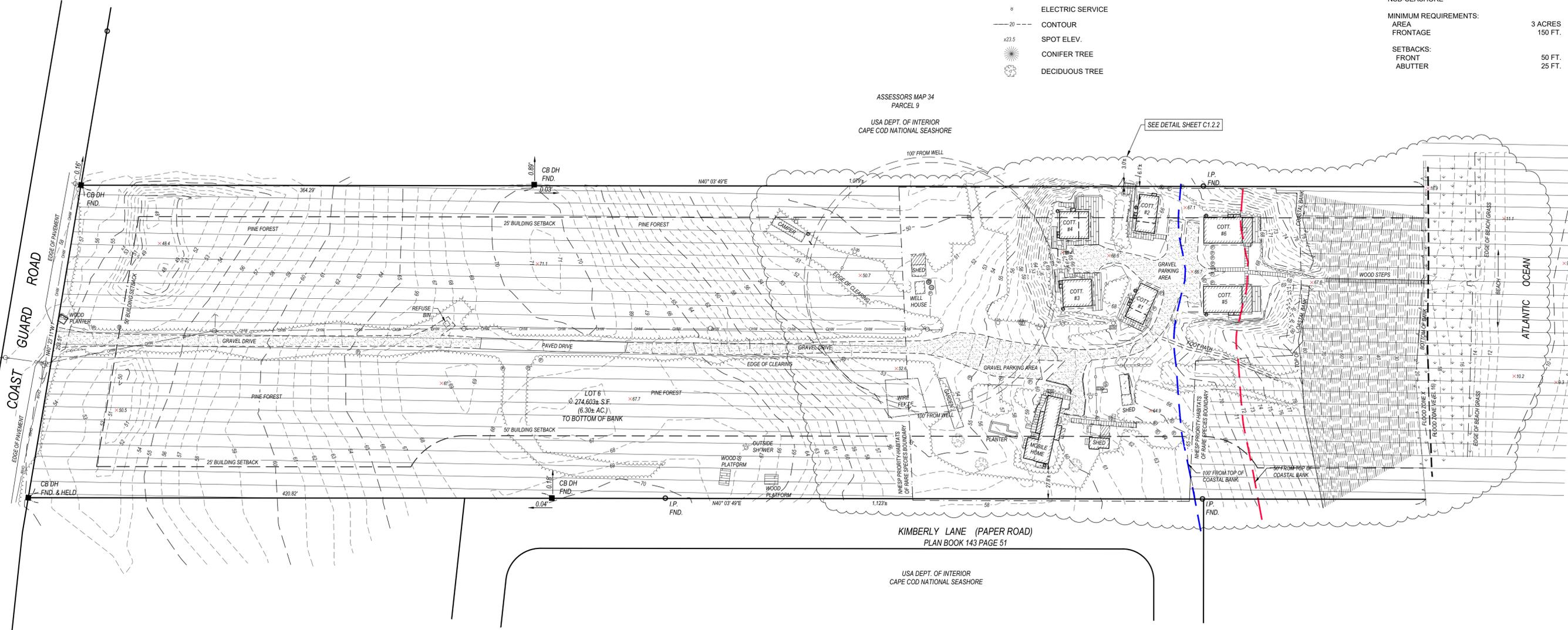


ZONING CLASSIFICATION:

NSD-SEASHORE
 MINIMUM REQUIREMENTS:
 AREA 3 ACRES
 FRONTAGE 150 FT.
 SETBACKS:
 FRONT 50 FT.
 ABUTTER 25 FT.



NO.	DATE	REVISION	BY
1	5/20/2021	REVISE ZONING SETBACK DIMENSIONS	JDM



SURVEY NOTES:

1. RIPARIAN BOUNDARIES ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES AND THAT THE BOUNDARY SHOWN HEREON MAY OR MAY NOT REPRESENT THE ACTUAL LOCATION OF THE LIMIT OF TITLE.
2. ONLY SURFACE LOCATIONS OF UTILITIES ARE SHOWN HEREON. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
3. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT SHOW OR REVEAL ANY FACTS THAT WOULD BE DISCLOSED BY ONE.

I HEREBY CERTIFY THAT THE CONDITIONS SHOWN HEREON ARE LOCATED AS THEY EXISTED ON THE GROUND AS OF 04-26-21.

DATE 05-20-2021

P.L.S. *Todd M. Chapman*

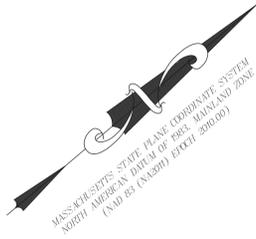


PROJECT: OUTER SHORE NOMINEE TRUST
 17 COAST GUARD ROAD TRURO, MA
 SHEET TITLE: PLAN SHOWING EXISTING SITE CONDITIONS

SCALE: AS NOTED
 DRAWING FILE: C19600-Ex-Con.dwg
 DATE: 04-28-21
 DRAWN BY: MAP
 CHECKED BY: JDM/TMC

1 OF 2 SHEETS
 PROJECT NO. C19600.00

F:\SDSKPROJ\C19600\C19600-001\19600-001-19600-001.dwg 2/2/2022 9:38 AM



MASSACHUSETTS STATE PLANNING COORDINATE SYSTEM
 NORTH AMERICAN DATUM OF 1983, MARIANLAND ZONE
 (AND E81 (NAD83) EPOCH 2011.000)

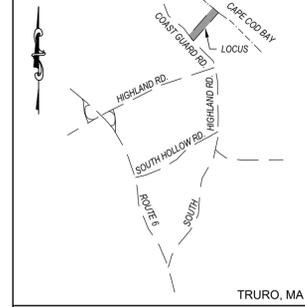
ASSESSORS MAP 34
 PARCEL 9

USA DEPT. OF INTERIOR
 CAPE COD NATIONAL SEASHORE

100' FROM WELLS

LEGEND

- BOUND
- IRON PIPE
- ⊗ SEPTIC MANHOLE
- ⊕ WATER GATE
- ⊖ IRRIGATION
- ⊙ UTILITY POLE
- ⊚ GUY WIRE
- ⊛ ELECTRIC METER
- ⊜ PROPANE TANK
- ⊝ POST
- ⊞ MISC. SIGN
- WIRE/SNOW FENCE
- SPLIT RAIL FENCE
- STOCKADE FENCE
- UNDERGROUND ELECTRIC SERVICE
- ⊙ ELECTRIC SERVICE
- CONTOUR
- ⊙ SPOT ELEV.
- ☀ CONIFER TREE
- ☀ DECIDUOUS TREE



KEY MAP
 NO SCALE

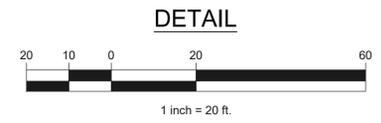
COASTAL engineering co.
 260 Cranberry Hwy., Orleans, MA 02653
 508-255-6511 F 508-255-6700 F

NO.	DATE	REVISION
1	5/20/2021	REVISE ZONING SETBACK DIMENSIONS



KIMBERLY LANE (PAPER ROAD)
 PLAN BOOK 143 PAGE 51

USA DEPT. OF INTERIOR
 CAPE COD NATIONAL SEASHORE



I HEREBY CERTIFY THAT THE
 CONDITIONS SHOWN HEREON ARE
 LOCATED AS THEY EXISTED ON THE
 GROUND AS OF 04-26-21.

DATE 05-20-2021

P.L.S. *Todd M. Chapman*



PROJECT	OUTER SHORE NOMINEE TRUST
LOCATION	TRURO, MA
DRAWING FILE	C19600-Ex-Con.dwg
DATE	04-28-21
DRAWN BY	MAP
CHECKED BY	JDM

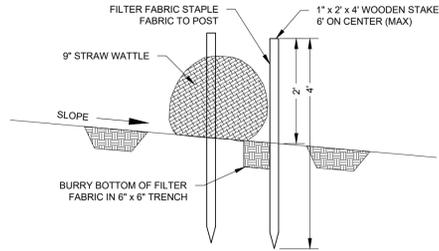
C1.2.2
 2 OF 2 SHEETS
 PROJECT NO. C19600.00

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ZONING TABLE

ZONING DISTRICT: NSD-SEASHORE		ASSESSORS MAP 34 PARCEL 3	
SUBJECT	REQUIRED	EXISTING	PROPOSED
LOT AREA ¹	3 ACRES	274,603± S.F. ⁵ (6.30± ACRES)	NO CHANGE
FRONTAGE - COAST GUARD ROAD	150 FT.	253.51 FT.	NO CHANGE
SETBACK - COAST GUARD ROAD ²	50 FT.	555.6± FT. (CAMPER)	715.2± FT. (GARAGE)
SETBACK - KIMBERLY LANE ²	50 FT.	27.8± FT. (MOBILE HOME)	59.1± FT. (DWELLING)
SIDE SETBACK - NORTH ²	25 FT.	6.1± FT. (COTTAGE #2)	24.4± FT. ⁹ (COTTAGE #6)
SIDE SETBACK - SOUTH ²	25 FT.	27.8± FT. (MOBILE HOME)	59.1± FT. (DWELLING)
BUILDING COVERAGE ³	-	6,204± S.F.	6,095± S.F.
GROSS FLOOR AREA ⁴	5,260 S.F. ⁷	N/A	5,260 S.F. ^{7,9}
BUILDING HEIGHT ⁴	2 STY. OR 23 FT. MAX.	N/A	22.6± FT.

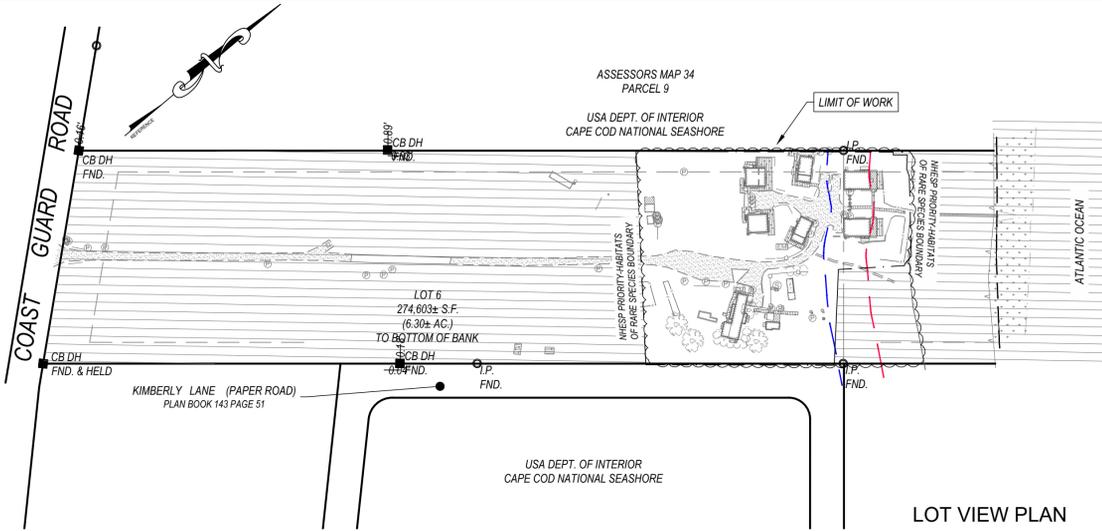
- PER TRURO ZONING BYLAW SECTION 50.1 A NOTE 8
- PER TRURO ZONING BYLAW SECTION 50.1 A
- BUILDING COVERAGE INCLUDES MOBILE HOME AND CAMPER
- PER TRURO ZONING BYLAW SECTION 50.1 A NOTE 5a. EXISTING AVERAGE GRADE ELEVATION = 66.0
- REFER TO COASTAL ENGINEERING "PLAN SHOWING EXISTING SITE CONDITIONS" PLS STAMPED 05-20-2021
- PER TRURO ZONING BYLAW SECTION 30.3.1 A.2
- 5,260 S.F. ALLOWED WITH A SPECIAL PERMIT
- EXISTING NON-CONFORMING SIDE SETBACK AT COTTAGE #6
- 5,124 S.F. IS DWELLING, 136 S.F. IS COTTAGE #6



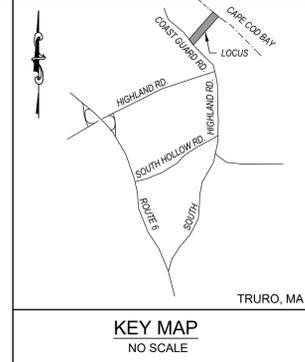
WATTLE SILT BARRIER DETAIL
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL NOTES:

- THE SEDIMENT CONTROL BARRIER SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL STABILIZATION AND RE-VEGETATION OF DISTURBED AREAS.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND SHALL PROTECT THE CONSTRUCTION SITE FROM EROSION UNTIL COMPLETION OF SITE WORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
- THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHOULD BE POLICED DAILY TO REMOVE ANY LITER OR DEBRIS.
- MATERIAL STOCKPILES THAT ARE IN PLACE FOR AN EXTENDED PERIOD OF TIME SHALL BE STABILIZED WITH VEGETATION MULCHING, EROSION CONTROL BLANKETS, AND OTHER MEASURES THAT ARE NECESSARY TO PREVENT THE DISCHARGE OF SEDIMENT FROM PROJECT SITE.



LOT VIEW PLAN
0 25 50 100
1" = 100'



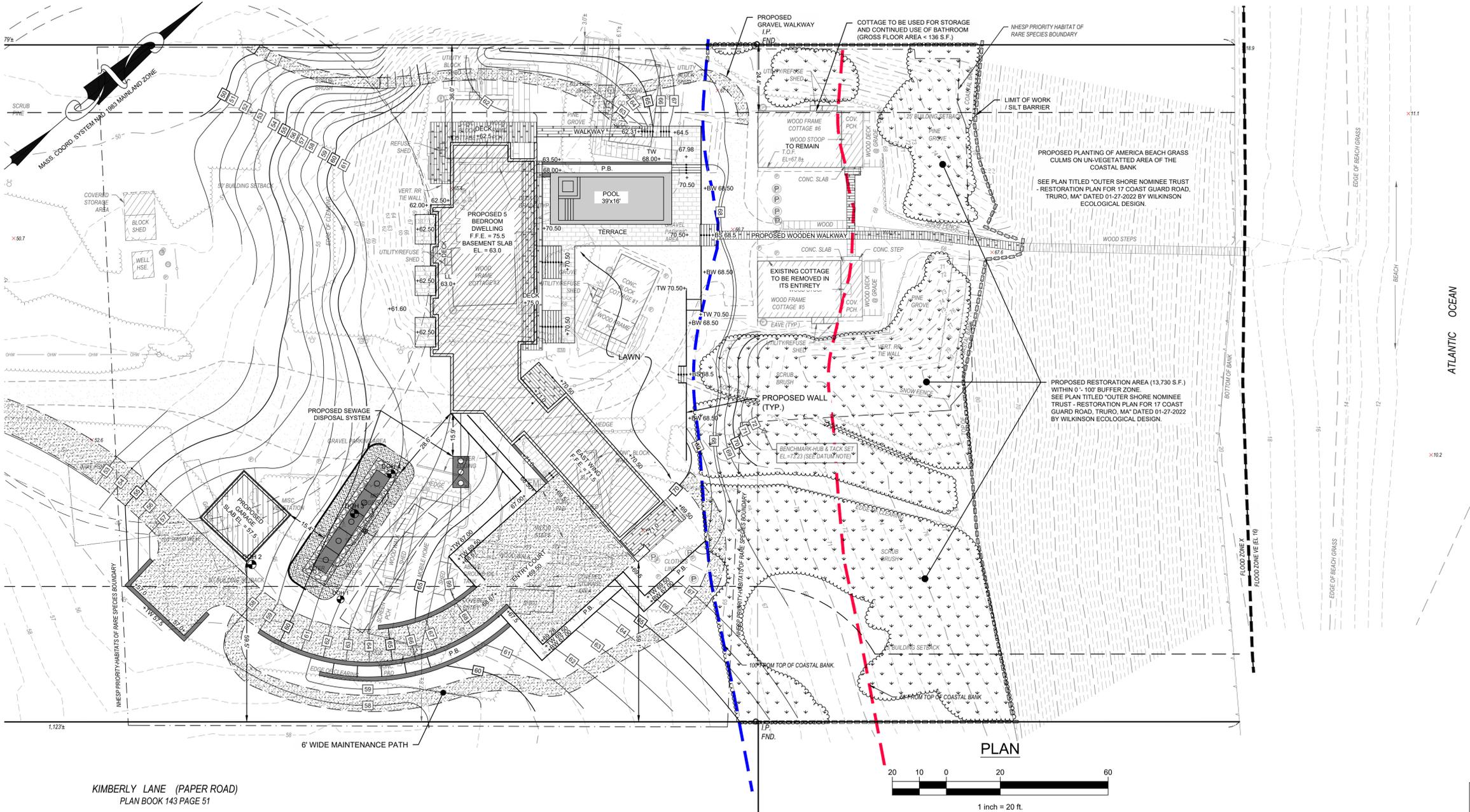
REFERENCE:
ASSESSORS MAP 34, PARCEL 3
PLAN BOOK 103, PAGE 99
PLAN BOOK 143, PAGE 51

FLOOD ZONE:
FLOOD ZONE VE (EL 16) AND ZONE X SHOWN ON THIS DRAWING ARE A DIRECT REPRESENTATION OF THE GRAPHIC FLOOD ZONE BOUNDARIES SHOWN ON FEMA FIRM PANEL #25001C0137J EFFECTIVE JULY 16, 2014. PLEASE NOTE THAT SITE SPECIFIC FLOODPLAIN BOUNDARIES MAY VARY DUE TO DIFFERENT INTERPRETATIONS OF THESE BOUNDARIES. USERS ARE ADVISED TO VERIFY LOCATION OF THESE BOUNDARIES WITH THE DESIGNATED COMMUNITY FLOODPLAIN MANAGERS AND/OR FEMA PRIOR TO SITING ANY PROPOSED STRUCTURES.

DATUM:
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

COTTAGE #6 UTILITY NOTE:

- EXISTING WATER SERVICE TO REMAIN.
- EXISTING ELECTRIC SERVICE TO REMAIN.
- EXISTING CESSPOOL SHALL BE ABANDONED IN ACCORDANCE WITH TITLES 5 AND 60H REQUIREMENTS. PLUMBING CONNECTED TO THE EXISTING CESSPOOL SHALL BE CONNECTED TO A NEW SEPTIC SYSTEM USING 4" SCH 40 PIPING. THE 4" SCH 40 PIPING SHALL BE FIELD-LOCATED AT THE WEST SIDE OF COTTAGE#6 WITHIN A 1-FOOT WIDE TRENCH.



PLAN
20 10 0 20 60
1 inch = 20 ft.

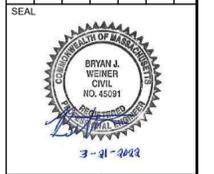
LEGEND

■	BOUND
○	IRON PIPE
⊙	SEPTIC MANHOLE
⊕	WATER GATE
⊗	IRRIGATION
⊘	UTILITY POLE
→	GUY WIRE
⊖	ELECTRIC METER
⊕	PROPANE TANK
⊙	POST
⊖	MISC. SIGN
—	WIRE/SNOW FENCE
—	SPLIT RAIL FENCE
—	STOCKADE FENCE
—	UNDERGROUND ELECTRIC SERVICE
—	ELECTRIC SERVICE
—	CONTOUR
⊕	SPOT ELEV.
⊙	CONIFER TREE
⊙	DECIDUOUS TREE

PERMIT PLAN
NOT FOR CONSTRUCTION



NO.	DATE	REVISION	BY



OUTER SHORE NOMINEE TRUST
17 COAST GUARD ROAD
TRURO, MA

PLAN SHOWING PROPOSED DWELLING AND SITE IMPROVEMENTS

PROJECT: 17 COAST GUARD ROAD TRURO, MA
SHEET TITLE: PLAN SHOWING PROPOSED DWELLING AND SITE IMPROVEMENTS
SCALE: 1" = 20'
DRAWING FILE: C19600-CIV
DATE: 03-18-22
DRAWN BY: DAV
CHECKED BY: BJW

C2.1.2
1 OF 1 SHEETS
PROJECT NO. C19600.00

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TOWN OF TRURO

ZONING BOARD OF APPEALS

Meeting Minutes

February 28, 2022 – 5:30 pm

REMOTE ZONING BOARD OF APPEALS MEETING

Members Present (Quorum): Art Hultin (Chair); Chris Lucy (Vice Chair); Fred Todd; Heidi Townsend; Darrell Shedd, Virginia Frazier (Alt.)

Members Absent:

Other Participants: Barbara Carboni – Town Planner/Land Use Counsel; Liz Sturdy – Planning Department Administrator; Select Board Liaison John Dundas; Ivan and Kevin Becica (Applicants); Ben Zehnder (Attorney for Victor Rivera and Laura Bergan); Victor Rivera and Laura Bergan (Applicants)

Remote meeting convened at 5:30 pm, Monday, February 28, 2022, by Town Planner/Land Use Counsel Carboni who announced that this was a remote meeting which is being broadcast live on Truro TV Channel 18 and is being recorded. Town Planner/Land Use Counsel Carboni also provided information as to how the public may call into the meeting or provide written comment. Members introduced themselves.

Public Comment Period

The Commonwealth's Open Meeting Law limits any discussion by Members of the Board of an issue raised to whether that issue should be placed on a future agenda. Speakers are limited to no more than 5 minutes. No comments were made.

Public Hearing – Continued

Chair Hultin announced that Vice Chair Lucy would assume the chair for the two continued public hearings without objection from any of the ZBA Members. Chair Hultin did not vote on the motion for the matter of **2021-008/ZBA**.

2021-008/ZBA – Ivan and Kevin Becica for property located at 38 Longnook Road, Truro, MA (Atlas Map 43, Parcel 120, Registry of Deeds title reference: Book 33638, Page 171). Applicant seeks a Special Permit under M.G.L. Chapter 40 A, §6 and §30.7 and §50.1 of the Truro Zoning Bylaws for reconstruction of a dwelling and garage on a lot nonconforming as to area.

Vice Chair Lucy gave the Applicants an opportunity to update the Members and Mr. Becica said that a supplemental plan had been submitted since the last hearing. The supplemental plan is in accordance with the condition set by the Planning Board that has approved the project. Mr. Becica stated that Supplement #2 deleted the term **"ADU"** and that is the only change on the drawing.

Vice Chair Lucy asked if any Members had any questions and Chair Hultin asked why Mr. Becica asked for the background regarding the ADU that was included in the original plan. Mr. Becica clarified that it was an oversight of his and his architect as there was never an intention to add an ADU.

Vice Chair Lucy asked if anyone from the public had any comment on this matter and there were none.

Vice Chair Lucy recognized Town Planner/Land Use Counsel Carboni who noted that Member Todd had joined the meeting and she added that the finding should be included in the motion for approval of the Special Permit.

Member Shedd made a motion to grant a Special Permit for 2021-008/ZBA and the Board finds that the alteration or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use of structure and that the alteration or extension will exist in harmony with the general purpose and intent of this Bylaw.

Member Townsend seconded the motion.

So voted, 5-0-1, motion carries.

Vice Chair Lucy announced the unanimous vote and thanked Mr. and Ms. Becica who thanked the Board and left the meeting.

2021-009/ZBA – Victor M. Rivera and Laura W. Bergan, Trs., The Rivera Bergan Family Trust for property located at 82 South Pamet Road, Truro, MA (Atlas Map 51, Parcel 57, Registry of Deeds title reference: Book 34393, Page 200). Applicant seeks (1) Special Permit under M.G.L. Chapter 40 A, §6 and §30.7.A of the Truro Zoning Bylaw concerning replacement of pre-existing, nonconforming dwelling and new garage on a lot nonconforming as to area; and (2) Special Permit to exceed gross floor area in the Seashore District.

Vice Chair Lucy invited Mr. Zehnder said at the last meeting there was no request for a vote by the ZBA as the Planning Board had not voted on the project yet. Mr. Zehnder added that the Planning Board unanimously approved the project on February 9, 2022. Mr. Zehnder noted that revised materials were submitted to the ZBA, that were required by the Planning Board, regarding the zone of work, inherent discrepancy in the height of the structure between the architect and the engineer (engineer's calculations were correct), and reduction of light fixtures. Mr. Zehnder said that the lot at 2.92 acres does not meet the 3-acre minimum lot size requirement in Truro and the site coverage is at 3,857 square feet is 273 square feet above the by right floor area and exceeds the gross floor area allowed by the National Seashore District. As there has been no change to the design of the structure, location of the structure, Mr. Zehnder was asked for approval of the Special Permit tonight.

Vice Chair Lucy asked if any Members had any comments or questions and there were none.

Vice Chair Lucy asked if any members of the public had any comments or questions and there were none.

Town Planner/Land Use Counsel Carboni said that she didn't attend the last hearing so was there a confirmation that there was no habitable area in the garage and Mr. Zehnder confirmed that there is no habitable area in the garage. Town Planner/Land Use Counsel Carboni also recommended that with two separate Special Permits requested so there should be two separate motions.

Vice Chair Lucy announced that only the five regular Members would vote on any motions regarding **2021-009/ZBA**.

Member Shedd made a motion to grant a Special Permit for the matter of 2021-009/ZBA under M.G.L. Chapter 40 A, §6 for the lot not being nonconforming and the Board finds that the alteration or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use of structure and that the alteration or extension will exist in harmony with the general purpose and intent of this Bylaw.

Member Frazier seconded the motion.

So voted, 5-0, motion carries.

Vice Chair Lucy announced the unanimous vote.

Member Todd made a motion to grant a Special Permit for the matter of 2021-009/ZBA under Bylaw Section 30.3.1.A.2 residential building size regulation within the National Seashore District with the finding that the proposed use is in harmony with the general purpose and intent of this Bylaw.

Member Shedd seconded the motion.

So voted, 5-0, motion carries.

Vice Chair Lucy announced the results and thanked everyone. Mr. Zehnder, Mr. Rivera, and Ms. Bergan thanked the Members and left the meeting.

Vice Chair Lucy announced that he was turning over the meeting to Chair Hultin who thanked Vice Chair Lucy.

Approval of Minutes

Town Planner/Land Use Counsel Carboni asked Vice Chair Lucy to review, edit if necessary, and approve the minutes on tonight's agenda.

Members reviewed the minutes for June 21, 2021, and there were no corrections or edits.

Chair Hultin made a motion to approve the minutes for June 21, 2021, as presented.

Member Todd seconded the motion.

So voted, 3-0-3, motion carries after Town Planner/Land Use Counsel Carboni opined.

Members reviewed the minutes for August 23, 2021, and there were no corrections or edits.

Vice Chair Lucy made a motion to approve the minutes for August 23, 2021, as presented.

Member Shedd seconded the motion.

So voted, 6-0, motion carries.

Members reviewed the minutes for November 22, 2021, and there were no corrections or edits.

Member Shedd made a motion to approve the minutes for November 22, 2021, as presented.

Chair Hultin seconded the motion.

So voted, 5-0-1, motion carries.

Members reviewed the minutes for December 20, 2021, and there were no corrections or edits.

Member Todd made a motion to approve the minutes for December 20, 2021, as presented.

Member Shedd seconded the motion.

So voted, 6-0, motion carries.

Chair Hultin announced that this concluded the items on this evening's agenda and asked if Members had any questions or comments. Member Townsend asked if there has been discussion of "in-person" meetings moving forward. Town Planner/Land Use Counsel Carboni said that there have been discussions about hybrid meetings but awaiting a decision from Town Hall. Chair Hultin stated his support for "in-person" meetings. Chair Hultin also commented that he understood the Town's meeting room had the capability to provide GoToMeeting access so Town residents could still participate remotely. Town Planner/Land Use Counsel Carboni replied that she was not sure if that was accurate, but it was in the works. Town Planner/Land Use Counsel Carboni will check with Town Manager Darrin Tangeman tomorrow and provide an update to the Members.

Member Shedd noted that he was appreciative that the Minutes were getting caught up.

Chair Hultin made a motion to adjourn at 6:04 pm.

Member Shedd seconded the motion.

So voted, 6-0, motion carries.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Alexander O. Powers". The signature is written in a cursive style with a large, sweeping initial "A".

Alexander O. Powers

Board/Committee/Commission Support Staff